

Architect 00212, Professional Engineer 000133, Professional Land Surveyor 000059

PRELIMINARY DEVELOPMENT PLAN FOR LS INDUSTRIAL, LLC Section 17–Township 47N–Range 31W City of Lee’s Summit Jackson County, Missouri

LEGAL DESCRIPTION

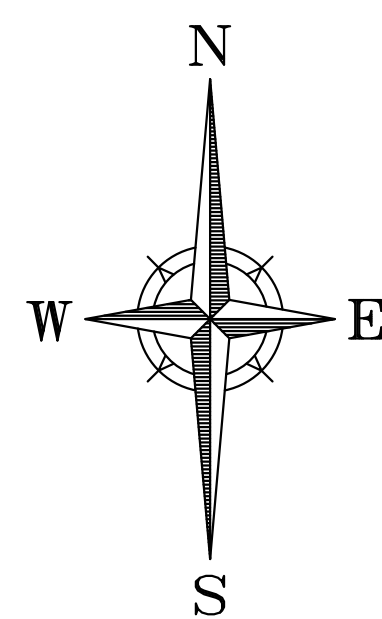
A tract of land being part of the Northeast and Northwest Quarters of Section 17, Township 47 North, Range 31 West of the Fifth Principal Meridian, in the City of Lee’s Summit, Jackson County, Missouri, said tract more particularly described as follows:

COMMENCING at the Northwest corner of said Northeast Quarter; thence South 87°43’34” East, along the North line of said Northeast Quarter, a distance of 42.89 feet; thence South 02°16’ 26” West, departing said North line, a distance of 49.92 feet, to the intersection of the South line of Bailey Road established by a Right-of-Way deed recorded as Instrument Number 2010E0113177 and the westerly line of Union Pacific Railroad (formerly Missouri Pacific Railroad Company) established by Special Warranty Deed recorded as Document Number 197110083905 in Book 1252 at Page 675, said intersection also being the POINT OF BEGINNING; thence South 29°25’44” East, along said westerly railroad line, a distance of 1,488.22 feet, to the intersection of said westerly railroad line with the North line of WATT ACRES, a subdivision of land in said city, county and state, recorded in Book 18, Page 93, said line also being the South line of the Northwest Quarter of said Northeast Quarter; thence North 87°32’47” West, departing said westerly railroad line, along said North line of WATT ACRES, and along said South line, a distance of 832.35 feet, to the Southwest corner of said North Northwest Quarter of the Northeast Quarter, said corner being on the East line of MADDUX ACRES, a subdivision in said city, county and state, recorded in Book 21, Page 55; thence North 02°35’45” East, departing said North line, along the West line of said Northwest Quarter of the Northeast Quarter, and along said East line, a distance of 358.32 feet, to the Northeast corner of said MADDUX ACRES; thence North 87°49’40” West, departing said West line, along the North line of said subdivision, a distance of 1,020.02 feet; thence South 02°34’12” West, departing said North line, a distance of 295.01 feet, to a point on the North Right-of-Way line of 16th Street, as now established; thence North 87°59’13” West, along said North Right-of-Way line, a distance of 130.00 feet; thence North 02°33’49” East, departing said North Right-of-Way line, a distance of 295.37 feet, to the North line of said MADDUX ACRES; thence North 87°49’40” West, along said North line a distance of 357.53 feet, to a point on the East Right-of-Way line of Missouri State Highway No. 291, as now established; thence North 26°18’22” West, along said East Right-of-Way line, a distance of 55.42 feet; thence North 02°59’35” West, along said East Right-of-Way line, a distance of 241.77 feet, thence continuing along said East Right-of-Way line, along a curve to the right having a radius of 1707.58 feet, a chord bearing of North 18°02’37” West, a central angle of 13°09’41”, an arc length of 392.24 feet; thence North 32°13’27” East, a distance of 61.84 feet, to a point on the South Right-of-Way line of Bailey Road established by a Right-of-Way deed recorded as Instrument Number 2010E0113177; thence South 87°49’40” East, along said South Right-of-Way line, a distance of 1,930.59 feet, to the POINT OF BEGINNING, containing 2,171,545 square feet or 49.85 acres.

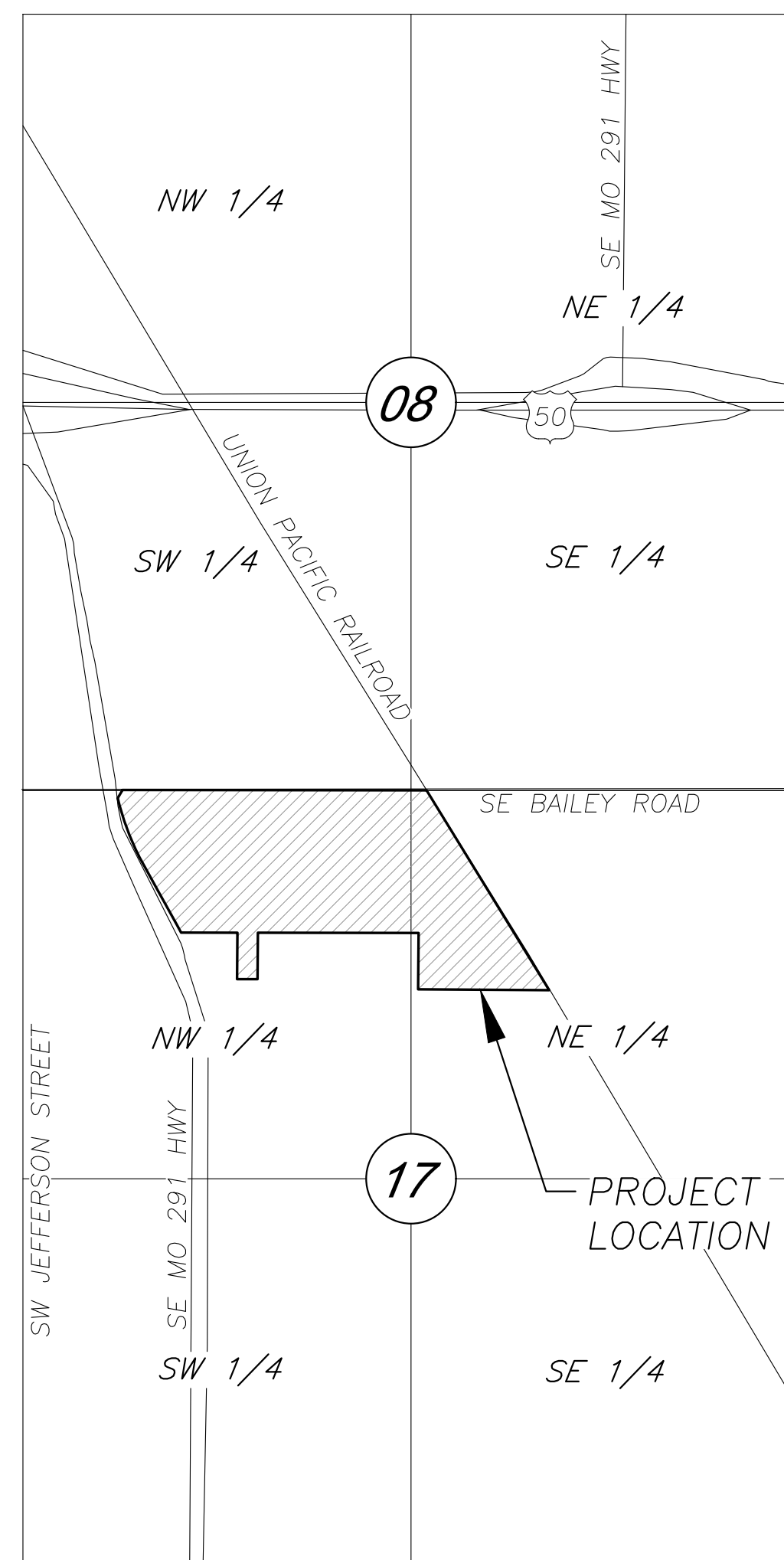
UTILITY CONTACTS

Sanitary Sewers	Mr. Jeff Thorn, PE City of Lee’s Summit Water Utilities 1200 SE Hamblen Road Lee’s Summit, MO 64063 (816) 969-1900 email: jeff.thorn@cityofLS.net	Gas	Mr. Donnie Richards Missouri Gas Energy 7500 E 35th Terrace Kansas City, MO 64129 (816) 472-9464 Fax (816) 472-3488 email: donnie.richards@sug.com
	Mr. Jeff Shook Little Blue Valley Sewer District 21101 East 78 Highway Independence, MO 64057 (816) 285-1522 email: jshook@lbvsd.net	Cable Television	Mr. Greg Thomas Time Warner Cable 8221 W. 119th Street Overland Park, KS 66213 (913) 643-1950 email: greg.thomas@twcable.com
Water	Mr. Jeff Thorn, PE City of Lee’s Summit Water Utilities 1200 SE Hamblen Road Lee’s Summit, MO 64063 (816) 969-1900 email: jeff.thorn@cityofLS.net	Telephone	Ms. Glenda Charles AT&T 1425 Oak Street Kansas City, MO 64106 (816) 365-1669 Fax (816) 275-1109 email: gc6954@att.com
Electric Service	Mr. Nathan Michael Kansas City Power & Light P.O. Box 418679 Kansas City, MO 64141 (816) 220-5210 Fax (816) 245-3623 email: Nathan.Michael@kcpl.com		

Missouri One Call System 1-800-344-7483 (DIG-RITE)



Scale: 1”=1000’



VICINITY MAP

Section 17-T47N-R31W

Floodplain

THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS (SFHA) PER FEMA FIRM MAP 2909SC0438G-PANEL 438 OF 625, EFFECTIVE DATE OF JANUARY 20, 2017. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

Disturbed Area

49.85 AC

INDEX OF SHEETS

Sht. No.	Description
C1	Cover Sheet
C2	General Layout
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C4	Dimension Plan
C5	Utility Plan
C6	Existing Conditions Drainage Map
C7	Drainage Map
C8	Drainage Calculations
L100-L103	Landscape Plans

PREPARED FOR:
GARY O’DELL
LS INDUSTRIAL, LLC
4 EAST FRANKLIN ST.
LIBERTY, MISSOURI 64068
816-803-7633

PREPARED & SUBMITTED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219-9745
CONTACT: CLINT LOUMASTER, PE
913-492-0400

PROJECT ENGINEER:

2/25/2022

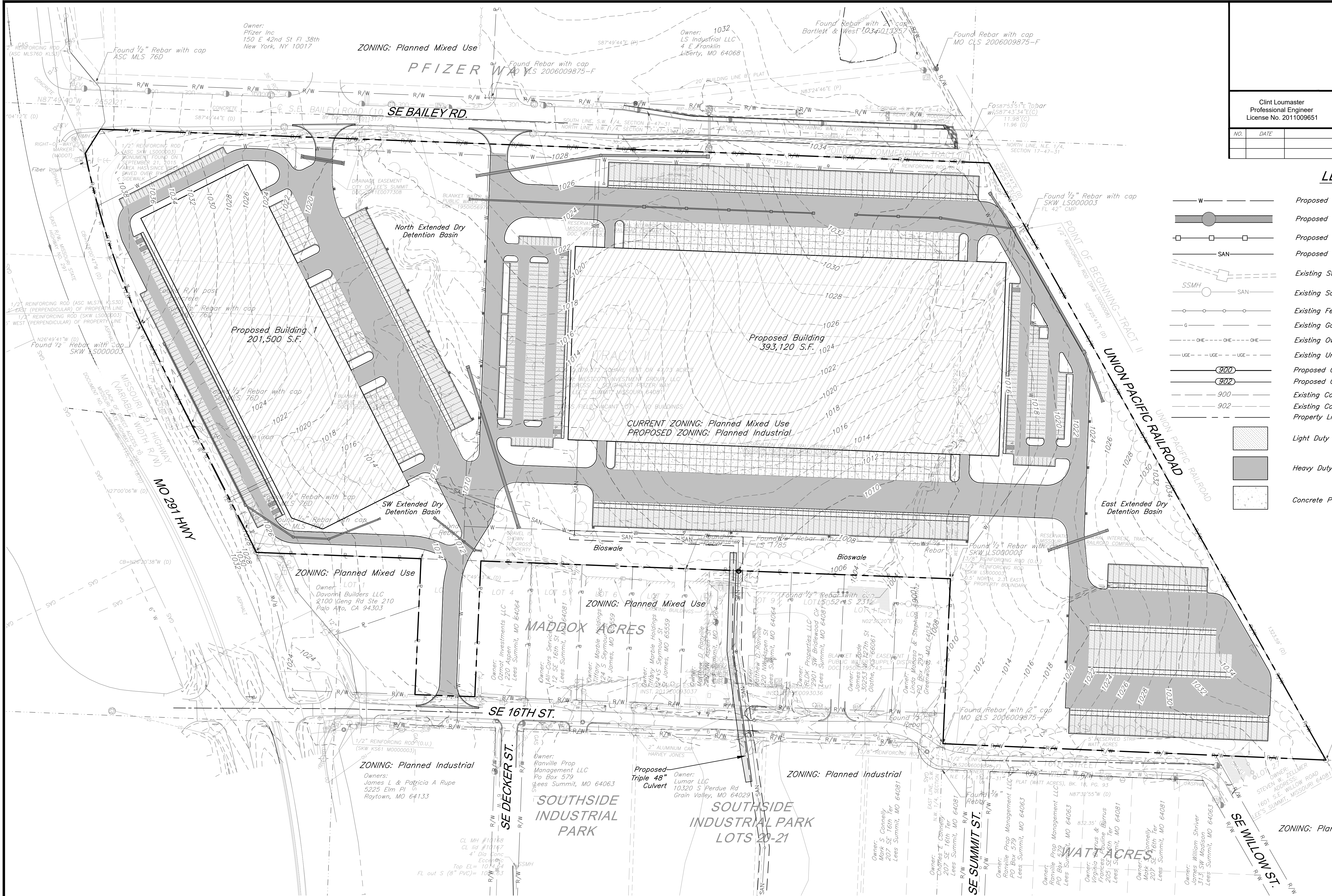
DATE:

GBA
architects
engineers

9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

2/25/2022

C:\13958.01\Civil 3D\Production Drawings\Site Plans\13958.01C0200.dwg Layout: C2 General Layout -- Friday, February 25, 2022, 10:47am -- Copyright 2022, George Butler Associates, Inc. Architect 2021,22, Professional Engineer 000133, Professional Land Surveyor 000259



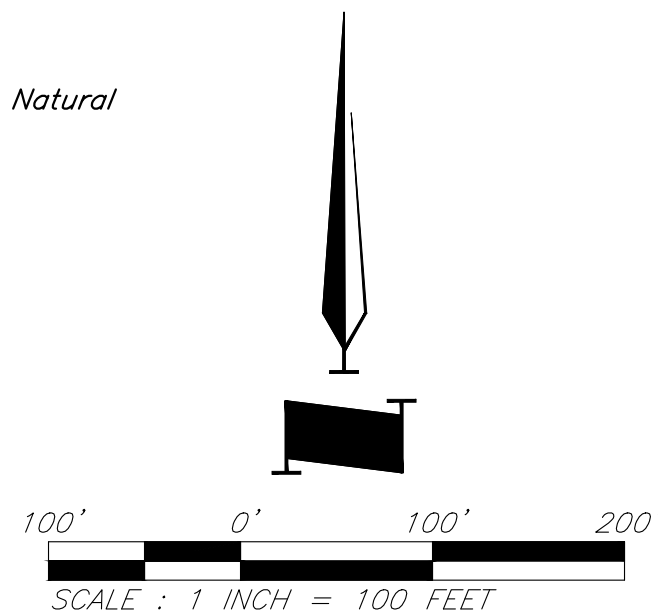
 9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com	DATE: 2-25-2022	
	DESIGN BY: CEL	
	DRAWN BY: DRV/KNJ	
	PROJECT NO.: 13958.01	
	SHEET NO.	TOTAL SHEETS
	C2	C8
Preliminary Development Plan LS Industrial, LLC Lee's Summit, Missouri		
REVISIONS	BY	APPROVED

LEGEND

- | | | | |
|-----------------------------|-------------------------------|--------------|------------------------|
| W | Proposed Water Line | ⊕ P. | Power Pole |
| —●— | Proposed Storm Sewer | ⊕ | Guy Anchor |
| —□— | Proposed Fence Line | ⊕ MH | Electrical Manhole |
| —SAN— | Proposed Sanitary Sewer | ⊕ Elec. Ped. | Electric Pedestal |
| SSMH | Existing Storm Sewer | ● | Gate Post |
| —○— | Existing Sanitary Sewer | ● M. | Bollard/Guard Post |
| —G— | Existing Fence Line | □ V. | Gas Meter |
| —G— | Existing Gas Line | □ | Gas Valve |
| —OHE— | Existing Overhead Electric | □ | Gas Regulator |
| —UGE— | Existing Underground Electric | ⊕ SSMH | Area Inlet |
| 900 | Proposed Contour Major | ⊕ L. | Junction Box |
| 902 | Proposed Contour Minor | ⊕ P. | Sanitary Sewer Manhole |
| 900 | Existing Contour Major | ⊕ MH | Light Pole |
| 902 | Existing Contour Minor | ⊕ Tel. Ped. | Yard Light |
| — | Property Line | ⊕ P. | Sign |
| Light Duty Asphalt Pavement | | ⊕ | Telephone Manhole |
| Heavy Duty Asphalt Pavement | | ⊕ | Telephone Pedestal |
| Concrete Pavement | | ⊕ | Telephone Pole |
| | | ⊕ | Tree Coniferous |
| | | ⊕ | Tree Deciduous |
| | | ⊕ | Fire Hydrant |
| | | ⊕ | Water Meter |

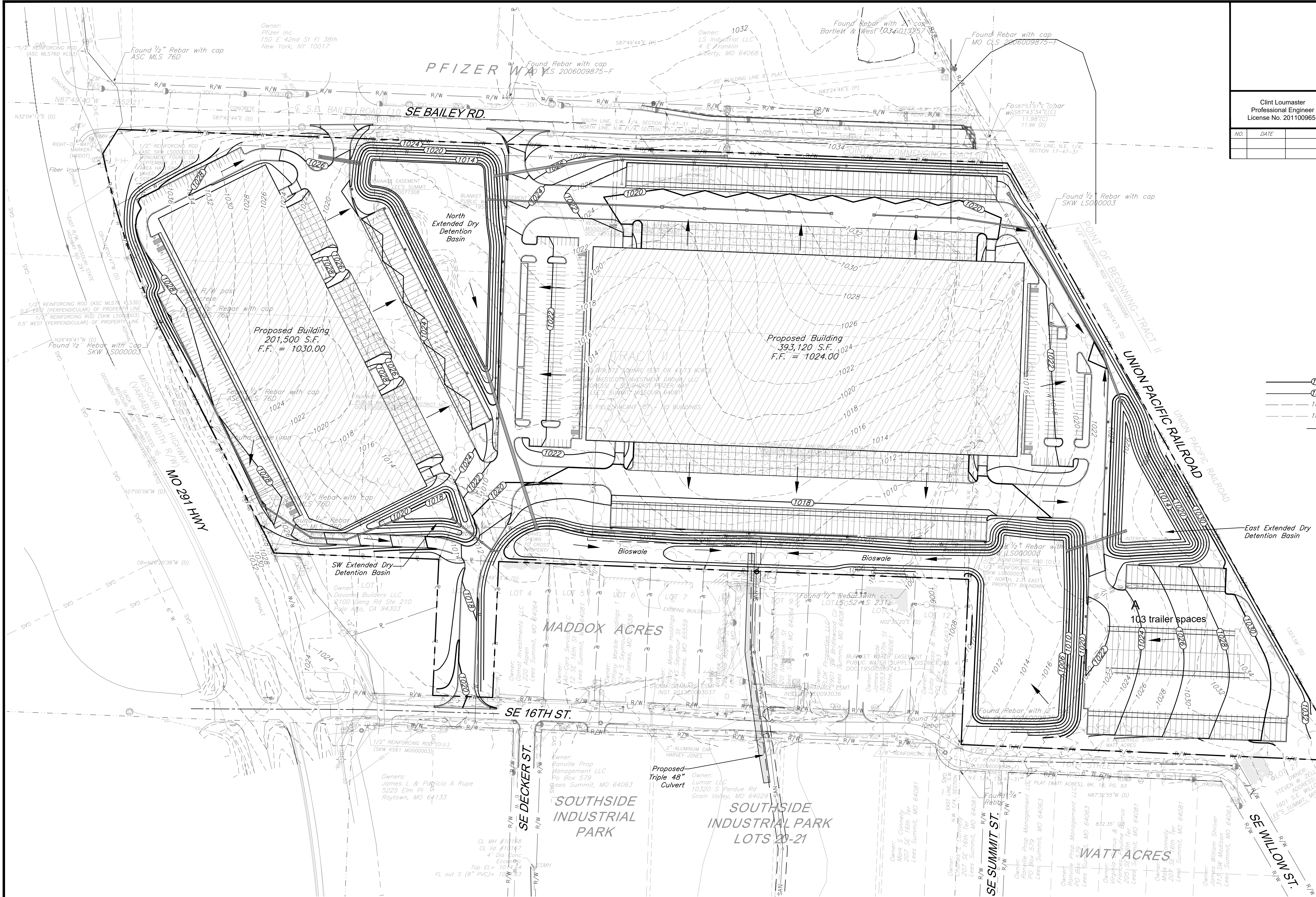
NOTE:

No oil or gas wells are present on this property per Missouri Department of Natural Resources online mapping.



General Layout

C:\13958.01\Civil 3D\Production Drawings\Site Plans\13958.01C0700.dwg Layout: C3 Grading Plan -- Friday February 25, 2022, 10:48am -- Copyright 2022, George Butler Associates, Inc. Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



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DATE: 2-25-2022

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PROJECT NO.: 13958.01

SHEET NO. C3

TOTAL SHEETS C8

Clint Loumaster
Professional Engineer
License No. 201109651

Preliminary Development Plan
LS Industrial, LLC
Lee's Summit, Missouri

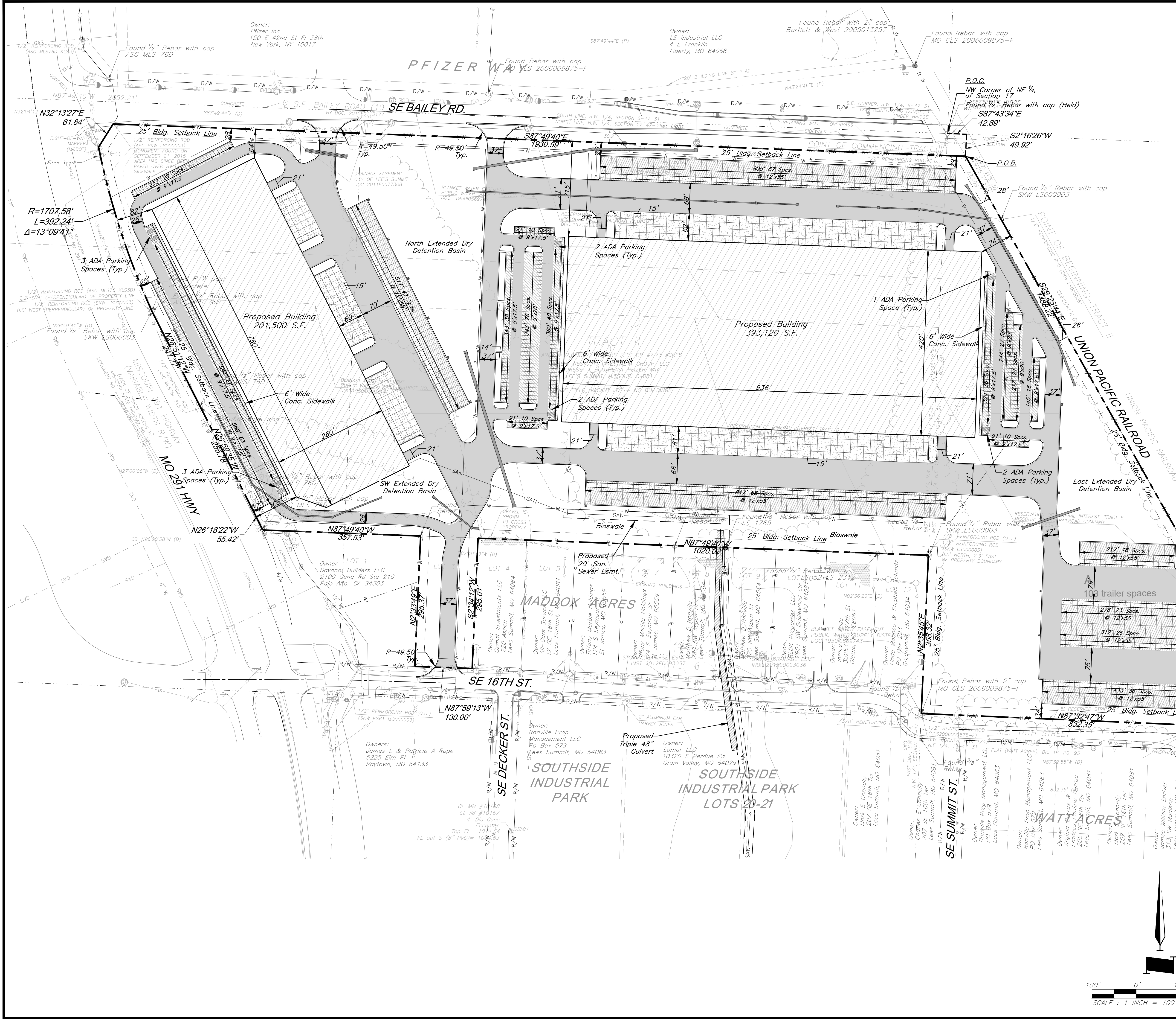
NO.	DATE	REVISIONS	BY	APPROVED

LEGEND

- 1020 Proposed Contour Major
- 1018 Proposed Contour Minor
- 1020 Existing Contour Major
- 1018 Existing Contour Minor
- Flow Arrow

Grading Plan

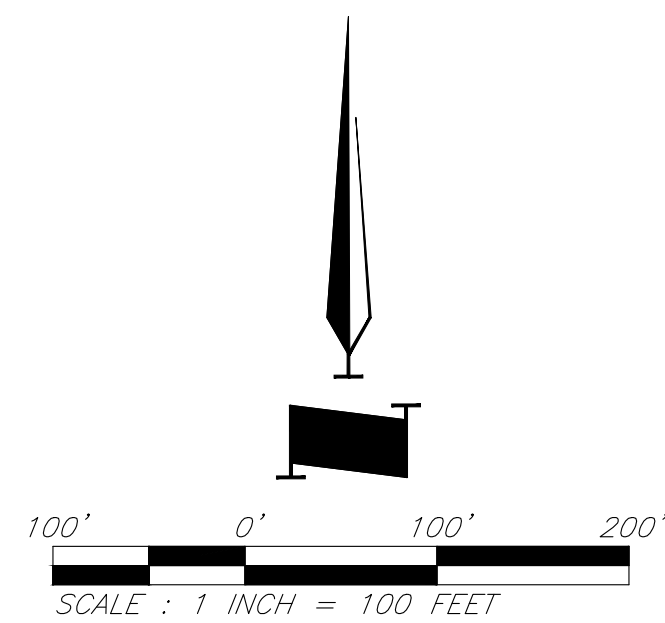
C:\13958.01\Civil 3D\Production Drawings\Site Plans\13958.01C0800.dwg Layout: C4 Dimension Plan -- Friday, February 25, 2022, 10:49am -- Copyright 2022, George Butler Associates, Inc. Architect 2021,22, Professional Engineer 000133, Professional Land Surveyor 000259



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PROJECT NO.: 13958.01		SHEET NO. TOTAL SHEETS		
		C4 C8		
Clint Loumaster Professional Engineer License No. 2011009651		Preliminary Development Plan LS Industrial, LLC Lee's Summit, Missouri		
NO.	DATE	REVISIONS	BY	APPROVED

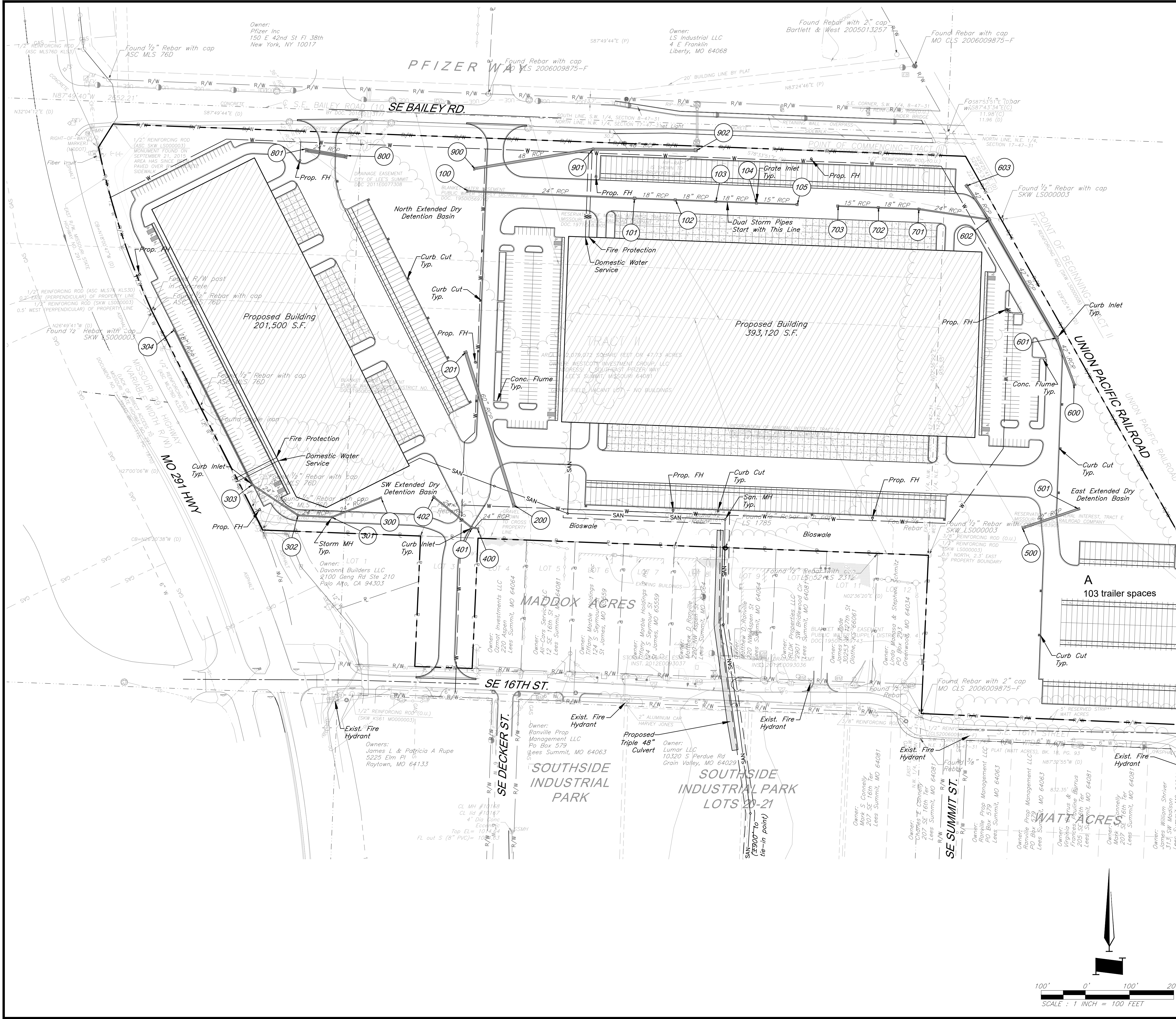
LEGEND

	Light Duty Asphalt Pavement
	Heavy Duty Asphalt Pavement
	Concrete Pavement



Dimension Plan

C:\13958.01\Civil 3D\Production Drawings\Site Plans\13958.01C0900.dwg Layout: C5 Utility Plan -- Friday February 25, 2022, 10:42am -- Copyright 2022, George Butler Associates, Inc. Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



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C5		SHEET NO.	TOTAL SHEETS
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LEGEND

- W— Proposed Water Line
- S— Proposed Storm Sewer
- San— Proposed Sanitary Sewer

C:\13958.01\Civil 3D\Production Drawings\Preliminary Site Plans\13958.01C2000.dwg Layout: C6 Existing Conditions Drainage Map --- Friday, February 25, 2022, 10:50am --- Copyright 2022, George Butler Associates, Inc./Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



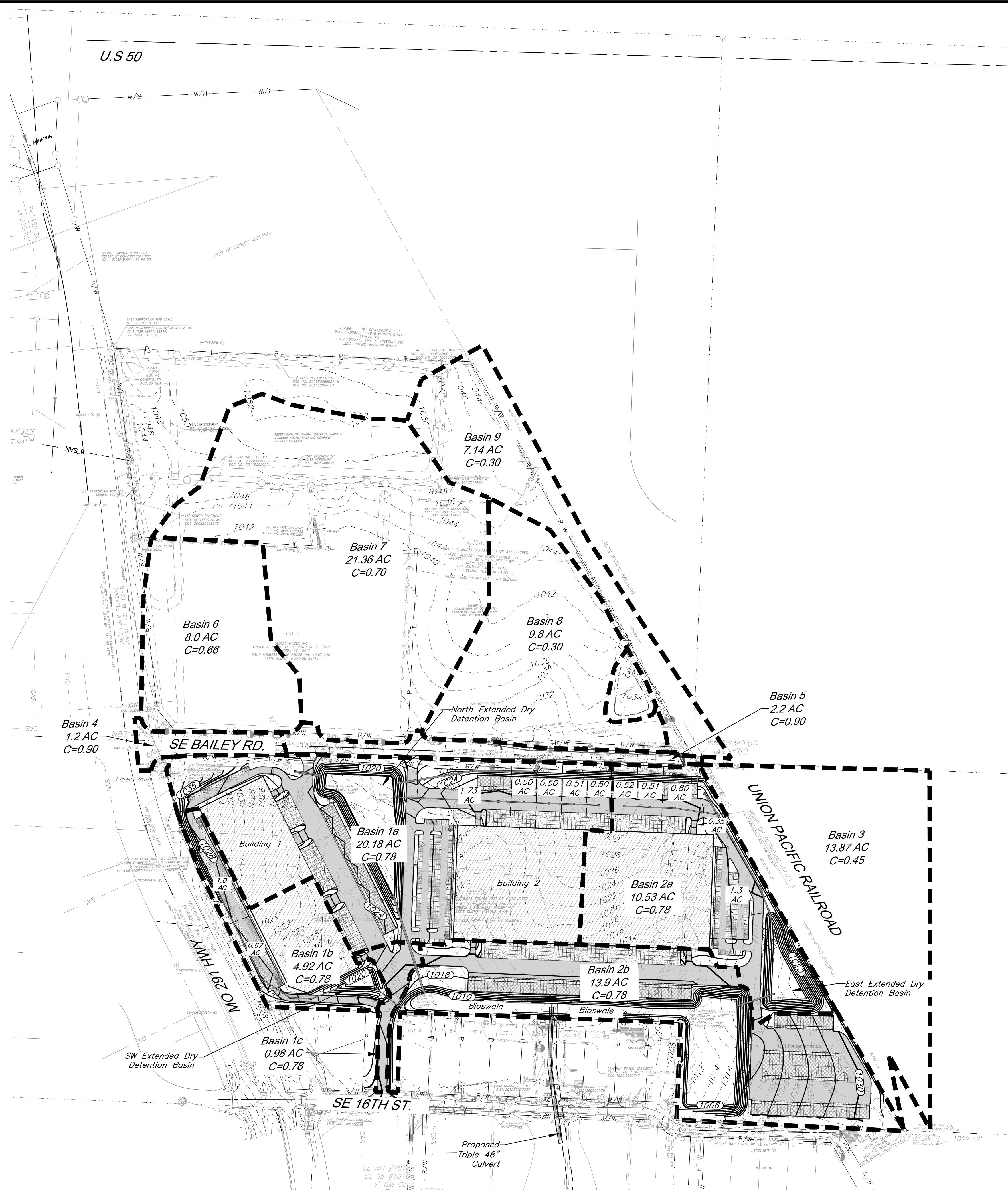
GBA 9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com		DATE: 2-25-2022		
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NO.	DATE	REVISIONS	BY	APPROVED

LEGEND

- Existing Drainage Boundary
- 900--- Existing Contour Major
- 902--- Existing Contour Minor

Existing Conditions Drainage Map

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SHEET NO.

C7

TOTAL SHEETS

C8

Clint Loumaster

Professional Engineer

License No. 2011009651

Preliminary Development Plan

LS Industrial, LLC

Lee's Summit, Missouri

NO.	DATE	REVISIONS	BY	APPROVED

LEGEND

Proposed Drainage Boundary

Proposed Sub-Basin Drainage Boundary

Proposed Contour Major

Proposed Contour Minor

Existing Contour Major

Existing Contour Minor

Drainage Map

GBA	DATE:	2-25-2022	
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	SHEET NO.		TOTAL SHEETS
		C8	C8

801 Renner Blvd., Ste. 300
 Lenexa, KS 66219
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Preliminary Development Plan
LS Industrial, LLC
Lee's Summit, Missouri

NO.	DATE	REVISIONS	BY	APPROVED

10 Year Storm																																		
Structures			Runoff Calculations										Pipe Design										Design Checks											
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope Slope, %	Pipe dia (in)	Manning's n Value	Q full (cfs)	Pipe Area, sf	V full fps	Design V fps	Hw/D	outlet head, H	HW, Inlet Control, (ft)	HW, Outlet Control, (ft)	Inlet Top Elevation	Upstream flowline	Downstream flowline	Inlet Drop (ft)	Downstream Water Elevation	Hydraulic Grade (Calculated)	Hydraulic Grade (Allowable)	Comments			
Line 100	105	104	0.50		0.90	1.00	5.00		7.35	3.3	End Section														1019.50	1016.54	1016.08		1017.64	1018.31	1019.00			
	104			0.50	0.90	1.00	5.00	0.31	7.35	3.3	RCP	92.00	0.50	15	0.013	4.58	1.23	3.73	5.00	0.9	0.67	1017.67	1018.31					1017.64						
	103	103		1.01	0.90	1.00	5.31	0.31	7.26	3.3	RCP	92.00	0.50	18	0.013	7.45	1.77	4.21	5.00	0.8	0.27	1017.03	1017.64	1019.50	1015.88	1015.42	0.2	1017.38	1017.64	1019.00	Dual 18" RCP. Calculation Shown for One Pipe			
	103		0.50		0.90	1.00	5.00		7.35	1.7	Grate Inlet													1019.50			0.2		1017.38	1019.00				
	102	102		1.51	0.90	1.00	5.61	0.31	7.17	4.9	RCP	92.00	0.50	18	0.013	7.45	1.77	4.21	5.00	0.9	0.58	1016.53	1017.38		1015.22	1014.76	0.2	1016.80	1016.80	1019.00	Dual 18" RCP. Calculation Shown for One Pipe			
	102		0.50		0.90	1.00	5.00		7.35	1.7	Grate Inlet													1019.50			0.2		1016.80	1019.00				
	101	101		2.01	0.90	1.00	5.92	0.31	7.08	6.4	RCP	92.00	0.50	18	0.013	7.45	1.77	4.21	5.00	1.0	1.00	1016.09	1016.80		1014.56	1014.10		1015.80	1015.80	1019.00	Dual 18" RCP. Calculation Shown for One Pipe			
	101		1.73		0.90	1.00	5.00		7.35	5.7	Grate Inlet													1019.50			0.2		1015.80	1019.00				
	100		3.74	0.90	1.00	6.23	1.27	6.99	11.8	RCP	380.34	0.50	24	0.013	16.04	3.14	5.11	5.00	0.9	2.53	1015.80	1015.53		1013.90	1012.00		1013.00			1013.00		Dual 24" RCP. Calculation Shown for One Pipe		
Line 300	305	304	1.00		0.90	1.00	5.00		7.35	6.6	Area Inlet																							
	304		0.67		1.00	0.90	1.00	5.00	1.31	7.35	6.6	RCP	391.73	0.50	18	0.013	7.45	1.77	4.21	5.00	1.0	3.69	1024.73	1026.49	1027.00				0.2		1026.49	1026.50		
	303	303		1.67	0.90	1.00	6.31	0.41	6.97	10.5	RCP	124.38	0.50	24	0.013	16.04	3.14	5.11	5.00	0.9	0.80	1022.79	1022.75	1026.00	1021.01	1020.39		1021.96	1022.79	1025.50				
	302		0.00		0.90	1.00	5.00		7.35	0.0	Area Inlet													1027.00			0.2		1021.96	1026.50				
	301	301		1.67	0.90	1.00	6.72	0.26	6.86	10.3	RCP	77.35	0.50	24	0.013	16.04	3.14	5.11	5.00	0.9	0.56	1021.96	1021.92		1020.19	1019.80		1021.36	1021.36	1025.00				
	301		0.00		0.90	1.00	5.00		7.35	0.0	Area Inlet													1025.50			0.2		1021.36	1025.00				
		300		1.67	0.90	1.00	6.98	0.40	6.79	10.2	RCP	120.35	0.50	24	0.013	16.04	3.14	5.11	5.00	0.9	0.74	1021.36	1020.74		1019.60	1019.00		1020.00			1020.00			
Line 400	402		4.92		0.78	1.00	16.00		5.01	19.2	Curb Inlet														1020.00						1018.10	1019.50		
	401		0.98		0.78	1.00	16.00	0.37	5.01	19.2	RCP	110.71	1.00	24	0.013	22.68	3.14	7.22	5.00	1.4	2.47	1016.22	1018.10		1013.38	1012.28		1015.64			1015.64	1017.50		
		400		5.90	0.80	1.00	16.37	0.05	4.97	23.5	RCP	15.13	0.50	24	0.013	16.04	3.14	5.11	5.00	1.8	1.40	1015.64	1014.40			1012.08	1012.00		1013.00			1013.00		
Line 600	603	602	7.14		0.30	1.00	26.67		4.01	8.6	Area Inlet														1019.75			0.2		1015.55	1019.25			
		602		7.14	0.30	1.00	26.67	0.33	4.01	8.6	RCP	100.34	0.50	36	0.013	47.29	7.07	6.69	5.00	0.7	0.06	1015.55	1014.93		1013.48	1012.97		1014.86			1014.86	1019.25		
	602		0.35	13.87	0.90	1.00	5.00		7.35	2.3	Area Inlet													1019.75			0.2		1014.86			1014.86	1019.25	
		601		21.36	0.12	1.00	27.00	1.00	3.98	9.8	RCP	299.25	0.50	36	0.013	47.29	7.07	6.69	5.00	0.7	0.18	1014.86	1013.43		1012.77	1011.28		1013.25			1013.25	1019.25		
	601	600	1.30		0.90	1.00	5.00		7.35	8.6	Area Inlet													1020.00			0.2		1013.25	1019.50				
			22.66	0.16	1.00	28.00	0.39	3.91	14.2	RCP	115.66	0.50	36	0.013	47.29	7.07	6.69	5.00	0.7	0.19	1013.25	1012.19			1011.08	1010.50		1012.00			1012.00			
Line 700	703		0.52		0.90	1.00	5.00		7.35	3.4	Area Inlet														1019.75			0.2		1018.39	1019.25			
		702		0.52	0.90	1.00	5.00	0.31	7.35	3.4	RCP	92.00	0.75	15	0.013	5.61	1.23	4.57	5.00	0.9	0.72	1017.59	1018.39		1016.44	1015.75		1017.67			1017.67	1019.25		
	702		0.51		0.90	1.00	5.00		7.35	3.4	Area Inlet													1019.75			0.2		1017.67			1017.67	1019.25	
		701		1.03	0.90	1.00	5.31	0.31	7.26	6.7	RCP	92.00	0.75	18	0.013	9.12	1.77	5.16	5.00	1.1	1.10	1017.13	1017.67		1015.55	1014.86		1016.56			1016.56	1019.25		
	701	700	0.80		0.90	1.00	5.00		7.35	5.3	Area Inlet													1019.75			0.2		1016.56	1019.25				
			1.83	0.90	1.00	5.61	0.55	7.17	11.8	RCP	165.66	1.00	24	0.013	22.68	3.14	7.22	5.00	1.0	1.26	1016.56	1015.26			1014.66	1013.00		1014.00			1014.00			
Line 900	902		9.80		0.90	1.00	18.78		4.71	41.5	Area Inlet														1028.00						1027.50			
		901		9.80	0.90	1.00	18.78	0.77	4.71	41.5	RCP	232.46	0.50	48	0.013	101.84	12.57	8.10	5.00	0.8	0.63	1024.15	1023.10		1021.03	1019.87		1022.47			1022.47	1026.50		
	901		0.00		0.90	1.00	5.00		7.35	0.0	Manhole													1027.00			0.5		1022.47	1026.50				
		900		9.80	0.90	1.00	19.55	0.91	4.63	40.8	RCP	274.32	0.50	48	0.013	101.84	12.57	8.10	5.00	0.8	0.69	1022.47	1020.69		1019.37	1018.00		1020.00			1020.00			

Drainage Map

Architect: 2021.2, Professional Engineer: 000113, Professional Land Surveyor: 000269

LAND3STUDIO

317 SE MAIN
LEE'S SUMMIT, MO 64063
816.207.6019

STATE OF MISSOURI
BOB E. BUSTY, J.D.
LANDSCAPE ARCHITECT
NO. 02003007
EXPIRATION DATE 12/31/2025
02-24-2022

DATE: 2-25-2022

DESIGN BY:

DRAWN BY:

PROJECT NO.:

SHEET NO.
L100

TOTAL SHEETS
L103

GBA

9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
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Preliminary Development Plan
LS Industrial, LLC
Lee's Summit, Missouri

LAND3 Studio - Landscape Architect
MO LA Corp# 2008001960

NO.

DATE

REVISIONS

BY

APPROVED

1

KEY PLAN

Scale: 1:150

150750150450

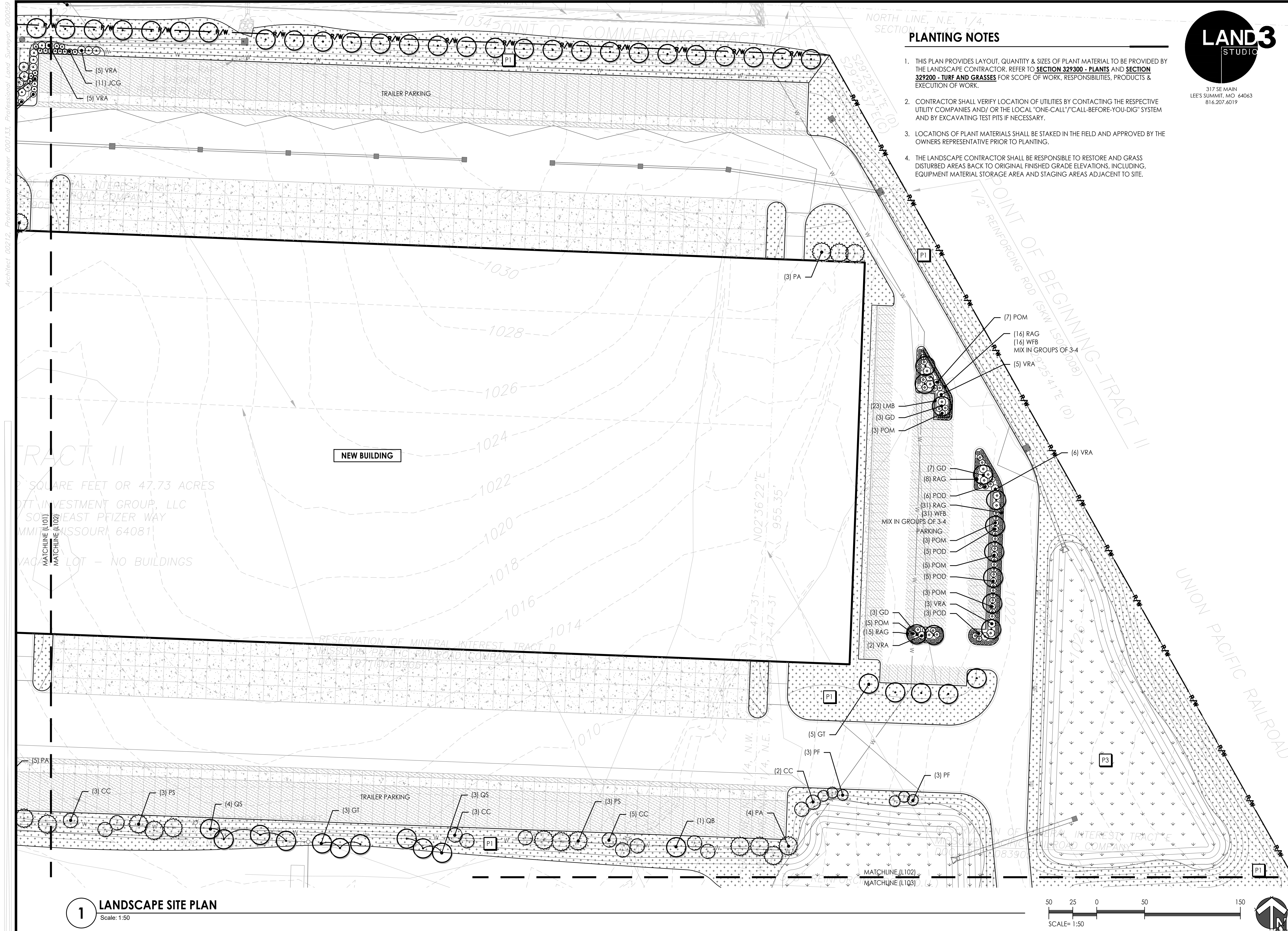
SCALE= 1:150

LANDSCAPE REQUIREMENTS - The Grove - Preliminary Development Plan						
CITY: LEE'S SUMMIT, MISSOURI						
Code	Requirement	Location	Dimension	Required	Provided	Additional Notes
8.790.A.1 Street Frontage Trees	One (1) tree shall be planted for each 30lf of street frontage	SE Bailey Road	1930 LF	64 Trees	64	
		MO 291 Hwy	945 LF	32 Trees	62	
		SE 16th Street	592 LF	20 Trees	20	
8.790.A.2 Street Frontage Green Strip	Any parking or loading visible from a street shall be separated with a 20 ft wide landscape strip	SE Bailey Road, MO-291 Hwy, & SE 16th Street		20 FT	20 FT	Refer to site plan.
8.790.A.3 Street Frontage Shrubs	One (1) shrub shall be provided for each 20ft of street frontage	SE Bailey Road	1930 LF	64 Shrubs	64	
		MO 291 Hwy	945 LF	32 Shrubs	32	
		SE 16th Street	592 LF	20 Shrubs	20	
8.790.B.1 Open Yard Areas	Provide two (2) shrubs per 5,000 square feet of total lot area excluding building footprint area.	Property Limits	1,577,664 SF	631 Shrubs	631	2,172,284 SF of lot area 594,620 SF building footprint
8.790.B.2 Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod.	Property Limits	N/A			Refer to site landscape plan.
8.790.B.3 Open Yard Areas	In addition to trees required based upon street frontage, provide one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures.	Property Limits	1,577,664 SF	316 Trees	316	2,172,284 SF of lot area 594,620 SF building footprint
8.810.A Parking Lot Landscaping & Trees	Landscape islands, strips or other planting areas shall constitute 5% of the entire area devoted to parking spaces, aisles and driveways.	Parking Lots	N/A			Industrial zoned properties, PI and CS, shall be exempt from this requirement.
8.810.B Parking Lot Landscaping & Trees	Landscape island shall be located at the end of every parking bay. The island shall be planted in trees, shrubs, grass, or ground cover.	Parking Lots	N/A			Refer to site landscape plan.
8.810.C Parking Lot Landscaping & Trees	Tree planting areas shall be no less than ten (10) feet in width. No tree shall be located less than four (4) feet from the back of curb.	Parking Lots	N/A			Refer to site landscape plan.
8.820.A-E Screening, Parking lot	Screening to a height of 2.5ft must be provided along the edge of the parking lot or loading area closest to and parallel to the street.	SE Bailey Road, MO-291 Hwy, & SE 16th Street	N/A		1. Planting beds provided	Screening may be provided in the following ways: 1. Planted only; 2. Earthen berm; 3. Wall; 4. Combination.
8.870 Buffer/Screen; Where required	Buffer/screen between development of differing land uses adjoining one another or separated from one another by only a street or ally shall comply with Table 8.890.	North Property Line	PI - PMIX		Parking screen	Property being rezoned to PI
		South & East Property Line	PI - PI	None Required		
		West Property Line	PI - PI/CP-2		Parking screen	

L 100

LANDSCAPE KEY PLAN

Architect: 000112 Professional Engineer: 000113 Professional Land Designer: 000269



PLANTING NOTES

1. THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 329300 - PLANTS** AND **SECTION 329200 - TURF AND GRASSES** FOR SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS & EXECUTION OF WORK.
2. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LOCATIONS OF PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE AND GRASS DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.



STATE OF MISSOURI
BOULEVARD
JANUARY 202003007
LANDSCAPE ARCHITECT
02-24-2022

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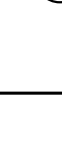
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DESIGN BY:
DRAWN BY:
PROJECT NO.:
SHEET NO. L102
TOTAL SHEETS L103

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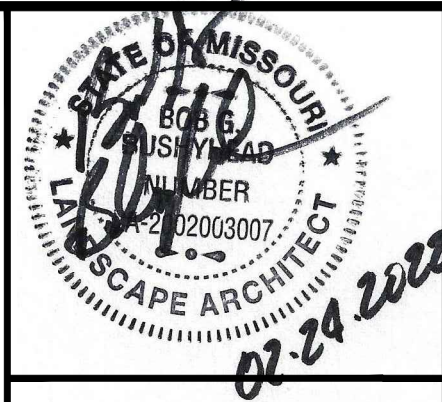
PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS	
	SHADE/STREET TREES			
	GD	Espresso Kentucky Coffeetree <i>Gymnocladus dioicus</i> 'Espresso'	2.5' cal.	
	NS	Black Gum <i>Nyssa sylvatica</i>	2.5' cal.	
	QB	Swamp-white Oak <i>Quercus bicolor</i>	2.5' cal.	
	QI	Shingle Oak <i>Quercus imbricaria</i>	2.5' cal.	
	QS	Shumardii Oak <i>Quercus shumardii</i>	2.5' cal.	
	UF	Frontier Elm <i>Ulmus x 'Frontier'</i>	2.5' cal.	
	ORNAMENTAL TREE			
	CC	White Bud <i>Cercis canadensis</i> f. <i>alba</i> 'Royal White'	6-7' ht.	
	HM	Seven Son Tree <i>Heptacodium miconioides</i>	6-7' ht.	
	EVERGREEN TREE			
	PA	Norway Spruce <i>Picea abies</i>	6-7' ht.	
	PF	Vanderwolf Pine <i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	6-7' ht.	
	PS	Eastern White Pine <i>Pinus strobus</i>	6-7' ht.	
	EVERGREEN SHRUB			
	IGD	Densa Inkberry Holly <i>Ilex glabra</i> 'Densa'	#5 cont.	
	IMB	Blue Princess Holly <i>Ilex x meserveae</i> 'Blue Princess'	18" ht. B&B	
	JCG	Gold Lace Juniper <i>Juniperus chinensis</i> 'Gold Lace'	#5 cont.	
	JPS	Sea Green Juniper <i>Juniperus x pfitzeriana</i> 'Sea Green'	#5 cont.	
	JVG	Grey Owl Juniper <i>Juniperus virginiana</i> 'Grey Owl'	#5 cont.	
	DECIDUOUS SHRUBS & PERENNIALS			
	FIL	Lynwood Gold Forsythia <i>Forsythia x intermedia</i> 'Lynwood Var'	24-36"ht. B&B	
	IVS	Henry's Garnet Sweetspire <i>Itea virginica</i> 'Henry's Garnet'	#3 cont.	
	LMB	Big Blue Liriope <i>Liriope muscari</i> 'Big Blue'	#1 cont.	
	POD	Little Devil Ninebark <i>Physocarpus opulifolius</i> 'Donna May'	#3 cont.	
	POM	Coppertina Ninebark <i>Physocarpus opulifolius</i> 'Minda'	#5 cont.	
	RAG	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	#3 cont.	
	RTB	Tiger-Eye Sumac <i>Rhus typhina</i> 'Baltiger'	#5 cont.	
	VRA	Allegheny Viburnum <i>Viburnum rhytidophylloides</i> 'Allegheny'	24-36"ht B&B	
	WFB	Fine Wine Weigela <i>Weigela florida</i> 'Bramwell'	#3 cont.	
	SEED / GROUND COVER			
		Turf type tall fescue blend sod (RE: Specifications)		
		Hydromulched turf type tall fescue seed (RE: Specifications)		
		Hydromulched native seed mix (RE: Specifications)		

Architect 000112 Professional Engineer 000113 Professional Land Surveyor 000059



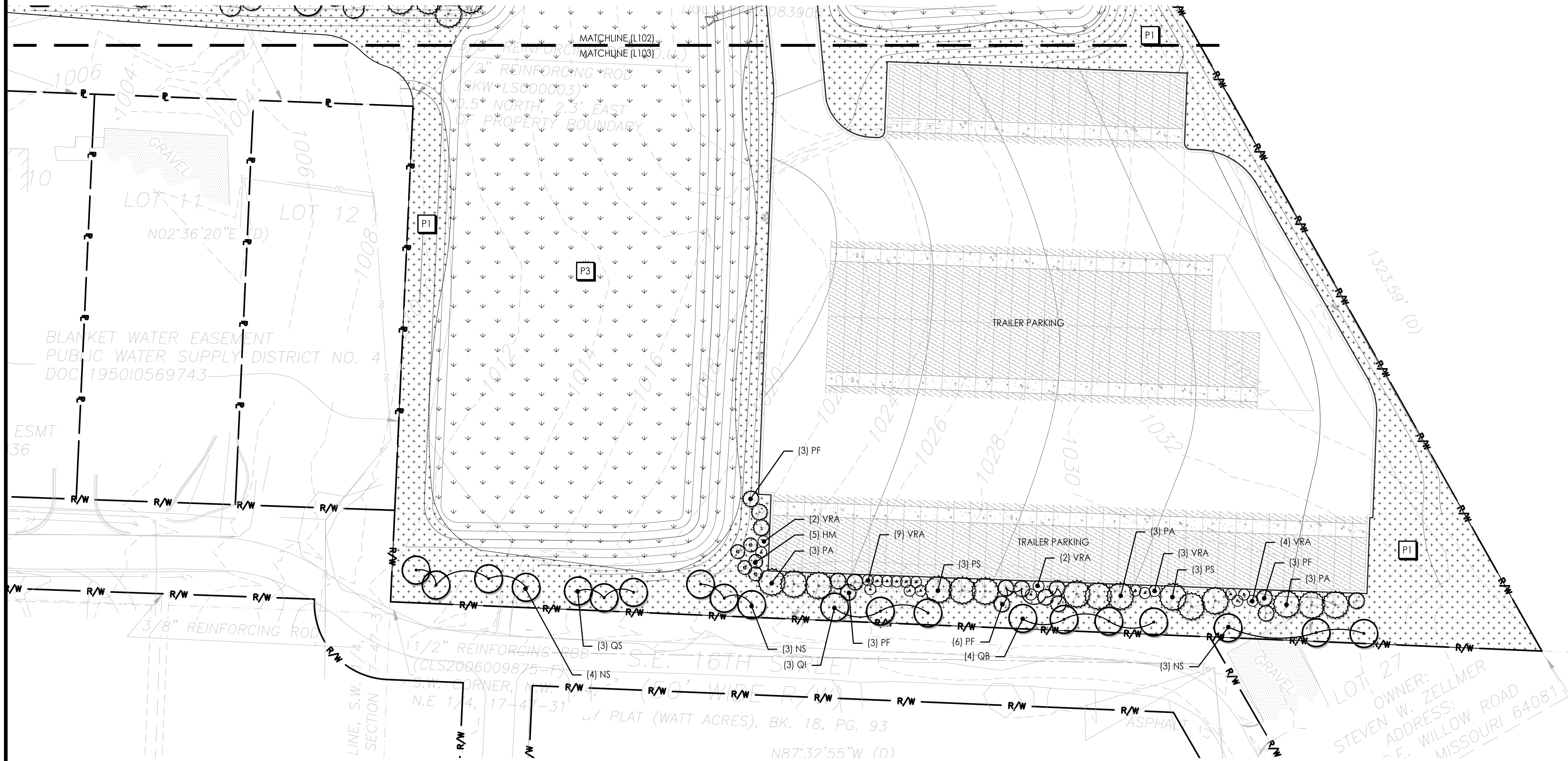
317 SE MAIN
LEE'S SUMMIT, MO 64063
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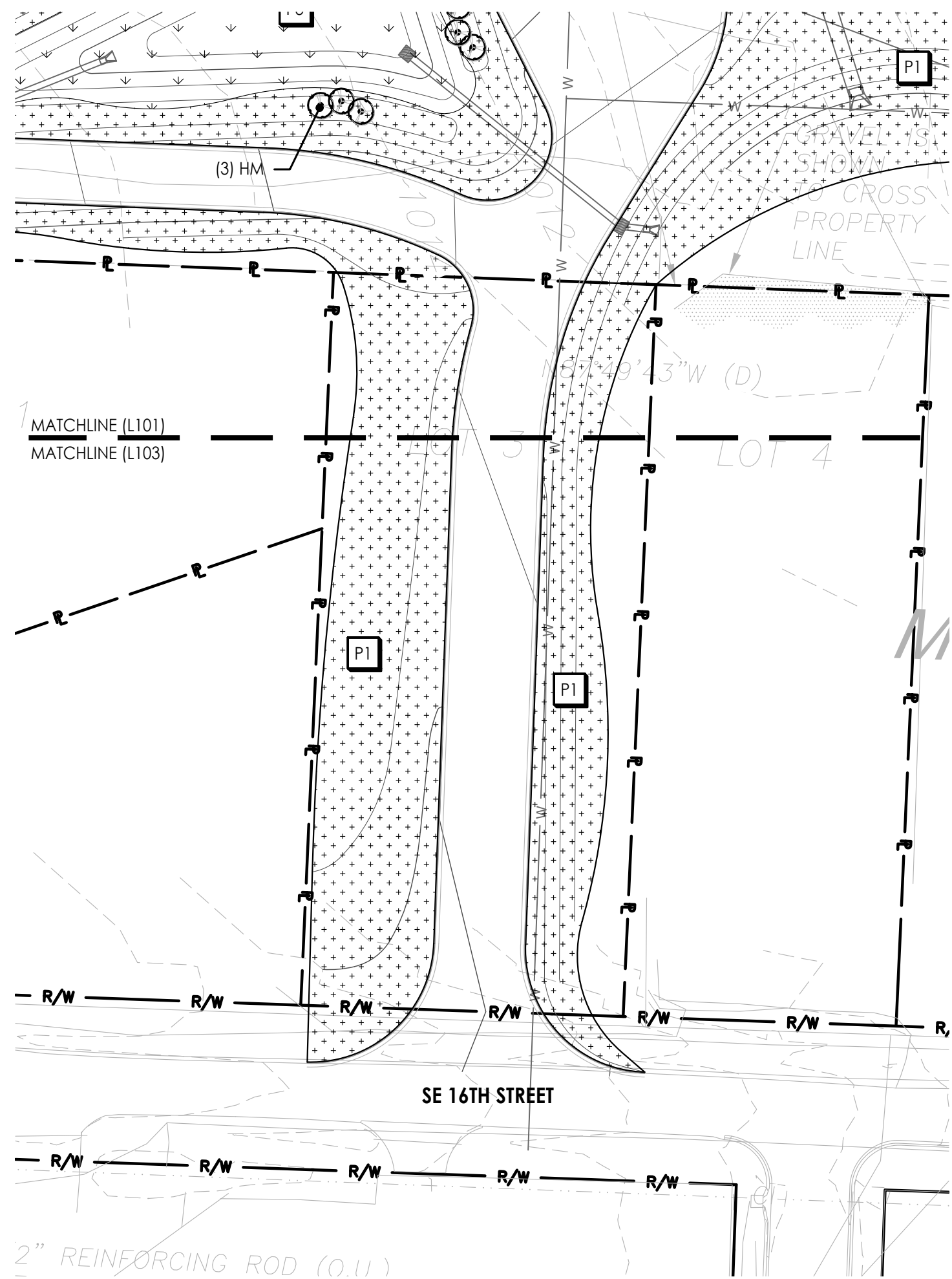
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L103	L103

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1 LANDSCAPE SITE PLAN
Scale: 1:50



2 LANDSCAPE SITE PLAN
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