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SECTIONS AND DETAILS DOOR SCHEDULE

# LEE'S SUMMIT LOGISTICS BUILDING C

NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

> 04.26.22 PERMIT SET

#### **OWNER**

SCANNELL PROPERTIES
8801 RIVER CROSSING BLVD. SUITE 300
INDIANAPOLIS, IN 46240
O: 317. 218. 1648

### **CIVIL ENGINEER**

OLLSON 7301 W. 133RD ST. SUITE 200 OVERLAND PARK, KS 66213 O: 913 . 381 . 1170

#### **ARCHITECT**



# CURRAN

ARCHITECTURE

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## STRUCTURAL ENGINEER

WALLACE DESIGN
COLLECTIVE
1741 McGEE STREET
KANSAS CITY, MO 64108
O: 816.421.8282

#### CONTRACTOR

KADEAN CONSTRUCTION
1821 McGEE STREET
KANSAS CITY, MO 64108
O:816.708.1199



#### **SCOPE NOTES**

IN THE EVENT OF OUESTIONS REGARDING THE CONTRACT DOCUMENTS, SPECIFICATIONS, EXISTING CONDITIONS OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL AND PROCEEDING WITH ANY WORK IN QUESTION.

THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF OF ITS COMPONENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS. MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (I) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHOULD BE USED. COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF ANY SUCH CONDITIONS ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL BE PERFORMED UNTIL THE CONDITIONS ARE CORRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD ITEMS TO THE OWNER.

ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED, IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE ARCHITECT, NO LATER THAT TEN (10) BUSINESS DAYS, PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, FUNCTIONALITY, APPEARANCE OR

WARRANTY. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR ALL DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTY INFORMATION THAT IS PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.

GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CONSTRUCTION CLEANING AT PROJECT CLOSE OUT, PRIOR TO PUNCH LIST WALK THROUGH.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW.

REVIEWED SHOP DRAWINGS AND SUBMITTALS BY OTHERS SHALL NOT BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED BY OTHERS.

THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS, SUBMITTALS AND SAMPLES FOR CONFORMITY WITH THE CONTRACT DOCUMENTS AND RETURN THEM TO THE CONTRACTOR WITHIN SEVEN (7) WORKING DAYS EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY THE OWNER.

THE CONTRACTOR SHALL NOT REPRODUCE AND MARK UP ANY PART OF THE CONTRACT DOCUMENTS FOR SUBMITTAL AS A SHOP DRAWING. ANY SUCH SUBMITTAL WILL BE

ANY SUBMITTAL REQUIRED TO BE REVIEWED MORE THAN THE INITIAL REVIEW AND ONE (I) ADDITIONAL REVIEW, WILL BE CONSIDERED TO BE IN EXCESS OF THE SCOPE OF THE PROJECT. THE TIME REQUIRED FOR THIRD AND SUBSEQUENT REVIEWS OF A SUBMITTAL WILL BE PAID FOR BY THE CONTRACTOR TO THE ARCHITECT AT THE ARCHITECT'S STANDARD BILLING RATES, PLUS REIMBURSABLE EXPENSES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY EXISTING CONDITIONS AND ALL CRITICAL DIMENSIONS ASSOCIATED WITH THE PROPOSED WORK. THE CONTRACTOR SHALL CONFIRM THAT ALL WORK OUTLINED WITHIN THE CONTRACT DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO BID OPENING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS ENCOUNTERED WHICH MAY AFFECT BUILDING CODE COMPLIANCE, LIFE SAFETY, ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR COMPLETION OF THE PROJECT AS DIRECTED IN THE CONTRACT DOCUMENTS.

NO ADDITIONAL FUNDS WILL BE APPROVED FOR WORK OMITTED FROM THE CONTRACTOR'S BID DUE TO LACK OF VERIFICATION BY THE CONTRACTOR, EXCEPT AS OTHERWISE APPROVED BY THE OWNER FOR WORK ASSOCIATED WITH HIDDEN CONDITIONS WHICH ARE NOT ACCESSIBLE PRIOR TO CONSTRUCTION.

REFER TO PROJECT MANUAL (WHEN APPLICABLE) FOR ADDITIONAL REQUIREMENTS AND DIRECTIONS. ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER EIGHT (8) OF THE 2012 INTERNATIONAL BUILDING CODE WITH INDIANA AMENDMENTS.

LIGHT GAGE METAL STUDS; STUDS, THEIR COMPONENTS AND THEIR CONNECTIONS SHALL BE ENGINEERED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. THE ENGINEER SHALL AFFIX THEIR SEAL AND SIGNATURE TO SHOP DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW.

STEEL REQUIRED TO TRANSMIT GRAVITY AND/OR LATERAL LOADS TO THE STRUCTURE NOT DETAILED ON THE STRUCTURAL DRAWINGS IS THE RESPONSIBILITY OF THE METAL STUD SUPPLIER TO DESIGN, DETAIL, PROVIDE AND

METAL STUDS SHALL BE DESIGNED TO SUPPORT THE LOADS SHOWN IN THE DESIGN DATA IN ADDITION TO THE WEIGHT OF THE MATERIALS ATTACHED TO THE METAL STUDS. METAL STUDS SHALL BE DESIGNED USING THE LOAD COMBINATIONS IN SECTION 1605.3.1 OF THE INTERNATIONAL BUILDING CODE, 2012 EDITION. NO INCREASE IN ALLOWABLE STRESS IS ALLOWED.

DEFLECTION DUE TO LATERAL LOAD SHALL BE LIMITED TO  $\frac{1}{360}$  OF THE STUD SPAN. FOR CANTILEVERS, THE DEFLECTION DUE TO LATERAL LOAD AT THE END OF THE CANTILEVER SHALL BE LIMITED TO  $\frac{1}{180}$  OF THE CANTILEVER DIMENSION.

METAL STUD MANUFACTURER SHALL DETERMINE FINAL LAYOUT AND GAUGE OF STUDS TO MEET THE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

WHERE ROUGH CARPENTRY IS IN CONTACT WITH THE GROUND, EXPOSED TO WEATHER OR IN AREAS OF HIGH RELATIVE HUMIDITY PROVIDE FASTENERS AND ANCHORAGES WITH A HOT DIP ZINC COATING OF G90 COMPLYING WITH ASTM A153 OR PROVIDE FASTENERS AND ANCHORAGES OF TYPE 304 STAINLESS STEEL.

ALL WOOD SHEATHING TO BE FIRE TREATED UNLESS NOTED OTHERWISE.

3 ¾" MTL STUDSAT 4'-0" OC

MAXIMUM SPACING. EXTEND TO

UNDERSIDE OF STRUCTURE ABOVE.

ALL STUD WALLS CREATING A CONCEALED WALL

EXCEEDING 10'-0" PER 718.2.2 IBC 2012

SPACE TO HAVE FIREBLOCKING AT INTERVALS NOT

**UNDERSIDE OF** 

**B.O. STRUCTURE** 

3 5/8" MTL STUDSAT 4'-0" OC

MAXIMUM SPACING. EXTEND TO

UNDERSIDE OF STRUCTURE ABOVE.

**ROOF DECK** 

PLAN FOR HEIGHT

Aa = FILL IN

#### **ABBREVIATIONS**

			DDILLVIATIONS		
ACT	ACOUSTICAL CEILING TILE	FLR	FLOOR	PS	PROJECTION SCREEN
ADDL	ADDITIONAL	FR	FIRE RETARDANT	QT	QUARRY TILE
AFF	ABOVE FINISHED FLOOR	FT	FEET	R	RISER
ALUM	ALUMINUM	GA	GAUGE	RA	RETURN AIR
ANOD	ANODIZED	GB	GRAB BAR	RB	RESILIENT BASE
APP	APPROXIMATE	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
ARCH	ARCHITECT	GYP BD	GYPSUM BOARD	REF	REFERENCE
AWT	ACOUSTICAL WALL TREATMENT	HDWR	HARDWARE	REFR	REFRIGERATOR
BLDG	BUILDING	HGT	HEIGHT	REQD	REQUIRED
BLKG	BLOCKING	НМ	HOLLOW METAL	RO	ROUGH OPENING
B.O.	BOTTOM OF	HORIZ	HORIZONTAL	SA	SUPPLY AIR
BOT	BOTTOM	HP	HIGH POINT	SCHED	SCHEDULE
BRG	BEARING	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SCMD	SOLID CORE METAL DOOR
CAB	CABINET	HW	HOT WATER	SCWD	SOLID CORE WOOD DOOR
CJ	CONTROL JOINT	INSUL	INSULATION	SEC	SECTION
CL	CENTER LINE	JAN	JANITOR	SF	SQUARE FOOT
CLR	CLEAR	, JST	JOIST	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	ĴΤ	JOINT	SPECS	SPECIFICATIONS
CONST	CONSTRUCTION	KD	KNOCKDOWN	SQ	SQUARE
COL	COLUMN	KIT	KITCHEN	SS	STAINLESS STEEL
CONC	CONCRETE	LAM	LAMINATE	STD	STANDARD
CONT	CONTINUOUS	LAV	LAVATORY	STL	STEEL
CPT	CARPET	LLH	LONG LEG HORIZONTAL	STOR	STORAGE
CT	CERAMIC TILE	LLV	LONG LEG VERTICAL	STRUCT	STRUCTURAL
CW	COLD WATER	MAS	MASONRY	SUSP	SUSPENDED
DET, DTL	DETAIL	MAT	MATERIAL	TB	TACK BOARD
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	TEL	TELEPHONE
DIA	DIAMETER	MB	MARKER BOARD	TLT	TOILET
DIM	DIMENSION	MECH	MECHANICAL	T.O.	TOP OF
DWG(S)	DRAWING(S)	MEZZ	MEZZANINE	TRTD	TREATED
EA	EACH	MFR	MANUFACTURER	TV	TELEVISION
EC	EXPOSED CEILING	MIN	MINIMUM	TYP	TYPICAL
EIFS	EXTERIOR INSULATION FINISH SYSTEM	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
EJ	EXPANSION JOINT	MTL	METAL	UR	URINAL
EL	ELEVATION	NIC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
ENG	ENGINEER	NR	NOT RATED	VERT	VERTICAL
EQ	EQUAL	OC	ON CENTER	VIF	VERIFY IN FIELD
EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER	VT	VINYL TILE
EXIST	EXISTING	OFD	OVERFLOW DRAIN	W/	WITH
EXP	EXPANSION	OH	OPPOSITE HAND	W/O	WITHOUT
EXT	EXTERIOR	OPNG	OPENING	WB	WOOD BASE
FD	FLOOR DRAIN	OPP	OPPOSITE	WC	WATER CLOSET
FE	FIRE EXTINGUISHER	ОТО	OUT TO OUT	WD	WOOD
FEC	FIRE EXTINGUISHER CABINET	PLAS LAM	PLASTIC LAMINATE	WH	WATER HEATER
FIN	FINISH	PLWD	PLYWOOD	WP	WORKING POINT
1111	I II NISI I	ILYYD	ILITIOOD	**1	TOURING FOUNT

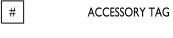
C	DDE ANA	ALYSIS	
APPLICABLE CODES		ACTUAL BUILDING HEIGHT AND AREA	
BUILDING CODE		BUILDING AREA:	FILL IN
2018 INTERNATIONAL BUILDING CODE		BUILDING HEIGHT (FEET / # FLOORS):	FILL IN
PLUMBING CODE		TABULAR OCCUPANT LOAD (1004.1.2)	
2017 INTERNATIONAL PLUMBING CODE		OCCUPANT LOAD FACTOR:	FILL IN
		SQUARE FOOTAGE / OCCUPANT LOAD FACTOR:	FILL IN
ELECTRICAL CODE		TOTAL OCCUPANTS:	FILL IN
2017 NATIONAL ELECTRICAL CODE		ACTUAL OCCUPANT LOAD (1004 L2)	FILL IN
FIRE CODE		ACTUAL OCCUPANT LOAD (1004.1.2)	FILL IN
2018 INTERNATIONAL FIRE CODE		EIDE DESISTIVE DEGLIIDEMENTS (401 AND 402)	
		FIRE RESISTIVE REQUIREMENTS (601 AND 602)	II D
MECHANICAL CODE		CONSTRUCTION TYPE: STRUCTURAL FRAME:	II-B NR
2014 INTERNATIONAL MECHANICAL CODE		EXTERIOR BEARING WALLS:	NR NR
		INTERIOR BEARING WALLS:	NR NR
FUEL GAS CODE		EXTERIOR NON-BEARING WALLS:	NR
2018 FUEL GAS CODE		INTERIOR NON-BEARING WALLS	NR
		FLOOR CONSTRUCTION:	NR
HANDICAPPED ACCESSIBILITY CODE		ROOF CONSTRUCTION:	NR
2009 ANSI ATTA CHIRE ELLI IS		SHAFTS:	N/A
ADA ACCESSIBILITY GUIDELINES			
OCCUPANCY (OVERALL BUILDING)		FIRE RESISTANCE RATED CONSTRUCTION (704, 601, 602)	
CLASSIFICATION (302.1):	S-1	RATED EXTERIOR WALLS:	N/A
CLASSITICATION (302.1).	3-1	FIRE SEPARATION DISTANCE	60+
OCCUPANCY (TENANT SPACE)		UNPROTECTED OPENING AREA:	N/A
CLASSIFICATION (302.1):	S-I		
ACCESSORY USES (508.2.1):	3-1 B	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (80	3)
NON-SEPARATED USES (508.3.2):	_	SEE FINISH SCHEDULE FOR MATERIALS	
SEPARATED USES (508.3.3):	N/A	ALL MATERIALS ARE CLASS A RATED	
3LI AIVA I ED 03L3 (300.3.3).	N/A	FIRE PROTECTION SYSTEMS	
AUTOMATIC SPRINKLER SYSTEM		STANDPIPE SYSTEM (905):	YES
SPRINKLER SYSTEM REQUIRED (903):	YES	PORTABLE FIRE EXTINGUISHERS (906.1):	SEE PLAN
SPRINKLER SYSTEM PROVIDED:	YES	FIRE ALARM AND DETECTION SYSTEMS (907):	YES
STATALER STOTET THO TIBED.	123	SMOKE CONTROL SYSTEMS (909):	N/A
ALLOWABLE BUILDING HEIGHT		SMOKE AND HEAT VENTS (910):	
TABULAR HEIGHT (503):	2 STORY	SPIONE AND HEAT VENTS (FID).	N/A
		EGRESS	
ALLOWABLE BUILDING AREA		MINIMUM WIDTH FACTOR (1005.1):	FILL IN
TABULAR AREA (503):	17,500 SF	REQUIRED MINIMUM WIDTH FROM SPACE (1005.1):	FILL IN
		MINIMUM NUMBER OF EXITS (1015):	FILL IN
BUILDING AREA INCREASE		ACTUAL NUMBER OF EXITS:	FILL IN
INCREASE FOR SPRINKLERED BUILDING (506.3):	300%	ACTUAL WIDTH OF EXITS:	FILL IN
UNLIMITED AREA (507):	UNLIMITED	ALLOWABLE TRAVEL DISTANCE (1016.2):	FILL IN
FRONTAGE INCREASE (506.2):	N/A	CORRIDOR CONSTRUCTION (1018.1):	FILL IN
If = $(F/P25) \times W / 30$		MINIMUM CORRIDOR WIDTH (1018.2):	FILL IN
TOTAL ALLOWABLE AREA WITH INCREASES: $Aa = At + (At \times If) + (At \times Is)$	UNLIMITED	MAXIMUM DEAD END CORRIDOR (1018.4):	FILL IN
V 1 V 1			

#### **SYMBOLS** (NOT ALL MAY APPLY)

KEYED NOTE



WINDOW OR GLAZED OPENING TAG IF WINDOW - W# IF STOREFRONT - SF# IF CURTAINWALL - CW#





**EQUIPMENT TAG** 



**ROOM TAG** 

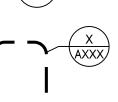
FINISH TAG



**ELEVATION TAG - INTERIOR OR EXTERIOR** 

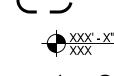


SECTION CUT AT AREAS SHOWN SMALL SCALE



**ENLARGED PLAN** 

REVISION



ELEVATION TARGET. FINISHED FLOOR = 0'-0"



PLAN OR TRUE NORTH



FIRE EXTINGUISHER IN SEMI-RECESSED CABINET PROVIDED / INSTALLED BY GC

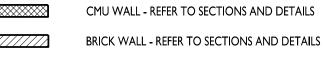
BATT INSULATION - WIDTH OF FRAMING UNO



DOOR WITH DOOR NUMBER

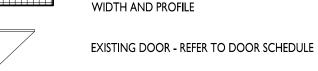


STUD FRAMED WALL - REFER TO INDEX SHEET FOR INFORMATION

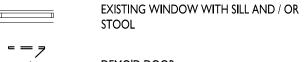


EIFS OVER SUBSTRATE - REFER TO SECTIONS FOR

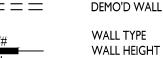
CONCRETE WALL - REFER TO SECTIONS AND



EXISTING FRAMED WALL



DEMO'D DOOR



WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET



ARCHITECTURE

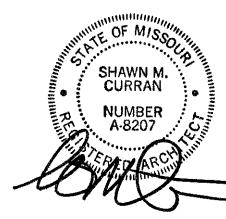
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# CERTIFICATION



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#### PROJECT INFORMATION

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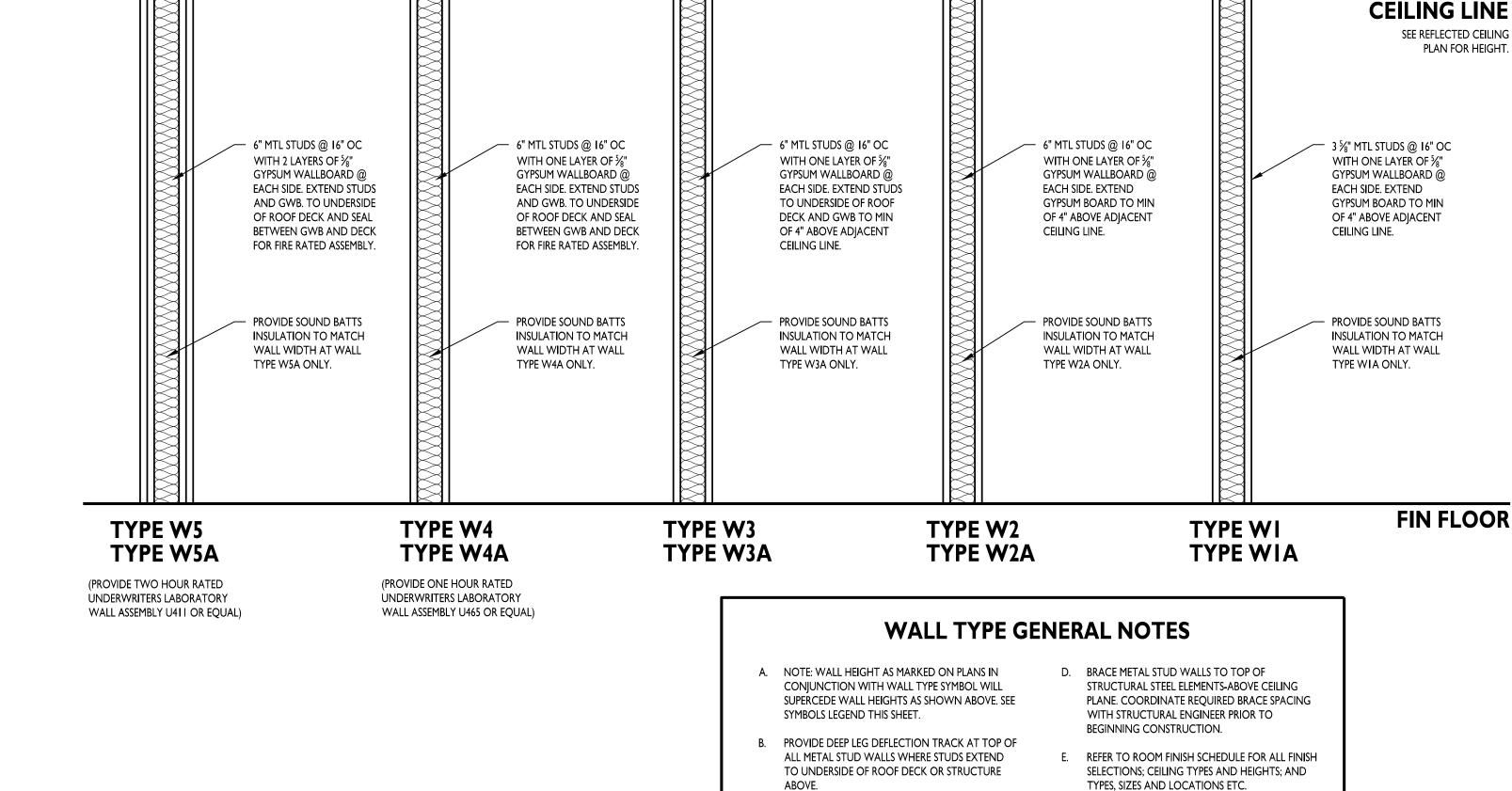
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF **NE TUDOR RD & MAIN ST** LEE'S SUMMIT, MO 64086

**ISSUE DATES** PERMIT SET 04.26.22

220019

**SCOPE NOTES &** WALL TYPES

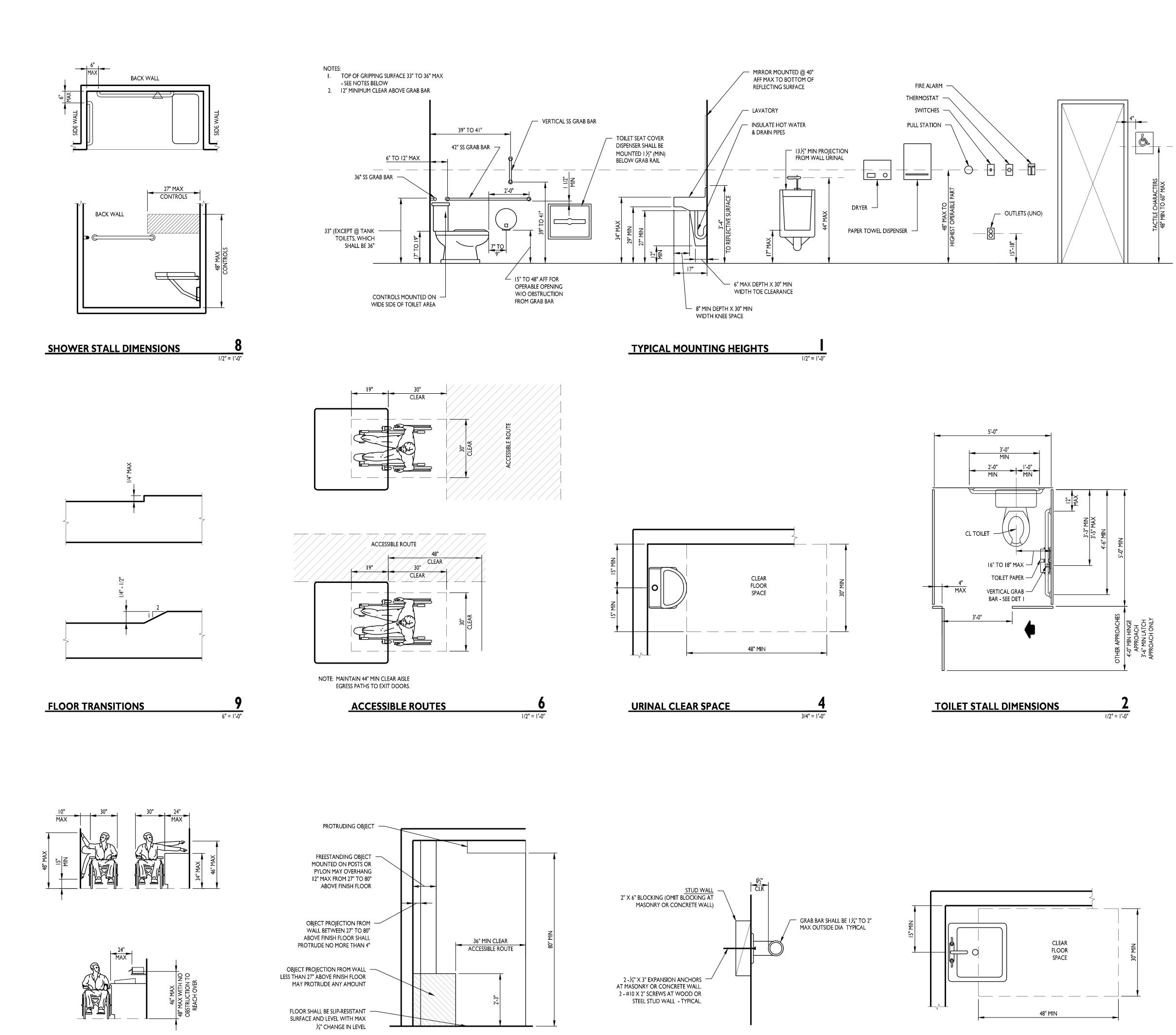


USE MOLD AND MILDEW RESISTANT GYPSUM

ALL TILE FINISHES.

WALLBOARD ON ALL PLUMBING WALLS. USE 5/8"

CEMENT BOARD INSTEAD OF GYP BOARD BEHIND



**GRAB BAR DIMENSIONS** 

SINK CLEAR SPACE

VERTICAL CLEARANCES

**REACH RANGES** 

#### TYPICAL ADA INFO

WATER CLOSET: WATER CLOSETS SHALL BE 17" TO 19" AFF WHEN MEASURED TO THE TOP OF THE TOILET SEAT AND THE CENTER FOR THE FIXTURE SHALL BE 18" FROM ONE WALL WITH A CLEAR FLOOR SPACE OF 60" WIDE AND 59" DEEP FOR FLOOR MOUNT AND 56" DEEP FOR WALL MOUNT. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.

SINK: SINK SHALL BE MOUNTED WITH THE RIM OR COUNTER NO HIGHER THAN 34" AFF PROVIDE A CLEARANCE OF AT LEAST 29" TO THE BOTTOM OF THE APRON WITH AN 8"X27" KNEE SPACE AND 6"X9" TOE SPACE. EXPOSED HOT WATER AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED. FAUCETS SHALL BE LEVER-OPERATED, PUSH-TYPE AND MOTION SENSOR.

<u>URINALS:</u> URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH THE RIM AT A MAXIMUM OF 17" AFF AND A 30" X 48" CLEAR FLOOR SPACE.

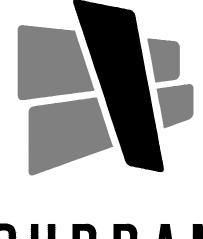
GRAB BARS: GRAB BARS SHALL BE 33" TO 36" AFF THE GRAB BAR BEHIND THE WATER CLOSET SHALL BE 36" LONG AND NO MORE THAN 6" OF OF THE SIDE WALL. THE SIDE WALL GRAB BAR SHALL BE 42" LONG AND 12" OFF THE BACK WALL.

MIRROR: MIRRORS SHALL BE MOUNTED SO THE BOTTOM OF THE REFLECTING SURFACE IS NO MORE THAN 40" AFF.

PAPER TOWEL/DRYER: PAPER TOWEL/ DRYERS SHALL BE MOUNTED NO HIGHER THAN 48" AFF.

SOAP DISPENSER: SOAP DISPENSERS SHALL BE MOUNTED NO HIGHER THAN 48" AFF.

TOILET PAPER: TOILET PAPER DISPENSERS SHALL BE INSTALLED WITHIN 36" MAX OF THE BACK WALL.



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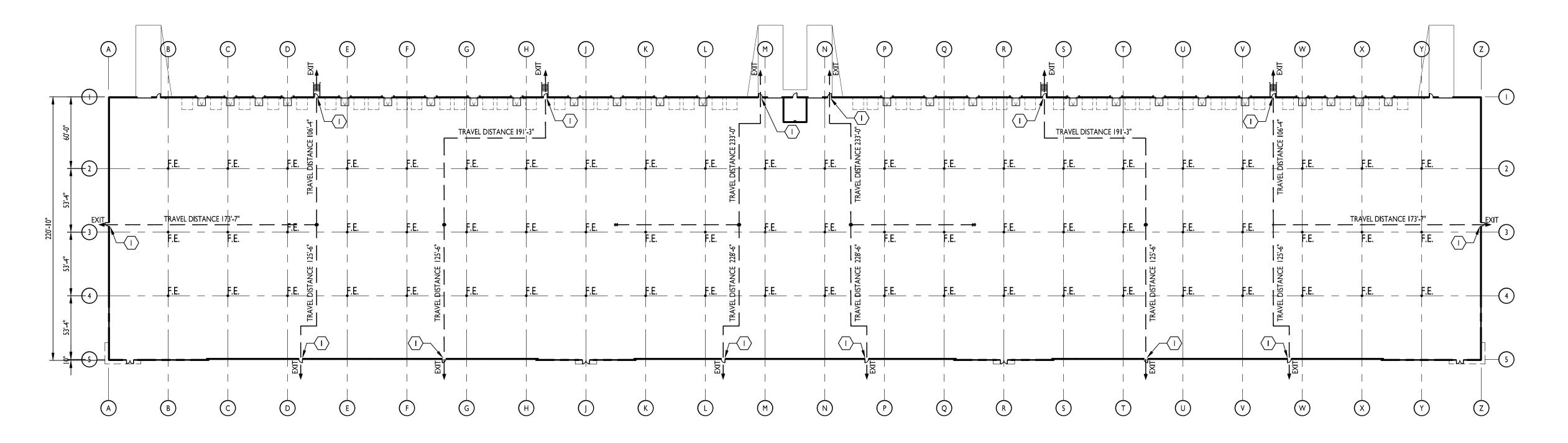
### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE D	OATES 04.26.2
TERMIT SET	VT.20.2
2200	)19

TYPICAL ACCESSIBILITY DETAILS



**LIFE SAFETY PLAN** I" = 50'-0"

### **KEYED NOTES**

- EXIT, EXIT SIGN, AND EMERGENCY LIGHTING ABOVE DOOR INTERIOR WITH BATTERY BACKUP. EXTERIOR EGRESS LIGHTING ABOVE DOOR TIED TO BATTERY BACK UP.
- PROPOSED FIRE EXTINGUISHER LOCATION. VERIFY WITH FIRE MARSHAL. FINAL QUANTITY AND LOCATIONS TO BE DETERMINED WITH FINAL RACKING PLAN AND FIRE DEPARTMENT REVIEW.
- 3. SEE CIVIL AND FIRE PROTECTION PLANS FOR FIRE DEPT. LEAD IN LOCATION.
- 4. PROVIDE BUILDING ADDRESS SIGNAGE @ THIS LOCATION.
- 5. THIS DOOR LABELED 'PUMP ROOM'.



# ARCHITECTURE

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#### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS **BUILDING C LOT 3** 

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

> > **ISSUE DATES**

04.26.22

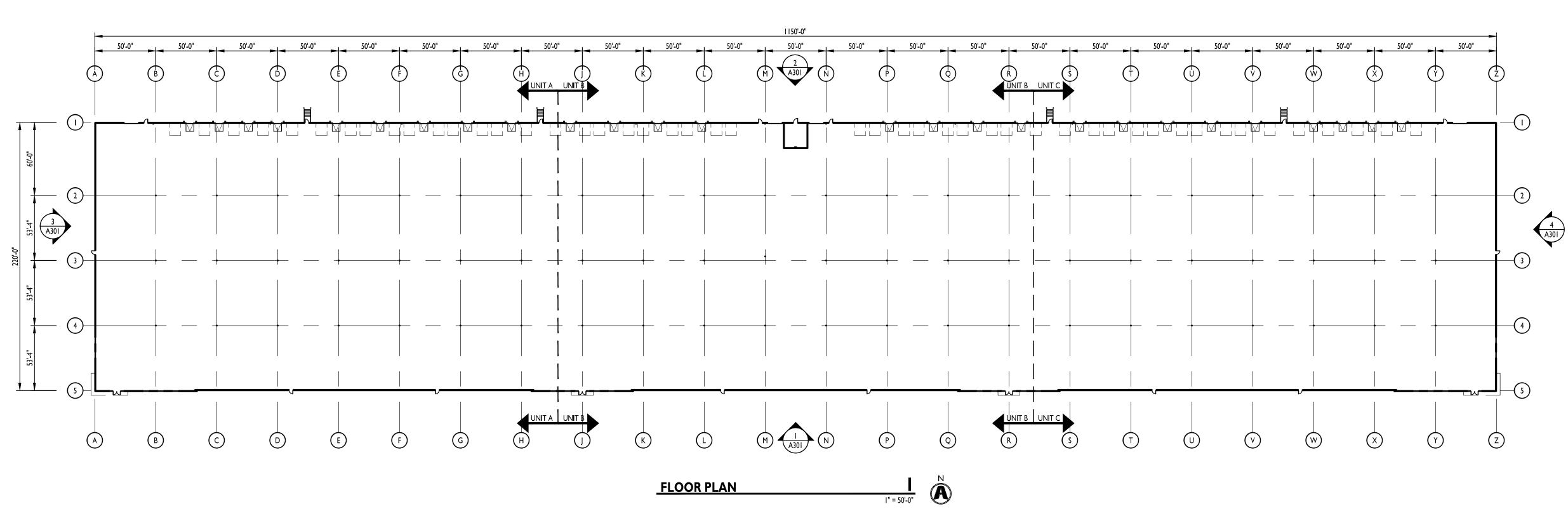
PERMIT SET

\	MAIN ST
PROJECT LOCATION	
LOCATION	A B C
	NE TUDOR RD
N	1 1

NE TUDOR RD	
<b>KEY PLA</b>	N

FLOC	OR PLAN
A	100

220019



#### **GENERAL NOTES**

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS NOTED IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING, UNLESS OTHERWISE NOTED.
- C. PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
- D. REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES, AND HARDWARE INFORMATION.
- FINISHES, AND HARDWARE INFORMATION.

  E. REFER TO EXTERIOR ELEVATIONS FOR ALL BRICK, MASONRY, AND
- F. PRIOR TO ORDERING ANY PRODUCTS, CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.

OTHER EXPANSION JOINT LOCATIONS.

- INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.

  G. PROVIDE CONCRETE FILLED STEEL PIPE BOLLARDS AT ALL REQUIRED UTILITY EQUIPMENT LOCATIONS SUCH AS GAS METERS, ELECTRICAL TRANSFORMER PANELS, ETC., COORDINATE WITH UTILITY COMPANY AND CONTRACTORS, WHEN APPLICABLE, FOR NECESSARY LOCATIONS. REFER TO CIVIL DRAWINGS FOR
- H. ALL DOORS, UNLESS OTHERWISE NOTED, TO HAVE HINGE SIDE SET 4" FROM CORNER SHOWN TO OUTSIDE OF FRAME.

BOLLARD SPECIFICATIONS AND ADDITIONAL INFORMATION.

- I. UNLESS SPECIFIED ELSEWHERE, ALL INTERIOR SLABS AND SLAB INFILLS TO BE FF-50/FL-35 OVERALL AND FF-35/FL-25 LOCAL.
- J. ALL EXIT DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009



5719 LAWTON LOOP E. DR. #212

INDIANAPOLIS, IN 46216

O :: 317 . 288 . 0681

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# CERTIFICATION OF MISSON SHAWN M. CURRAN NUMBER A-8207

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#### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

\	MAIN ST	
PROJECT — LOCATION		
LOCATION	A B C	
	<u> </u>	
	NE TUDOR RD	_
NI		_

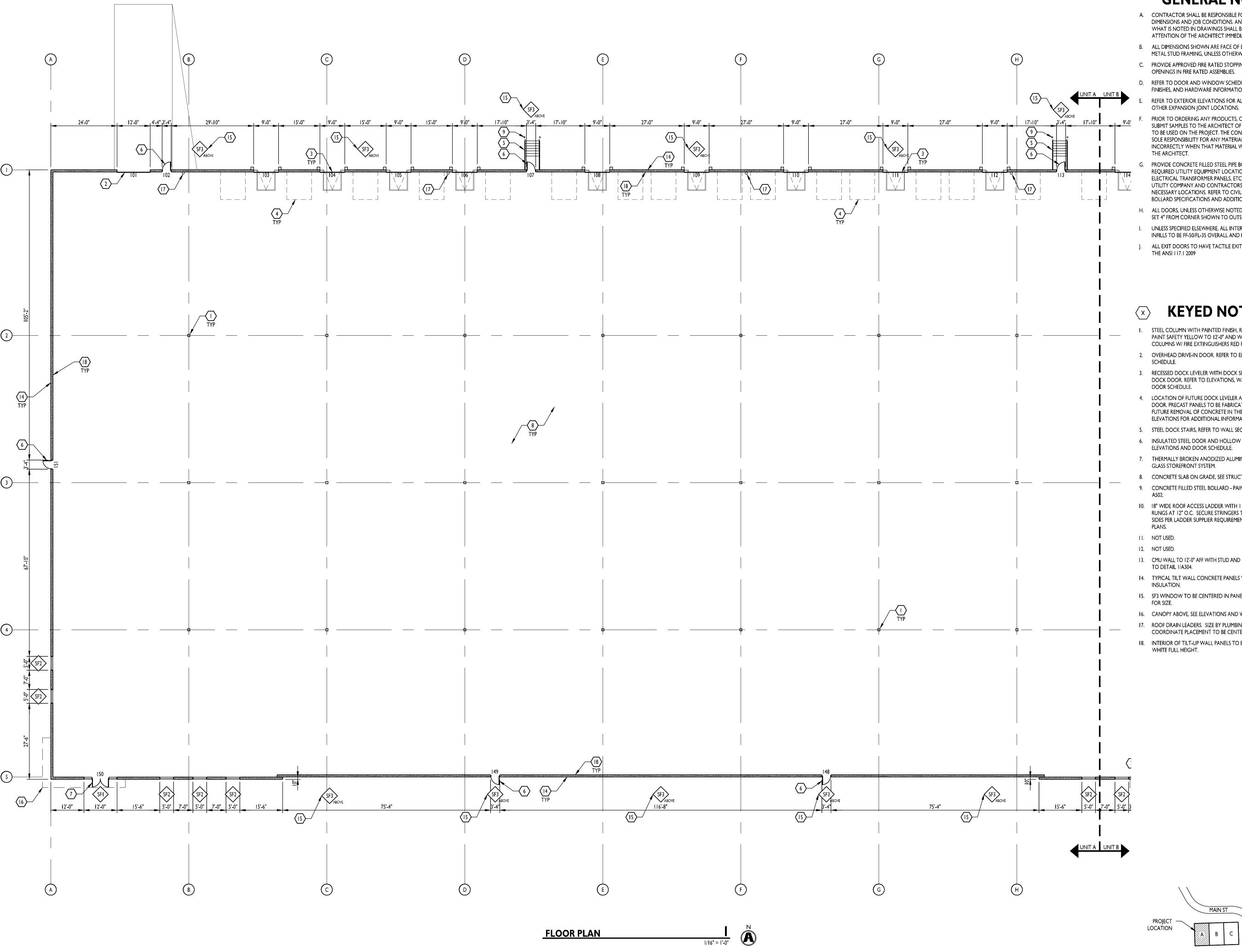
KEY PLAN

220019
OVERALL FLOOR PLAN

**ISSUE DATES** 

04.26.22

AIOI



#### **GENERAL NOTES**

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- B. ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING, UNLESS OTHERWISE NOTED.
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- D. REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES, AND HARDWARE INFORMATION.
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- PROVIDE CONCRETE FILLED STEEL PIPE BOLLARDS AT ALL REQUIRED UTILITY EQUIPMENT LOCATIONS SUCH AS GAS METERS, ELECTRICAL TRANSFORMER PANELS, ETC., COORDINATE WITH UTILITY COMPANY AND CONTRACTORS, WHEN APPLICABLE, FOR NECESSARY LOCATIONS. REFER TO CIVIL DRAWINGS FOR BOLLARD SPECIFICATIONS AND ADDITIONAL INFORMATION.
- H. ALL DOORS, UNLESS OTHERWISE NOTED, TO HAVE HINGE SIDE SET 4" FROM CORNER SHOWN TO OUTSIDE OF FRAME.
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- ALL EXIT DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009

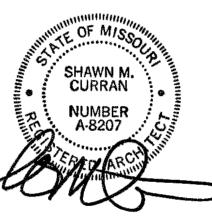
#### **KEYED NOTES**

- I. STEEL COLUMN WITH PAINTED FINISH, REFER TO STRUCTURAL. PAINT SAFETY YELLOW TO 12'-0" AND WHITE TO DECK. PAINT COLUMNS W/ FIRE EXTINGUISHERS RED FULL HEIGHT.
- 2. OVERHEAD DRIVE-IN DOOR. REFER TO ELEVATIONS AND DOOR SCHEDULE.
- RECESSED DOCK LEVELER WITH DOCK SEALS AND OVERHEAD DOCK DOOR. REFER TO ELEVATIONS, WALL SECTIONS, AND DOOR SCHEDULE.
- LOCATION OF FUTURE DOCK LEVELER AND OVERHEAD DOCK DOOR. PRECAST PANELS TO BE FABRICATED TO ALLOW FOR FUTURE REMOVAL OF CONCRETE IN THESE LOCATIONS. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
- 5. STEEL DOCK STAIRS, REFER TO WALL SECTIONS AND DETAILS. 6. INSULATED STEEL DOOR AND HOLLOW METAL FRAME. SEE
- ELEVATIONS AND DOOR SCHEDULE.
- 7. THERMALLY BROKEN ANODIZED ALUMINUM AND INSULATED GLASS STOREFRONT SYSTEM.
- 8. CONCRETE SLAB ON GRADE, SEE STRUCTURAL.
- CONCRETE FILLED STEEL BOLLARD PAINTED. SEE DETAILS ON
- 10. 18" WIDE ROOF ACCESS LADDER WITH 1 INCH DIAMETER STEEL RUNGS AT 12" O.C. SECURE STRINGERS TO FLOOR TYPICAL BOTH SIDES PER LADDER SUPPLIER REQUIREMENTS. SEE STRUCTURAL
- NOT USED.
- 13. CMU WALL TO 12'-0" AFF WITH STUD AND DRYWALL TO DECK. REFER TO DETAIL I/A304.
- 14. TYPICAL TILT WALL CONCRETE PANELS WITH INTERIOR Insulation.
- 15. SF3 WINDOW TO BE CENTERED IN PANEL, SEE WINDOW DETAILS
- 16. CANOPY ABOVE, SEE ELEVATIONS AND WALL SECTIONS.
- 17. ROOF DRAIN LEADERS. SIZE BY PLUMBING ENGINEER.
- COORDINATE PLACEMENT TO BE CENTERED ON PANEL JOINTS. 18. INTERIOR OF TILT-UP WALL PANELS TO BE PAINTED SEMI GLOSS

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#### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

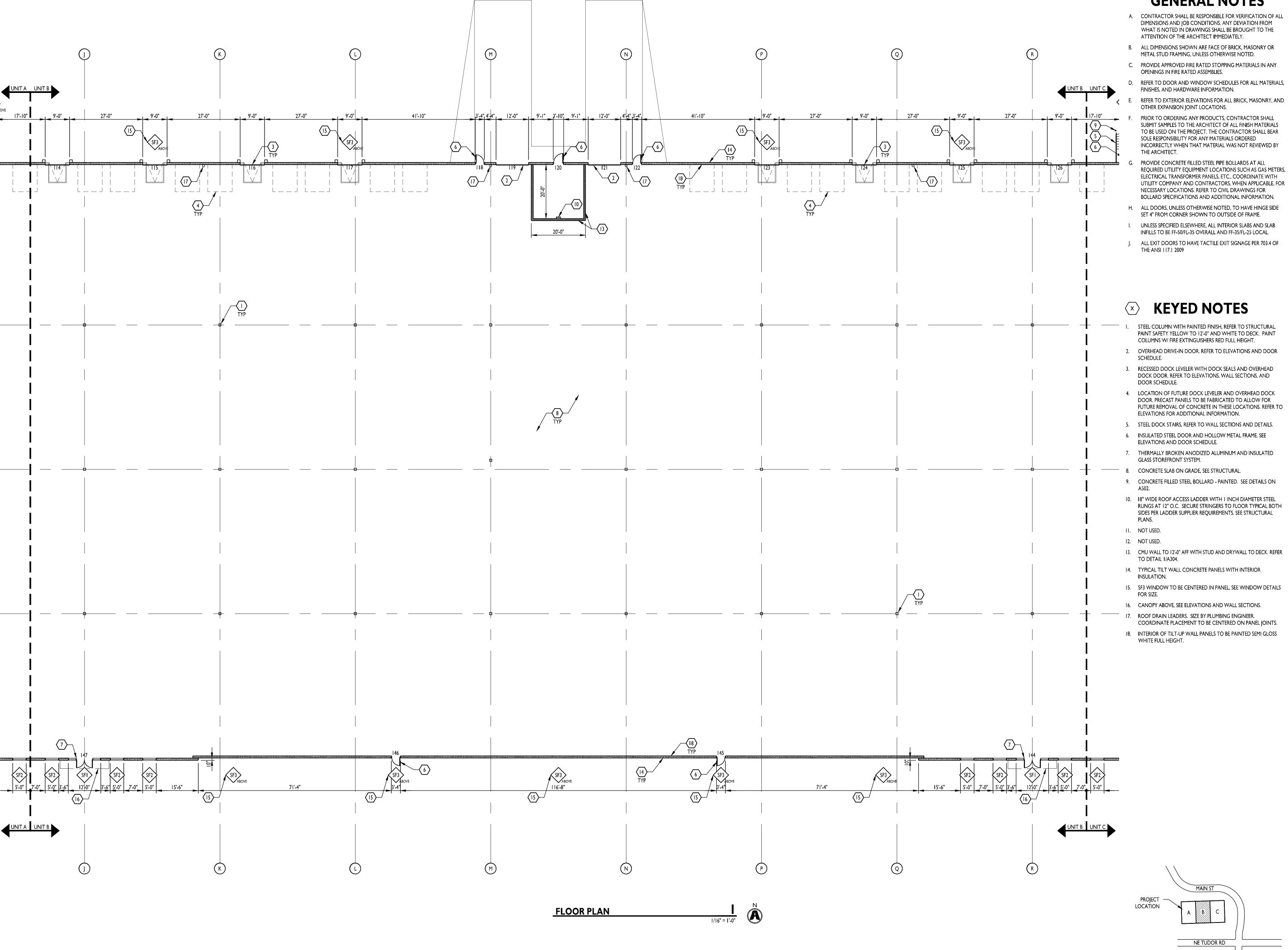
> > **ISSUE DATES**

04.26.22

220019
FLOOR PLAN - AREA A

PERMIT SET







- REQUIRED UTILITY EQUIPMENT LOCATIONS SUCH AS GAS METERS,

**KEY PLAN** 

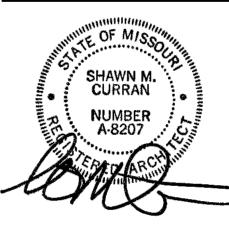


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PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

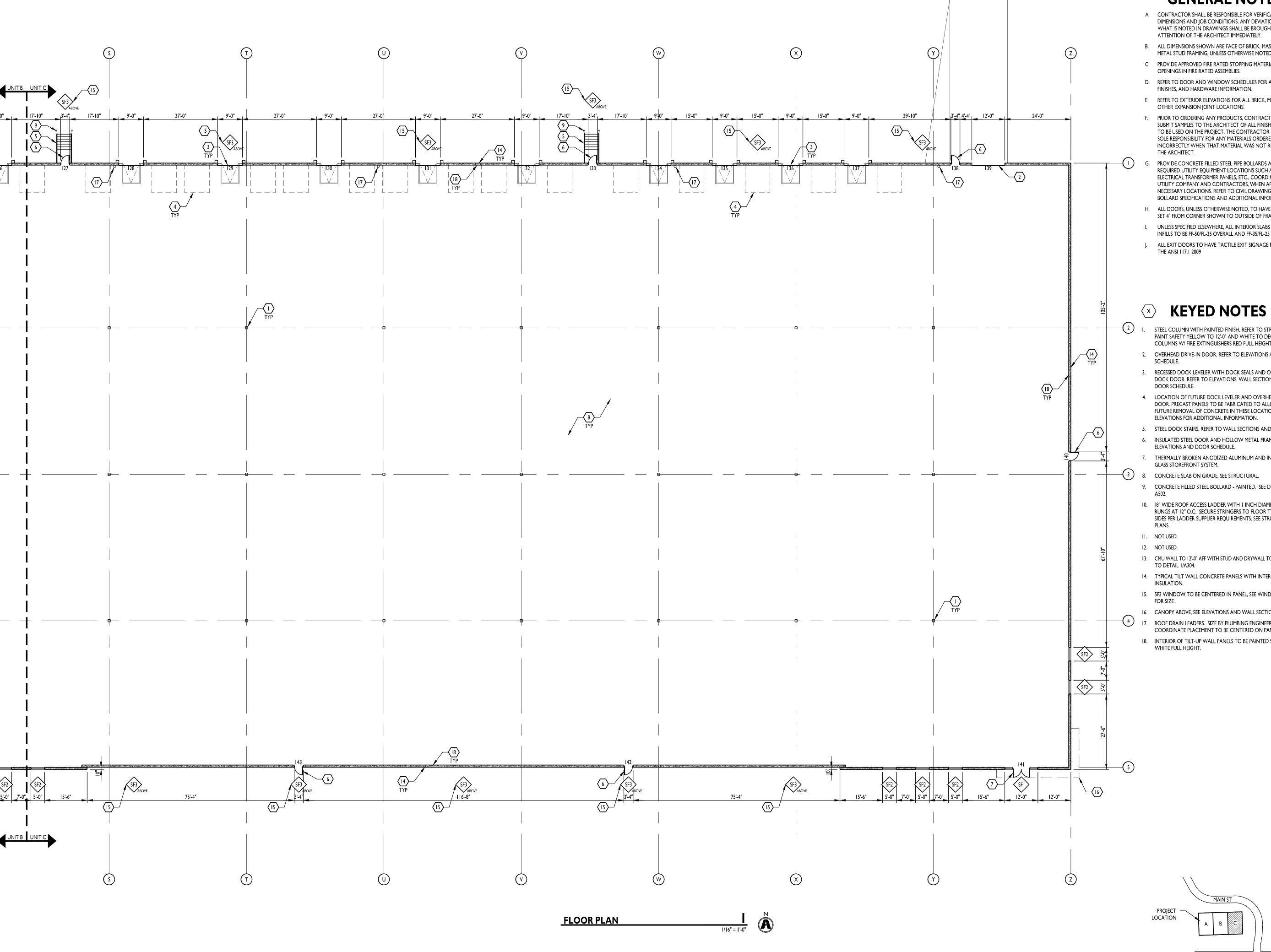
> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE D	PATES
PERMIT SET	

220019

FLOOR PLAN - AREA B

**AI03** 



#### **GENERAL NOTES**

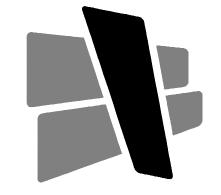
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- E. REFER TO EXTERIOR ELEVATIONS FOR ALL BRICK, MASONRY, AND OTHER EXPANSION JOINT LOCATIONS.
- F. PRIOR TO ORDERING ANY PRODUCTS, CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.
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- H. ALL DOORS, UNLESS OTHERWISE NOTED, TO HAVE HINGE SIDE SET 4" FROM CORNER SHOWN TO OUTSIDE OF FRAME.
- I. UNLESS SPECIFIED ELSEWHERE, ALL INTERIOR SLABS AND SLAB INFILLS TO BE FF-50/FL-35 OVERALL AND FF-35/FL-25 LOCAL.
- ALL EXIT DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009

- STEEL COLUMN WITH PAINTED FINISH, REFER TO STRUCTURAL. PAINT SAFETY YELLOW TO 12'-0" AND WHITE TO DECK. PAINT COLUMNS W/ FIRE EXTINGUISHERS RED FULL HEIGHT.
- 2. OVERHEAD DRIVE-IN DOOR. REFER TO ELEVATIONS AND DOOR SCHEDULE.
- 3. RECESSED DOCK LEVELER WITH DOCK SEALS AND OVERHEAD DOCK DOOR. REFER TO ELEVATIONS, WALL SECTIONS, AND DOOR SCHEDULE.
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- 5. STEEL DOCK STAIRS, REFER TO WALL SECTIONS AND DETAILS.
- 6. INSULATED STEEL DOOR AND HOLLOW METAL FRAME. SEE ELEVATIONS AND DOOR SCHEDULE.
- 7. THERMALLY BROKEN ANODIZED ALUMINUM AND INSULATED GLASS STOREFRONT SYSTEM.
- 8. CONCRETE SLAB ON GRADE, SEE STRUCTURAL.
- 9. CONCRETE FILLED STEEL BOLLARD PAINTED. SEE DETAILS ON
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- NOT USED.
- 13. CMU WALL TO 12'-0" AFF WITH STUD AND DRYWALL TO DECK. REFER TO DETAIL I/A304.
- 14. TYPICAL TILT WALL CONCRETE PANELS WITH INTERIOR INSULATION.
- 15. SF3 WINDOW TO BE CENTERED IN PANEL, SEE WINDOW DETAILS
- 16. CANOPY ABOVE, SEE ELEVATIONS AND WALL SECTIONS.
- 17. ROOF DRAIN LEADERS. SIZE BY PLUMBING ENGINEER.
- COORDINATE PLACEMENT TO BE CENTERED ON PANEL JOINTS.

NE TUDOR RD

**KEY PLAN** 

18. INTERIOR OF TILT-UP WALL PANELS TO BE PAINTED SEMI GLOSS WHITE FULL HEIGHT.

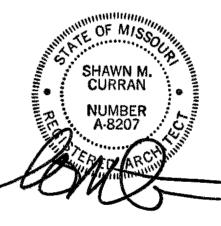


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PROJECT INFORMATION

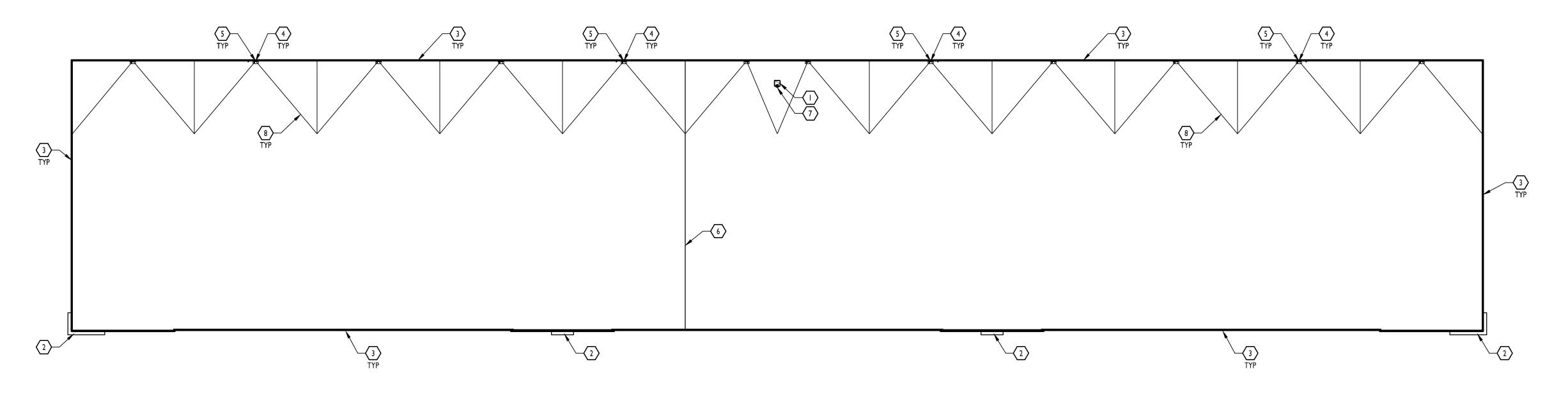
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

PERMIT SET	04.26.2

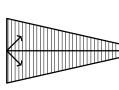
FLOOR PLAN - AREA C

220019



**ROOF PLAN** 

#### **ROOF PLAN LEGEND**



DENOTES TAPERED INSULATION OR ROOF CRICKETS TO ROOF DRAIN LOCATIONS. SLOPE MIN OF  $\frac{1}{4}$ "/FOOT AS INDICATED BY ARROWS OR TWICE THE AMOUNT OF THE UNDERLYING DECK WHICHEVER IS GREATER.



DENOTES ROOF SLOPE AT  $\frac{1}{4}$ " / FOOT MINIMUM.

MECHANICALLY FASTENED 45 MIL TPO MEMBRANE WITH RIGID POLYISOCYANURATE INSULATION AT MINIMUM OF R-20. INSULATION TO BE TWO LAYERS WITH STAGGERED JOINTS. MEMBRANE SHEETS RUN PERPENDICULÁR TO THE DECK FLUTES. FOAM PERIMETER OF INSULATION. SEE DETAIL.

#### **KEYED NOTES**

- I. 4'  $\times$  4' INSULATED ROOF HATCH. COORDINATE LOCATION WITH ROOF FRAMING BELOW. REFER TO A304 FOR DETAIL.
- 2. MANUFACTURED PAN & GUTTER AWING W/ SCUPPER DIRECTED TO LANDSCAPE BELOW. MAPES ILLUMIDECK OR EQUAL.
- 3. PREFINISHED METAL COPING WITH CONTINUOUS HOLD DOWN CLIP AT EDGE OF PANEL.
- 4. ROOF DRAINS, REFER TO ENGINEERING DRAWINGS.
- 5. OVERFLOW SCUPPER OPENING IN WALL, WRAP WITH ROOF MEMBRANE. BOTTOM OF OPENING TO BE AT 2" ABOVE ROOF MEMBRANE. COORDINATE FINAL LOCATION.
- 6. ROOF MANUFACTURER'S TYPICAL EXPANSION JOINT DETAIL COORDINATE PLACEMENT WITH ROOF FRAMING.
- 7. TAPERED INSULATION TO DIRECT WATER TO ROOF DRAINS.
- LINE INDICATES APPROXIMATE LOCATION OF ROOF FRAMING, SLOPE TO DRAIN. SEE ROOF FRAMING PLANS.



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#### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS **BUILDING C LOT 3** 

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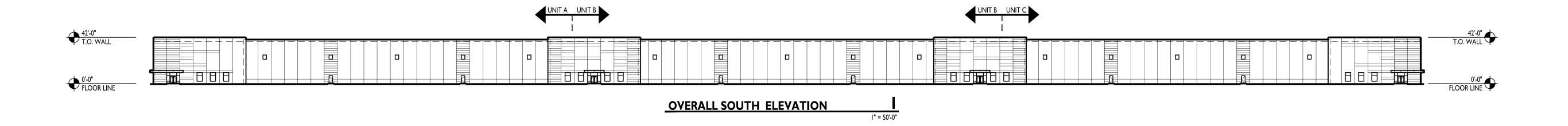
> > **ISSUE DATES**

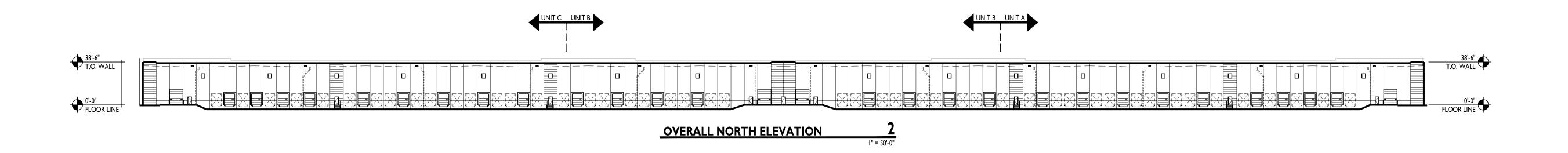
04.26.22

PROJECTLOCATION	MAIN ST  A B C
N	NE TUDOR RD

-	NE TUDOR RD	
K	EY PLAN	

220019
ROOF PLAN
<b>4120</b>

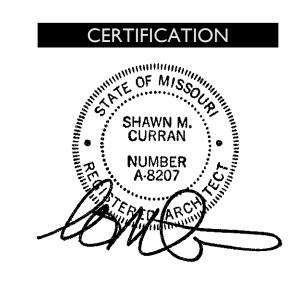












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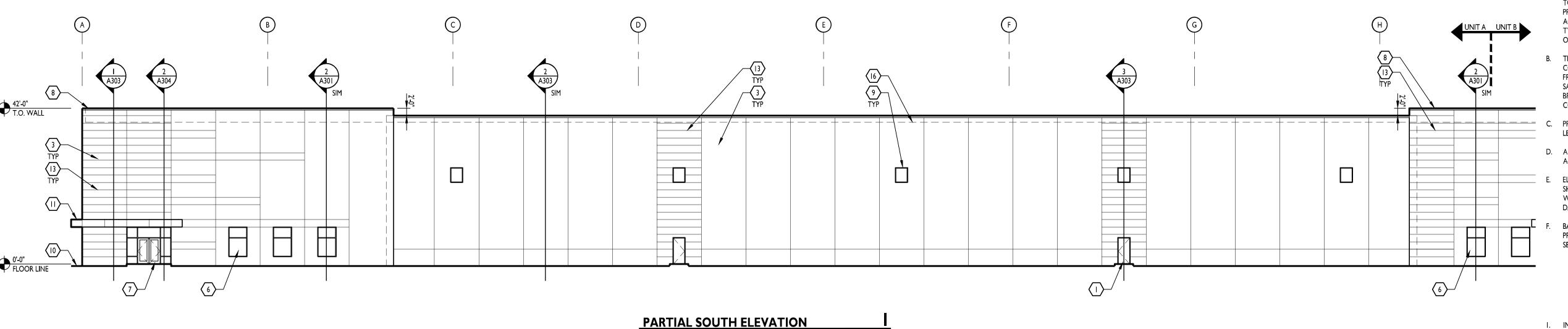
#### PROJECT INFORMATION

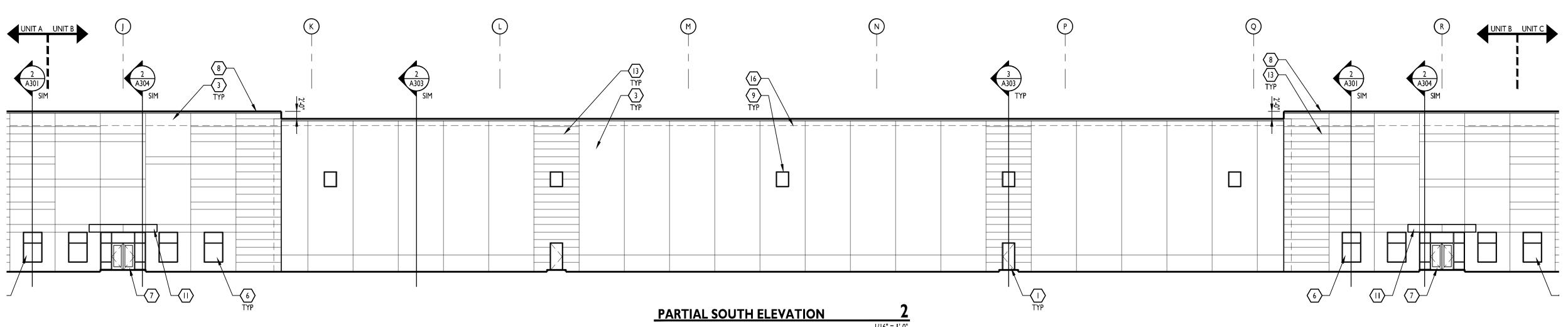
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

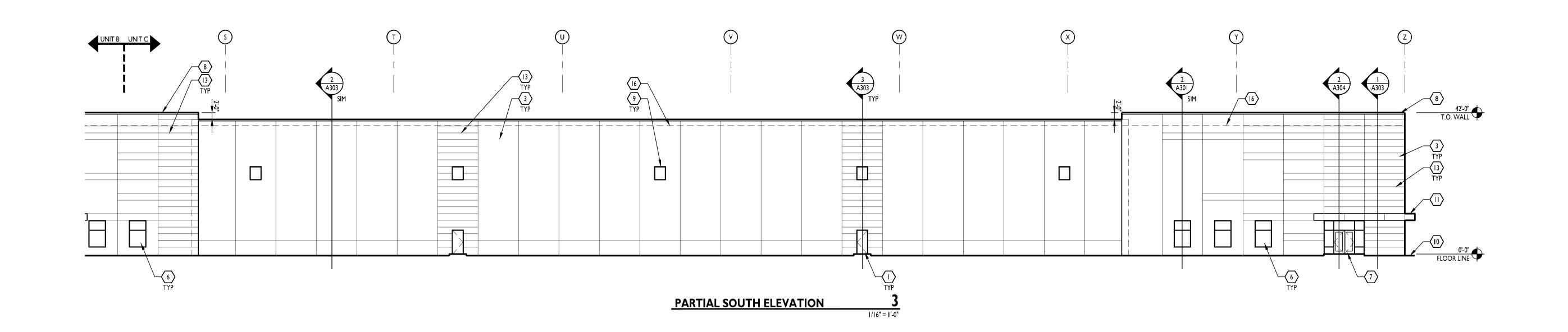
> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

PERMIT SET	04.26.2

OVERALL EXTERIOR ELEVATIONS







## GENERAL TILT WALL PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS, TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
- B. TILT WALL CONTRACTOR TO VERIFY AND CONFIRM TO GENERAL CONTRACTOR THAT ALL BOND BREAKERS HAVE BEEN REMOVED FROM THE FACE OF THE CONCRETE VIA PRESSURE WASHING OR SAND BLASTING. PROCESS IS DEPENDENT ON THE TYPE OF BOND BREAKER USED. TILE WALL CONTRACTOR TO SUPPLY A LETTER CONFIRMING THAT BOND BREAKER IS REMOVED.
- PRIOR TO PAINTING, VERIFY THAT PRECAST CONCRETE MOISTURE LEVEL IS 15% OR LOWER.
- D. ALL ACRYLIC PAINTS TO BE 100% ACRYLIC SHERWIN WILLIAMS A-100, SUPER PAINT OR EQUAL.
- ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLEX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS RO 30 + MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
- F. BASE LINE SPECIFICATION FOR THIS PROJECT:
  PRIMER COAT: LOXON SEALER A24W8300
  SECOND COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES

## **KEYED NOTES**

- INSULATED STEEL DOOR. SEE DOOR SCHEDULE. VERIFY PAINT COLOR WITH OWNER.
- 2. TYPICAL DOCK DOOR AND EQUIPMENT. SEE DOOR SCHEDULE
- 3. TILT WALL CONCRETE PANEL W/ PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
- 4. TYPICAL OVERHEAD DRIVE IN DOOR. SEE DOOR SCHEDULE.
- 5. DOCK STAIR AND BOLLARDS.
  - DOCK STAIR AND BOLLARDS.
- ANODIZED ALUMINUM STOREFRONT. LOW-E GLASS.
   TYPICAL ANODIZED ALUMINUM STOREFRONT DOOR. GLASS AND ALUMINUM COLOR TO MATCH STOREFRONT. SEE DOOR SCHEDULE.
- PRE-FINISHED COPING/ROOF EDGE, SEE ROOF PLAN.
   ANADOIZED ALLIMINIUM STOREFORM CLERESTORY LO

IN THE FIELD WITH FINAL LANDSCAPE PLAN.

- 9. ANODIZED ALUMINUM STOREFRONT CLERESTORY. LOW-E GLASS. SEE DOOR SCHEDULE. CENTERED IN PANEL.
- I0. GRADE LEVEL., SEE CIVIL PLANS FOR MORE INFORMATION.
   II. MANUFACTURED PAN & GUTTER AWNING EQUAL TO MAPES LUMIDECK OR EQUAL. COORDINATE SCUPPER/DRAIN LOCATIONS
- 12. KNOCK OUT PANEL IN TILT WALL, CENTERED IN PANEL. SIZED FOR 9'-0" x 10'0-" W/ REVEALS. PROVIDE REVEAL ALONG KNOCKOUT. 6" SOLID SECTION OF PANEL CENTERED ON REVEAL.
- 13. REVEALS @ CAST IN PANEL. SEE WALL SECTIONS FOR DETAIL &
- 14. WALL MOUNTED WALL PACK LIGHT FIXTURE MOUNTED AT 29'-8"
  AFF TO CENTER OF FIXTURE. SEE ELECTRICAL PLANS AND SITE
  LIGHTING PHOTOMETRIC PLANS FOR FURTHER INFORMATION.
- 15. TYPICAL PAINTED STEEL BOLLARDS.

CENTER ON PANEL.

- 16. DASHED LINE INDICATES SLOPE OF ROOF LINE BEYOND. SEE ROOF PLAN FOR MORE INFORMATION.
- 24" WIDE x 8" TALL OVERFLOW SCUPPER OPENING IN WALL.
  BOTTOM TO BE AT 34'-0" AFF WITH CENTER OF OPENING 48"
  AWAY FROM COLUMN LINE AS SHOWN. COORDINATE WITH
  FINAL ROOF FRAMING ELEVATIONS.
- ROOF DRAIN ON INTERIOR SIDE OF PANEL. COORDINATE LOCATION TO BE CENTERED BETWEEN DOORS / KNOCKOUTS, AND TO AVOID CLERESTORY WINDOWS.



ARCHITECTURE

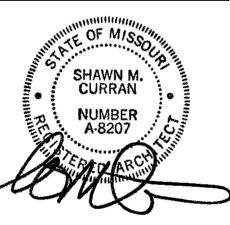
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#### CERTIFICATION



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#### PROJECT INFORMATION

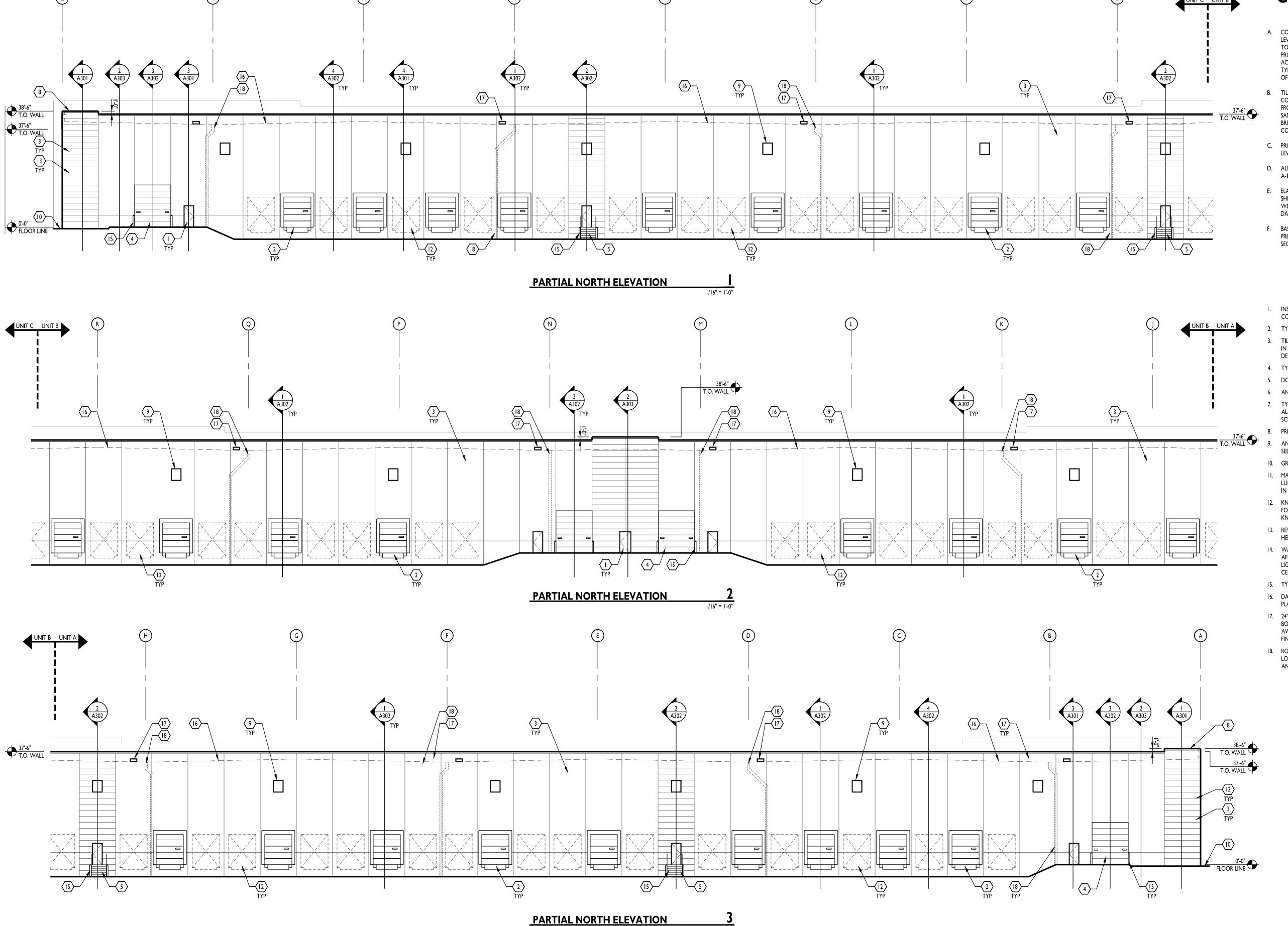
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LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE D	
PERMIT SET	04.26.2

EXTERIOR ELEVATIONS



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- E. ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLEX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS RO 30 + MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
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  PRIMER COAT: LOXON SEALER A24W8300
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#### **KEYED NOTES**

- I. INSULATED STEEL DOOR. SEE DOOR SCHEDULE. VERIFY PAINT COLOR WITH OWNER.
- 2. TYPICAL DOCK DOOR AND EQUIPMENT. SEE DOOR SCHEDULE
- TILT WALL CONCRETE PANEL W/ PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
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- 5. DOCK STAIR AND BOLLARDS.
- DOCK STAIR AND BOLLARDS.
- ANODIZED ALUMINUM STOREFRONT. LOW-E GLASS.
   TYPICAL ANODIZED ALUMINUM STOREFRONT DOOR. GLASS AND ALUMINUM COLOR TO MATCH STOREFRONT. SEE DOOR SCHEDULE.
- PRE-FINISHED COPING/ROOF EDGE. SEE ROOF PLAN.ANODIZED ALUMINUM STOREFRONT CLERESTORY. LOW-E GLASS.
- SEE DOOR SCHEDULE. CENTERED IN PANEL.
- I0. GRADE LEVEL., SEE CIVIL PLANS FOR MORE INFORMATION.
   II. MANUFACTURED PAN & GUTTER AWNING EQUAL TO MAPES LUMIDECK OR EQUAL. COORDINATE SCUPPER/DRAIN LOCATIONS IN THE FIELD WITH FINAL LANDSCAPE PLAN.
- 12. KNOCK OUT PANEL IN TILT WALL, CENTERED IN PANEL. SIZED FOR 9'-0" x 10'0-" W/ REVEALS. PROVIDE REVEAL ALONG KNOCKOUT. 6" SOLID SECTION OF PANEL CENTERED ON REVEAL.
- 13. REVEALS @ CAST IN PANEL. SEE WALL SECTIONS FOR DETAIL & HEIGHTS.
- 14. WALL MOUNTED WALL PACK LIGHT FIXTURE MOUNTED AT 29'-8" AFF TO CENTER OF FIXTURE. SEE ELECTRICAL PLANS AND SITE LIGHTING PHOTOMETRIC PLANS FOR FURTHER INFORMATION. CENTER ON PANEL.
- 15. TYPICAL PAINTED STEEL BOLLARDS.
- 16. DASHED LINE INDICATES SLOPE OF ROOF LINE BEYOND. SEE ROOF PLAN FOR MORE INFORMATION.
- 17. 24" WIDE x 8" TALL OVERFLOW SCUPPER OPENING IN WALL. BOTTOM TO BE AT 34'-0" AFF WITH CENTER OF OPENING 48" AWAY FROM COLUMN LINE AS SHOWN. COORDINATE WITH FINAL ROOF FRAMING ELEVATIONS.
- 18. ROOF DRAIN ON INTERIOR SIDE OF PANEL. COORDINATE LOCATION TO BE CENTERED BETWEEN DOORS / KNOCKOUTS, AND TO AVOID CLERESTORY WINDOWS.



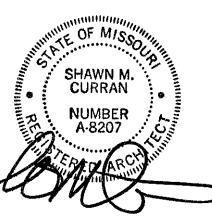
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#### CERTIFICATION



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#### PROJECT INFORMATION

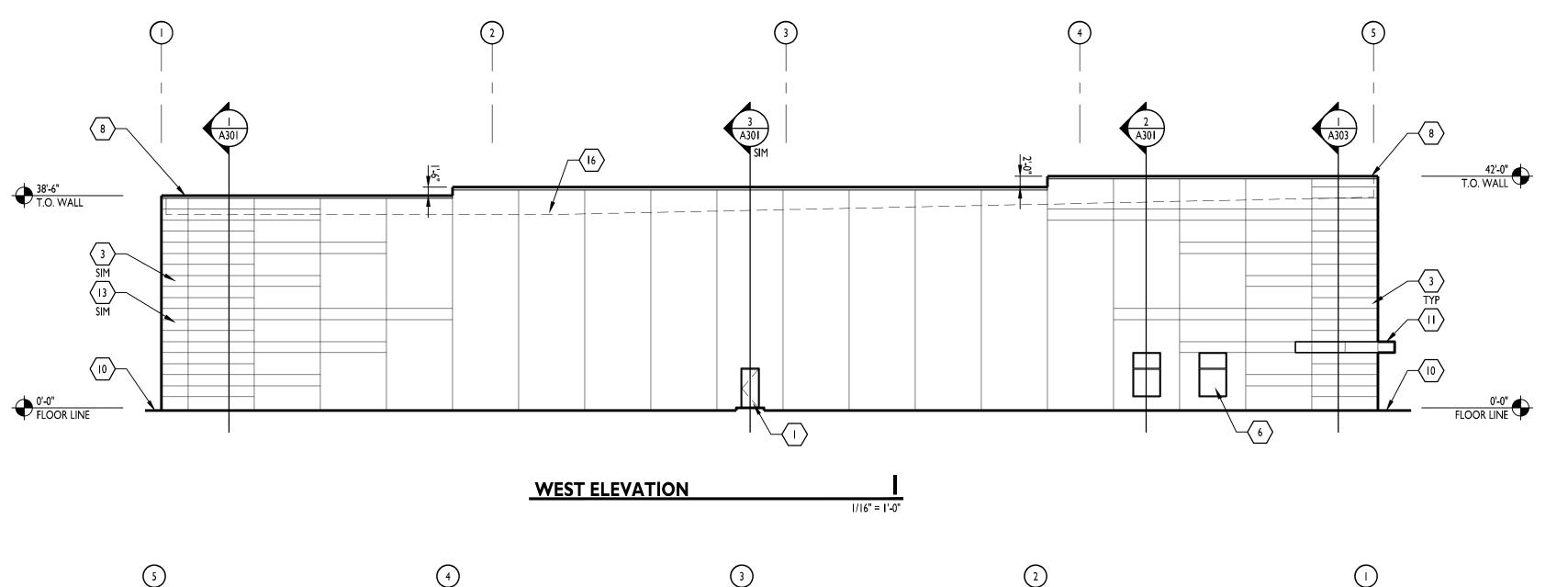
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

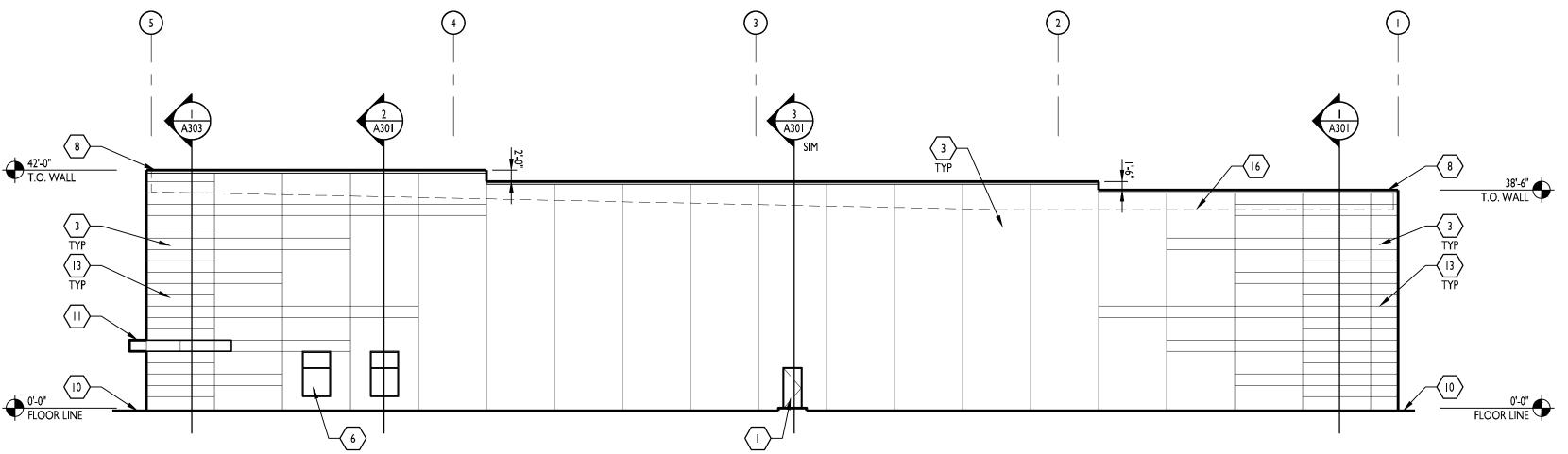
> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

PERMIT SET	04.26.2

220019

EXTERIOR ELEVATIONS





**EAST ELEVATION** 

## GENERAL TILT WALL PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS, TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
- B. TILT WALL CONTRACTOR TO VERIFY AND CONFIRM TO GENERAL CONTRACTOR THAT ALL BOND BREAKERS HAVE BEEN REMOVED FROM THE FACE OF THE CONCRETE VIA PRESSURE WASHING OR SAND BLASTING. PROCESS IS DEPENDENT ON THE TYPE OF BOND BREAKER USED. TILE WALL CONTRACTOR TO SUPPLY A LETTER CONFIRMING THAT BOND BREAKER IS REMOVED.
- C. PRIOR TO PAINTING, VERIFY THAT PRECAST CONCRETE MOISTURE LEVEL IS 15% OR LOWER.
- D. ALL ACRYLIC PAINTS TO BE 100% ACRYLIC SHERWIN WILLIAMS A-100, SUPER PAINT OR EQUAL.
- E. ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLEX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS RO 30 + MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
- F. BASE LINE SPECIFICATION FOR THIS PROJECT: PRIMER COAT: LOXON SEALER A24W8300 SECOND COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES



ARCHITECTURE

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- I. INSULATED STEEL DOOR. SEE DOOR SCHEDULE. VERIFY PAINT COLOR WITH OWNER.
- 2. TYPICAL DOCK DOOR AND EQUIPMENT. SEE DOOR SCHEDULE
- 3. TILT WALL CONCRETE PANEL W/ PAINTED FINISH. REVEALS CAST IN AS SHOWN, REFER TO WALL SECTIONS FOR ADDITIONAL
- 4. TYPICAL OVERHEAD DRIVE IN DOOR. SEE DOOR SCHEDULE.
- DOCK STAIR AND BOLLARDS.
- 6. ANODIZED ALUMINUM STOREFRONT. LOW-E GLASS.
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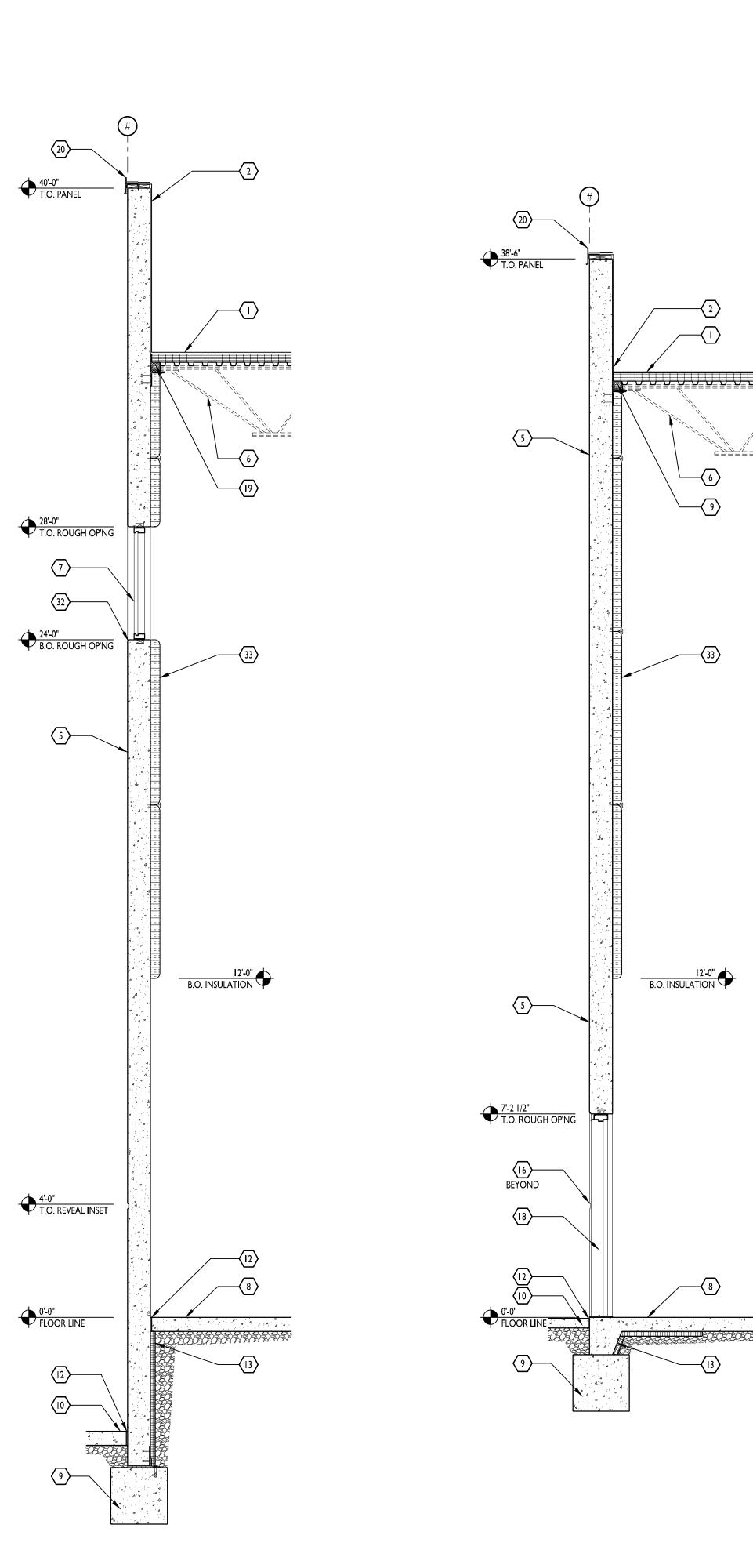
#### PROJECT INFORMATION

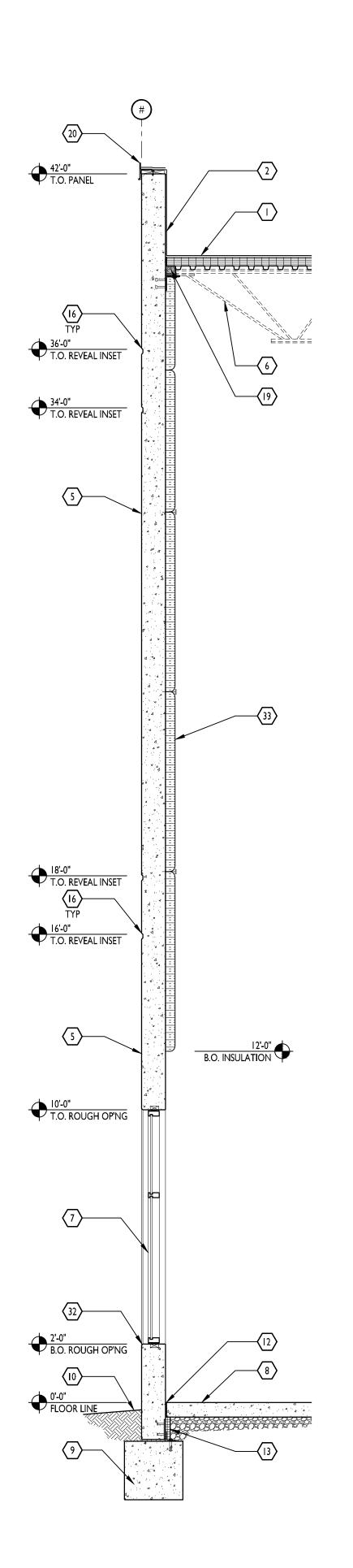
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

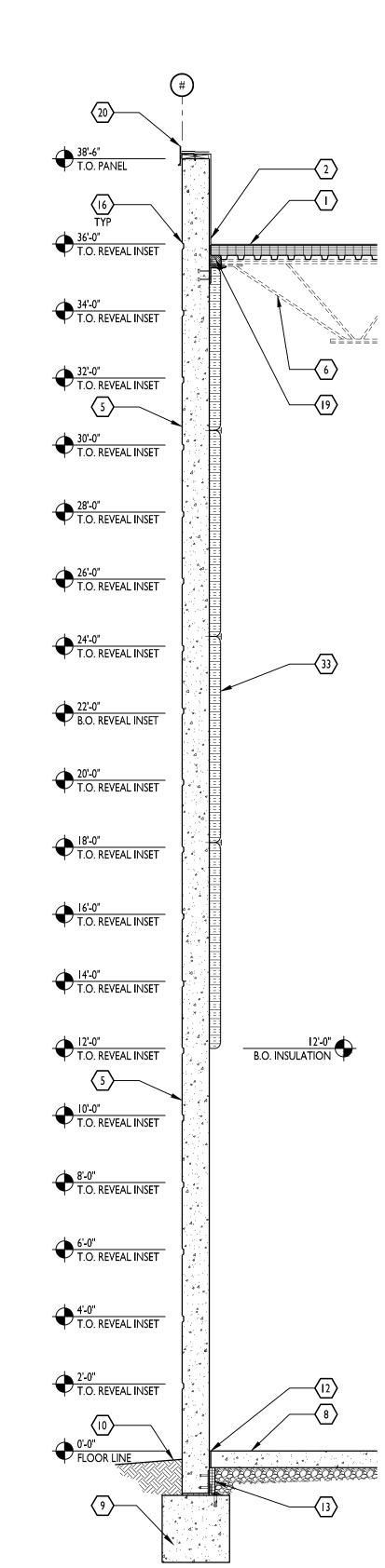
> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

04.26.2

**EXTERIOR ELEVATIONS** 







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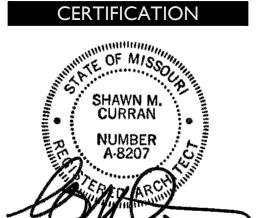
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#### PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE DATES				
PERMIT SET	04.20			

220019

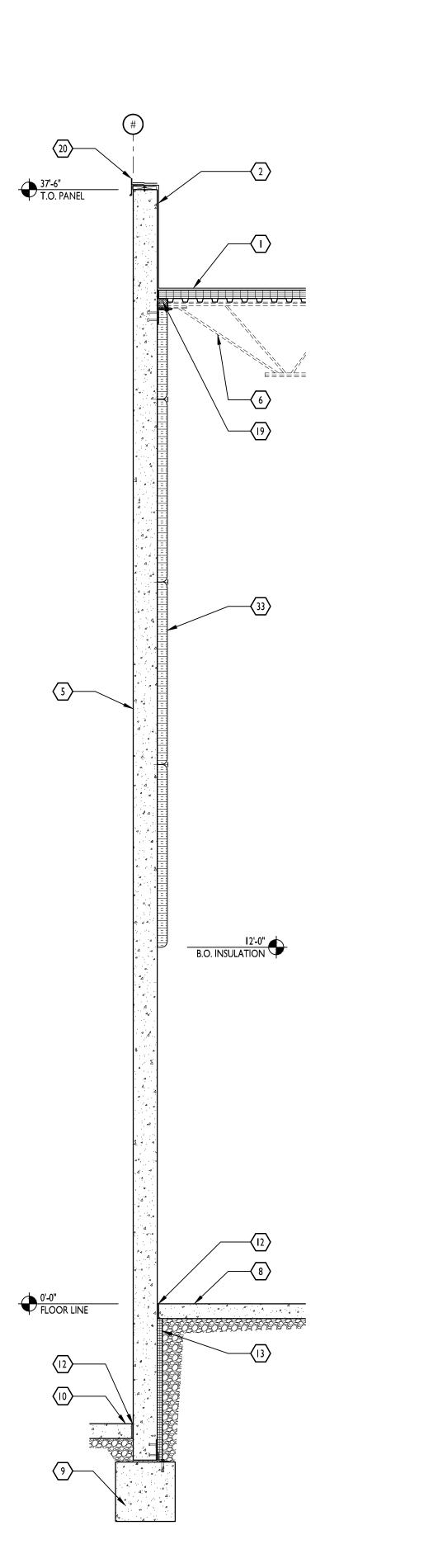
WALL SECTIONS

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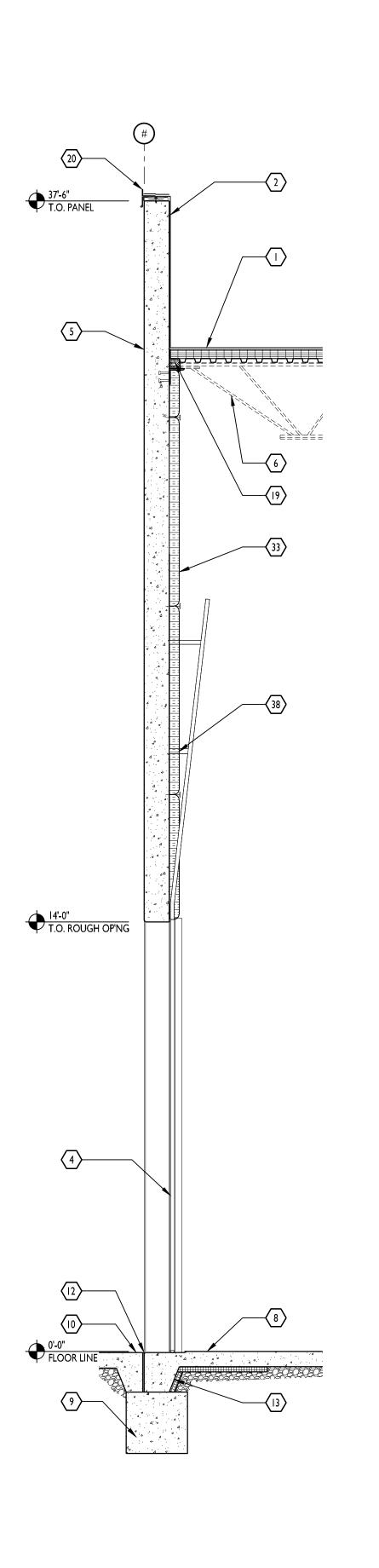
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 3/8" = 1-0"

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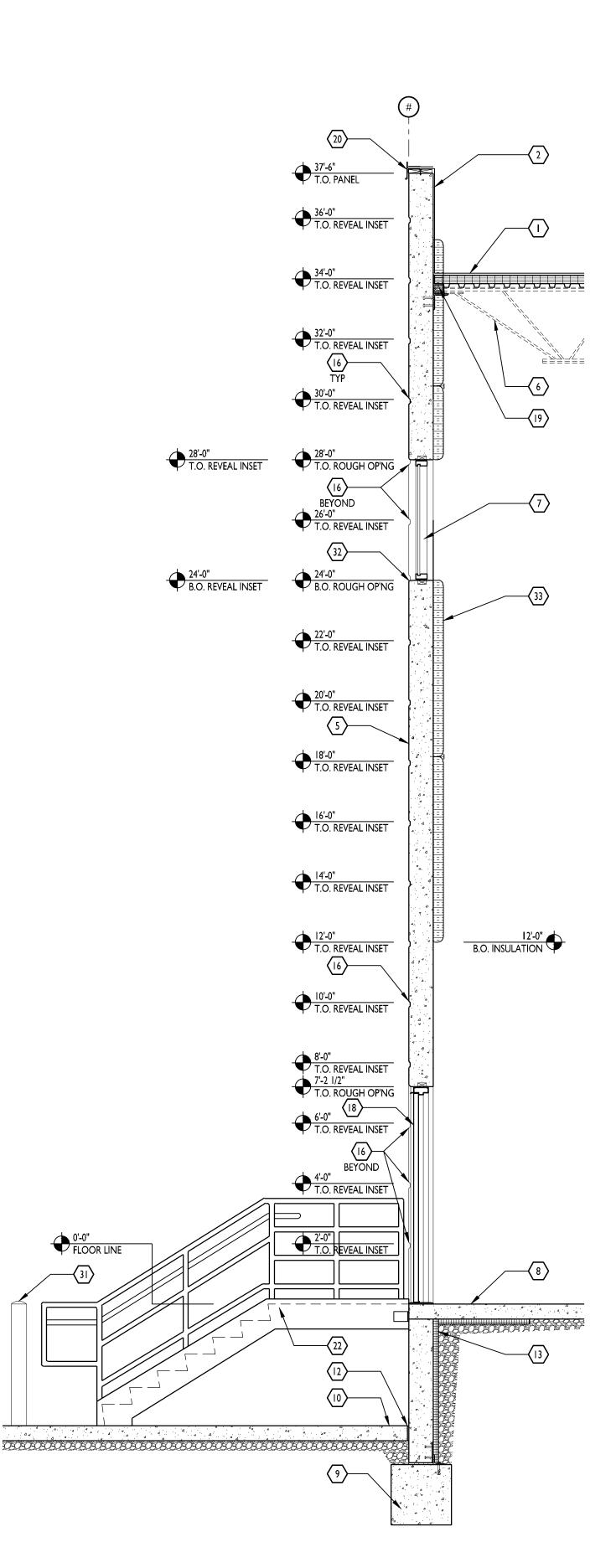
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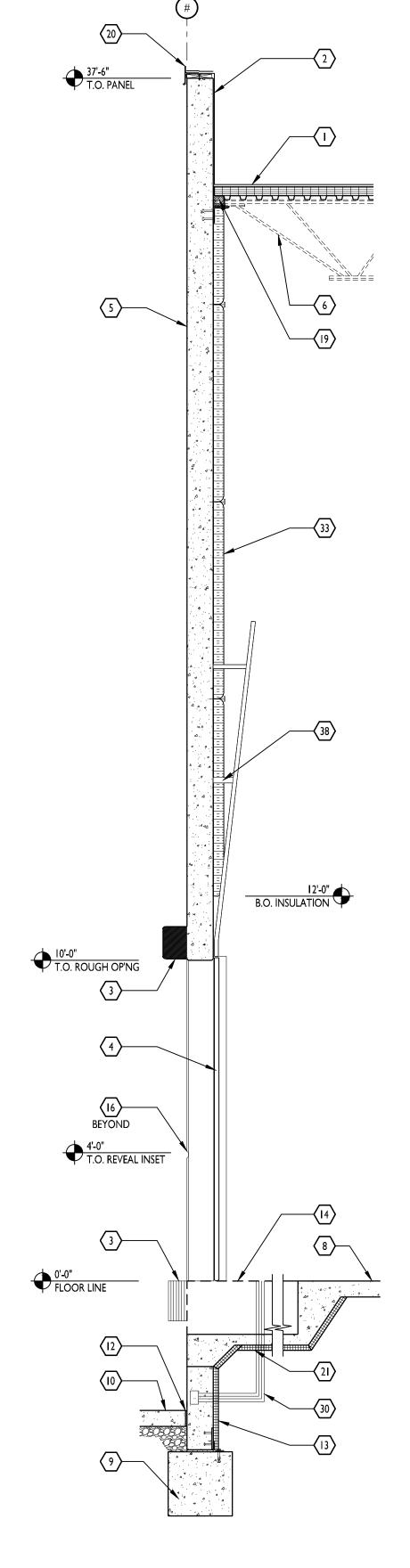


**SECTION** 



**SECTION** 





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- FOR INFORMATION

  22 ALVALING HATCH COORDINATE BLACEMENT WITH BA

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LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE DATES				
PERMIT SET	04.26.22			

WALL SECTIONS

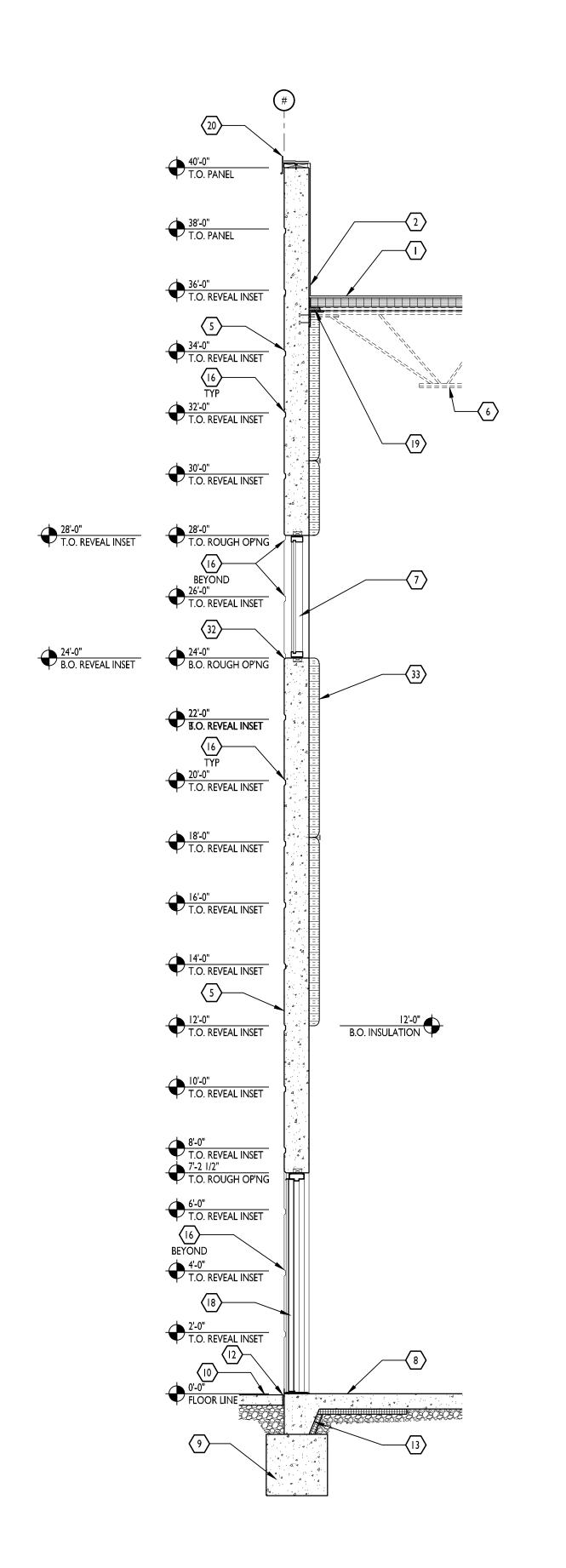
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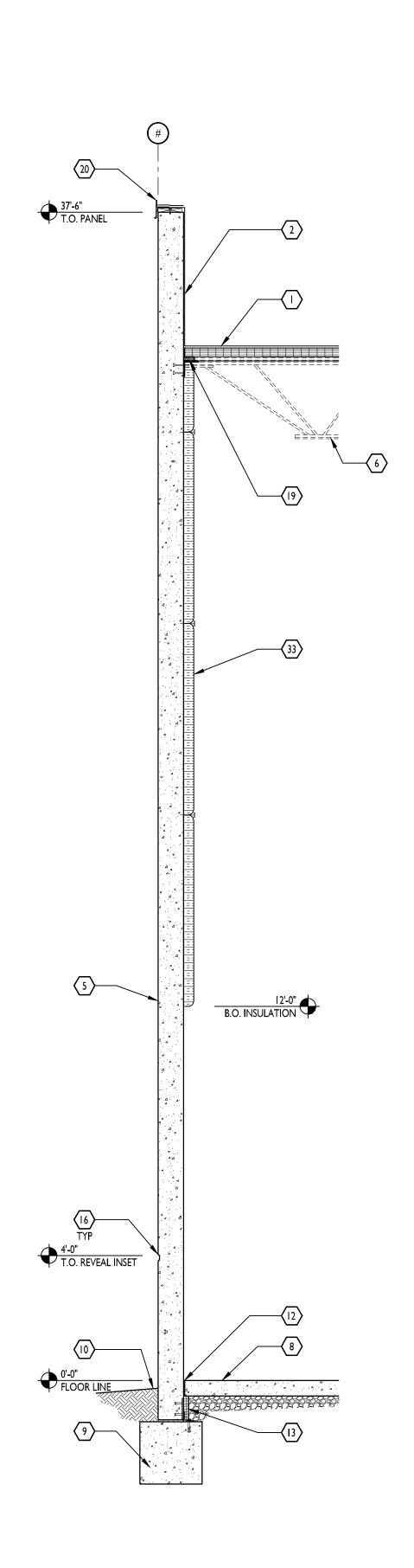
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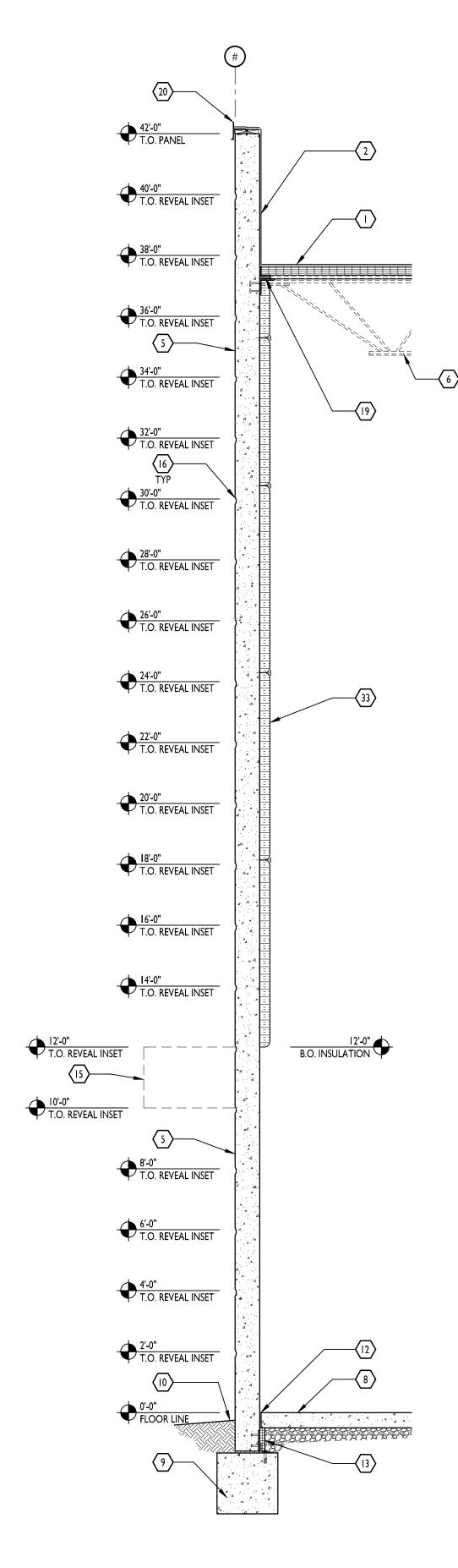
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  28. 18 INCH WIDE STEEL LADDER WITH I INCH DIAMETER STEEL RUNGS
- SIDES PER LADDER SUPPLIER REQUIREMENTS.

  29. I 1/2" DIA STEEL 2 LINE GUARD RAIL WITH 4" TALL TOE BOARD AT
- 30. PROVIDE ADD ALTERNATE PRICING TO PROVIDE CONDUIT FOR

AT 12 INCHES O.C. SECURE STRINGERS TO FLOOR - TYPICAL BOTH

- FUTURE TRAILER RESTRAINT

  31. CONCRETE FILLED PIPE BOLLARDS, PAINTED SAFETY YELLOW. REFER
- TO CIVIL DRAWINGS FOR MORE INFORMATION

  32. FLASHING TO EXTEND OVER EDGE OF CONCRETE. PROVIDE HEMMED
- 33. STICK PIN INSULATION W/ MINIMUM R-13 VALUE. USE ADHESIVES &
- FASTENERS TO SECURE INSULATION.
- 34. 8" REINFORCED CMU WALL. REFER TO STRUCTURAL DWGS.35. HONEYWELL GLIDELOC VERTICAL RAIL AND FALL ARRESTER SYSTEM
- MOUNTED TO CENTER OF RUNGS, OR EQUAL.
- CONSTRUCT I HR RATED WALL ON TOP OF CMU TO ROOF DECK. REFER TO WALL TYPE W4A ON A001.
- 37. TYPICAL DEFLECTION TRACK. REFER TO A501 FOR DETAIL.38. CONTRACTOR TO COORDINATE REQUIRED OVERHEAD DOOR

CLEARANCES WITH INSULATION PLACEMENT.

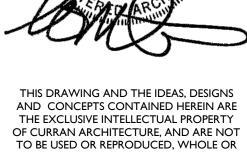
## CURRAN ARCHITECTURE

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F :: 317 . 288 . 0753







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PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS

BUILDING C LOT 3

X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

	ISSUE DATES	
PERMIT SET		04.26.22

220019

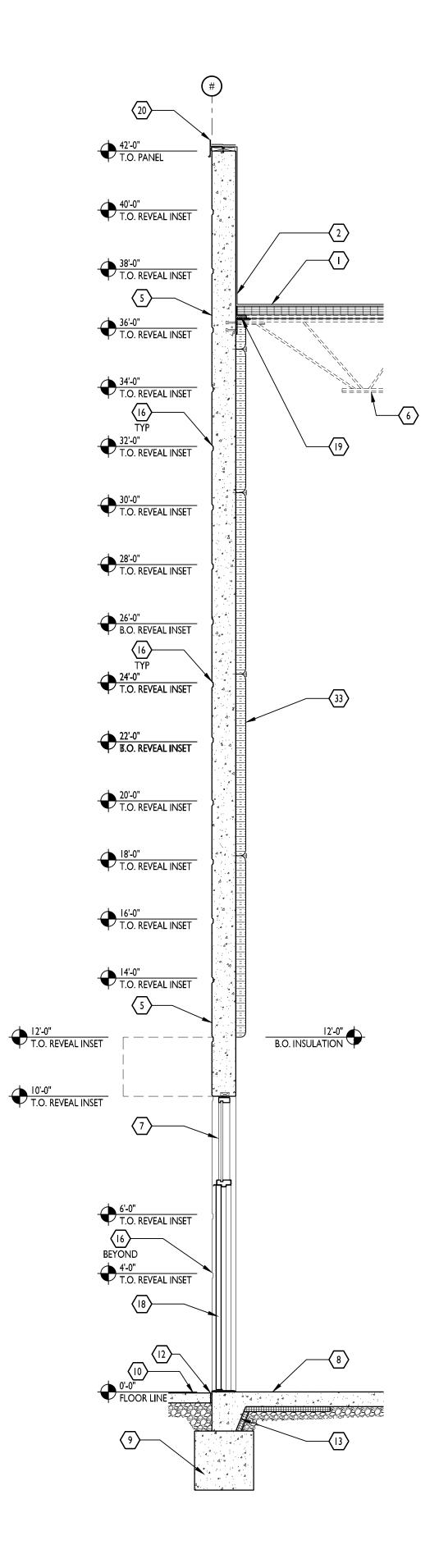
WALL SECTIONS

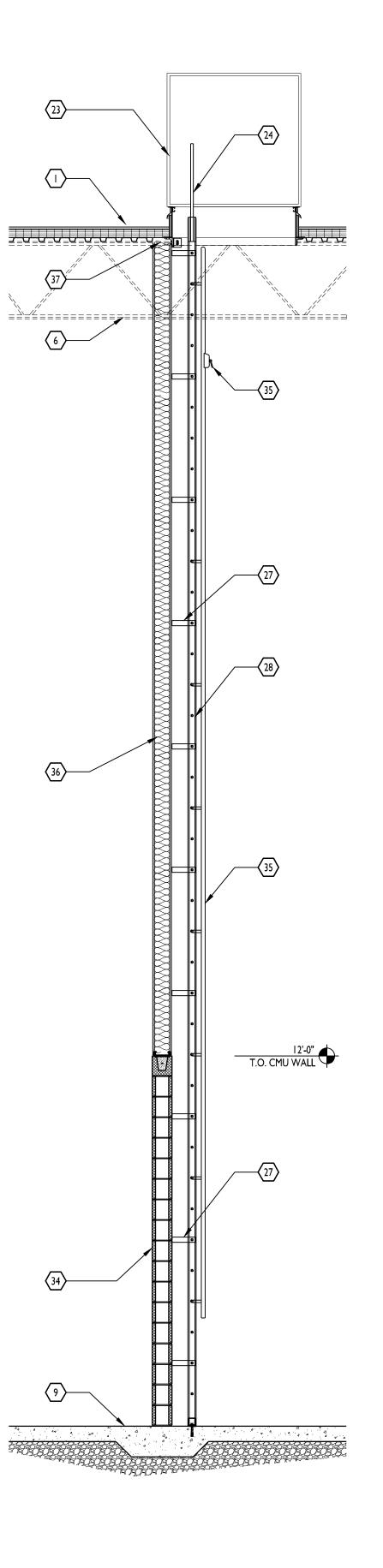
**A303** 

 SECTION
 2

 3/8" = 1'-0"
 SECTION

SECTION





#### **KEYED NOTES**

- ROOF MEMBRANE AND INSULATION BOARD. SEE ROOF PLAN FOR INFORMATION. UNDERSIDE OF DECKING FACTORY FINISHED, COLOR WHITE. MINIMUM SLOPE 1/4 INCH PER FOOT. TYPICAL BUILDING ROOFING UNLESS NOTED OTHERWISE.
- 2. WRAP ROOF MEMBRANE UP BACK SIDE OF TILTWALL PANEL, OVER TREATED 2x BLOCKING ATTACHED TO TILTWALL PANEL. PROVIDE PRE-FINISHED METAL COPING WITH CONTINUOUS HOLD DOWN CLIP. FOR ALL ROOF EDGES UNLESS NOTED OTHERWISE.
- 3. DOCK SEAL AND DOCK BUMPER
- 4. PRE-FINISHED INSULATED STEEL OVERHEAD DOOR. REFER TO DOOR SCHEDULE.
- TYPICAL WALL PANELS: TILTWALL CONCRETE PANELS WITH STEEL FORM PAINT READY EXTERIOR FINISH. REFER TO I/A301 FOR TYPICAL VERTICAL SPACING OF REVEALS. REFER TO ELEVATIONS FOR SPECIFIC REVEAL LAYOUT PER PANEL.
- 6. STRUCTURAL STEEL FRAMING. REFER TO ENGINEERING DRAWINGS. COORDINATE STRUCTURAL WITH TILTWALL MANUFACTURER. ORIENTATION OF FRAMING MAY VARY PER SECTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION
- THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING WITH I" INSULATED TINTED GLASS. REFER TO STOREFRONT ELEVATIONS FOR MORE INFORMATION.
- 8. CONCRETE SLAB ON GRADE. SEE STRUCTURAL.
- 9. REINFORCED CONCRETE FOUNDATION. SEE STRUCTURAL.
- 10. SEE CIVIL FOR EXTERIOR GRADING, SIDEWALKS, ETC...11. PROVIDE HINGED LOCKING GATE ON LADDER.
- 12. 1/2" EXPANSION JOINT
- 13. 2" RIGID INSULATION BOARD, TYPICAL, UNDERSIDE OF SLAB TO TOP OF FOOTING. AT DOORS AND LOCATIONS WHERE DOORS OR STOREFRONT EXTENDS TO FLOOR SLAB, EXTEND THE INSULATION HORIZONTALLY UNDER THE SLAB A MINIMUM OF 4'.
- 14. DOCK LEVELER PIT. VERIFY DIMENSIONS WITH SUBMITTAL PACKAGE OF LEVELER UNIT. SEE STRUCTURAL FOR REINFORCEMENT INFORMATION.
- I5. MANUFACTURED PAN AND GUTTER AWNING SYSTEM WITH SCUPPER DIRECTED TO LANDSCAPE BELOW, MAPES LUMIDECK OR EQUAL. FINISH AND SCUPPER LOCATION TO BE SELECTED BY ARCHITECT.
- 16. REVEALS CAST IN TILTWALL WALL. REFER TO 8/A501. SEE ELEVATIONS FOR LOCATIONS OF REVEALS ON EACH PANEL
- 17. TYPICAL SEALANT JOINT

PLATFORM.

- 18. INSULATED STEEL DOOR AND HOLLOW METAL FRAME. REFER TO FLOOR PLAN FOR NUMBER AND DOOR SCHEDULE FOR SIZE, HARDWARE, AND EINISH
- 19. FOAM ENCLOSURE, TYPICAL ENTIRE PERIMETER OF DECK. VERIFY MATERIAL AND DETAILS. COORDINATE WITH DECK MANUFACTURER/SUPPLIER. FOAM BETWEEN BLOCKING AND TOP LAYER OF ROOF INSULATION. EXTEND DOWN TO DECK AND JOIST ANGLES.
- 20. PRE-FINISHED METAL COPING WITH CONT. HOLD DOWN CLIP. COLOR SELECTED BY ARCHITECT FROM FULL RANGE OF MANUFACTURER'S COLORS
- 21. INSULATION IS TO EXTEND TO BACK OF DOCK LEVELER PIT, AND EXTEND VERTICALLY UP SIDES AND BACK OF PIT TO COMPLETELY INSULATE PIT PERIMETER.
- 22. GALVANIZED STEEL DOCK STAIR ASSEMBLY. REFER TO 11 AND 12/A501 FOR INFORMATION
- 23. 4' X 4' INSULATED ROOF HATCH. COORDINATE PLACEMENT WITH ROOF FRAMING. LADDER TO BE CENTERED BELOW HATCH.
- 24. "LADDER UP" SUPPORT POST
- 25. PROVIDE BRACING AS REQUIRED BY LADDER SUPPLIER.
- 26. OSHA COMPLIANT ROOF ACCESS LADDER CAGE.27. LADDER BRACKETS. ANCHOR TO SLAB, ROOF FRAMING AND
- 28. 18 INCH WIDE STEEL LADDER WITH 1 INCH DIAMETER STEEL RUNGS AT 12 INCHES O.C. SECURE STRINGERS TO FLOOR TYPICAL BOTH SIDES PER LADDER SUPPLIER REQUIREMENTS.
- 29. I 1/2" DIA STEEL 2 LINE GUARD RAIL WITH 4" TALL TOE BOARD AT PLATFORM LEVEL
- 30. PROVIDE ADD ALTERNATE PRICING TO PROVIDE CONDUIT FOR FUTURE TRAILER RESTRAINT
- 31. CONCRETE FILLED PIPE BOLLARDS, PAINTED SAFETY YELLOW. REFER

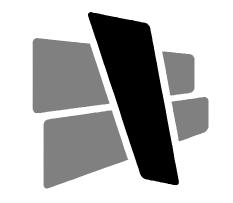
TO CIVIL DRAWINGS FOR MORE INFORMATION

- 32. FLASHING TO EXTEND OVER EDGE OF CONCRETE. PROVIDE HEMMED
- 33. STICK PIN INSULATION W/ MINIMUM R-13 VALUE. USE ADHESIVES &
- FASTENERS TO SECURE INSULATION.

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- 35. HONEYWELL GLIDELOC VERTICAL RAIL AND FALL ARRESTER SYSTEM
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  36. CONSTRUCT I HR RATED WALL ON TOP OF CMU TO ROOF DECK.
- REFER TO WALL TYPE W4A ON A001.
- 37. TYPICAL DEFLECTION TRACK. REFER TO A501 FOR DETAIL.38. CONTRACTOR TO COORDINATE REQUIRED OVERHEAD DOOR

CLEARANCES WITH INSULATION PLACEMENT.



# CURRAN

ARCHITECTURE
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PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

	ISSUE DATES	
RMIT SET		04.2

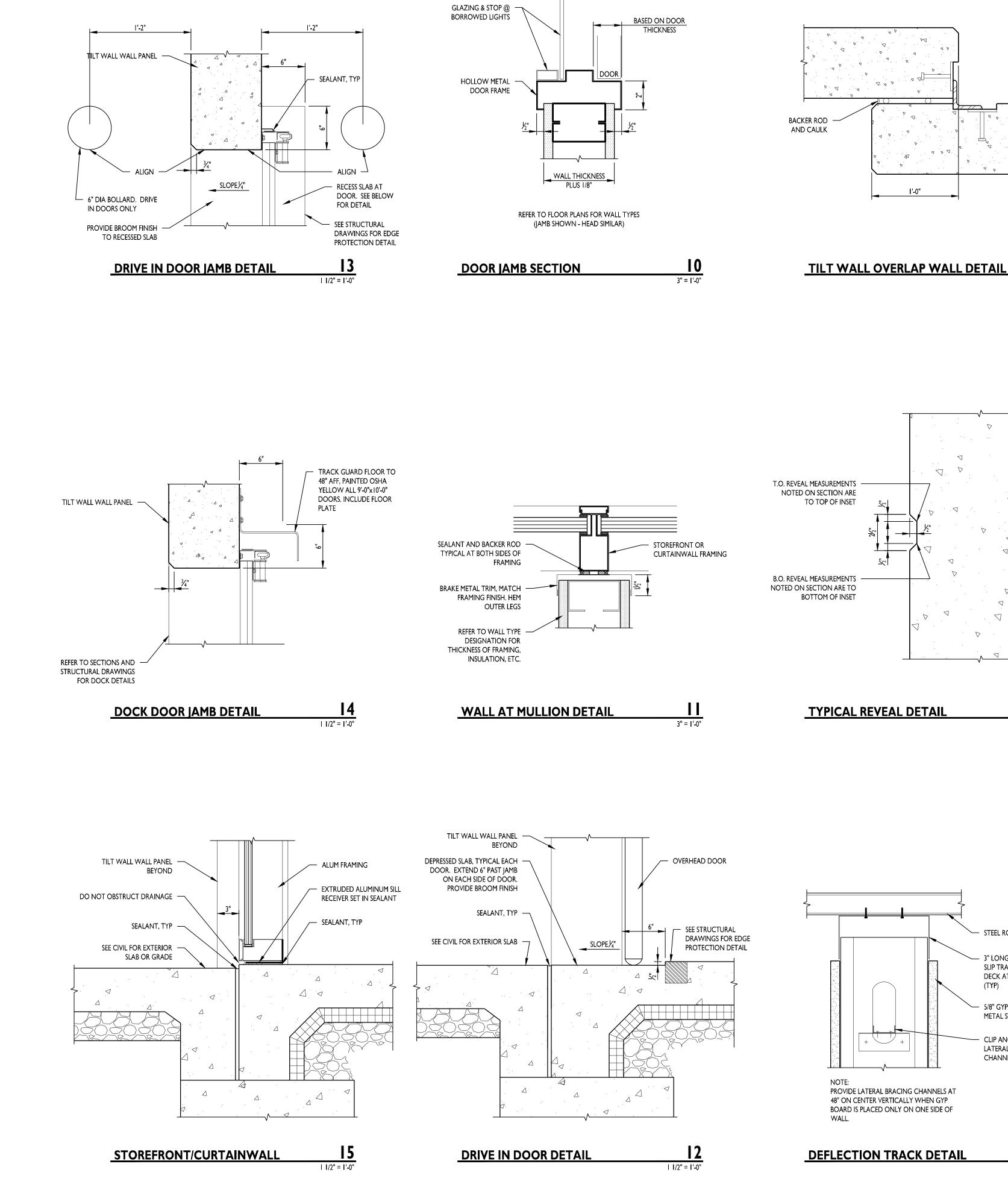
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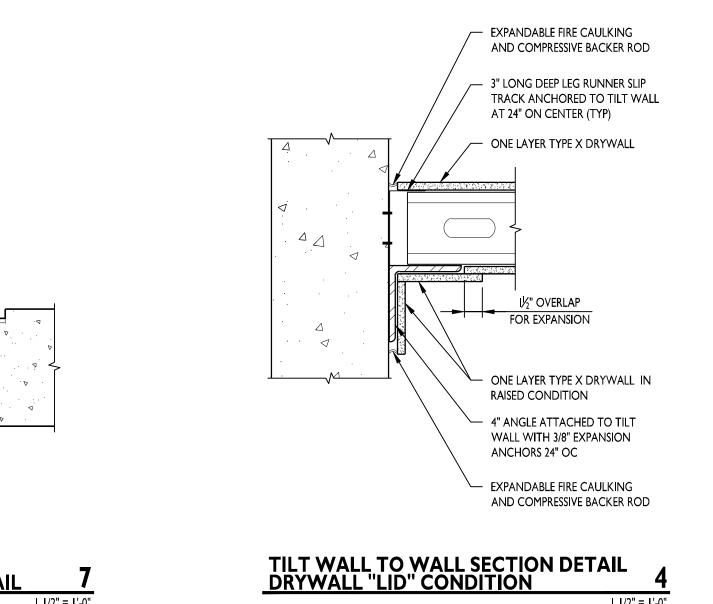
WALL SECTIONS

**A304** 

SECTION 2
3/8" = 1'-0"

SECTION





BACKER ROD

AND CAULK

STEEL ROOF DECK

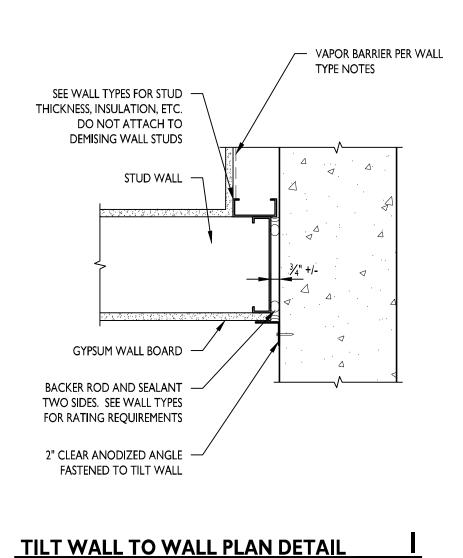
- 3" LONG DEEP LEG RUNNER SLIP TRACK ANCHORED TO

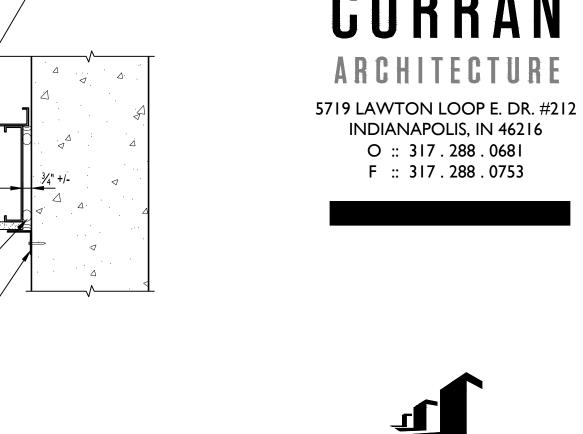
DECK AT 24" ON CENTER

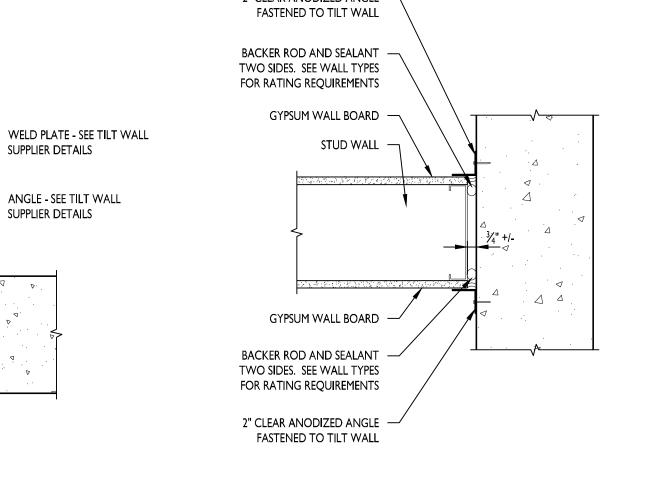
5/8" GYP BOARD OVER METAL STUD FRAMING

LATERAL BRACING CHANNEL AND METAL STUD

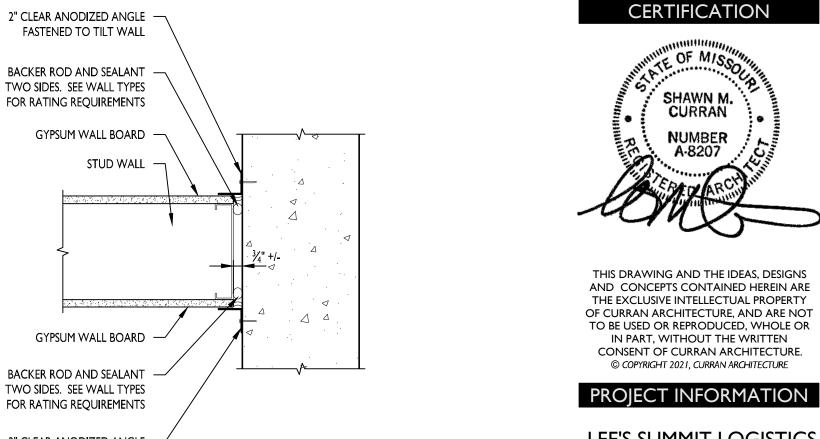
CLIP ANGLE ANCHORED TO







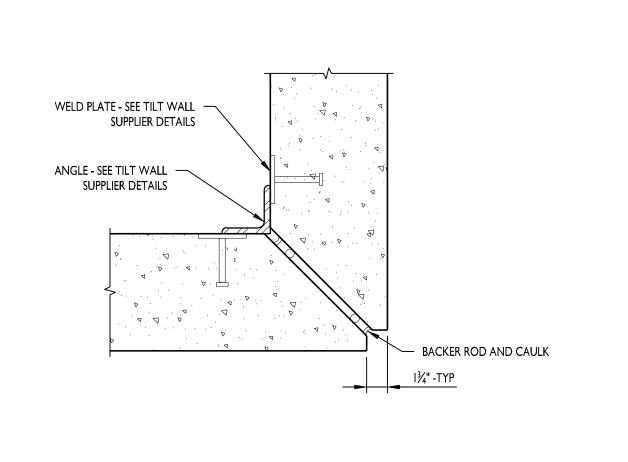
TILT WALL TO WALL PLAN DETAIL





SCANNELL

NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

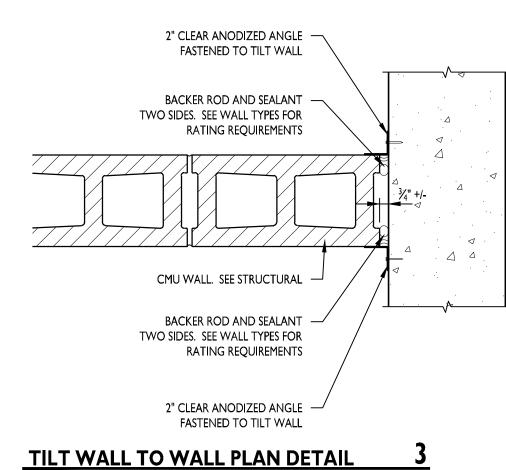


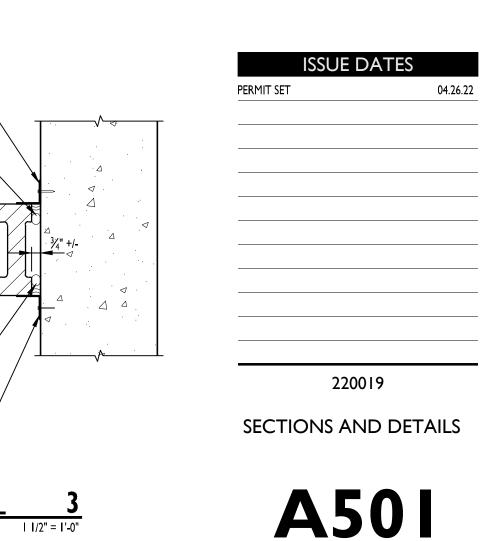
TILT WALL MITER CORNER DETAIL

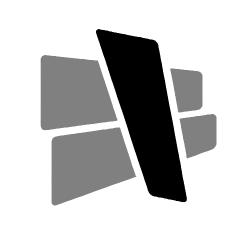
TILT WALL BOX CORNER DETAIL

SUPPLIER DETAILS

ANGLE - SEE TILT WALL SUPPLIER DETAILS





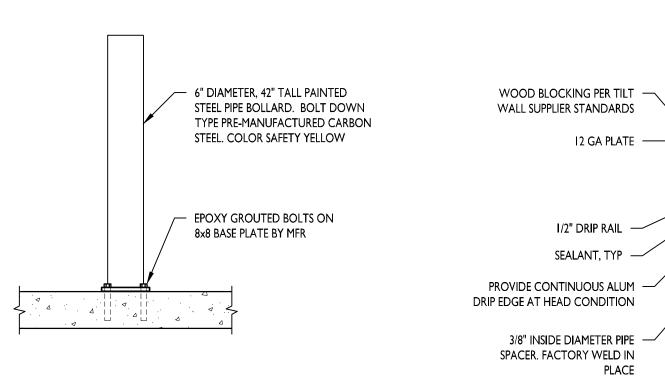




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**CERTIFICATION** 









— TILT WALL WALL PANEL

— 3/8" EXPANSION BOLT

I/4" SEALANT, TYP

PROVIDE SOLID SHIMS &

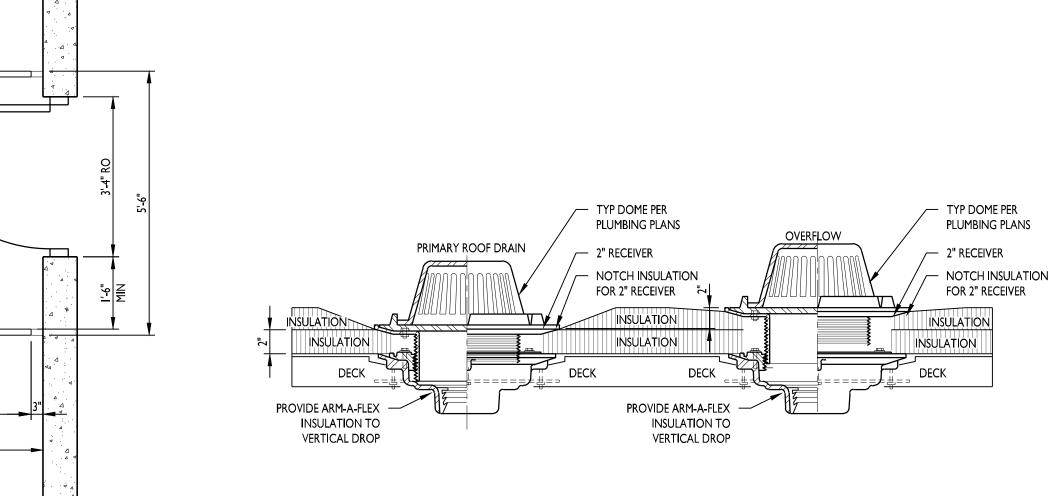
PAINTABLE SEALANT, TYP

- HOLLOW METAL DOOR FRAME

- PACK FRAME WITH INSULATION

FIELD WELD & GRIND SMOOTH

AFTER ASSEMBLY



7 EQ RISERS TO
TOTAL APPROX 4'-0"

6 EQ TREADS AT

II" TO TOTAL 5'-6"

**DOCK STAIR PLAN** 

OF STAIR RUN

PROVIDE 6 TREADS @ II" NET=5'-6"

**DOCK STAIR ELEVATION** 

5'-0"

FACE OF TILT WALL —

ALL STAIR ATTACHMENT TO —

RESPONSIBILITY OF STAIR MANUFACTURER AND PROVIDER

STRUCTURE IS SOLE

SLOPE FROM BLDG

PROVIDE CODE COMPLIANT

HANDRAILS AT BOTH SIDES

1½" OUTSIDE DIAMETER -

GALVANIZED STEEL HANDRAIL BY STAIR MFR

RISERS AND STRINGERS.

- DIMENSION IS APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO STAIR CONSTRUCTION

OPEN GRATE GALVANIZED STEEL —

TREADS AND LANDING WITH SLIP RESISTANT NOSINGS. CLOSED

PIPE BOLLARD — - SEE CIVIL 12¼" x 3¼" (12GA) STEEL W BEAM — HIGHWAY STYLE GUARDRAIL.

SEE PLAN FOR LENGTH

5/8" DIA BOLT (BUTTON

HEAD OVAL SHOULDER)

HEX NUT CUT WASHERS

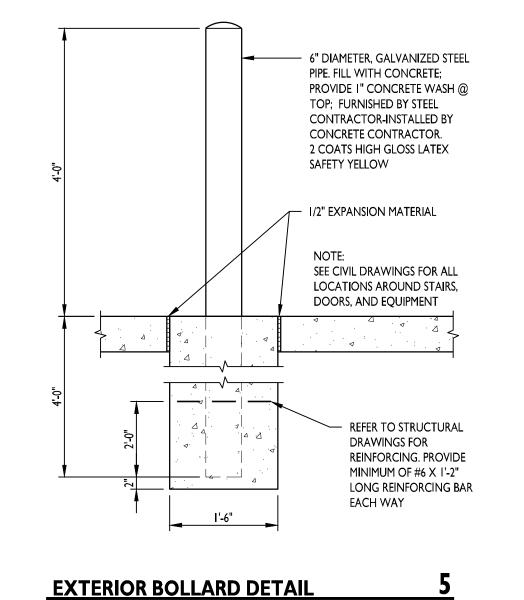
EPOXY GROUT BOLTS — (TYP 4 PER PLATE)

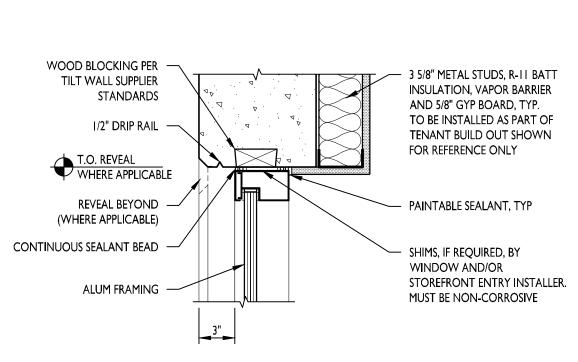
**BOLT-DOWN GUARDRAIL DETAIL** 

W6X15 POST @ 12'-0" OC

CONCRETE FLOOR

WELD TO STEEL BASE PLATE







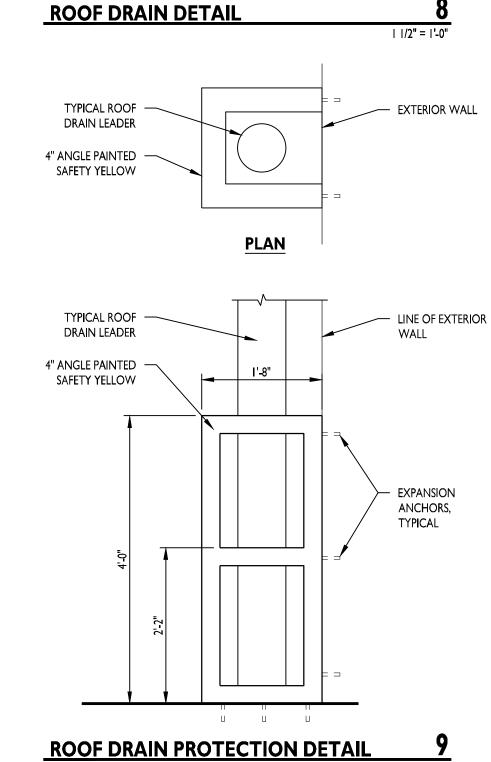


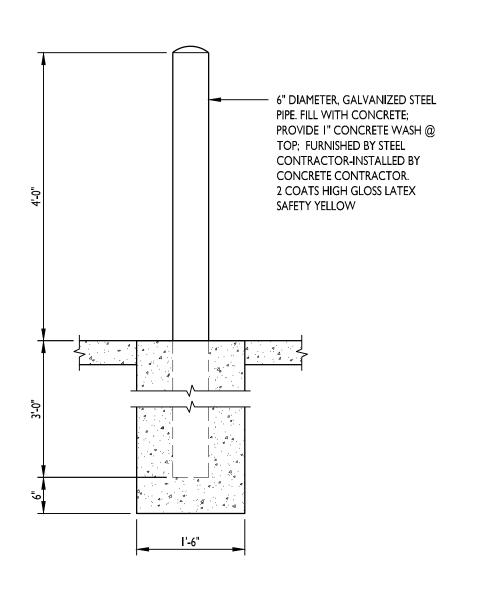
X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

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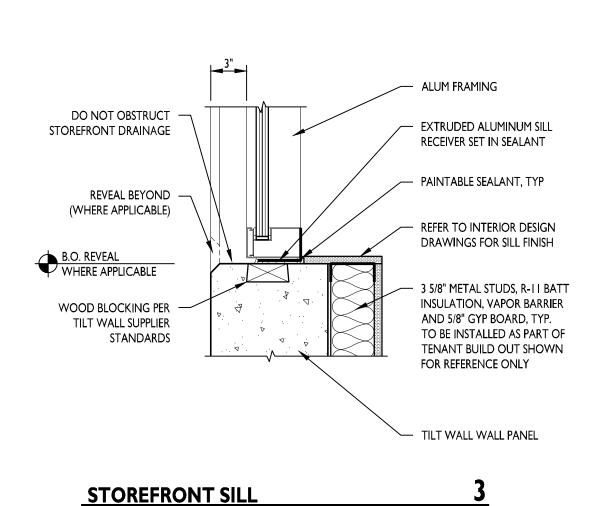
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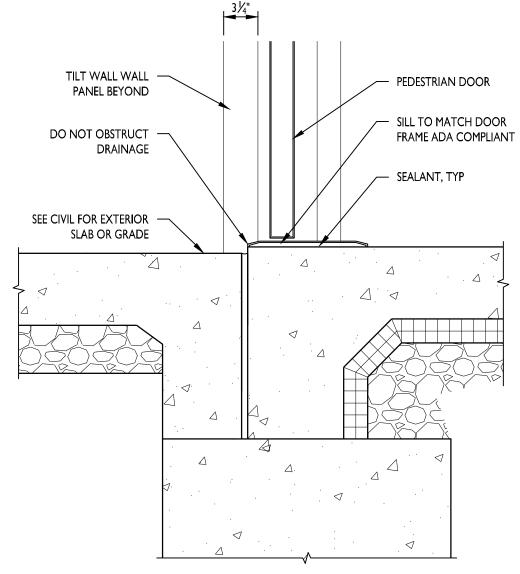




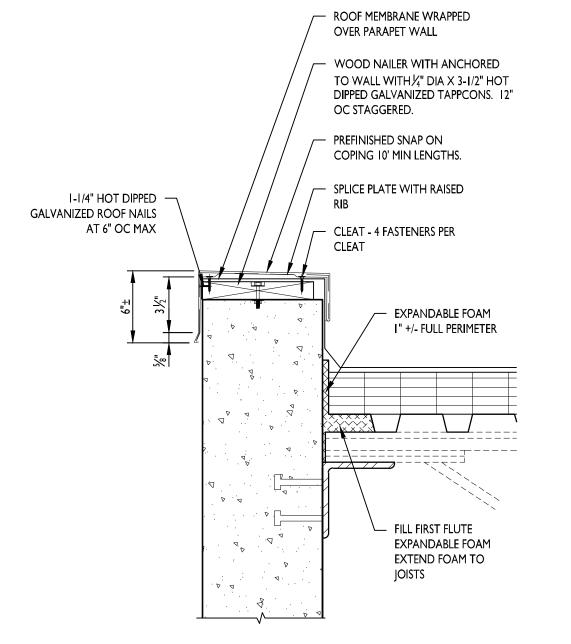
**INTERIOR BOLLARD DETAIL** 

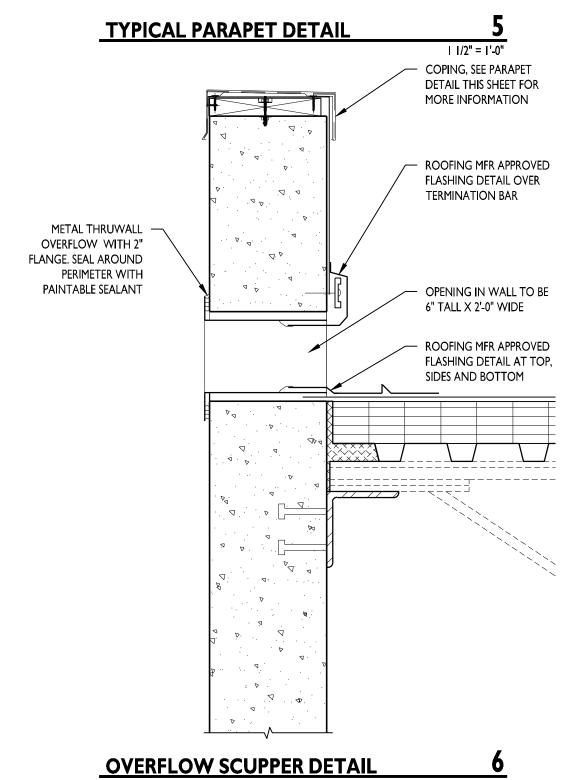


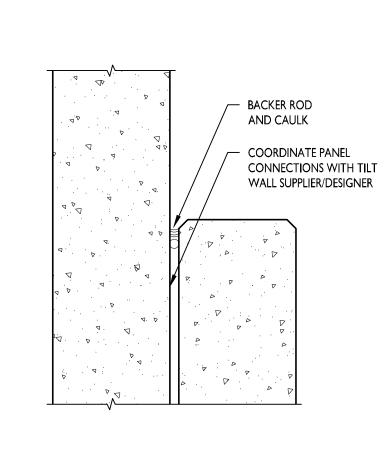
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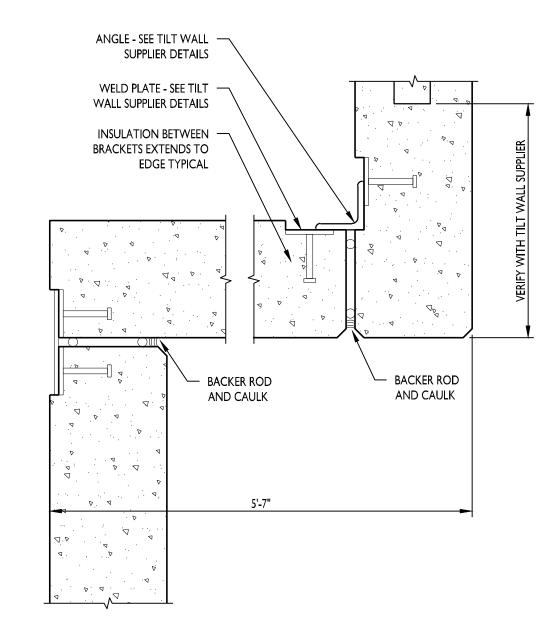




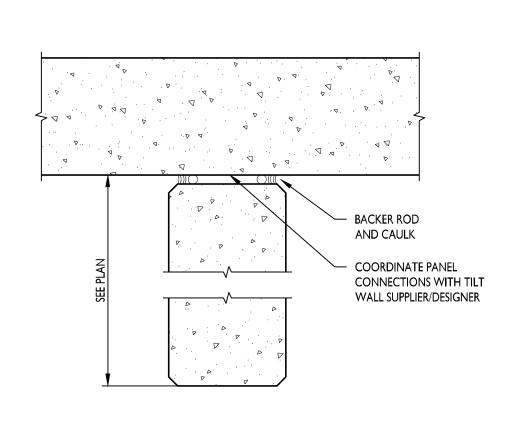












TILT WALL PLAN DETAIL



## CURRAN ARCHITECTURE

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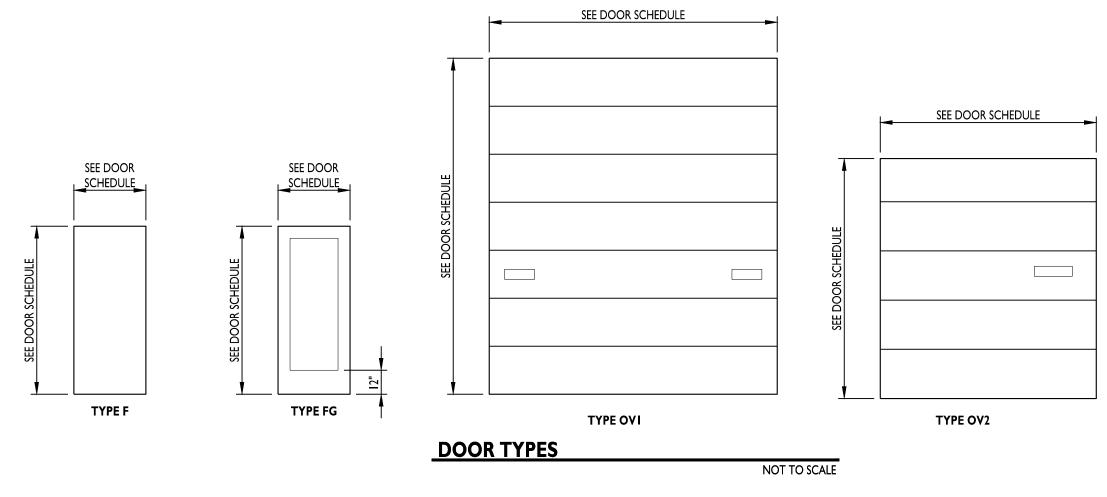
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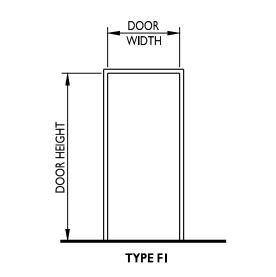
#### PROJECT INFORMATION

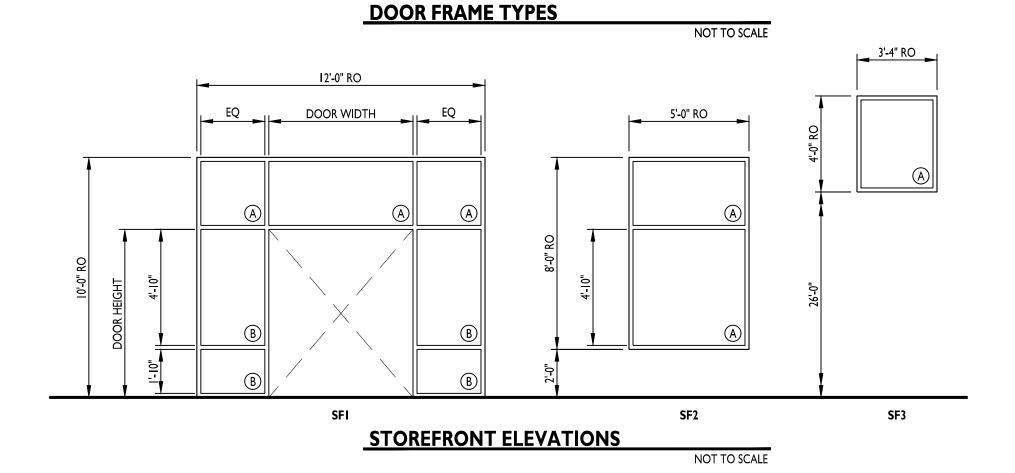
LEE'S SUMMIT LOGISTICS BUILDING C LOT 3

> X CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

ISSUE L	ISSUE DATES				
PERMIT SET	04.26.22				
2200	)19				
SECTIONS AN	ID DETAILS				







					DOOR	SCHE	DULE	_			_	
MARK	DOOR	SIZE	MATERIAL	GLAZING	FINISH	RATING	FRAME	MATERIAL	FINISH	RATING	HARDWARE	REMARKS
101	OVI	12-0 X 14-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
102	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
103	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
104	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
105	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
106	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
107	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	<u>-</u>	2	
108	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
109	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	<u>-</u>	BY MFR	
110	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	_	BY MFR	
111	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	_	BY MFR	BY MFR	BY MFR	<u>-</u>	BY MFR	
112	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	_	BY MFR	BY MFR	BY MFR	-	BY MFR	
113	F	3-0 x 7-0	INSUL STL	_	PAINT	_	FI	НМ	PAINT	_	2	
114	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	_	BY MFR	BY MFR	BY MFR	<u>.</u>	BY MFR	
115	OV2	9-0 x 10-0	INSUL STL		PREFINISHED		BY MFR	BY MFR	BY MFR		BY MFR	
				В		-				-		
116	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
117	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
118	F	3-0 x 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
119	OVI	12-0 X 14-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
120	F	3-6 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	3	
121	OVI	12-0 X 14-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
122	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
123	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
124	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
125	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
126	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
127	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
128	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
129	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
130	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
131	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
132	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
133	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
134	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	<u>-</u>	BY MFR	
135	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
136	OV2	9-0 x 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
137	OV2	9-0 × 10-0	INSUL STL	В	PREFINISHED	-	BY MFR	BY MFR	BY MFR	-	BY MFR	
138	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
139	OVI	12-0 X 14-0	INSUL STL	В	PREFINISHED	_	BY MFR	BY MFR	BY MFR	_	BY MFR	
140	F	3-0 × 7-0	INSUL STL	-	PAINT	_	FI	HM	PAINT	<u>.</u>	2	
140	FG	(2) 3-0 x 7-0	ALUM	В В	CLEAR ANOD	_	SFI	ALUM	CLEAR ANOD	<u> </u>	1	
141	F	3-0 × 7-0	INSUL STL	- B	PAINT		FI	HM	PAINT	<u>-</u>	2	
142 143	F	3-0 x 7-0	INSUL STL		PAINT	_	FI	HM	PAINT		2	
		(2) 3-0 x 7-0		- R			SFI			-		
144	FG		ALUM	В	CLEAR ANOD	-		ALUM	CLEAR ANOD	-	1	
145	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI 	HM	PAINT	-	2	
146	F	3-0 x 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
147	FG	(2) 3-0 x 7-0	ALUM	В	CLEAR ANOD	-	SFI	ALUM	CLEAR ANOD	-	1	
148	F	3-0 × 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
149	F	3-0 x 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	
150	FG	(2) 3-0 x 7-0	ALUM	В	CLEAR ANOD	-	SFI	ALUM	CLEAR ANOD	-	ı	
151	F	3-0 x 7-0	INSUL STL	-	PAINT	-	FI	НМ	PAINT	-	2	

I. ALUMINUM STOREFRONT FRAMING WITH DOOR. DOOR IS RESPONSIBILITY OF ALUMINUM STOREFRONT FRAMING MANUFACTURER AND MUST BE SIZED TO FIT INTO FRAMING AS DETAILED. PROVIDE WIDE STILE DOOR, WITH MINIMUM 10" BOTTOM RAIL FOR ADA COMPLIANCE.

- 2. SEE STOREFRONT ELEVATIONS FOR FRAME INFORMATION.
- 3. PROVIDE INSULATED STEEL DOOR AND FRAME. PAINT TO MATCH ADJACENT MATERIALS. COLOR TO BE SELECTED BY ARCHITECT.
- 4. PROVIDE AUTOMATIC OPENER. COORDINATE WITH ENGINEERING DRAWINGS FOR POWER.
- 5. GLAZING IN EXTERIOR DOOR TO BE TEMPERED INSULATED GLASS SIMILAR TO GLAZING TYPE 1b.
- 6. REFER TO SHEET A502 FOR TYPICAL HOLLOW METAL HEAD/JAMB DETAIL.
- 7. REFER TO SHEET A501 FOR TYPICAL OVERHEAD DOOR JAMB DETAIL.
- 8. REFER TO A502 FOR TYPICAL STOREFRONT HEAD/JAMB DETAIL.

# GENERAL DOOR AND GLAZING NOTES

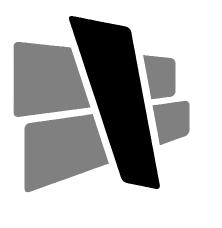
- A. ALL PRE-FINISHED WOOD DOORS SHALL BE SOLID CORE WITH WOOD VENEER, MARSHFIELD OR EQUIVALENT. PROVIDE FINISH SAMPLE AND DOOR CONSTRUCTION DIAGRAM FOR APPROVAL AND HARDWARE BLOCKING COORDINATION. VENEER TO BE WHITE BIRCH OR MAPLE, FREE OF DARK GRAINS UNLESS OTHERWISE NOTED.
- B. WOOD DOORS SHALL ONLY BE INSTALLED IN CONDITIONED
- C. ALL HARDWARE TO BE MINIMUM 6 PIN BEST COMPATIBLE SYSTEM. COORDINATE KEYING WITH OWNER.
- D. TEMPERED AND ANNEALED GLASS TO BE CLEANED PER MANUFACTURER REQUIREMENTS. NYLON CLOTH METHODS PREFERRED. DO NOT USE RAZOR BLADES ON GLASS.
- E. GLASS AROUND DOORS AND IN DOORS SHALL BE TEMPERED UNLESS OTHERWISE NOTED IN ELEVATIONS.
- F. ANY RATED DOORS TO HAVE LABEL INSTALLED IN JAMB. G. ALL EXITS DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009.
- H. INSTALL OWNER PROVIDED ADA COMPLIANT RESTROOM SIGNAGE, VERIFY WITH ARCHITECT.

#### **GLAZING TYPES**

- A. SECTION OF GLAZING REQUIRED TO BE I" INSULATED GREY TINTED GLASS.
- B. SECTION OF GLAZING REQUIRED TO BE I" INSULATED TEMPERED
- C. SECTION OF GLAZING REQUIRED TO BE 1/4" GLASS.
- D. SECTION OF GLAZING REQUIRED TO BE 1/4" TEMPERED GLASS.
- E. SECTION OF GLAZING REQUIRED TO BE I" INSULATED TEMPERED GREY TINTED SPANDREL GLASS.

EXTERIOR GLAZING MUST MEET THE FOLLOWING SPECIFICATIONS FOR ENERGY CODE COMPLIANCE:

LOW "E" COATING "U" VALUE - MINIMUM OF 0.28 "SHGC" VALUE - MAXIMUM OF 0.47



# ARCHITECTURE

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PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS

BUILDING C LOT 3

#### **DOOR HARDWARE**

#### HARDWARE SET I

- 2 HD CLOSERS
- 2 PULLS

FINISH: MATCH STOREFRONT

I PANIC DEVICE W/ LEVER

THRESHOLD W/ DRAINAGE

3 BALL BEARING HINGES

I PERIMETER SEAL THRESHOLD W/ DRAINAGE

I SWEEP

I HD CLOSER

I DRIP TRIM FINISH: US26D

#### 2 CONTINUOUS HINGES

- 2 PANIC DEVICES
- I PERIMETER SEAL I THRESHOLD
- 2 SWEEPS

#### **HARDWARE SET 2**

3 BALL BEARING HINGES

I PERIMETER SEAL

I SWEEP

I HD CLOSER I DRIP TRIM

FINISH: US26D

#### **HARDWARE SET 3**

I STOREROOM LOCKSET

SUBSILL

X CORNER OF NE TUDOR RD & MAIN LEE'S SUMMIT, MO 640

ISSUE DATES						
PERMIT SET			04.2			

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DOOR AND FINISH SCHEDULE