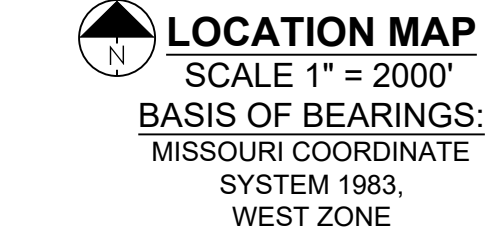
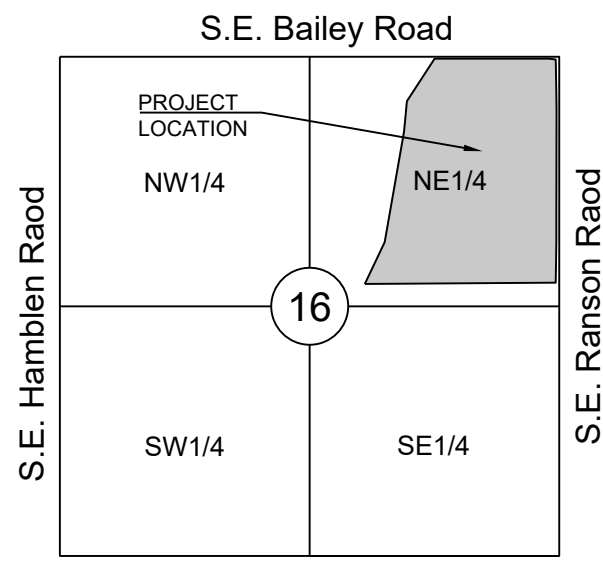


LEGEND:

- A/E - ACCESS EASEMENT
- BC - BACK OF CURB
- B/B - BACK TO BACK
- BM - BENCHMARK
- BL or B.L. - BUILDING LINE
- CO - CLEANOUT
- TJB - TELEPHONE JUNCTION BOX
- C&G - CURB AND GUTTER
- D/E - DRAINAGE EASEMENT
- E/E - ELECTRICAL EASEMENT
- EL - ELEVATION
- FL - FLOW LINE
- G/E - GAS LINE EASEMENT
- HDPE - HIGH-DENSITY POLYETHYLENE
- L/E - LANDSCAPE EASEMENT
- MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
- PVC - POLYVINYL CHLORIDE
- P/L - PROPERTY LINE
- PUB/E - PUBLIC EASEMENT
- RCP - REINFORCED CONCRETE PIPE
- ROW or RW - RIGHT-OF-WAY
- S/E - SANITARY SEWER EASEMENT
- SL - SERVICE LINE
- S/W - SIDEWALK
- TE - TOP ELEVATION
- U/E - UTILITY EASEMENT
- WSE - WATER SURFACE ELEVATION
- W/E - WATERLINE EASEMENT

- ASPHALT PAVEMENT - EXISTING
- ASPHALT PAVEMENT - PROPOSED
- CONCRETE PAVEMENT - EXISTING
- ASPHALT PAVEMENT - EXISTING
- CONCRETE SIDEWALK - EXISTING
- CONCRETE SIDEWALK - PROPOSED
- CURB & GUTTER
- CURB & GUTTER - EXISTING
- TREELINE
- EXISTING LOT AND R/W LINES
- EXISTING PLAT LINES
- P/L PROPERTY LINES
- ROW RIGHT-OF-WAY
- SANITARY SEWER MAIN
- SANITARY SEWER MAIN - EXIST.
- STO STORM SEWER
- STORM SEWER - EXISTING
- CATV_x CABLE TV - EXISTING
- FOC_x FIBER OPTIC CABLE - EXISTING
- T_x TELEPHONE LINE - EXIST.
- E_x ELECTRIC LINE - EXISTING
- OHP_x OVERHEAD POWER LINE - EXIST.
- UG_x UNDERGROUND ELECTRIC - EX.
- G_x GAS LINE - EXISTING
- WATERLINE
- WATERLINE - EXISTING
- LIGHT - EXISTING
- EXISTING MANHOLE
- CLEANOUT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- AI EXISTING AREA INLET
- CI EXISTING CURB INLET
- GI EXISTING GRATE INLET
- JB EXISTING JUNCTION BOX
- SM EXISTING STORM MANHOLE



UTILITY CONTACTS:

MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT)
 Steve Holloway
 600 NE Colbern Road
 Lee's Summit, MO 64086
 (816) 607-2186

MISSOURI GAS ENERGY (MGE)
 Brent Jones
 3025 SE Clover Drive
 Lee's Summit, MO 64082
 (816) 399-9633
 brent.jones@spireenergy.com

KANSAS CITY POWER & LIGHT COMPANY (KCP&L)
 Ron DeJarnette
 1300 SE Hamblin Road
 Lee's Summit, MO 64081
 Office: (816) 347-4316
 Cell: (816) 810-5234
 ron.dejarnette@kcp.com

CITY OF LEES SUMMIT PUBLIC WORKS
 Dena Mezger
 220 SE Green Street
 Lee's Summit, MO 64063
 (816) 969-1800

AT&T
 Mark Manion or Marty Loper
 500 E. 8th Street, Room 370
 Kansas City, MO 64106
 (816) 275-2341 or (816) 275-1550

COMCAST CABLE
 John Meadows
 4700 Little Blue Parkway
 Independence, MO 64057
 (816) 795-2257

CITY OF LEE'S SUMMIT WATER UTILITIES
 Mark Schaufier
 1200 SE Hamblin Road
 Lee's Summit, MO 64081
 (816) 969-1900



GENERAL NOTES:

1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
4. NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
5. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.": 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
7. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
8. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
9. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
10. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST.
11. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
12. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
13. THE CONTRACTOR SHALL CONTACT DEVELOPMENT SERVICES INSPECTIONS AT: 816-969-1800 TO OBTAIN A DEVELOPMENT SERVICES CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO PERMIT ISSUANCE.
14. THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
15. ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL, INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.

EARTHWORK:

1. PRIOR TO EARTHWORK ACTIVITIES, PRE-DISTURBANCE EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE PER THE STORM WATER POLLUTION PREVENTION PLAN AND/OR THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THIS SITE.
2. ALL BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (AASHTO T99/ASTM 698).
3. BACKFILL MATERIALS SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR TOPSOIL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING THE TOPSOIL OVER PROPOSED TURF AND LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6-INCHES BELOW FINAL GRADE.
5. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. UNLESS NOTED OTHERWISE THE FOLLOWING GRADES SHALL APPLY:
 - A. TURF AREAS - 2.5% MINIMUM, 4H:1V MAXIMUM
6. ALL DISTURBED AREAS SHALL BE FERTILIZED, SEEDED AND MULCHED IMMEDIATELY AFTER EXCAVATION ACTIVITIES HAVE CEASED. SEEDING SHALL BE PER APWA SECTION 2400, LATEST EDITION, UNLESS OTHERWISE NOTED. SEEDING SHALL BE SUBSIDIARY TO THE CONTRACT PRICE FOR PIPE INSTALLATION. CONTRACTOR SHALL ADHERE TO THE REPORTING REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED AND KEPT CLEAN OF SILT AND DEBRIS AND IN GOOD WORKING ORDER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.

UTILITIES:

1. EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL VERIFY FLOW-LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE STRUCTURES.
4. UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, DUCTILE IRON PIPE, DIP, SHALL BE REQUIRED 10 FEET IN EACH DIRECTION OF THE CONFLICT ON THE WATER LINE.
5. PAYMENT FOR TRENCHING, BACKFILLING, PIPE EMBEDMENT, FLOWABLE FILL, BACKFILL MATERIALS, CLEAN UP, SEEDING, SODDING AND ANY OTHER ITEMS NECESSARY FOR THE CONSTRUCTION OF THE UTILITY LINE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48-HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
7. TRENCH SPOILS SHALL BE NEATLY PLACED ONSITE ADJACENT TO THE TRENCH, AND COMPACTED TO PREVENT SATURATION AND EXCESS SEDIMENT RUNOFF. UNSUITABLE MATERIALS, ROCK AND SHALE, ASPHALT, CONCRETE, TREES, BRUSH ETC. SHALL BE PROPERLY DISPOSED OF OFFSITE. MATERIALS MAY BE WASTED ONSITE AT THE DIRECTION OF THE OWNER OR HIS APPOINTED REPRESENTATIVE.

SUMMARY OF QUANTITIES			
	ITEM	QUANTITY	UNITS
1	CONNECT TO EXISTING WATER LINE	2	EA
2	DRY BORE	40	LF
3	6" CONCRETE ENCASEMENT	20	LF
4	FIRE HYDRANT ASSEMBLY	15	EA
5	END OF LINE TEMPORARY FIRE HYDRANT ASSEMBLY	12	EA
6	8" C-900 PVC	7,586	LF
7	8" GATE VALVE	23	EA
8	8" X 8" TEE	7	EA
9	8" X 8" CROSS	7	EA
10	8" 11.25" PVC BEND	28	EA
11	8" 22.5" PVC BEND	3	EA
12	8" 45" PVC BEND	17	EA
	SUBSIDIARY TO BENDS, TEES, ETC IS ALL REQUIRED BLOCKING		

WATER LINE PLANS FOR MANOR AT BAILEY FARMS, FIRST PLAT IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MISSOURI

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL LAYOUT - NORTH
3	GENERAL LAYOUT - WEST
4	GENERAL LAYOUT - EAST
5	WATER LINE 1 PLAN & PROFILE
6	WATER LINE 1 PLAN & PROFILE CONT'D
7	WATER LINE 2 PLAN & PROFILE
8	WATER LINE 2 PLAN & PROFILE CONT'D
9	WATER LINE 3 PLAN & PROFILE
10	WATER LINE 3 PLAN & PROFILE CONT'D
11	WATER LINE 4 PLAN & PROFILE
12	WATER LINE 5 PLAN & PROFILE
13	WATER LINE 8, 10, & 12 PLAN & PROFILE
14	WATER LINE 13 PLAN & PROFILE
15	WATER LINE DETAILS

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 #E200203690F #LAC201005237 #S200200869F

PREPARED BY:

 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

APPROVED BY:

CITY ENGINEER _____ DATE _____
 APPROVED FOR ONE YEAR FROM THIS DATE

OWNER/DEVELOPER:

CLAYTON PROPERTIES GROUP, INC., DBA SUMMIT HOMES
 DBA SUMMIT HOMES
 BRADLEY KEMPF
 120 SE 30TH STREET
 LEE'S SUMMIT, MO 64082
 p (816) 246-6700

MANOR AT BAILEY FARMS, FIRST PLAT
 WATER LINE PLANS
 SE BAILEY ROAD AND SE RANSOM ROAD
 LEE'S SUMMIT, MISSOURI

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSOM ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W, Intersection of SE, Bailey Road and SE, Ransom Road.

ELEV. = 939.19

REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

DRAWN BY: MBH
 CHECKED BY: JLL
 DATE PREPARED: 1/05/2021
 PROJ. NUMBER: 21-130

COVER SHEET

SHEET

1

PREPARED BY:



4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

GENERAL LAYOUT - NORTH

SHEET

2

NOTES:

1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
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3. FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

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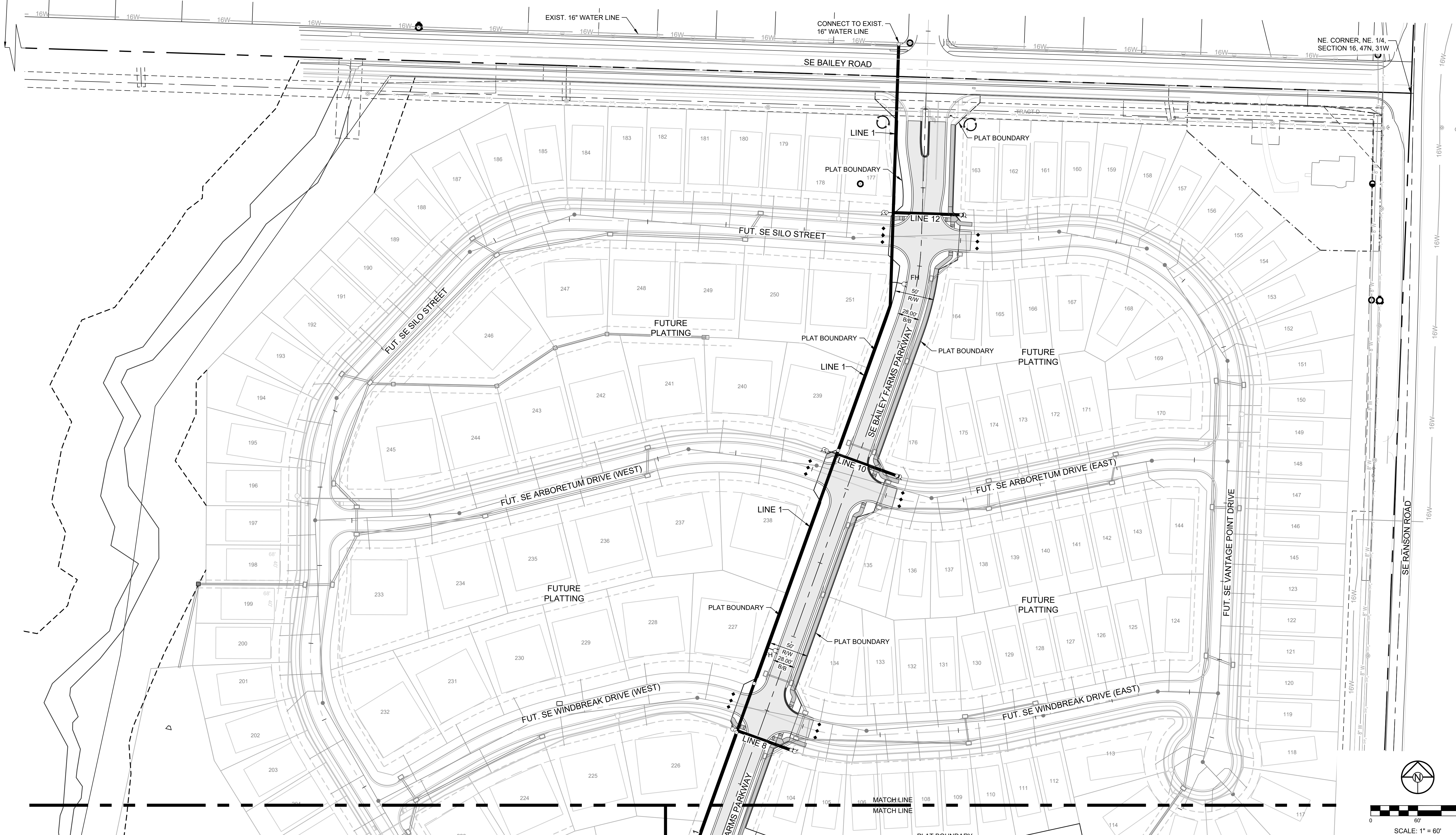
ELEV. = 1046.25

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

NW CORNER, NE. 1/4, SECTION 16, 47N, 31W

NE CORNER, NE. 1/4, SECTION 16, 47N, 31W



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MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

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ELEV. = 1046.25

BASIS OF BEARINGS:

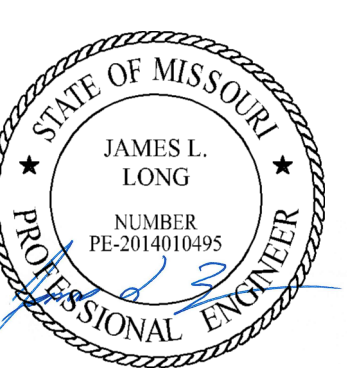
MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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PREPARED BY:



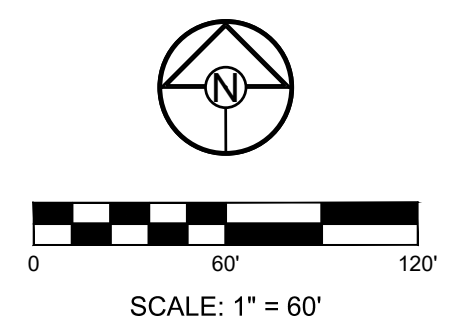
4/21/2022
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**MANOR AT BAILEY FARMS, FIRST PLAT
 WATER LINE PLANS
 SE BAILEY ROAD AND SE RANSON ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

GENERAL LAYOUT - WEST

SHEET



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MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

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ELEV. = 1046.25

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

NOTES:

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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

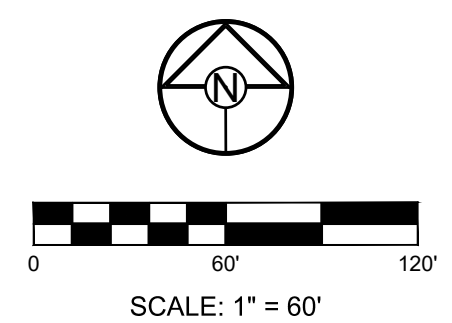
**MANOR AT BAILEY FARMS, FIRST PLAT
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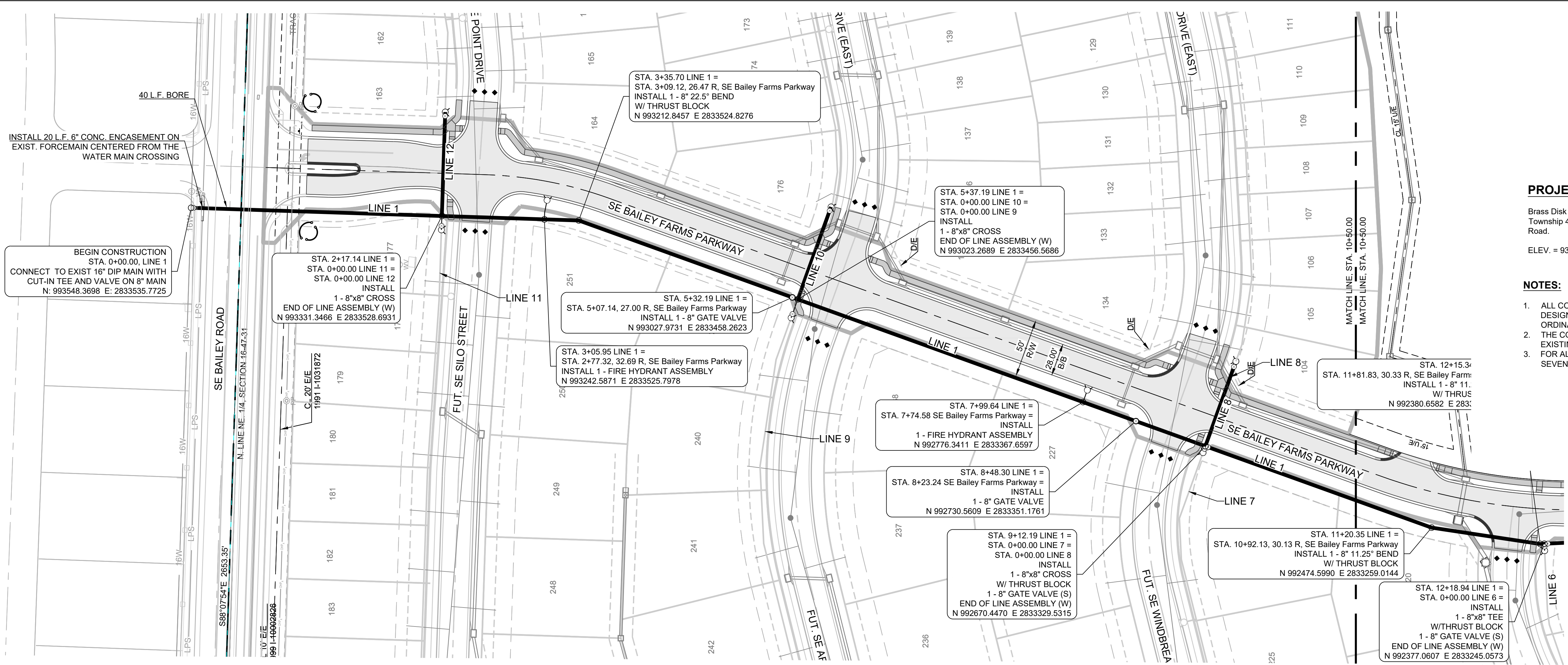
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GENERAL LAYOUT - EAST

SHEET



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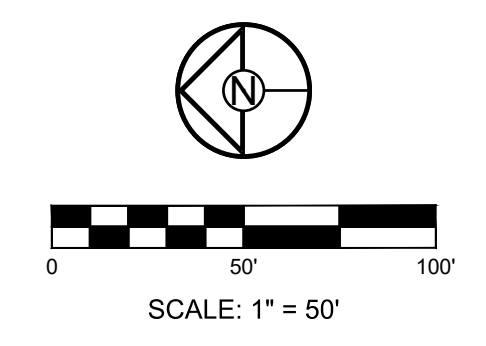


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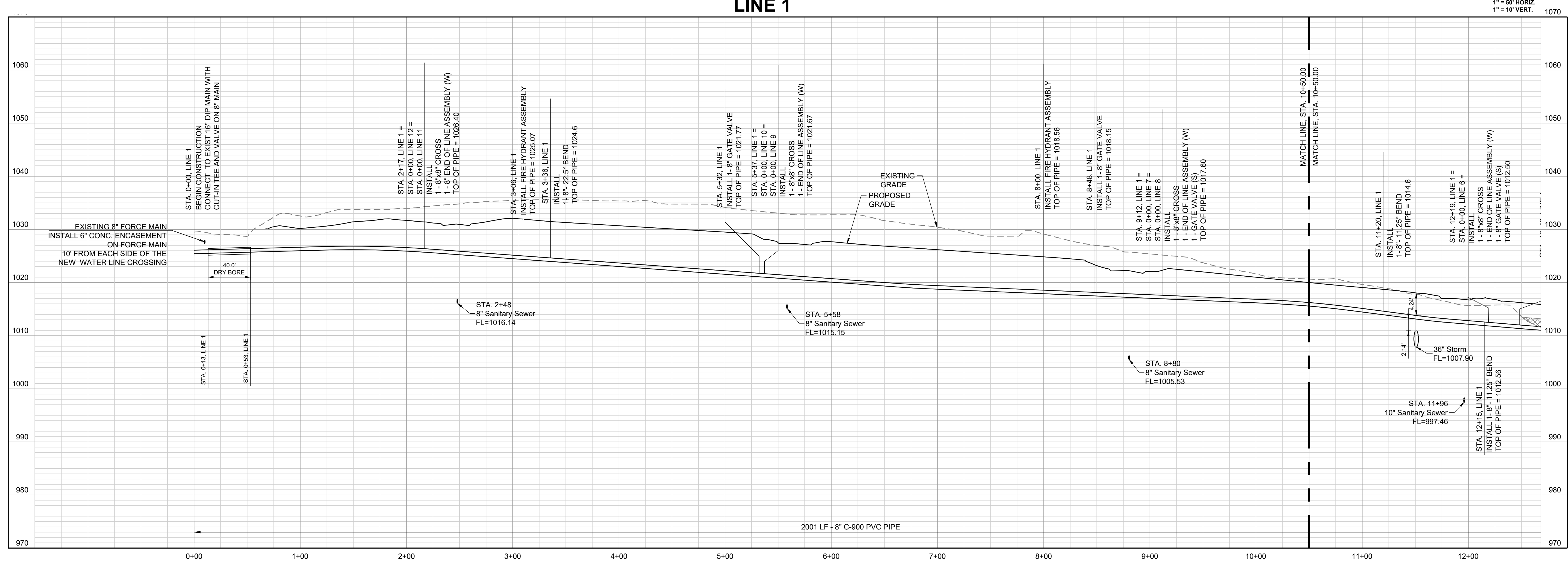
Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W, Intersection of SE. Bailey Road and SE. Ranson Road.
ELEV. = 939.19

NOTES:

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LINE 1



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PREPARED BY:

4/21/2022
SCHLAGEL & ASSOCIATES, P.A.

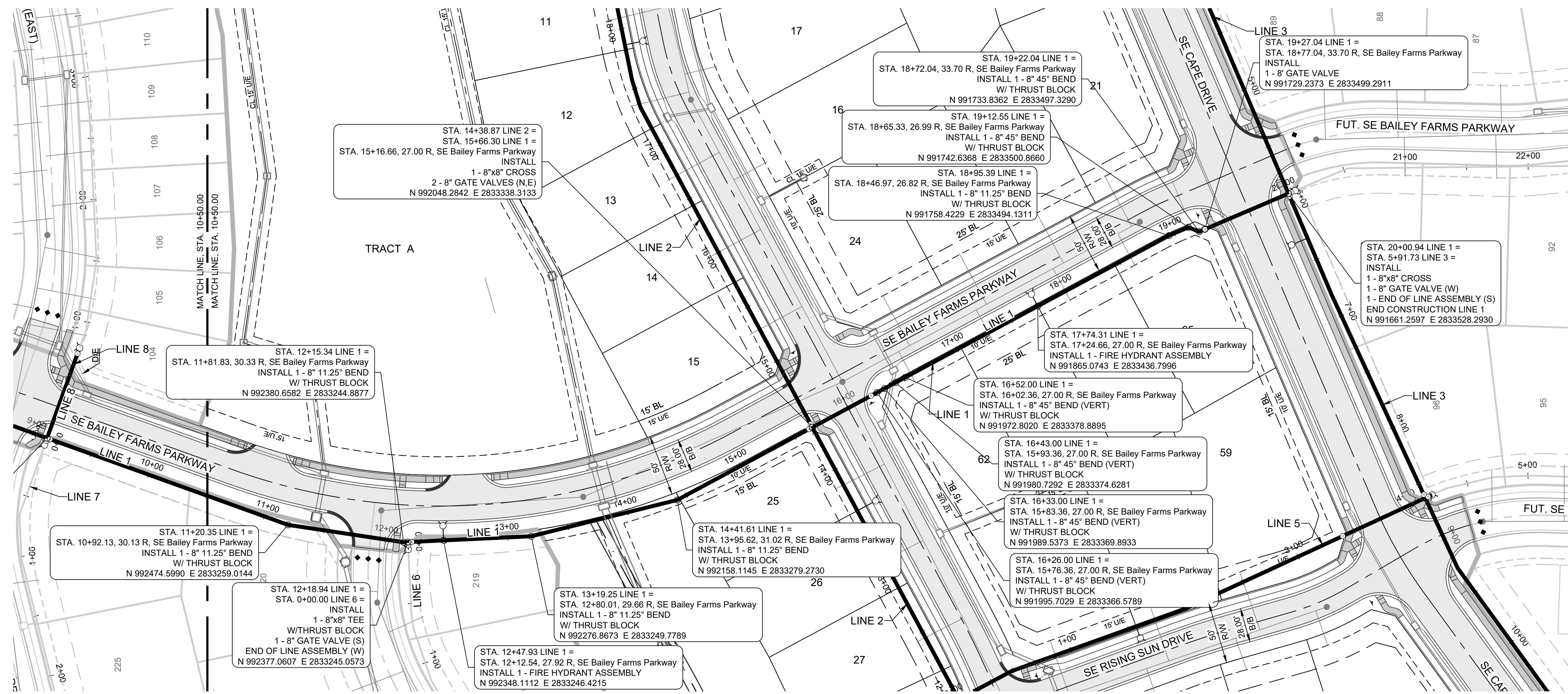
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LEE'S SUMMIT, MISSOURI

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DRAWN BY:	MBH
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

WATER LINE 1
PLAN & PROFILE

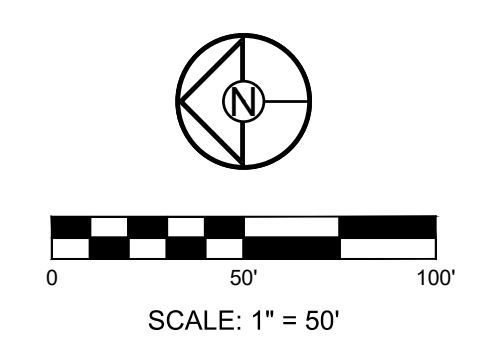
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PROJECT BENCHMARK:
 Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W, Intersection of SE. Bailey Road and SE. Ranson Road.
 ELEV. = 939.19

NOTES:

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- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET, EXCEPT WERE NOTED.

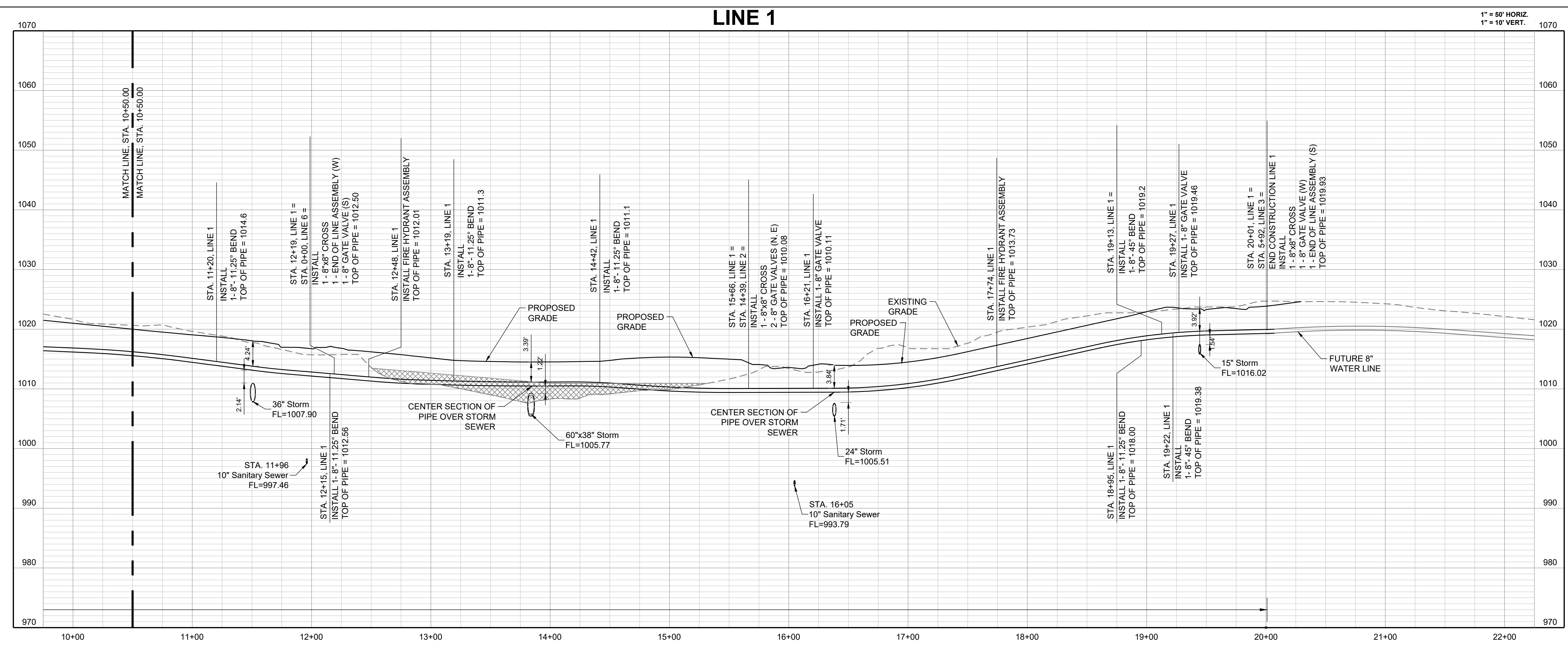


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PREPARED BY:

 JAMES L. LONG
 NUMBER PE-00418995
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
 WATER LINE PLANS
 SE BAILEY ROAD AND SE RANSON ROAD
 LEE'S SUMMIT, MISSOURI

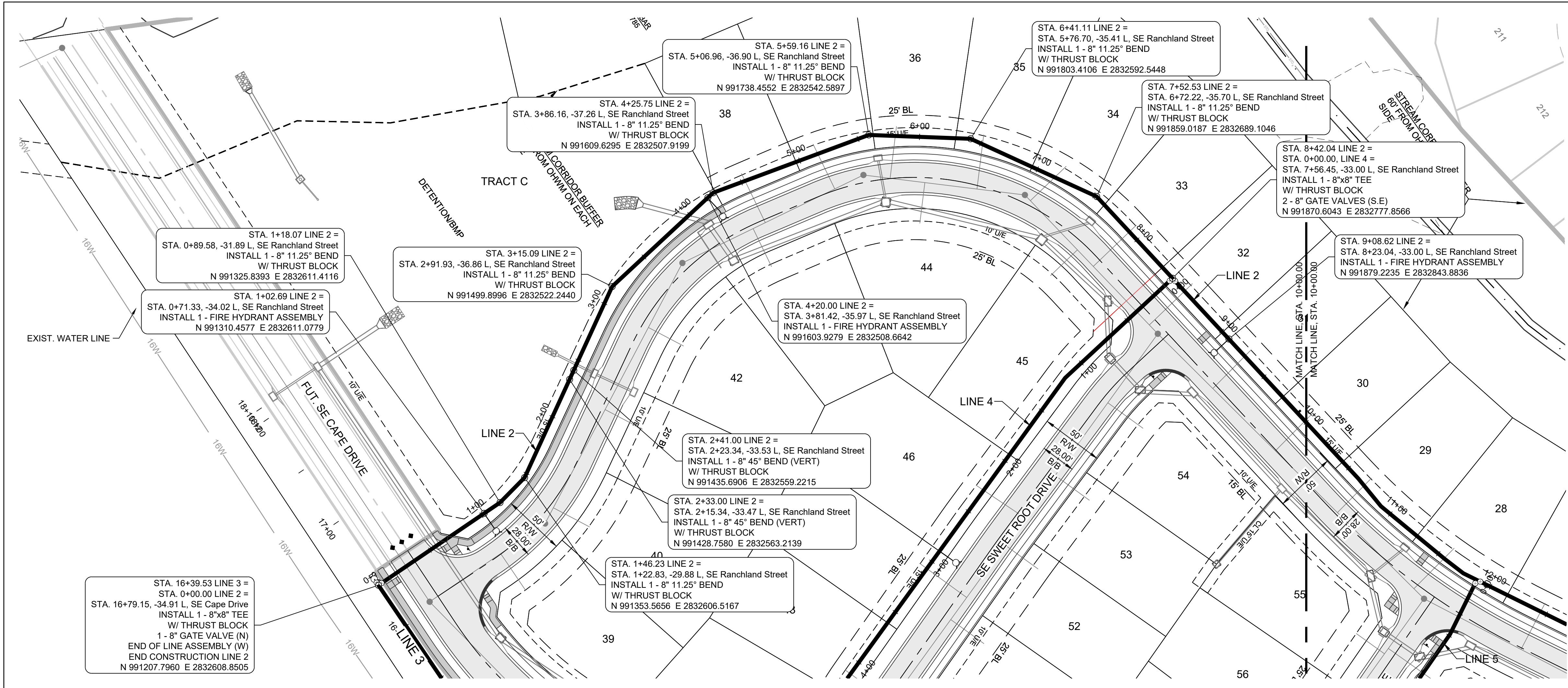


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WATER LINE 1 PLAN & PROFILE CONT'D	
SHEET	
6	

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PROJECT BENCHMARK:
 Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W, Intersection of SE. Bailey Road and SE. Ranson Road.
 ELEV. = 939.19

NOTES:

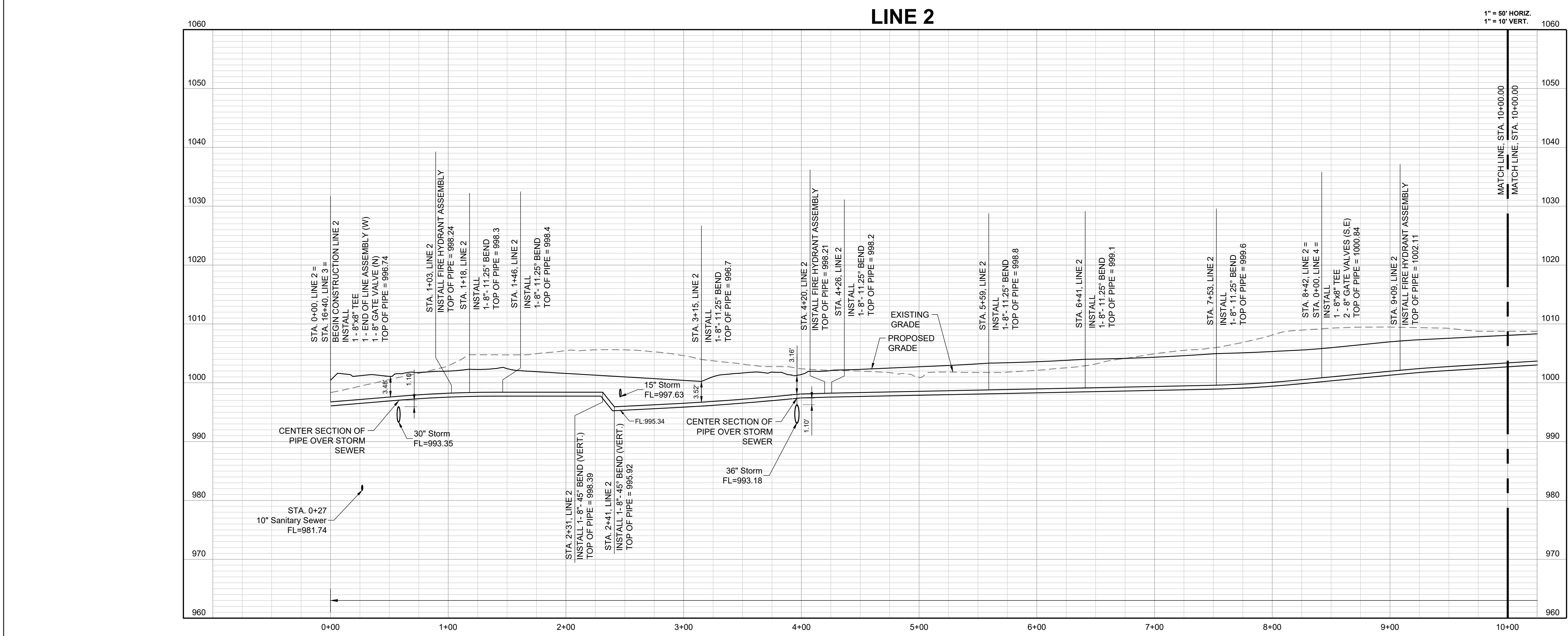
- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
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 #E200200360F #LAC2001005237 #LS200200859F

PREPARED BY:

 JAMES L. LONG
 NUMBER PE-00481895
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
 WATER LINE PLANS
 SE BAILEY ROAD AND SE RANSON ROAD
 LEE'S SUMMIT, MISSOURI



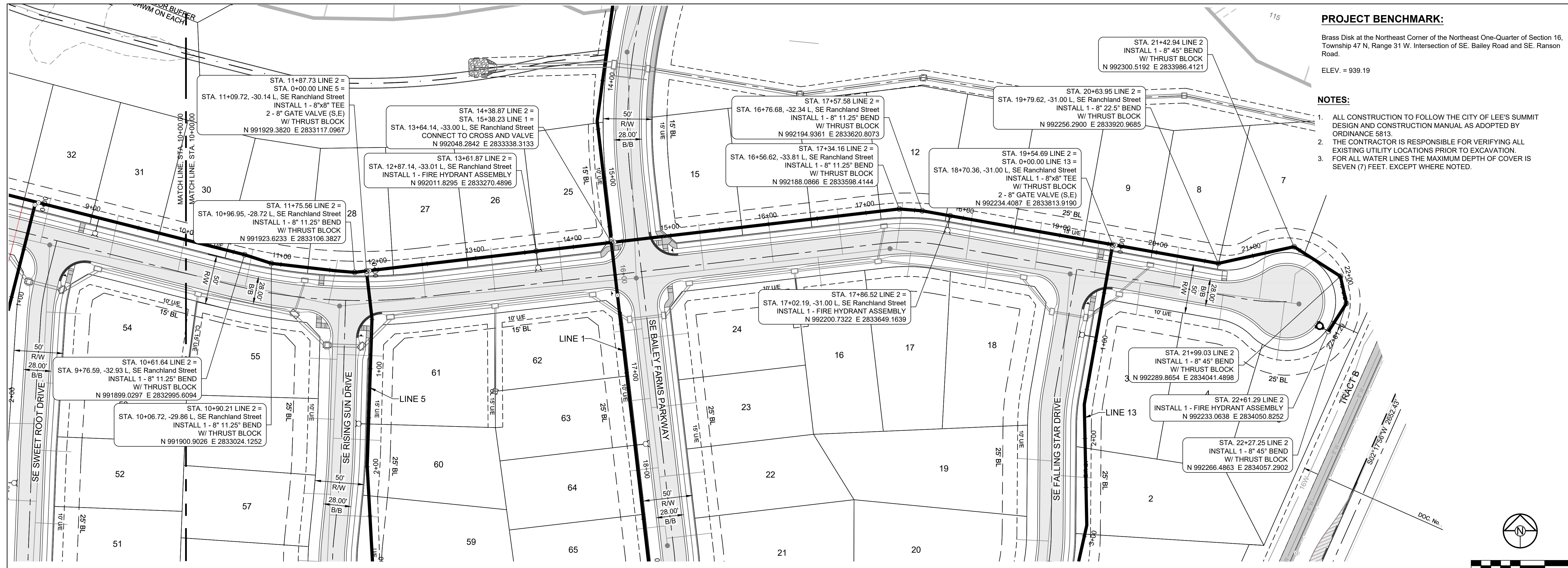
REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

DRAWN BY:	MBH
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

WATER LINE 2
 PLAN & PROFILE

SHEET
7

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PROJECT BENCHMARK:
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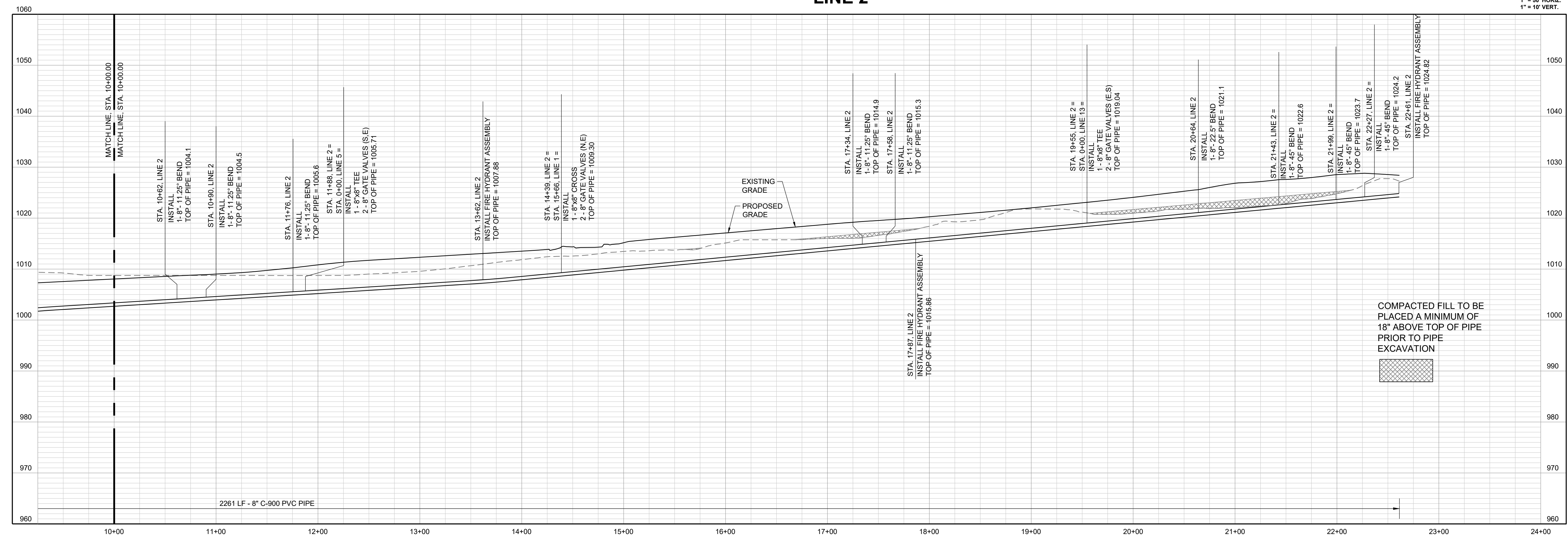
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PREPARED BY:

 JAMES L. LONG
 NUMBER PE-00481895
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
LEE'S SUMMIT, MISSOURI

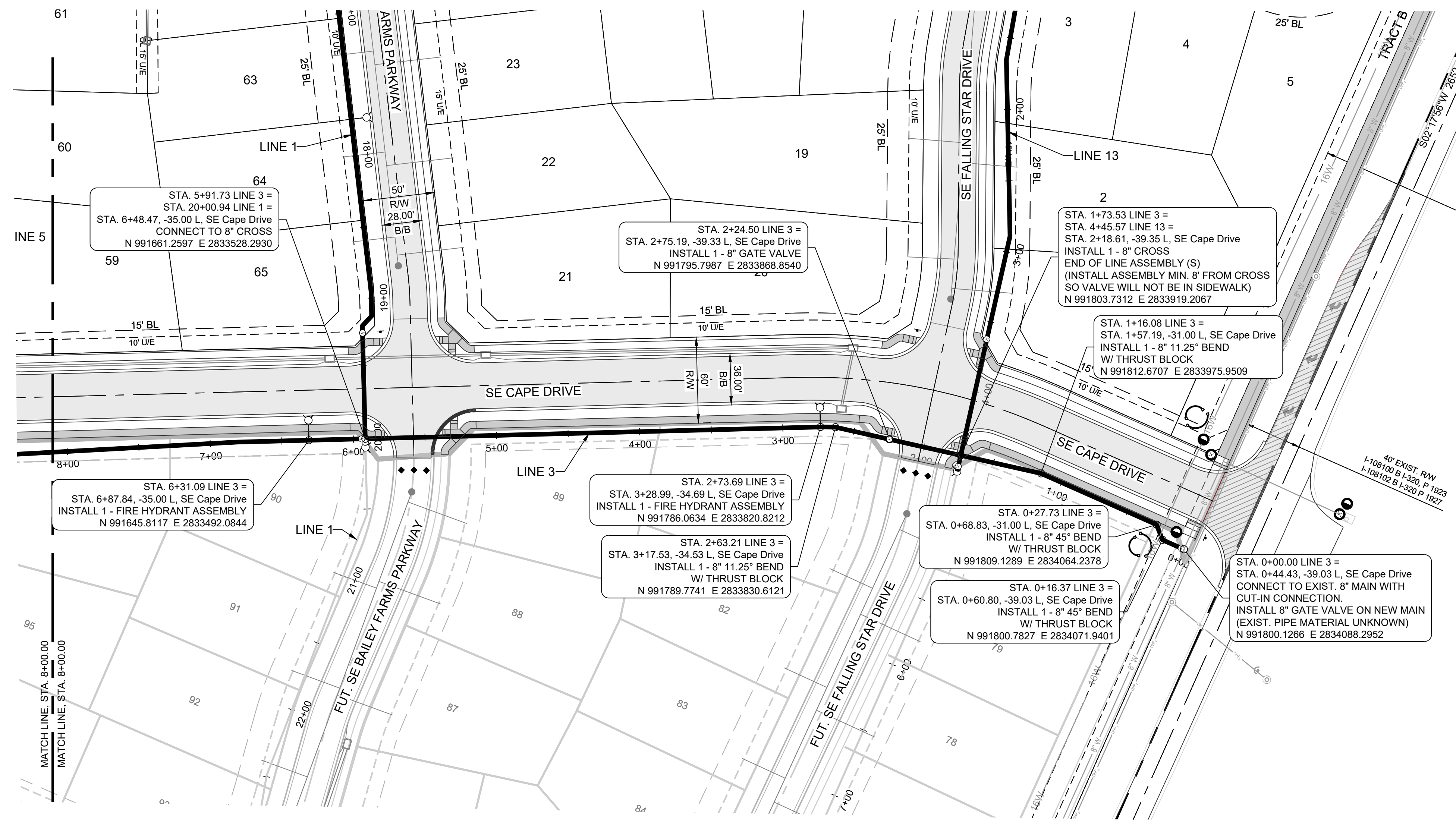
LINE 2



REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

DRAWN BY:	MBH
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DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

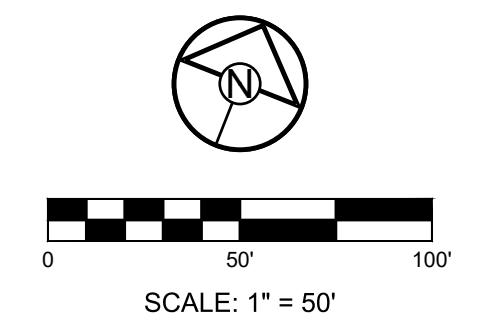
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PROJECT BENCHMARK:
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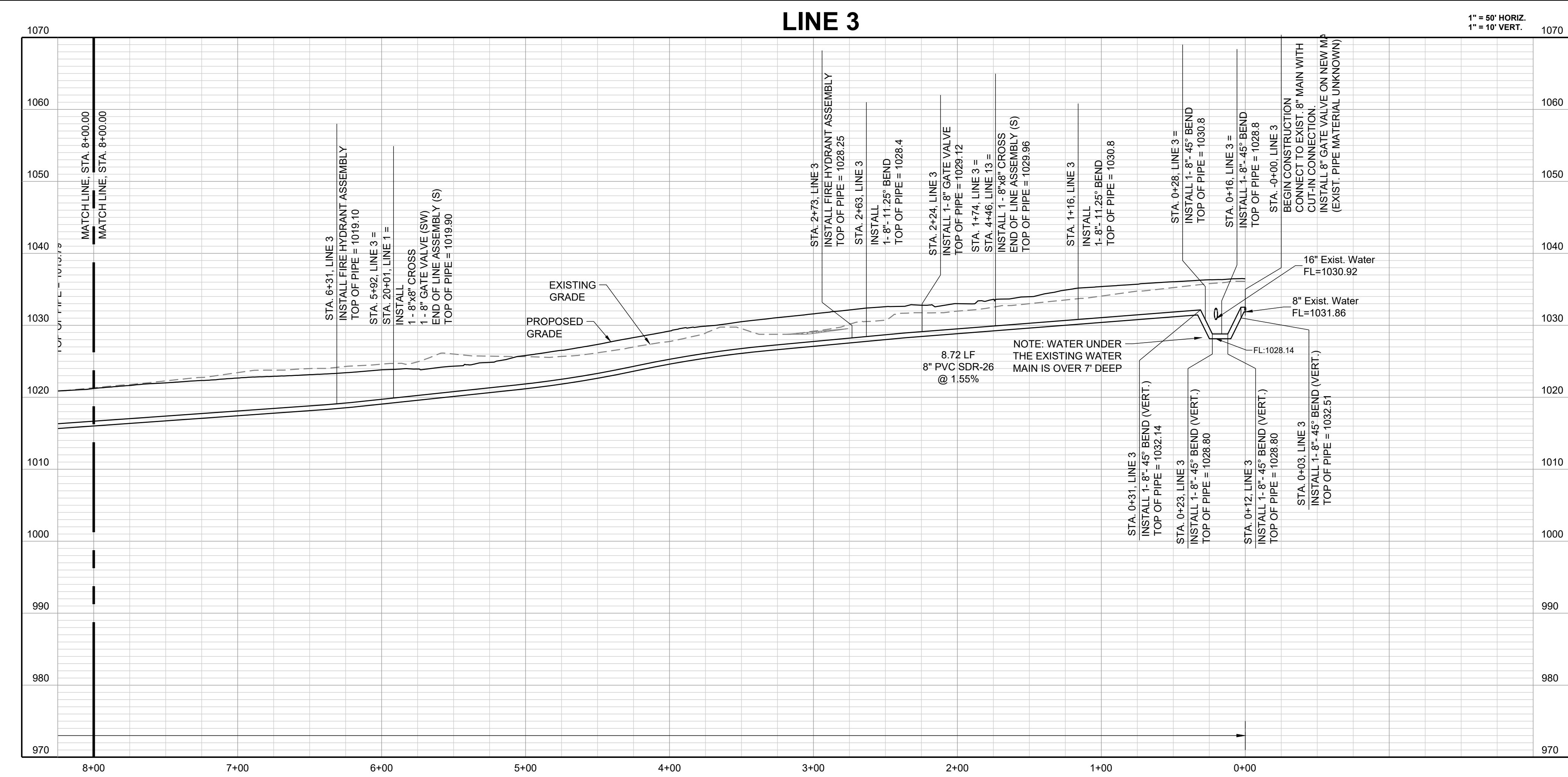


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PREPARED BY:

 JAMES L. LONG
 LICENSE NUMBER PE-00481895
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
LEE'S SUMMIT, MISSOURI



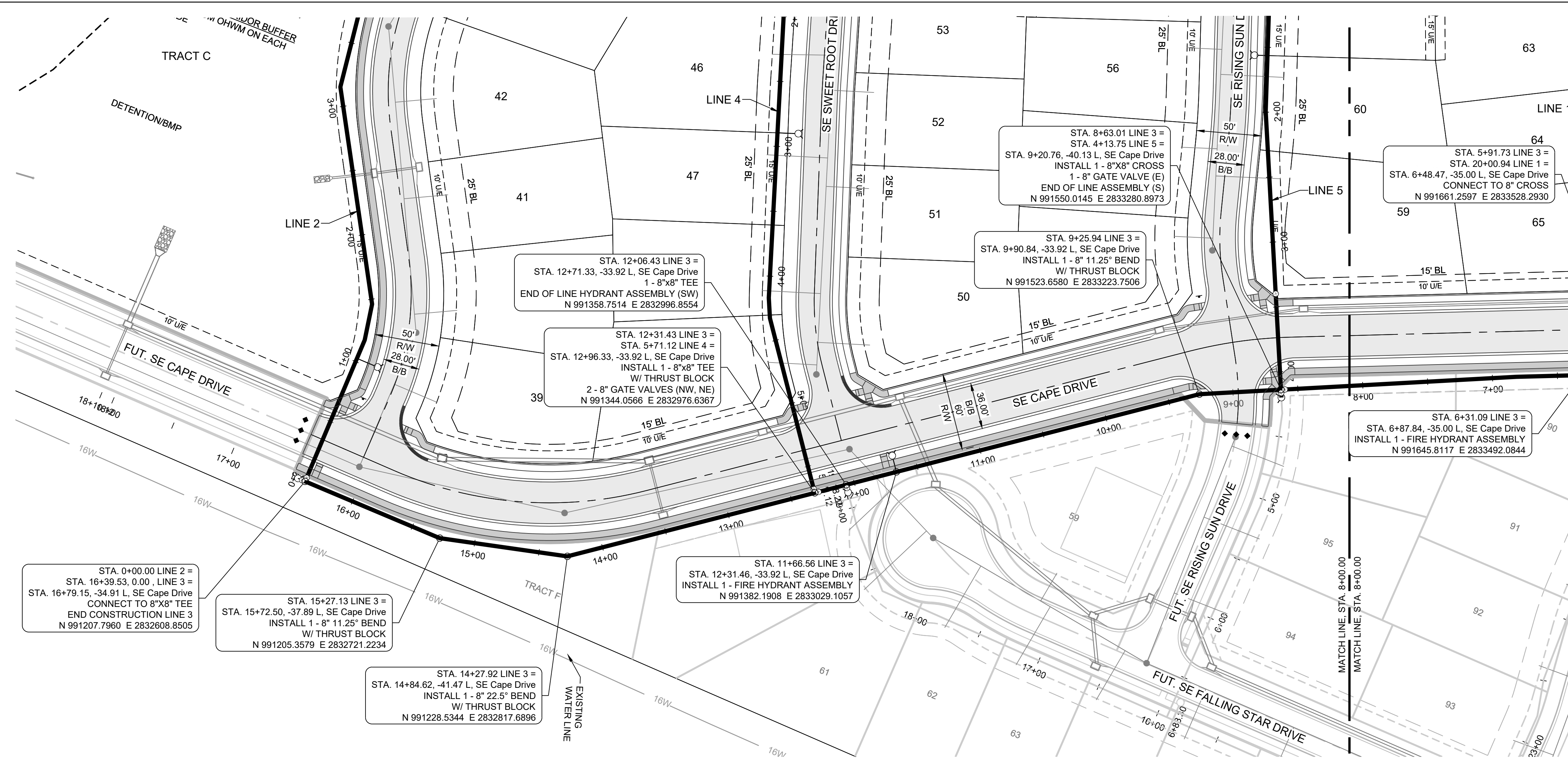
COMPACTED FILL TO BE PLACED A MINIMUM OF 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION

REVISION DATE	DESCRIPTION
01/24/2022	Per City Comments dated 11/19/2022
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DRAWN BY:	MBH
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PROJ. NUMBER:	21-130

WATER LINE 3
PLAN & PROFILE

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PROJECT BENCHMARK:
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 ELEV. = 939.19

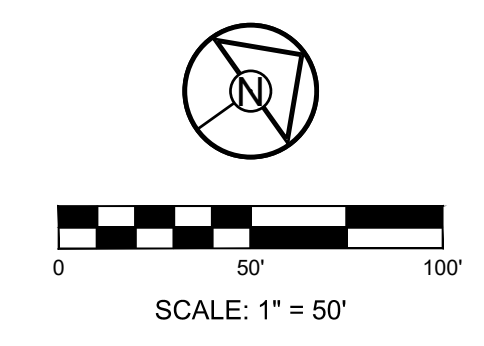
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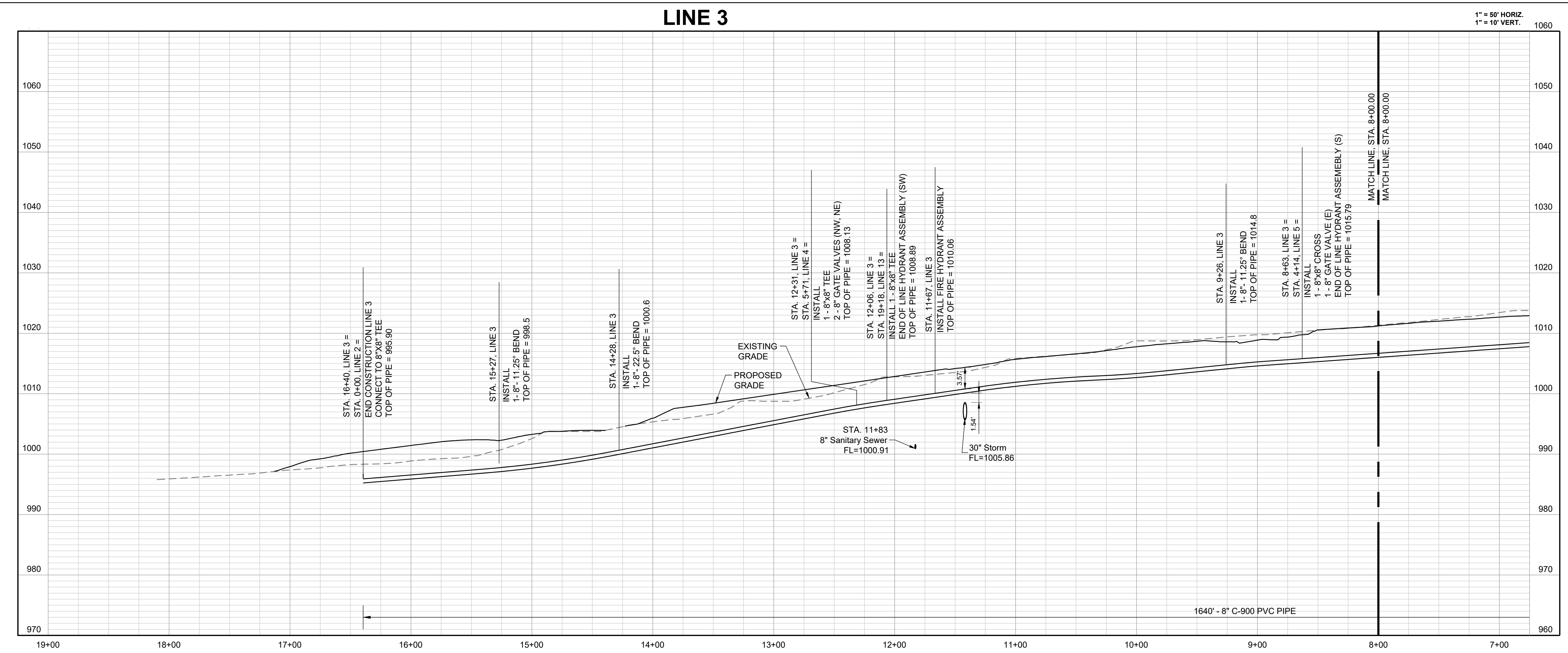
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PREPARED BY:

 JAMES L. LONG
 NUMBER PE-00481895
 STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.



LINE 3



COMPACTED FILL TO BE PLACED A MINIMUM OF 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
LEE'S SUMMIT, MISSOURI

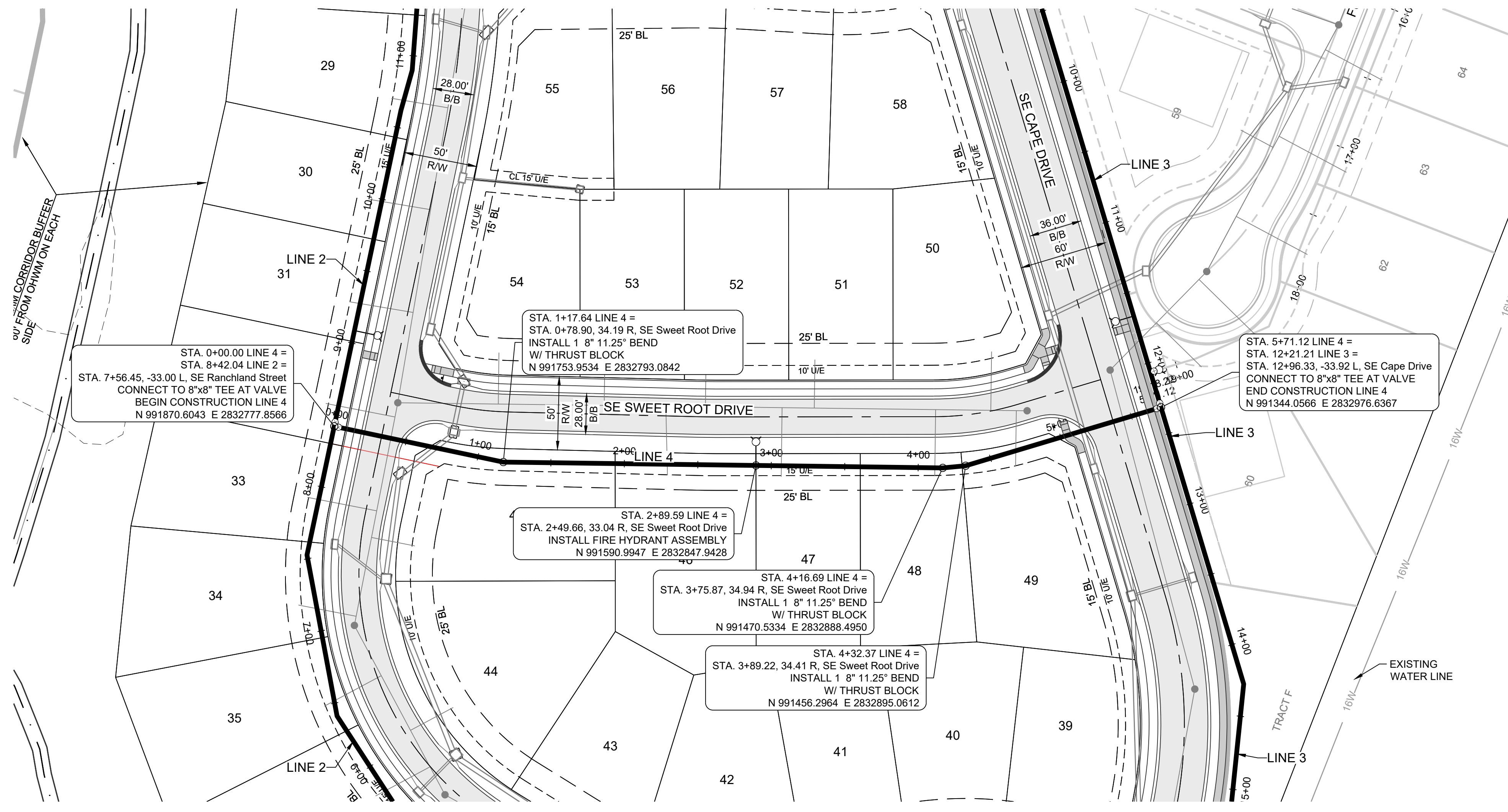
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WATER LINE 3
PLAN & PROFILE
CONT'D

SHEET
10

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PROJECT BENCHMARK:
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 ELEV. = 939.19

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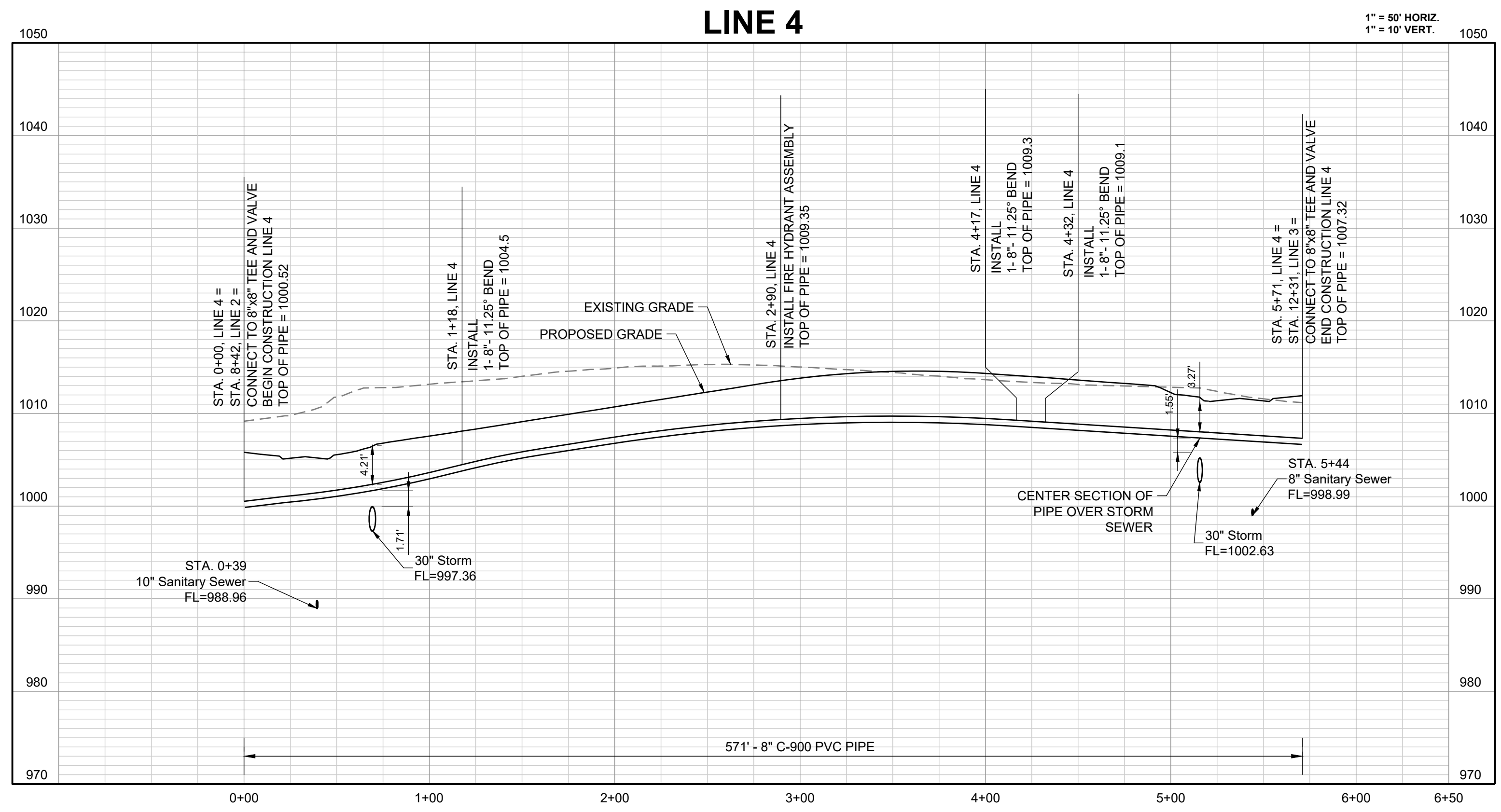
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PREPARED BY:

 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
LEE'S SUMMIT, MISSOURI



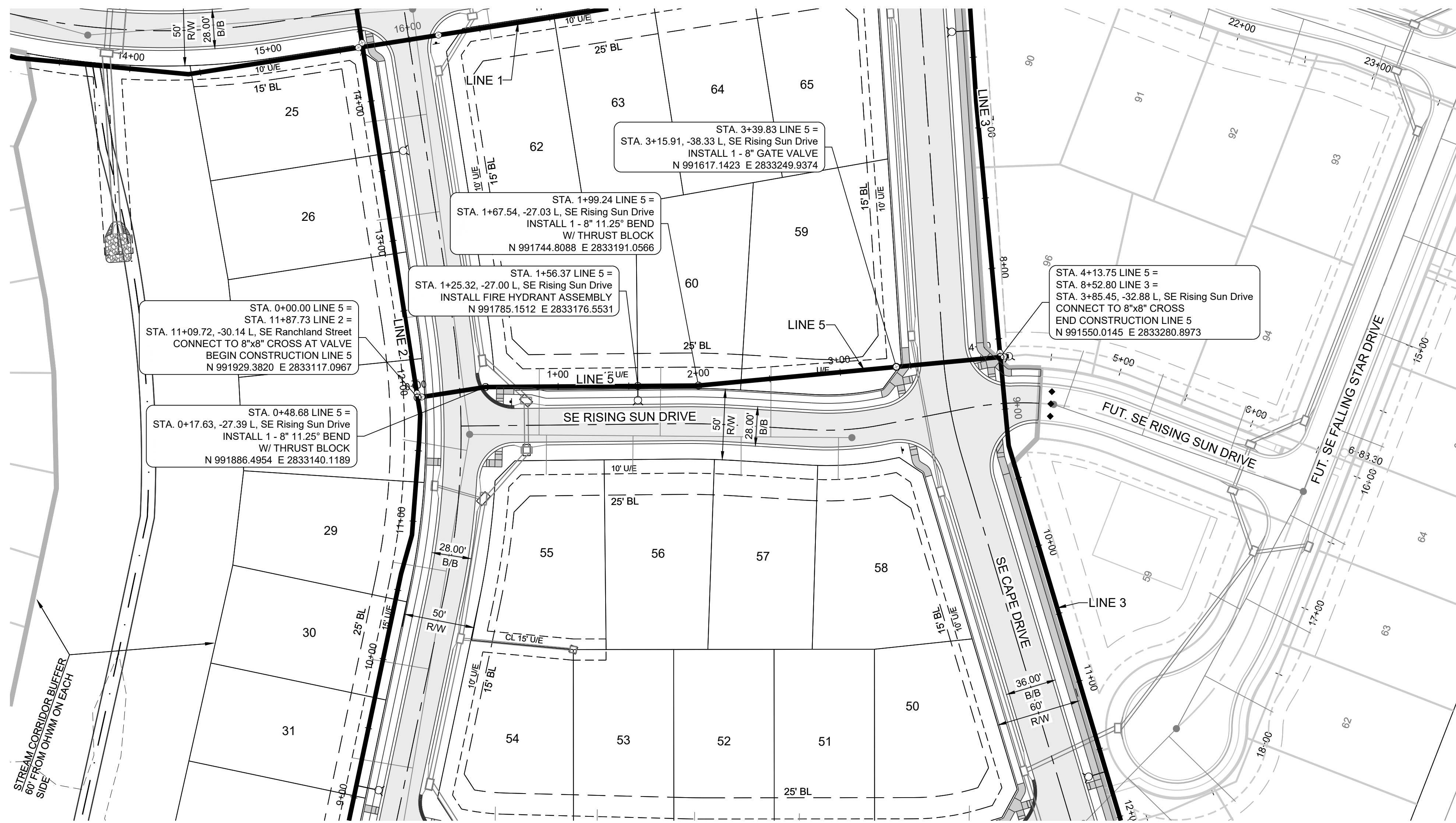
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01/24/2022	Per City Comments dated 11/19/2022
04/20/2022	Per City Comments dated 02/15/2022

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WATER LINE 4
PLAN & PROFILE

SHEET
11

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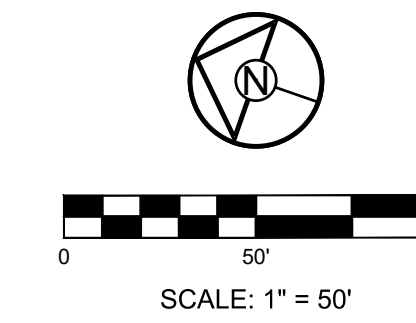
PROJECT BENCHMARK:

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ELEV. = 939.19

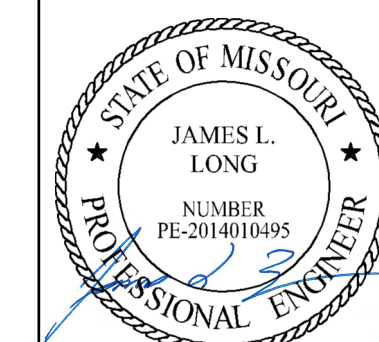
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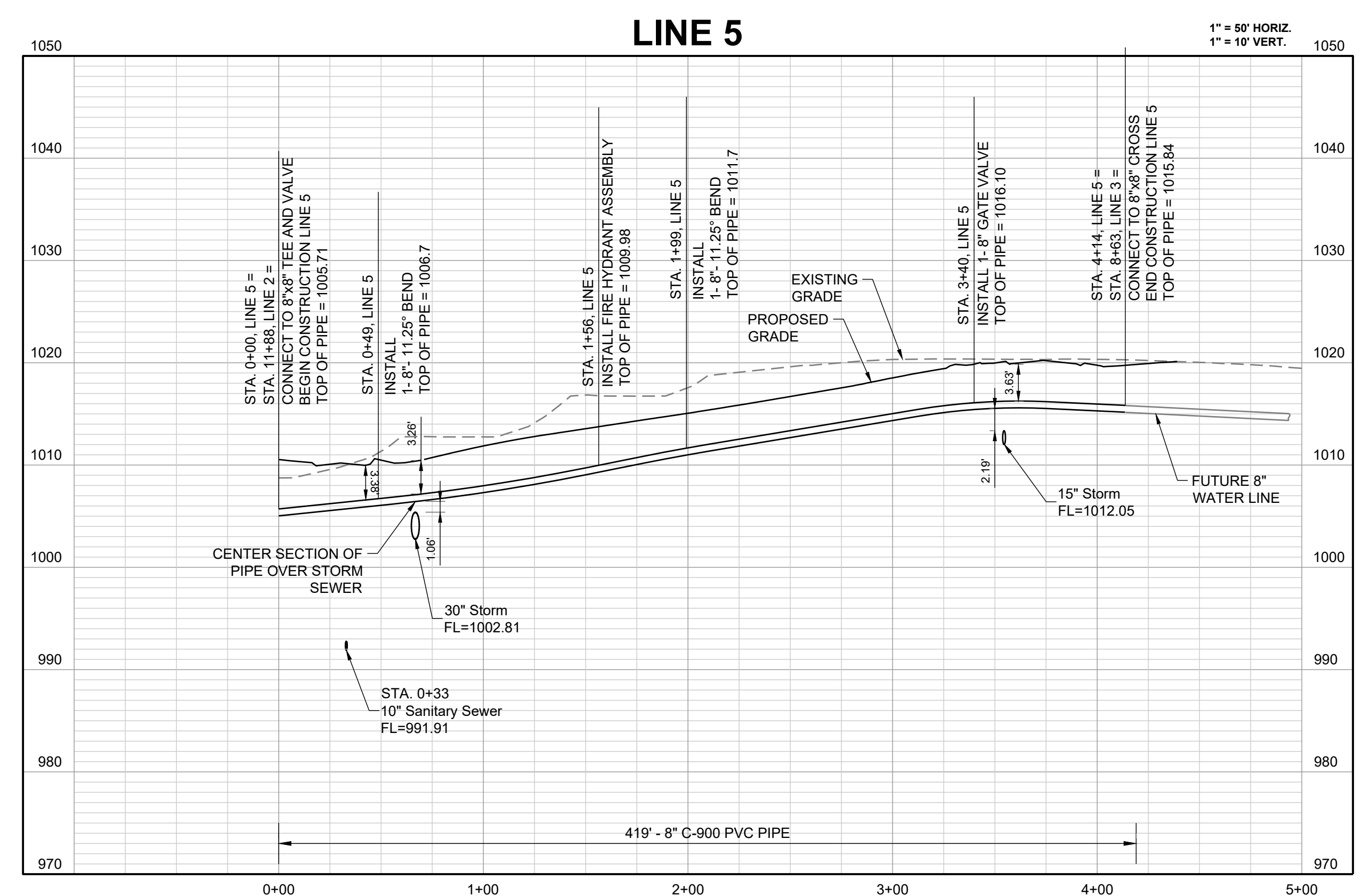
PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
WATER LINE PLANS
SE BAILEY ROAD AND SE RANSON ROAD
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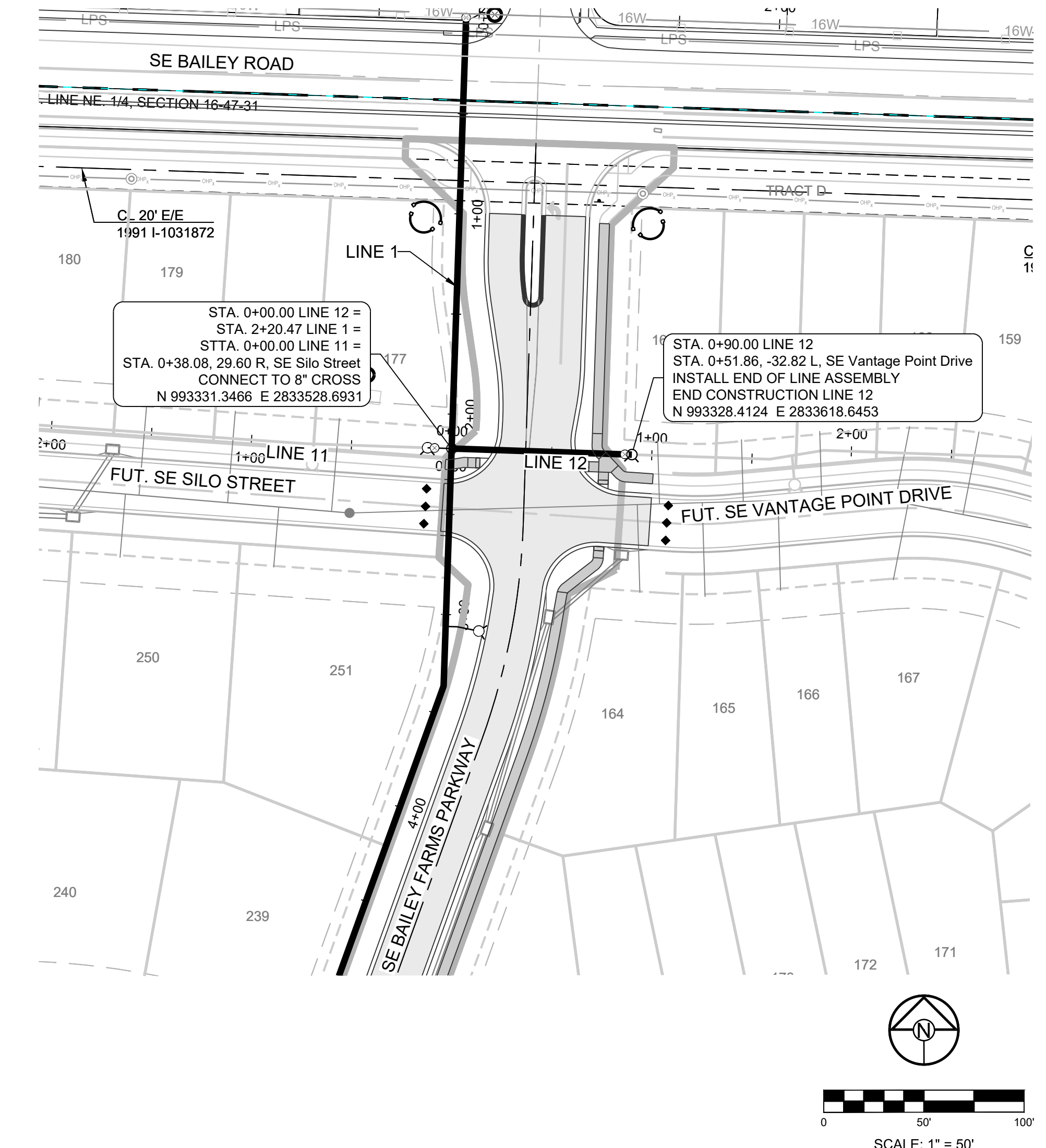
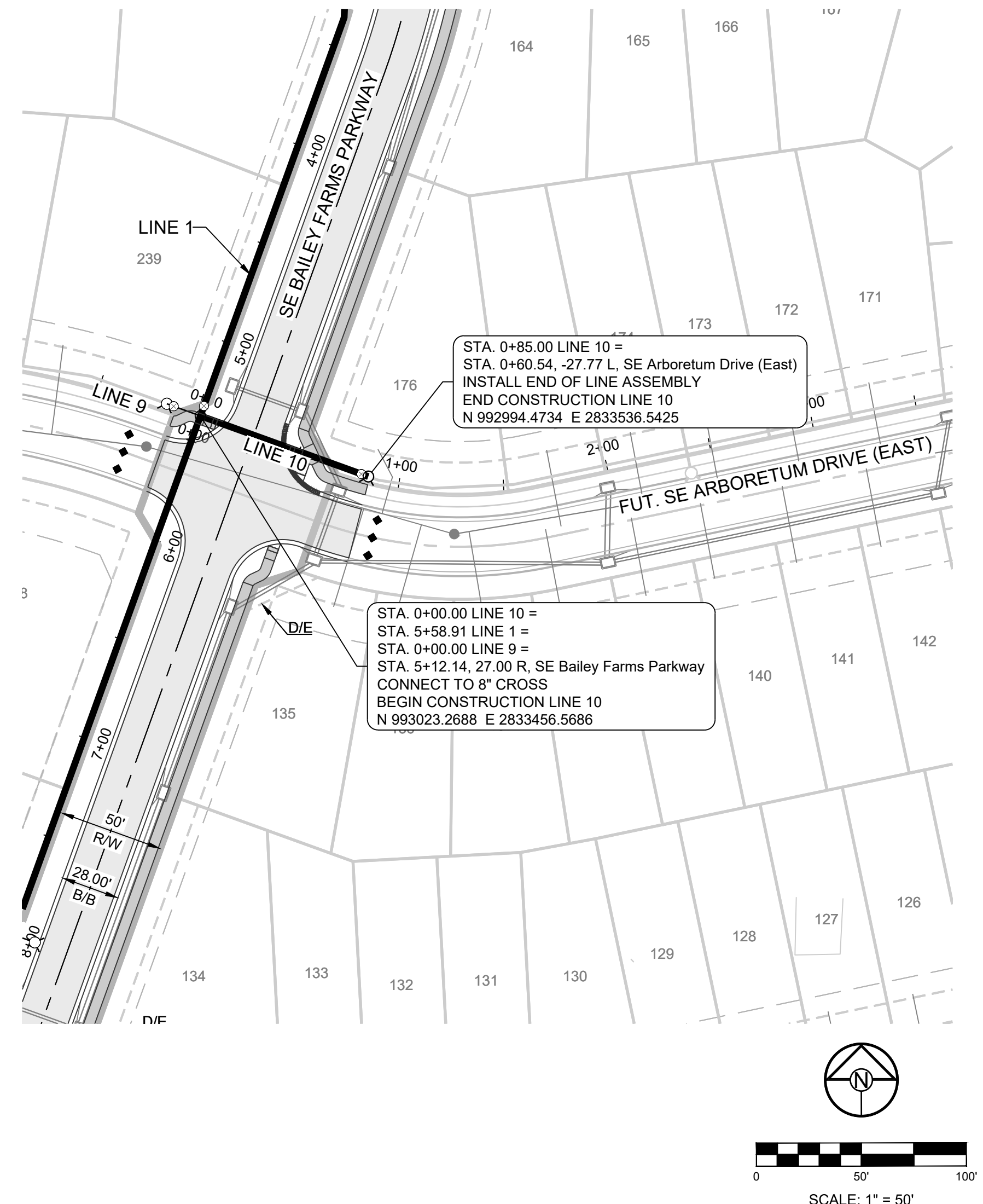
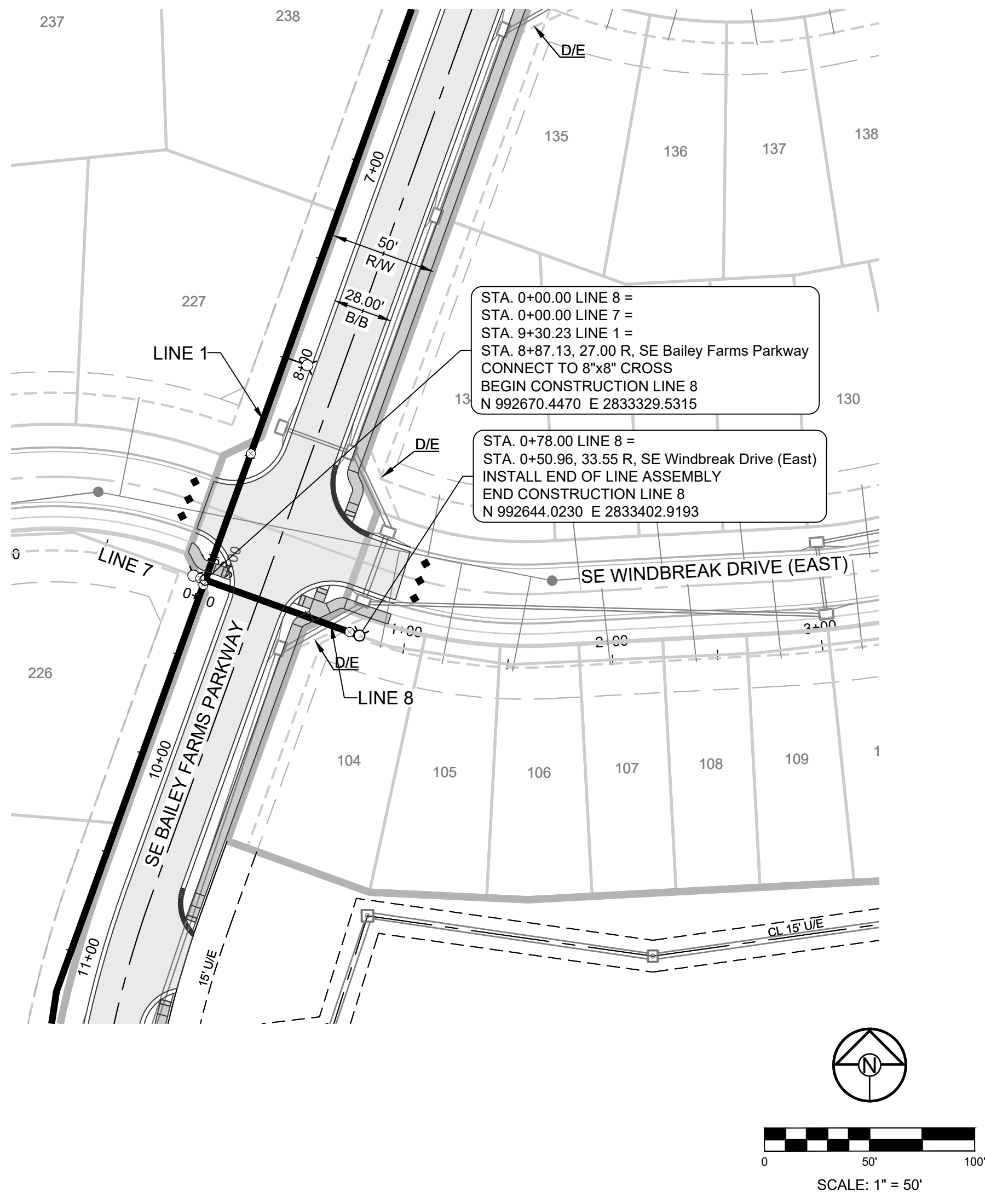


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DRAWN BY:	MBH
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WATER LINE 5
PLAN & PROFILE

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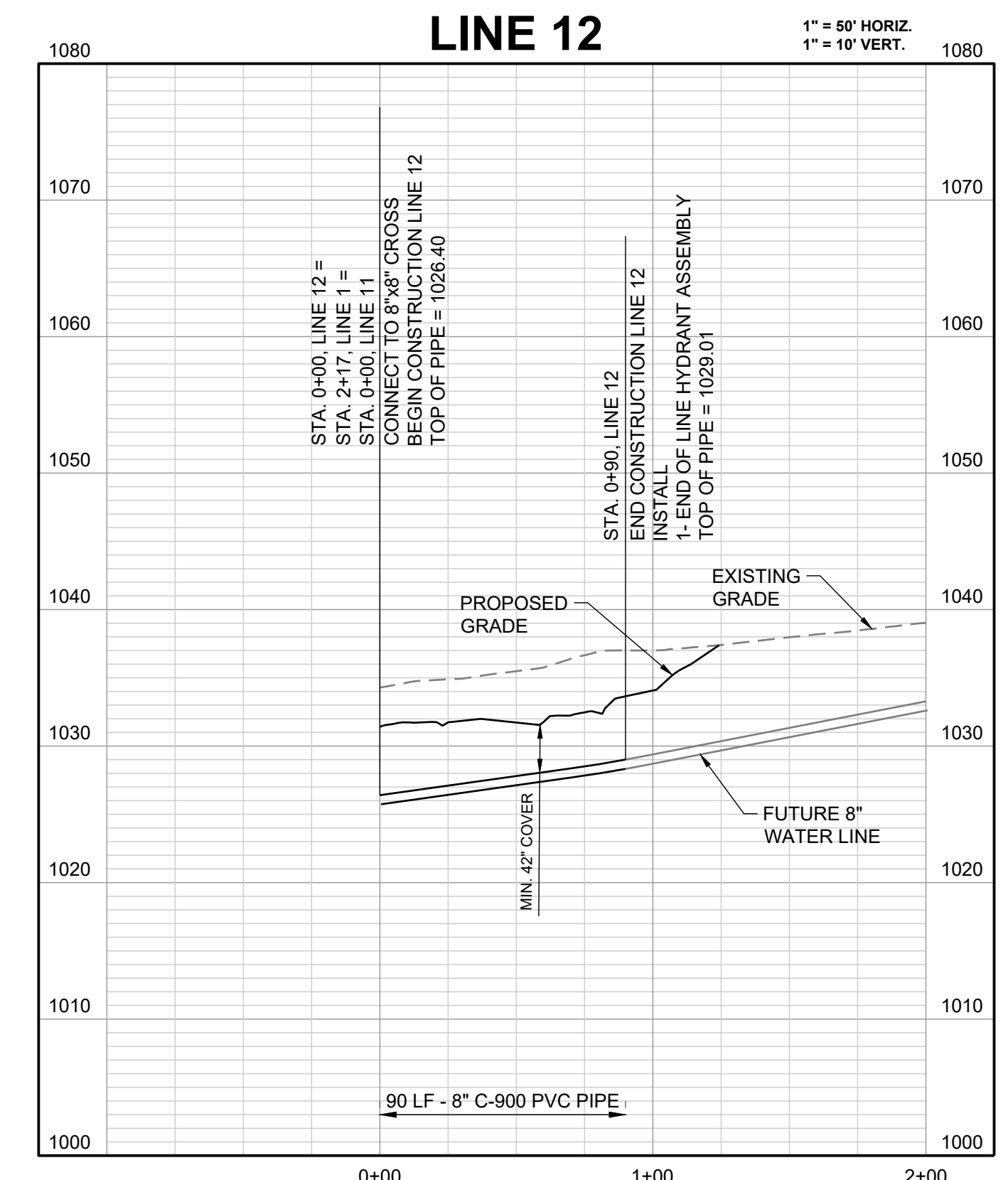
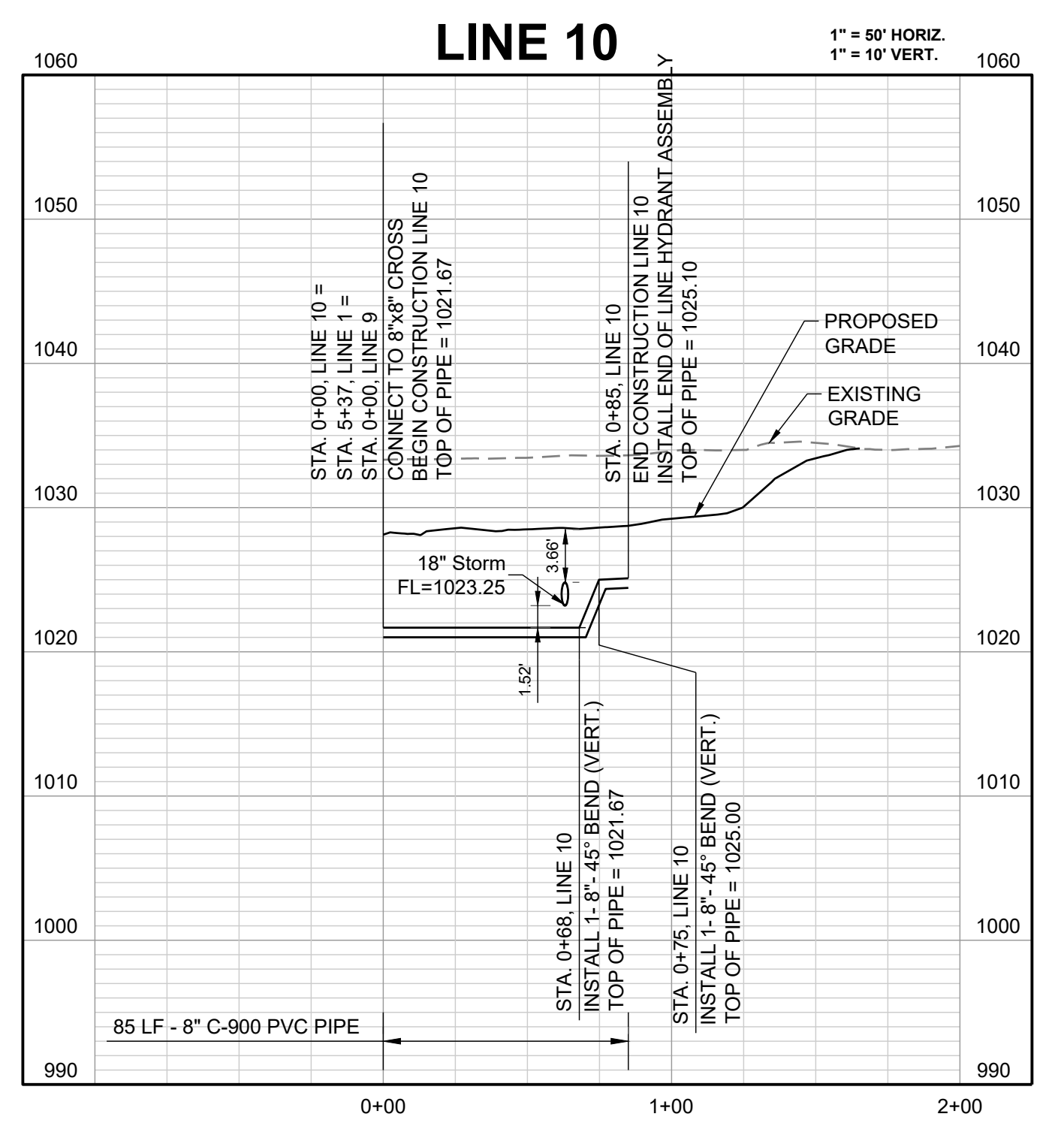
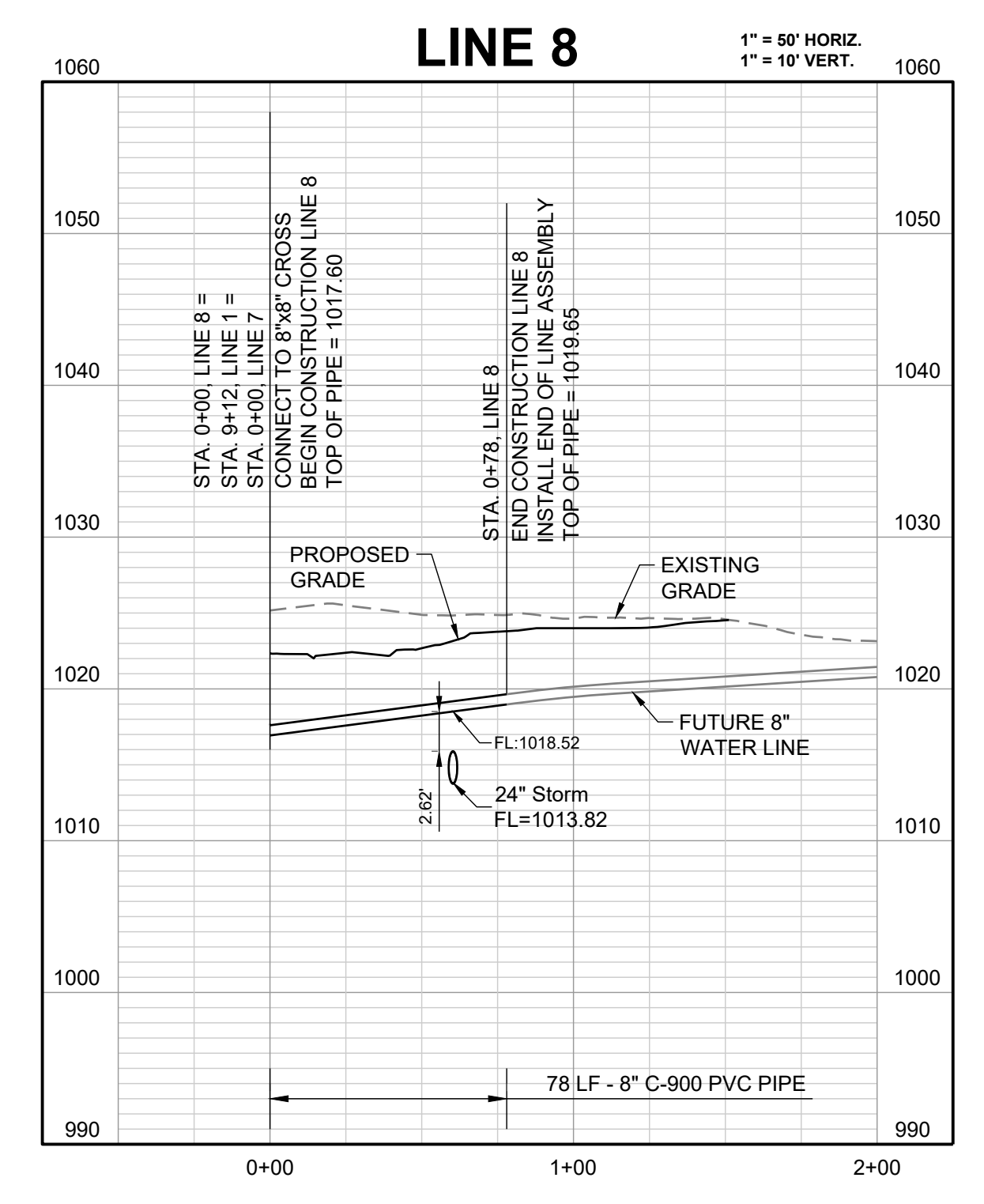
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PREPARED BY:
 JAMES L. LONG
 PROFESSIONAL ENGINEER
 NUMBER PE-201401895
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
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 SE BAILEY ROAD AND SE RANSON ROAD
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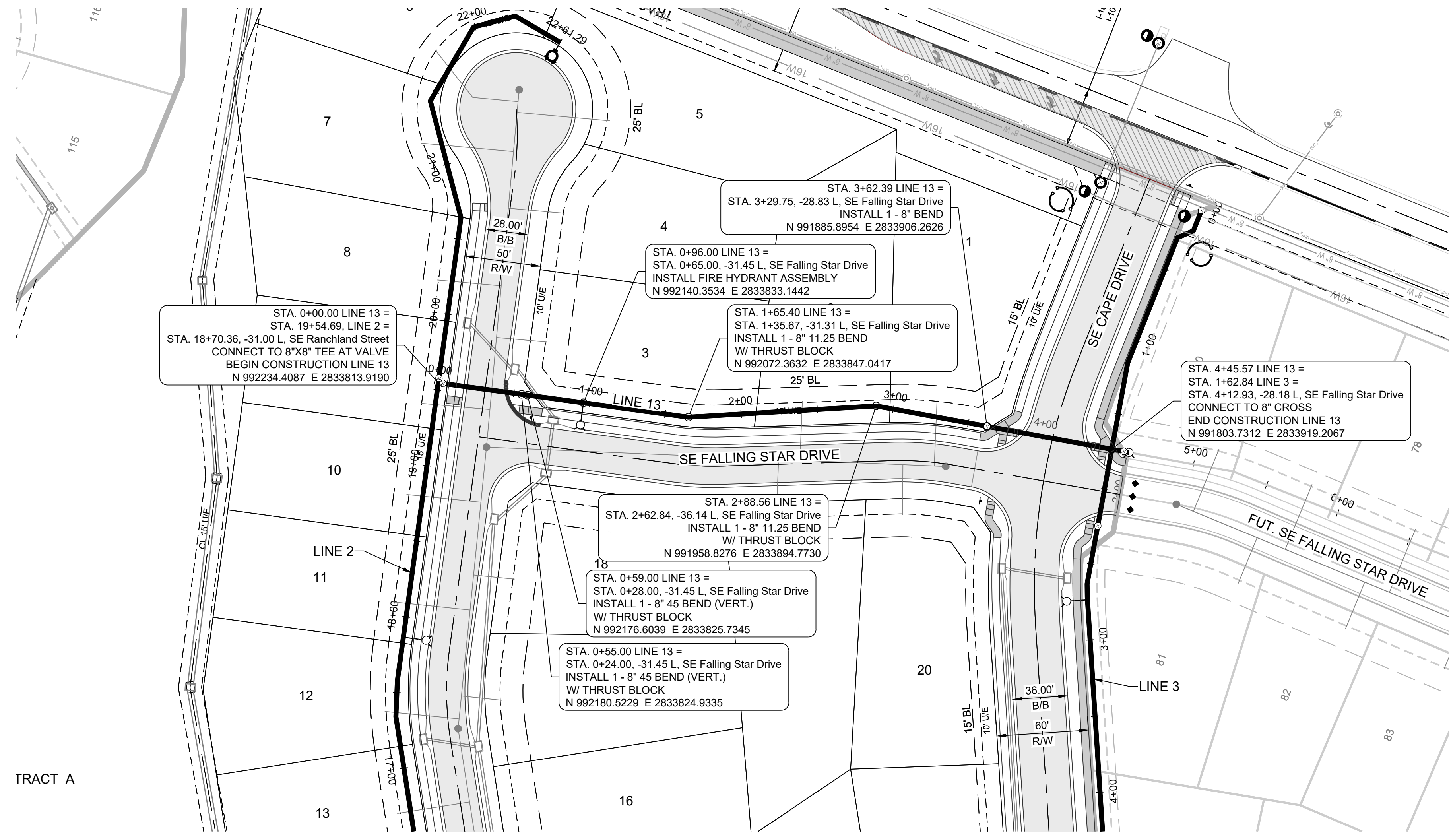
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PROJ. NUMBER:	21-130

WATER LINE 8, 10, & 12 PLAN & PROFILE

SHEET
13

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PROJECT BENCHMARK:
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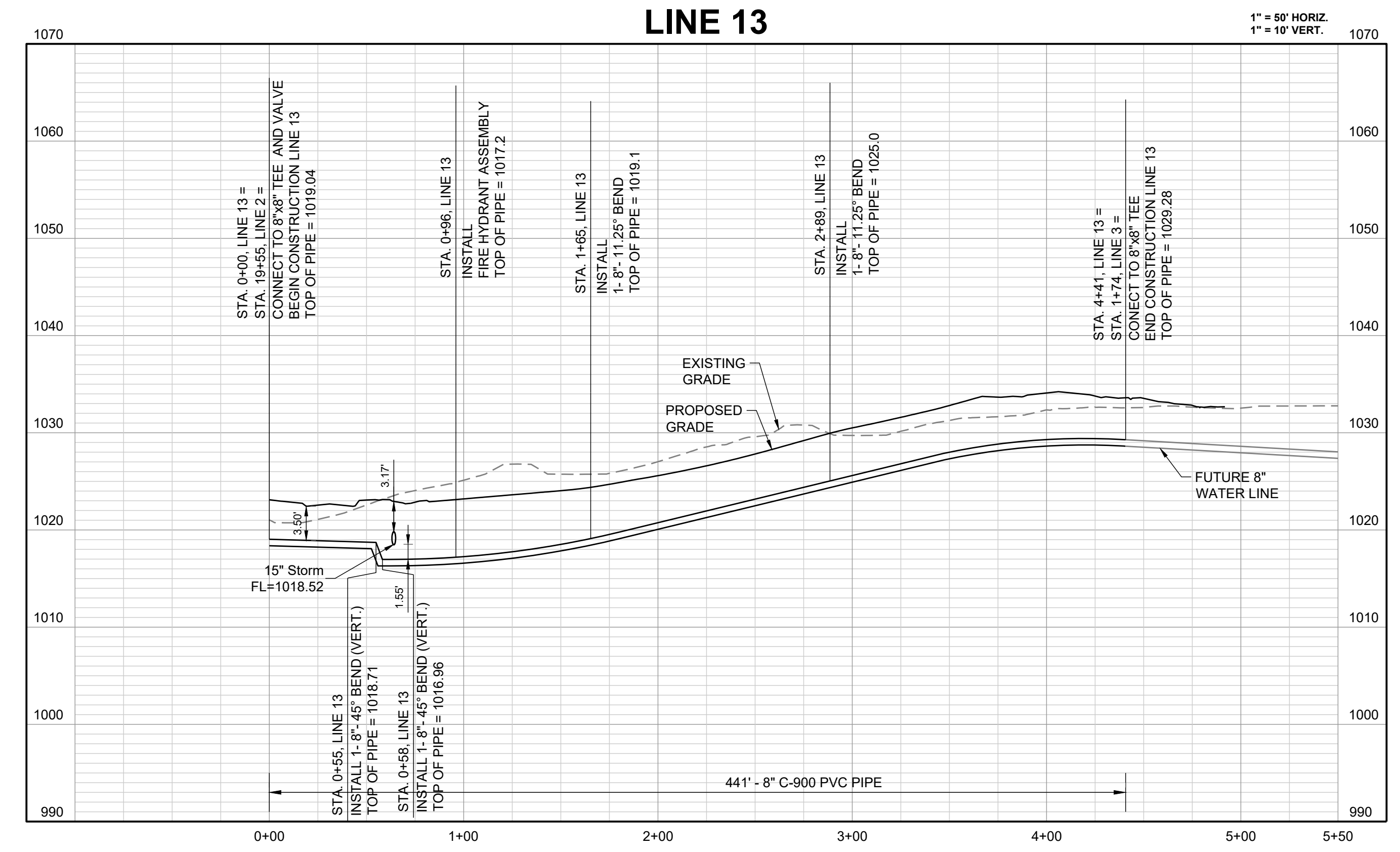
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PREPARED BY:

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 NUMBER PE-00418995
 4/21/2022
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT
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WATER LINE 13
 PLAN & PROFILE

SHEET
14

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