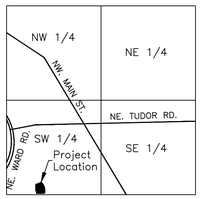
400 N.W. CHIPMAN ROAD

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
FINAL DEVELOPMENT PLANS
MEDICAL OFFICE / DRIVE-THRU RESTAURANT



LOCATION MAP
SECTION 31–T49N–R30W
Scale 1" = 2000'

INDEX OF SHEETS

GENERAL PLANS
1. COVER SHEET
2. EXISTING CONDITIONS

SITE PLANS
3. SITE DIMENSION PLAN
4. SITE GRADING PLAN

STORM SEWER PLAN AND PROFILE
5. STORM SEWER PLAN AND PROFILE

STORM DRAINAGE MAPS
6. EXISITNG CONDITIONS DRAINAGE AREA MAP
7. POST DEVELOPMENT DRAINAGE AREA MAP

EROSION CONTROL PLAN
8. EROSION CONTROL PLAN

SITE UTILITY PLAN
9. SITE UTILITY PLAN

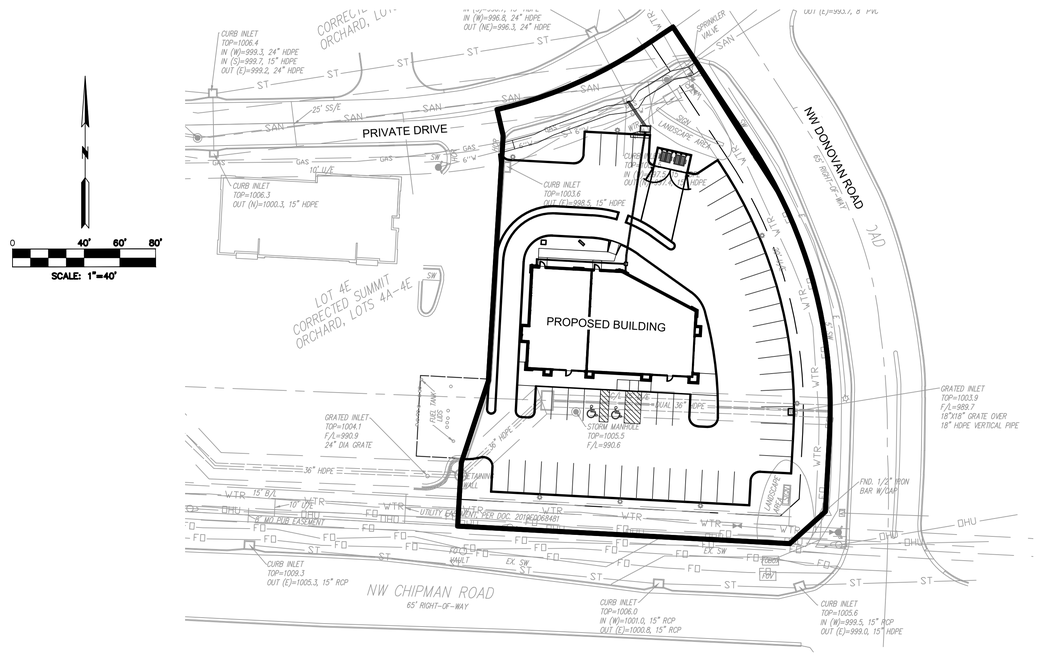
SITE DETAILS
10. MISCELLANEOUS SITE DETAILS
11. MISCELLANEOUS SITE DETAILS
12. MISCELLANEOUS SITE DETAILS
13. MISCELLANEOUS SITE DETAILS

SITE LANDSCAPE PLAN
14. LANDSCAPE PLAN

PROJECT BENCHMARKS:

#1 NORTHEAST CORNER EXISTING CURB INLET APPROX. 65 FEET WEST OF NW DONOVAN ROAD ON THE SOUTH SIDE OF PRIVATE ROAD NORTH OF SUBJECT PROPERTY.
N: 1004807.12
E: 2819988.72
TOP ELEV. 1000.51

#2 CENTER OF EXISTING STORM SEWER MANHOLE APPROX. 100 FEET NORTH OF NW CHIPMAN ROAD AND APPROX. 160 FEET WEST OF NW DONOVAN ROAD. SAID MANHOLE IS LOCATED ON SUBJECT PROPERTY.
N: 1004629.39
E: 2819958.44
TOP ELEV. 1005.47



NOTE:
1. According to the F.E.MA. Flood Insurance Rate Map Number 29095C0417G, Revised January 20, 2017, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside of 0.2% annual chance floodplain. No Base flood elevations have been determined.

PROPERTY DESCRIPTION:

LOT 4E–2, SUMMIT ORCHARD MINOR PLAT, LOTS 4E–1 and 4E–2, a subdivision in the City of Lee's Summit, Jackson County, Missouri. Containing 45,068 square feet or 1.035 acres, more or less.

GENERAL NOTES:

1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans.
6. All sidewalk shall be ADA compliant.
7. All curb shall be CG–1 unless otherwise noted.
8. There are no oil or gas wells located on the subject property as of October 23, 2019 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).
9. The contractor shall contact the City's Development Services Engineering Inspection to schedule a pre–construction meeting with a field engineering inspector prior to any land disturbance work at (816) 969–1200.
10. All construction shall follow the City of Lee's Summit Design and Construction manual.

UTILITIES

City of Lee's Summit
Public Works
220 SE Green Street
Lee's Summit, MO 64063
(816) 969–1800

City of Lee's Summit
Water and Sewer
1200 S.E. Hamblen Road
Lee's Summit, MO 64081
(816) 969–1900

Spire Gas
3025 S.E. Clover Drive
Lee's Summit, MO 64082
(816) 400–3327
Contact: Mr. Dorsey Troutman

Evergy
401 SE Bailey Road
Lee's Summit, MO. 64081
(816) 347–4316

AT&T
500 E. 8th Street
Kansas City, MO 64106
(816) 275–2721
Contact: Mr. Craig Perkins

Comcast Cable
New Construction Hotline
(866) 771–2281

Missouri One–Call
1–800–344–7483

Lee's Summit Fire Department
207 S.E. Douglas Street
Lee's Summit, MO 64063
(816) 969–7360

811
Know what's below.
Call before you dig.

DEVELOPER
COVENANT REAL ESTATE GROUP
2044 CALIFORNIA AVENUE
CORONA, CA. 92881
(951) 905-1543
CONTACT - JULIE MARGETICH

ENGINEER
Hg CONSULT, INC.
1411 NE TODD GEORGE RD.
LEE'S SUMMIT, MISSOURI 64086
(816) 703-7098
CONTACT - KEVIN STERRETT

Prepared: April 1, 2022

VICINITY MAP
NOT TO SCALE

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/08/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

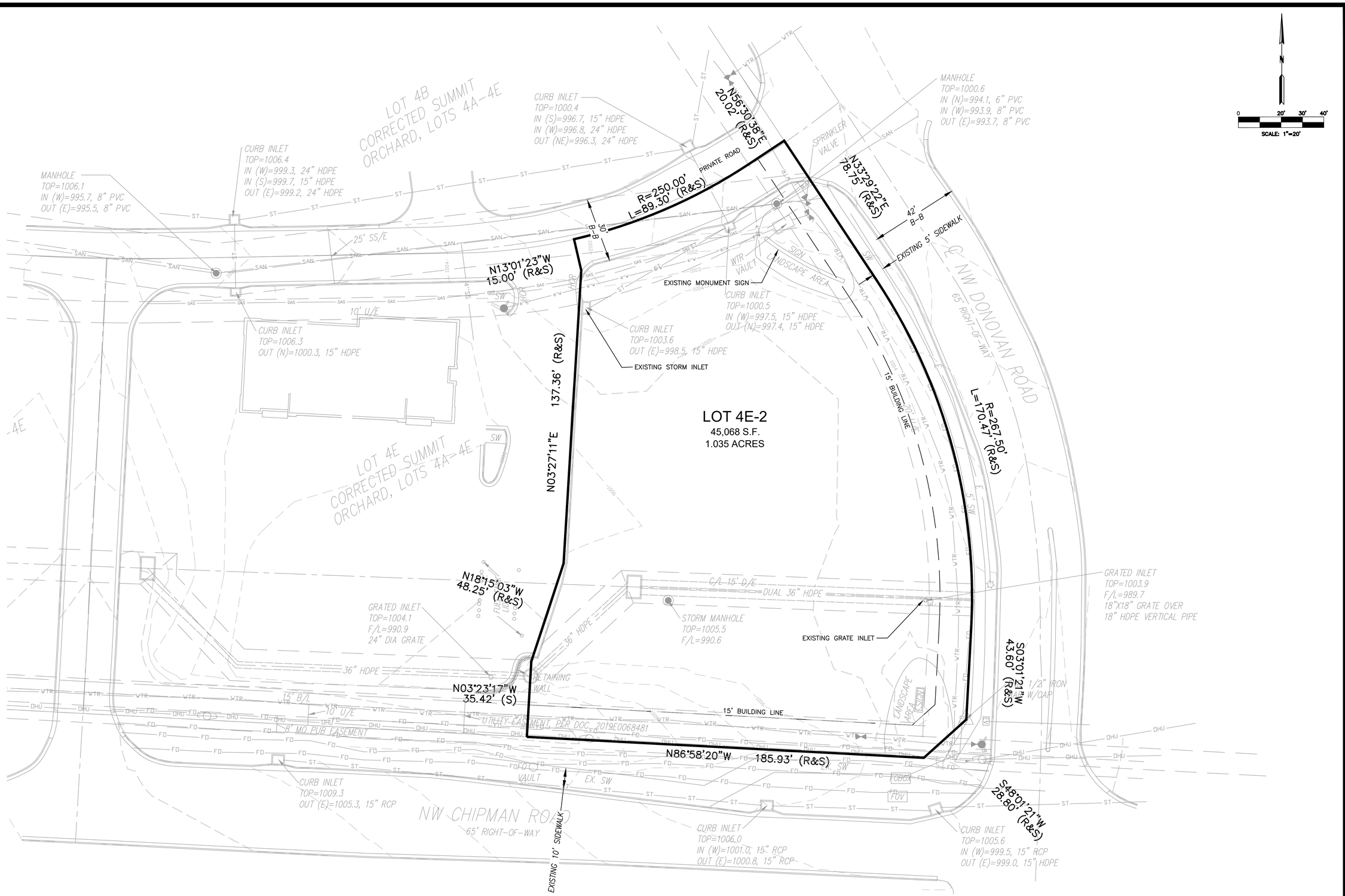
STATE OF MISSOURI
RICHARD KEVIN STERRETT
NUMBER E-26440
PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Hg Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
COVER SHEET
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22–011 Base
DRAWING NO. 22–011 FDPs
DATE April 8, 2022
JOB NO. 22–011
SHEET 1 OF 14



NO.	DATE	REVISION	BY	CK/APP
2	05/16/22	PER CITY'S COMMENTS	SPW	RKS
1	04/28/22	PER CITY'S COMMENTS	SPW	RKS
	04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT	SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI — REGISTERED PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
EXISTING CONDITIONS

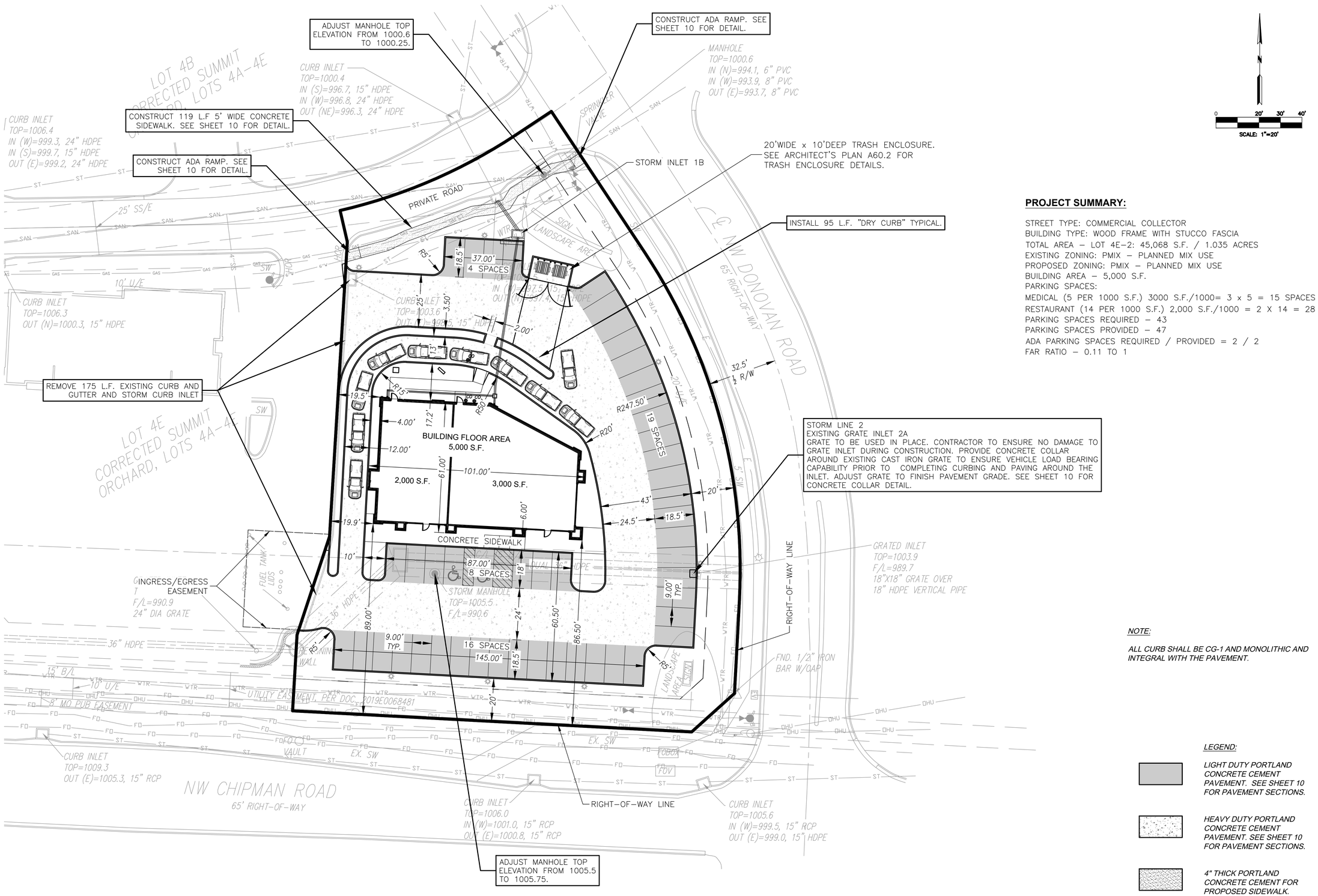
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.
22-011 Bose

DRAWING NO.
22-011 FDPs

DATE
April 8, 2022

JOB NO.
22-011



PROJECT SUMMARY:

STREET TYPE: COMMERCIAL COLLECTOR
BUILDING TYPE: WOOD FRAME WITH STUCCO FASCIA
TOTAL AREA – LOT 4E-2: 45,068 S.F. / 1.035 ACRES
EXISTING ZONING: PMIX – PLANNED MIX USE
PROPOSED ZONING: PMIX – PLANNED MIX USE
BUILDING AREA – 5,000 S.F.
PARKING SPACES:
MEDICAL (5 PER 1000 S.F.) 3000 S.F./1000= 3 x 5 = 15 SPACES
RESTAURANT (14 PER 1000 S.F.) 2,000 S.F./1000 = 2 X 14 = 28 SPACES
PARKING SPACES REQUIRED – 43
PARKING SPACES PROVIDED – 47
ADA PARKING SPACES REQUIRED / PROVIDED = 2 / 2
FAR RATIO – 0.11 TO 1

NOTE:

ALL CURB SHALL BE CG-1 AND MONOLITHIC AND INTEGRAL WITH THE PAVEMENT.

LEGEND:

LIGHT DUTY PORTLAND CONCRETE CEMENT PAVEMENT. SEE SHEET 10 FOR PAVEMENT SECTIONS.

HEAVY DUTY PORTLAND CONCRETE CEMENT PAVEMENT. SEE SHEET 10 FOR PAVEMENT SECTIONS.

4" THICK PORTLAND CONCRETE CEMENT FOR PROPOSED SIDEWALK.

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/08/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI — REGISTERED PROFESSIONAL ENGINEER — R. KEVIN STERRETT — NUMBER E-26440

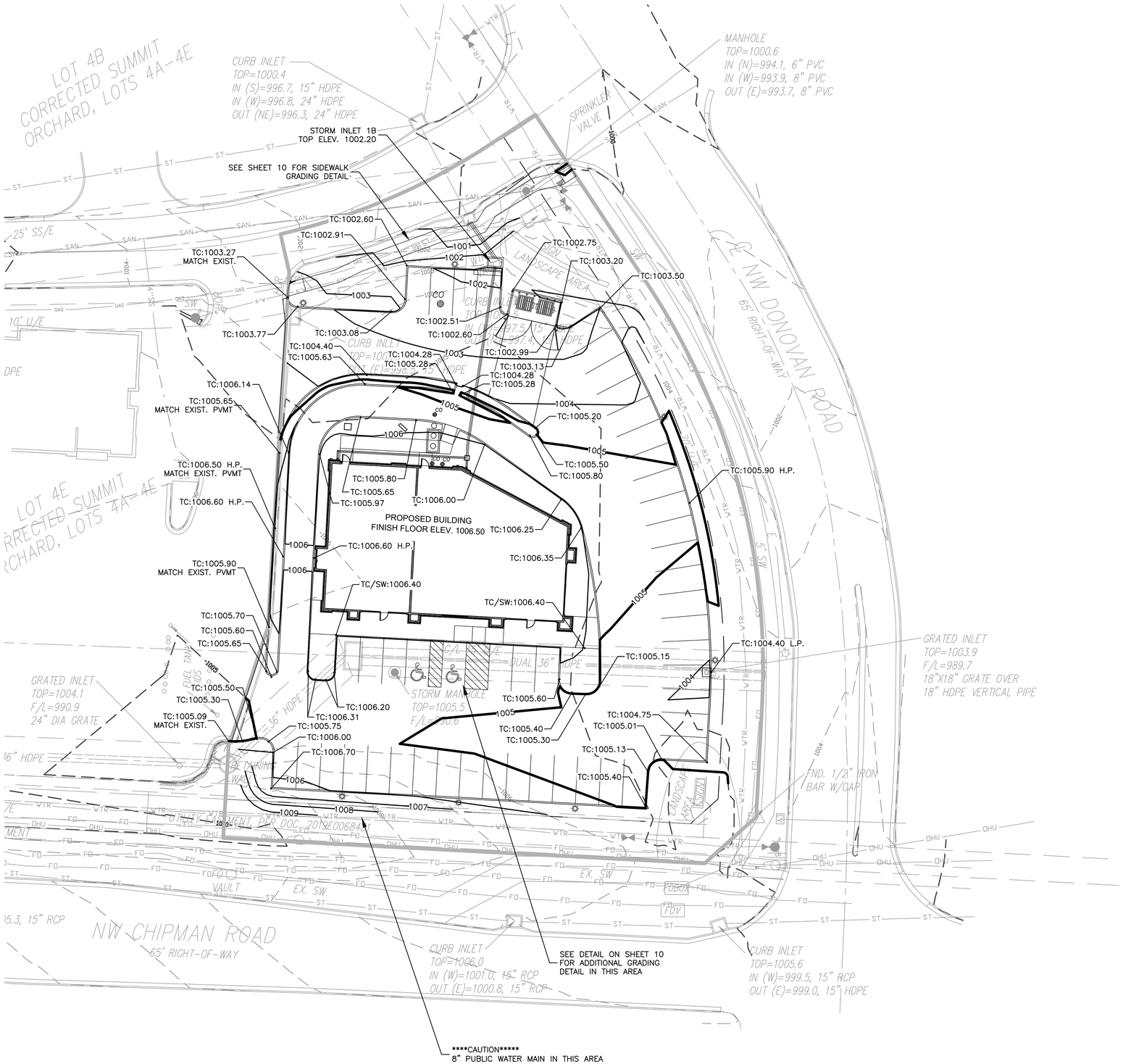
R. KEVIN STERRETT | MO E-26440
May 16, 2022

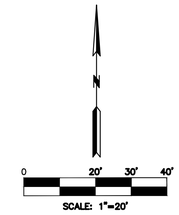
Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
SITE DIMENSION PLAN

400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base
DRAWING NO. 22-011 FDPs
DATE April 8, 2022
JOB NO. 22-011





LEGEND

TC = Top of Curb
SW = Edge of Sidewalk
H.P. = High Point
L.P. = Low Point

NO.	BY	CK/APP	DATE	REVISION
2	SPW	RKS	05/16/22	PER CITY'S COMMENTS
1	SPW	RKS	04/28/22	PER CITY'S COMMENTS
			04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
SITE GRADING PLAN
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.
22-011 Base
DRAWING NO.
22-011 FDPs
DATE
April 8, 2022
JOB NO.
22-011

STORM LINE 1
N. 1004787.51 E. 2819997.20
PROPOSED 3' x 5' CURB INLET 1B
TOP ELEV. 1002.20
FL IN (S) = 998.50 10" HDPE
FL OUT (N) = 998.00 15" HDPE

INSTALL 19.98 L.F. 15" HDPE

STORM LINE 1
N. 1004804.37 E. 2819987.08
EXISTING 3' x 5' CURB INLET 1A
TOP ELEV. 1000.5
FL IN (S) = 997.60 15" HDPE
FL IN (W) = 997.5 EXIST. 15" HDPE
FL OUT (N) = 997.4 EXIST. 15" HDPE
CORE 15" HOLE IN SOUTH SIDE OF
EXISTING INLET AND RECONSTRUCT
INVERT IN BOX.

FLOWABLE FILL 74 L.F. EXISTING 15" HDPE.
PLUG EXISTING PIPE WITH GROUT AT
EXISTING CURB INLET.

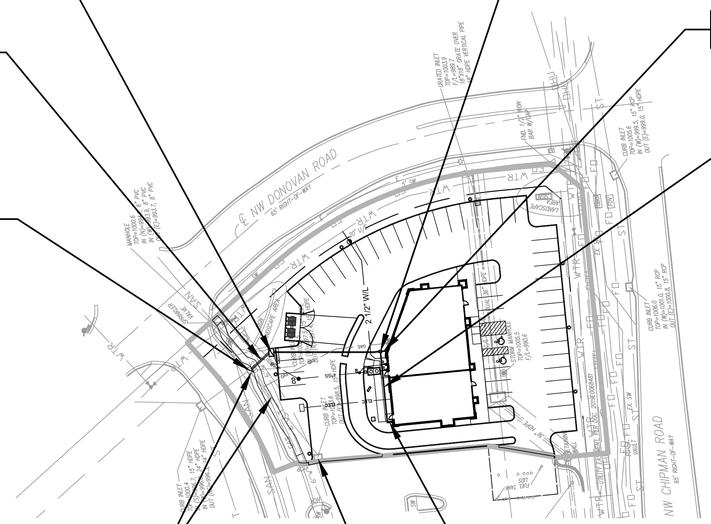
STORM LINE 1
N. 1004712.08 E. 2819986.33
INSTALL 18" x 18" NYLOPLAST DRAIN BASIN OR APPROVED EQUAL.
TOP ELEV. 1005.30
FL IN (W) = 1002.89 8" HDPE
FL OUT (N) = 1002.70 10" HDPE

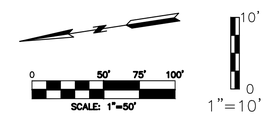
INSTALL 3 L.F 8" HDPE @ 2.00%.
DOWNSPOUT CONNECTION

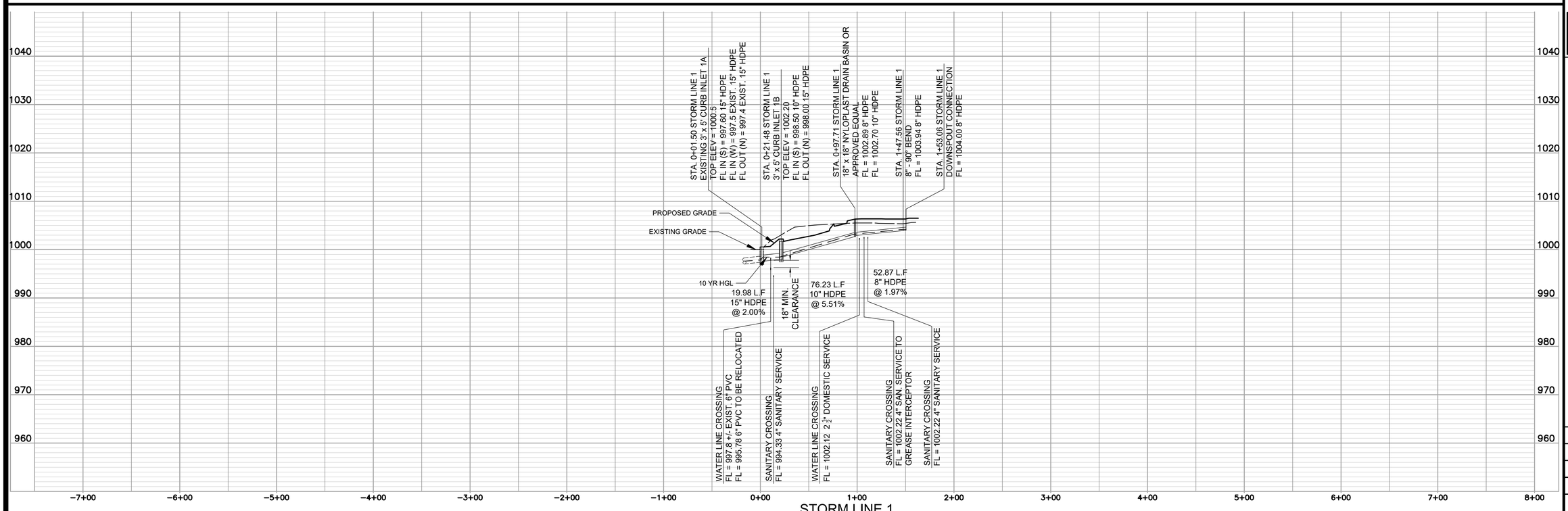
INSTALL 52.87 L.F 8" HDPE @ 1.97%.

INSTALL 8" – 90° BEND AND CLEANOUT WITH 3 L.F
8" HDPE @ 2.00% DOWNSPOUT CONNECTION.

EXISTING CURB INLET TO BE REMOVED







DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

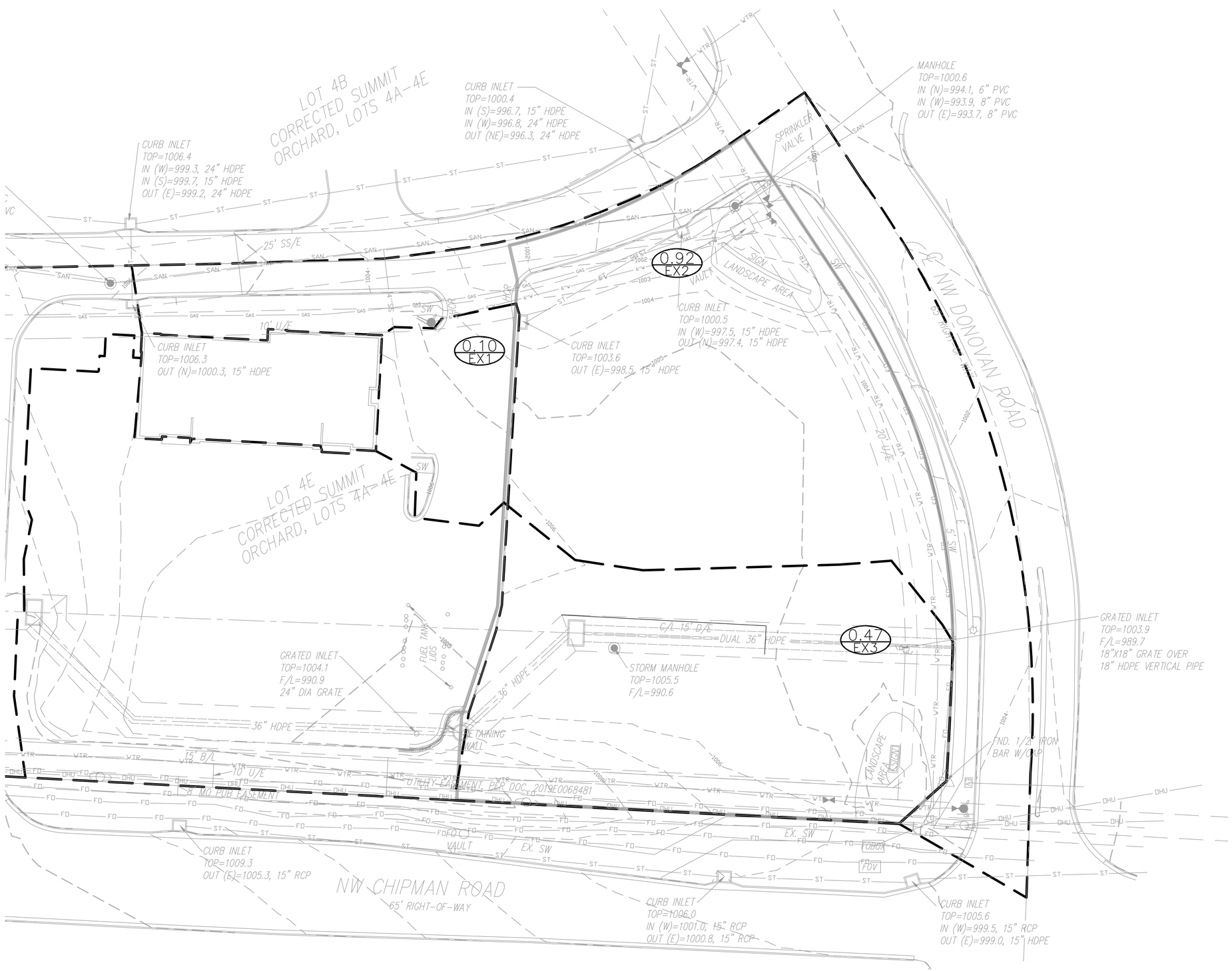
STATE OF MISSOURI
RICHARD KEVIN STERRETT
NUMBER E-26440
PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
11010 Haskell Street, Suite 210, Kansas City, Kansas 66109
CORPORATE LICENSE No. E2010005 73 (MO.) / E-1736 (KS.)

FINAL DEVELOPMENT PLANS
STORM SEWER
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22–011 Base
DRAWING NO. 22–011 FDPs
DATE April 8, 2022
JOB NO. 22–011



0 20' 30' 40'
SCALE: 1"=20'

EXISTING CONDITIONS

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

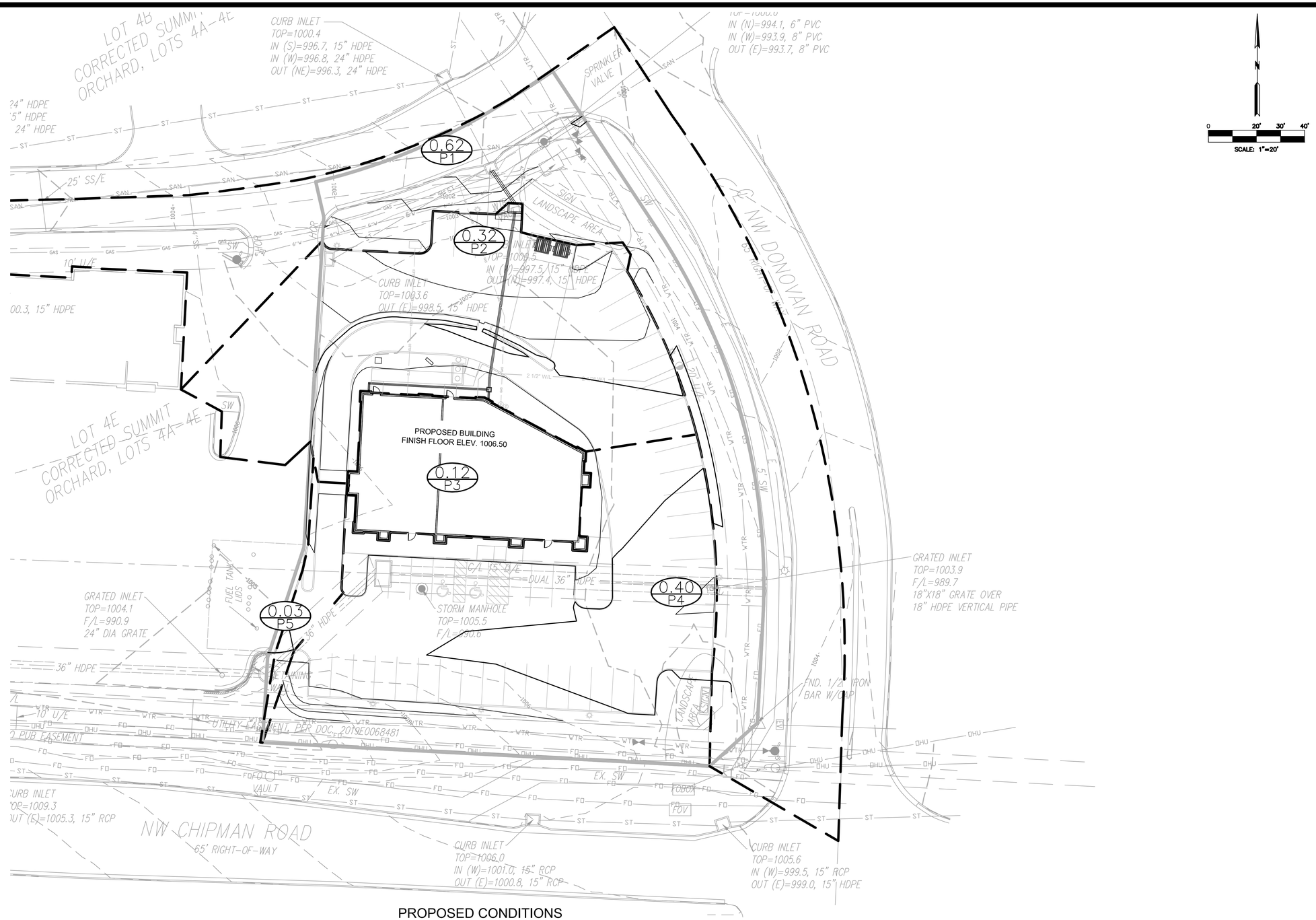
STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
R. KEVIN STERRETT
NUMBER
MO E-26440

R. KEVIN STERRETT| MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
EC - DRAINAGE AREA MAP
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.
22-011 Bose
DRAWING NO.
22-011 FDPs
DATE
April 8, 2022
JOB NO.
22-011



PROPOSED CONDITIONS

STORM SEWER CALCULATIONS

PROJECT

STORM SEWER NO.	SEWER LOCATION FROM STRUCTURE NO.	SEWER LOCATION TO STRUCTURE NO.	TRIBUTARY AREA (AC.) AREA DESIGNATION ACRES	TRIBUTARY AREA (AC.) TOTAL	COMPOSITE RUNOFF COEFFICIENT	TIME OF FLOW Ti	TIME OF FLOW Tt	TIME OF FLOW Tc	10 YEAR DESIGN INTENSITY [in/hr] I[10]	10 YEAR DESIGN RUNOFF [cfs] AREA Q[10]	10 YEAR DESIGN RUNOFF [cfs] In Pipe Upstream (cfs)	10 YEAR DESIGN RUNOFF [cfs] By Pass In (cfs)	10 YEAR DESIGN RUNOFF [cfs] Total Q[10]	100 YEAR DESIGN INTENSITY [in/hr] I[100]	100 YEAR DESIGN RUNOFF [cfs] AREA Q[100]	100 YEAR DESIGN RUNOFF [cfs] In Pipe Upstream (cfs)	100 YEAR DESIGN RUNOFF [cfs] By Pass In (cfs)	100 YEAR DESIGN RUNOFF [cfs] TOTAL Q[100]	In Pipe Downstream [cfs]	By Pass Out [cfs]	GUTTER SLOPE [%]	GUTTER CAPACITY [cfs]	CURB INLET Inlet Length	CURB INLET INLET CAPACITY [cfs]	CURB INLET INLET CAPACITY 80% [cfs]	CURB INLET Pipe Size [in]	CURB INLET Pipe Slope [%]	PIPE DESIGN Pipe Type	PIPE DESIGN Rough Coeff [MANNG]	PIPE DESIGN Design Velocity [fps]	PIPE DESIGN Depth Flow (inches) Q[100]	PIPE DESIGN Full Velocity [fps]	PIPE DESIGN Full Flow [cfs]
LINE 1	1B	1A	0.44	0.44	0.87	5.0	0.0	5.0	7.35	2.8	0.0	0.0	2.8	10.32	4.9	0.0	0.0	4.9	4.9	0.0	SUMP	-	5	5.3	4.2	15	2.00	HDPE	0.012	8.0	7.5	8.1	9.9
	1A	EXIST	0.62	1.06	0.87	5.0	0.0	5.0	7.35	4.0	2.8	0.0	6.8	10.32	7.0	4.9	0.0	11.9	11.9	0.0	SUMP	-	5	5.3	4.2	15	1.81	HDPE	0.012	7.7	15.0	7.7	9.4

NO.	BY	CK/APP
2	SPW	RKS
1	SPW	RKS

DATE	REVISION
05/16/22	PER CITY'S COMMENTS
04/28/22	PER CITY'S COMMENTS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

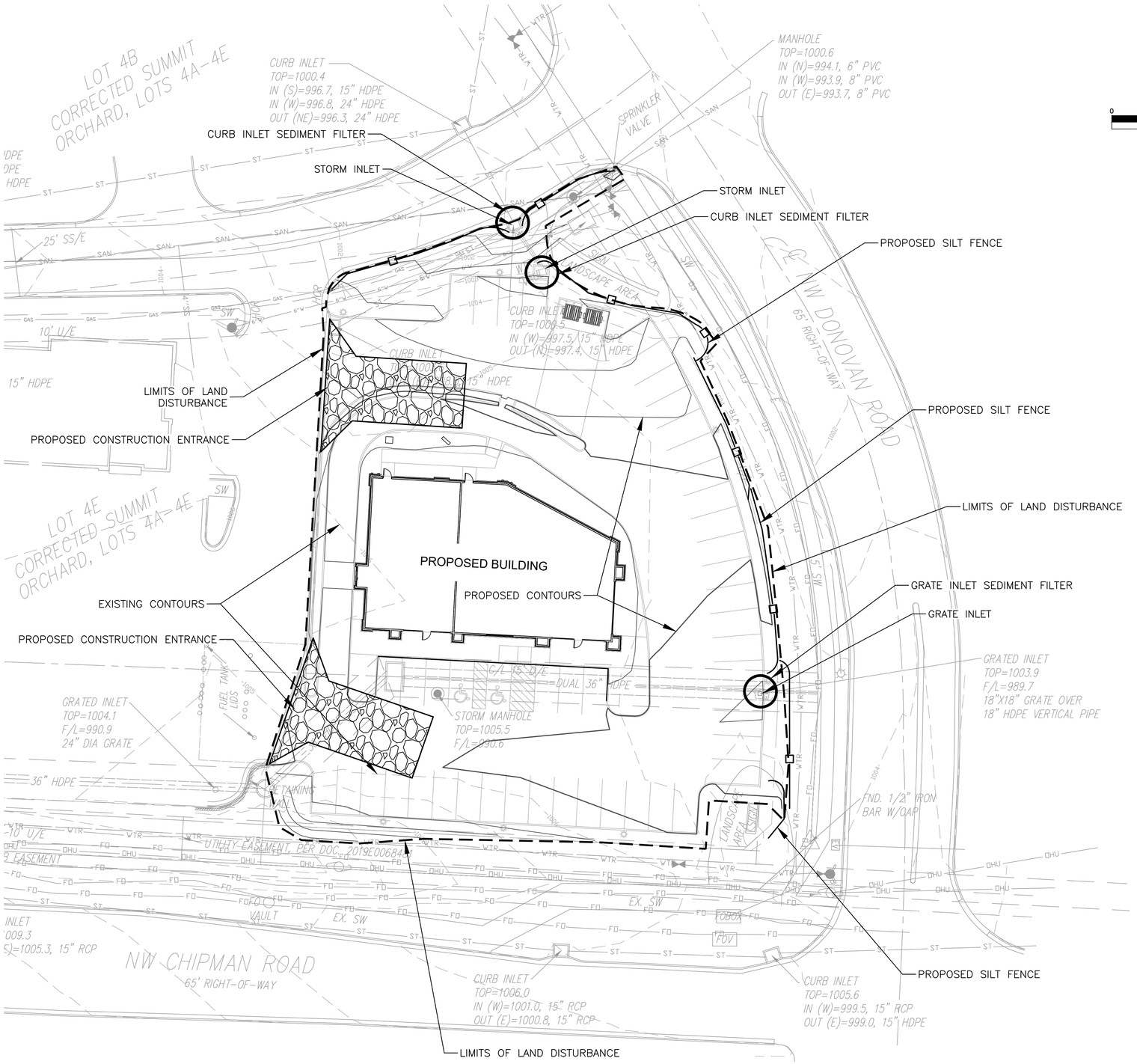
STATE OF MISSOURI
R. KEVIN STERRETT
NUMBER E-26440
REGISTERED PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
PC - DRAINAGE AREA MAP
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base
DRAWING NO. 22-011 FDPs
DATE April 8, 2022
JOB NO. 22-011



0 20' 30' 40'
SCALE: 1"=20'

EROSION CONTROL GENERAL NOTES

1. The contractor shall inspect, repair and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended.
2. The topsoil stockpile shall be graded to drain and seeded with a temporary seed mix.
3. All erosion and sediment control devices shall be inspected, cleaned repaired in accordance with the Storm Water Pollution Prevention Plan.
4. Temporary sediment control measures (silt fence, construction entrance, etc..) shall be maintained until all contributing areas are graded and stabilized.
5. A complete plan for maintenance of control devices is contained within the Storm Water Pollution Prevention Plan which is part of the site work specifications.
6. Dust control on site shall be minimized by spraying water on dry areas of the site. the use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited.
7. If the majority of mud or dirt is not removed from exiting traffic, contractor shall establish vehicle wash areas at construction traffic exit points and vehicle operation shall be intercepted and trapped before wash water is allowed to be discharged offsite. Rinse-off will not be allowed outside the project construction limits.
8. Repair eroded areas immediately, reseed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as needed.
9. Inspect and repair the collection system (i.e. catch basins, piping, swales, rip rap, etc.) after significant rainfall to maintain proper functioning.
10. All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. any burning on site shall be subject to local ordinances.
11. All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.
12. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
13. Contractor shall remove all temporary erosion control devices/ditches and dispose of per local codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades.
14. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
15. The general contractor shall strictly adhere to the SWPPP during construction operations.
16. No land clearing or grading shall begin until all erosion control measures have been installed.
17. All exposed areas shall be seeded as specified within 14 days of final grading. Should construction stop for longer than 14 days, the site shall be seeded as specified.
18. After every significant runoff producing rainfall event of 1/2" or greater and at least once a week, check and clear the outfall device of any obstructions.
19. This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
20. General Contractor shall comply with all State and Local ordinances that apply.
21. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
22. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
23. General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
24. Additional erosion and siltation control methods and devices may be required as directed by the City or MoDNR.

LEGEND

- LIMITS OF LAND DISTURBANCE
- SILT FENCE (APWA ESC-03)
- CURB INLET SEDIMENT FILTER (APWA ESC-06) FOR EXISTING INLETS OR INSTALL AS SOON AS INLET IS CONSTRUCTED
- CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (APWA ESC-01)

TOTAL LAND DISTURBANCE = 0.83 ACRES

EROSION CONTROL PHASING

PHASE 1: (PRE-CLEARING AND PRE-GRADING)
INSTALL PERIMETER CONTAINMENT, CONSTRUCTION ENTRANCE AND STRUCTURE PROTECTION ON EXISTING AND STRUCTURE PROTECTION ON STRUCTURES DOWN STREAM OF DISTURBED AREAS.

PHASE 2:
INSTALL INLET PROTECTION ON NEW STRUCTURES AS INSTALLED AND PRIOR TO PAVING.

PHASE 3:
INSTALL SILT FENCE DOWNSTREAM OF PARKING AND BUILDING UNTIL REVEGETATION OF SAID LOT.

PHASE 4:
UPON REVEGETATION OF LOT, REMOVE ALL EROSION CONTROL MEASURES.

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

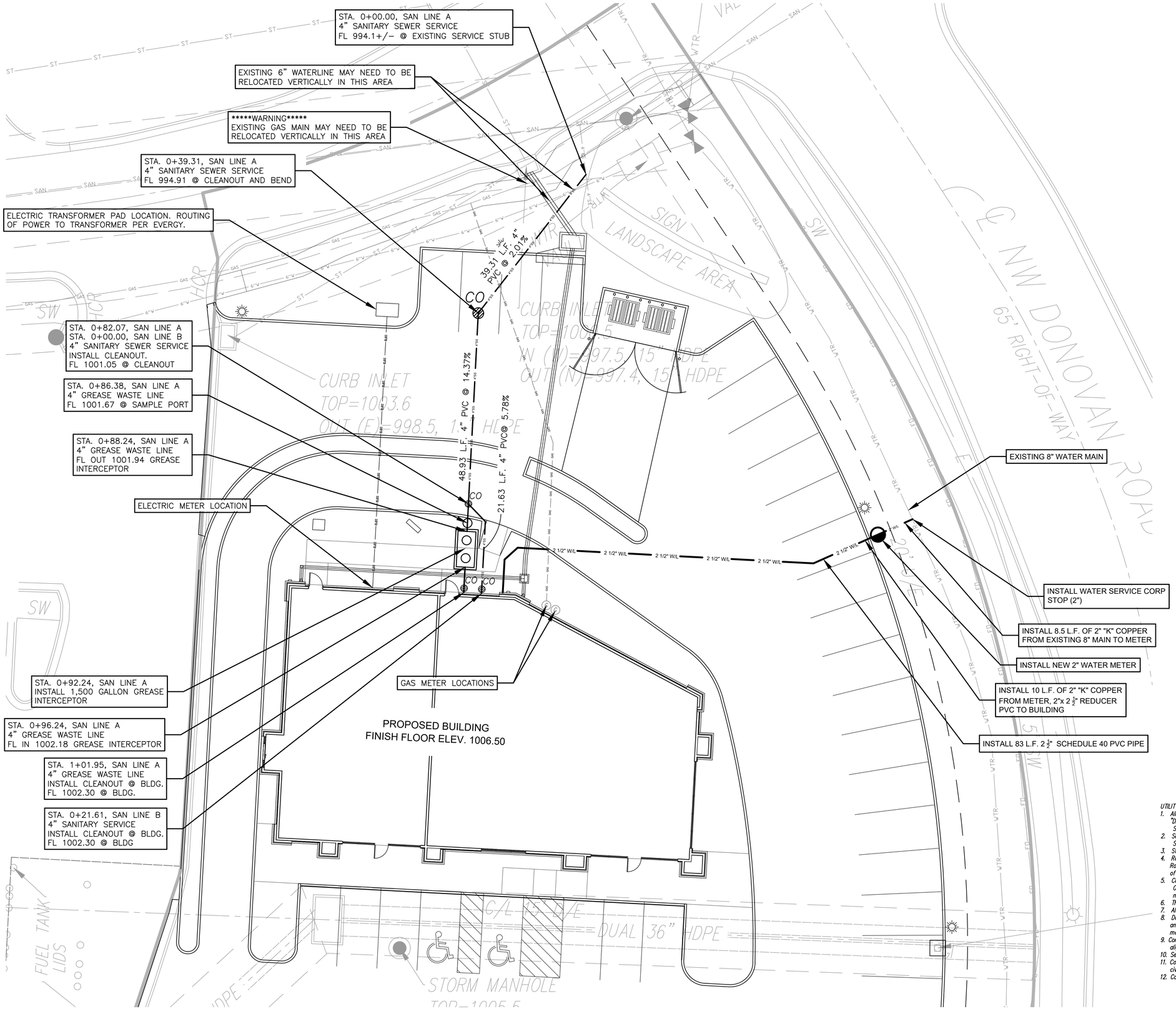
STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
R. KEVIN STERRETT
NUMBER E-26440

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
EROSION CONTROL PLAN
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.
22-011 Base
DRAWING NO.
22-011 FDPs
DATE
April 8, 2022
JOB NO.
22-011



0 10' 15' 20'
SCALE: 1"=10'

UTILITY GENERAL NOTES

1. *Waterlines to be installed at 42" minimum cover from finish grade.*
2. *Sewer lines to be trenched and backfilled per City of Lee's Summit.*

UTILITY NOTES:

1. *All utility installation to be in accordance to Lee's Summit "DESIGN AND CONSTRUCTION MANUAL" per Ordinance 5813. See manual for specifications and standard details.*
2. *Sanitary sewer service to be 4" Schedule 40 or SDR-26 PVC at 2% minimum slope.*
3. *Storm pipe to be HDPE, corrugated with smooth interior.*
4. *Roof drains for canopy to be connected to curb inlet at north side of lot. Roof drains for building to be connected to 8" HDPE pipe on north side of building to public storm sewer system.*
5. *Contractor to contact the Water Utilities Department, Operations Division, at (816) 969-7606 to schedule water main taps and cut-ins, 48 hours in advance.*
6. *Thrust blocks to be provided at all water line bends and tee locations.*
7. *All mechanical units shall be roof mounted.*
8. *Domestic water lines to be 2" diameter Type K Copper from main to meter and extend 10 feet beyond meter. 2 1/2" diameter Schedule 40 from 10' from meter to building.*
9. *Contractor to coordinate with EVERGY for temporary and permanent electric alignment and connection.*
10. *See MEP plans for all utility information inside of the building.*
11. *Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.*
12. *Contractor to contact phone service provider to coordinate phone conduit routing.*

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

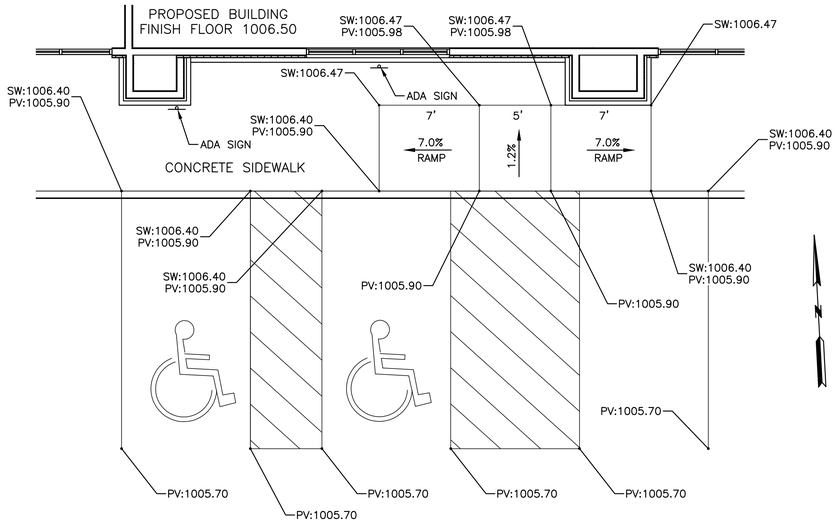
STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
R. KEVIN STERRETT
NUMBER E-26440

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

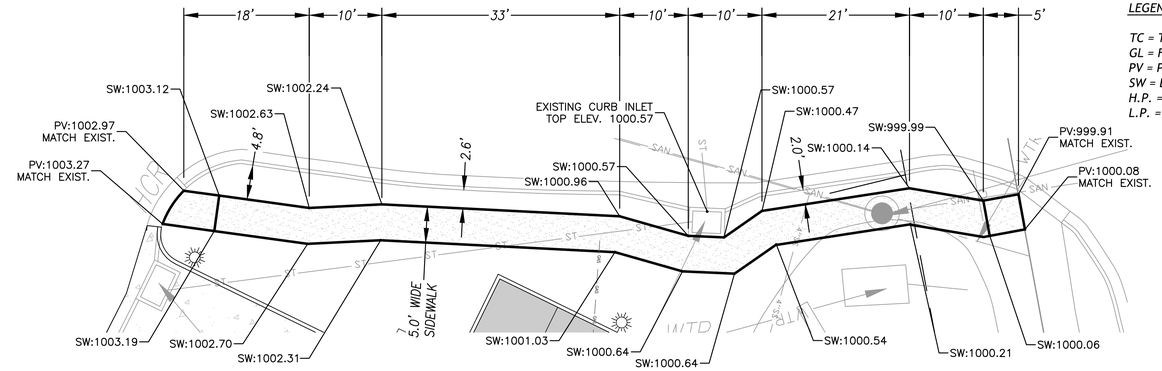
FINAL DEVELOPMENT PLANS
SITE UTILITY PLAN
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.	22-011 Base
DRAWING NO.	22-011 FDPs
DATE	April 8, 2022
JOB NO.	22-011



ADA PARKING

SCALE: 1"=5'



LEGEND

TC = Top of Curb
GL = Flowline of Gutter
PV = Pavement
SW = Edge of Sidewalk
H.P. = High Point
L.P. = Low Point

NORTH SIDEWALK

SCALE: 1"=10'

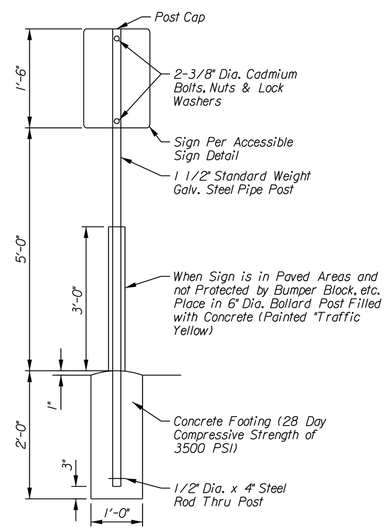
Colors
Legend and Border - Green
White Symbol on Blue Background
Background - White
(R7-8)

6"x12"

ACCESSIBLE SIGN DETAIL

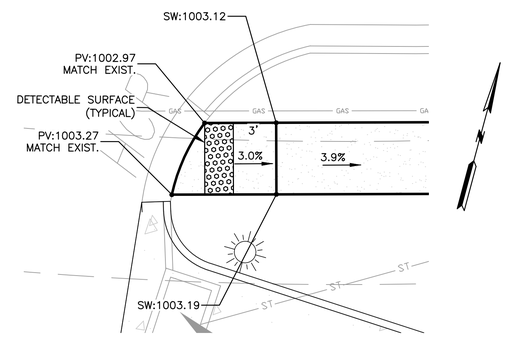
N.T.S.

1. *All signs should comply with U.S. Department of Transportation Federal Highway Administration's "Uniform Traffic Control Devices", and local codes as specified. Mount signs in accordance with manufacturer's instructions.*



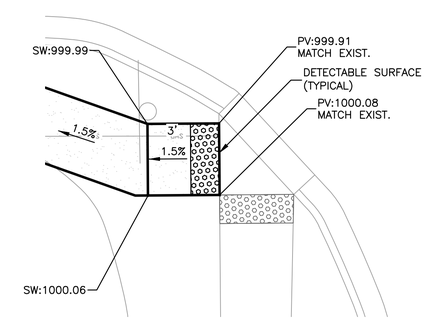
SIGN BASE

N.T.S.



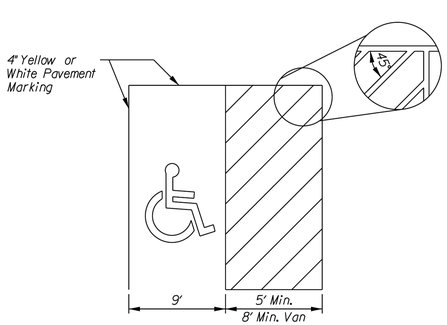
ADA RAMP WEST

SCALE: 1"=5'



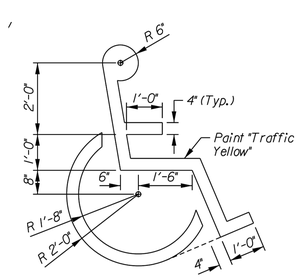
ADA RAMP EAST

SCALE: 1"=5'



ACCESSIBLE STRIPING DETAIL

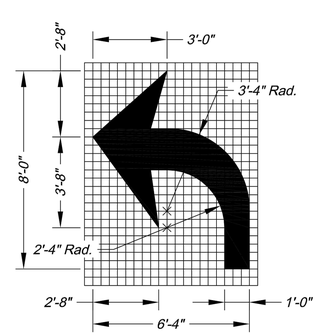
N.T.S.



ACCESSIBLE PARKING SYMBOL

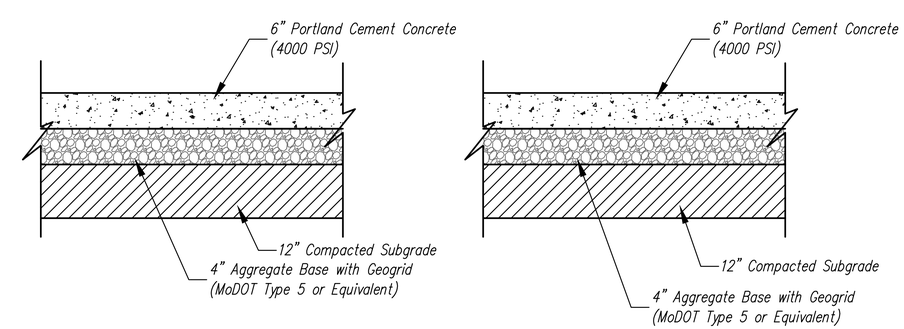
N.T.S.

NOTE: Symbol to be centered in parking space and oriented as illustrated on plans.



WHITE LEFT TURN ARROW

N.T.S.



LIGHT DUTY TRAFFIC PAVEMENT SECTION (Concrete)
(Parking areas and non heavy duty traffic)

HEAVY DUTY TRAFFIC PAVEMENT SECTION (Concrete)
(Main thru drive and apron of trash enclosure)

TYPICAL PAVEMENT SECTIONS

NOT TO SCALE

NOTE: The aggregate base and subgrade of (asphalt and concrete) pavements extending 1'-0" beyond back of curb.

NO.	DATE	REVISION	BY	CK/APP
2	05/16/22	PER CITY'S COMMENTS	SPW	RKS
1	04/28/22	PER CITY'S COMMENTS	SPW	RKS
	04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT	SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI
RICHARD KEVIN STERRETT
NUMBER E-26440
REGISTERED PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
MISC. SITE DETAILS

400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base
DRAWING NO. 22-011 FDPs
DATE April 8, 2022
JOB NO. 22-011

LEGEND

EW = EDGE OF WALK
TC = TOP OF CURB
EP = EDGE OF PAVEMENT
TC / EW = TOP OF CURB = EDGE OF WALK
TC / EP = TOP OF CURB = EDGE OF PAVEMENT
H.P. = HIGH POINT

= DETECTABLE SURFACE

= PROPOSED 5' WIDE CONCRETE SIDEWALK TO BE BUILT WITH PHASE I STREET CONSTRUCTION

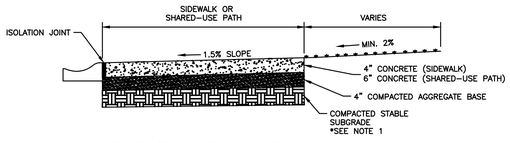
TABLE LS-5: ACCESSIBLE ROUTE DESIGN CRITERIA

	Design Slopes	PROWAG Max Allowed Slope[a]	Minimum Width
Turning Space	1.5% all directions	2.0% all	5 ft. x 5 ft.
Ramp Running Grade	Less than 7.5%	8.33%	5 ft
Sidewalks: ≥ 3 ft. green space between sidewalk and curb	1.5% cross slope Running slope no greater than street profile grade	2.0% cross slope	5 feet
Sidewalks: abutted to back of curb	1.5% cross slope Running slope match street profile grade	2.0% cross slope	6 feet

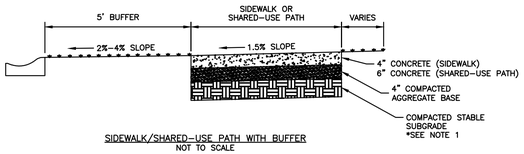
TABLE LS-6: MINIMUM ACCESSIBLE ROUTE THICKNESS SECTIONS

Type of Route	PCC[(3)] Thickness	Agg Base Thickness	Comments
Sidewalk[(1)]	4"	4"	Transverse joints shall be spaced to match width of sidewalk; Joints may be tooled or sawn.
Shared Use Path[(2)]	6"	4"	Transverse joints shall be spaced to match width of trail, but not greater than 12 ft.; joints shall be sawn.
ADA Ramp	6"	4"	

(1) Minimum width of sidewalks shall be 5 feet, with a typical 5-foot green space between sidewalk and back of curb. A 3 to 5-foot green space may be used based on site conditions and upon approval of the City Engineer. If less than 3-foot green space, sidewalk shall be at least 6-feet wide.
(2) Minimum width of paths shall be 10 feet
(3) Accessible routes shall be paved using KCMMB 4k concrete



SIDEWALK/SHARED-USE PATH WITHOUT BUFFER
NOT TO SCALE



SIDEWALK/SHARED-USE PATH WITH BUFFER
NOT TO SCALE

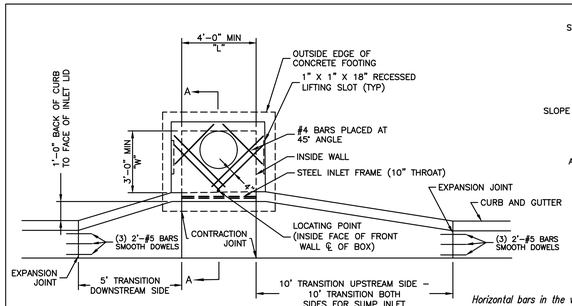
GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
6. AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
7. SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
8. SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
9. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

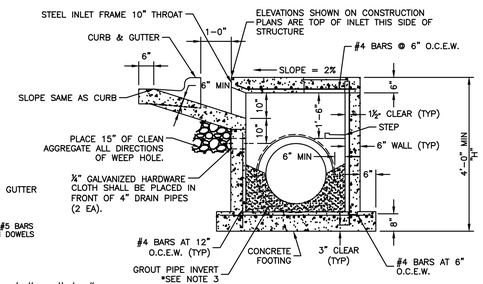
LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SIDEWALK / SHARED - USE PATH DETAIL

Date: 04/17
Drawn By: MJF
Checked By: BK
GEN-2



PLAN VIEW

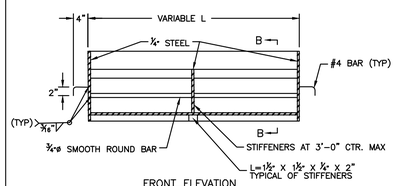


SECTION A–A

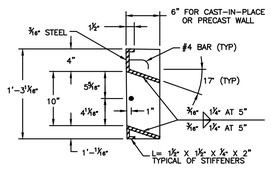
Horizontal bars in the vertical walls:

Depth	*Bar Size*	*Spacing*
7' to 10'	*#4*	*12" (standard details)*
10' to 15'	*#5*	*12"*
15' to 20'	*#5*	*6"*

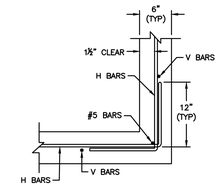
6" thick walls and concrete strength of f'c = 3,000 psi.



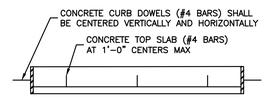
FRONT ELEVATION



SECTION B–B



WALL CORNER DETAIL



PLAN VIEW

STEEL FRAME NOTES:

1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
2. ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
3. THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.

GENERAL NOTES:

1. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
2. FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.
3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
5. STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
6. BEVEL ALL EXPOSED EDGES WITH ¾"CHAMFER OR ½" TOOLED EDGE.
7. ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT
10. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Project
Street Name:
CURB INLET DETAIL

Drawn By: MJF
Checked By:DL
Date: 04/17
Proj. #

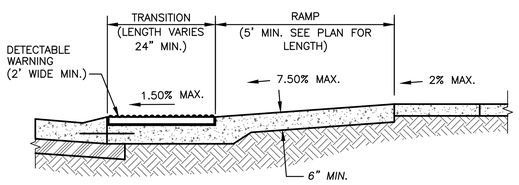
STM-1

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

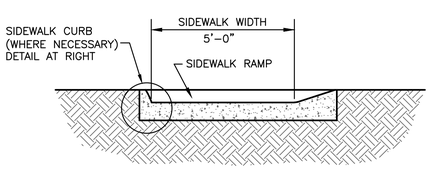
IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
R. KEVIN STERRETT
NUMBER E-26440

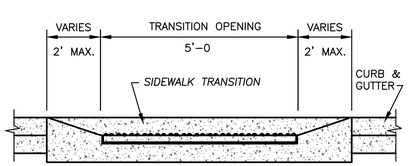
R. KEVIN STERRETT | MO E-26440
May 16, 2022



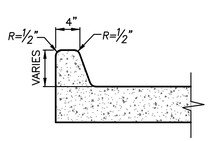
SECTION A–A



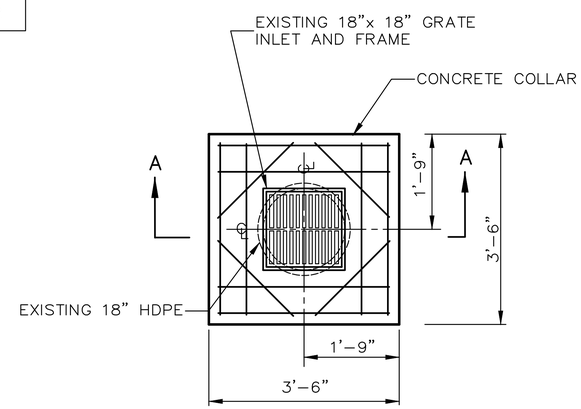
SECTION B–B



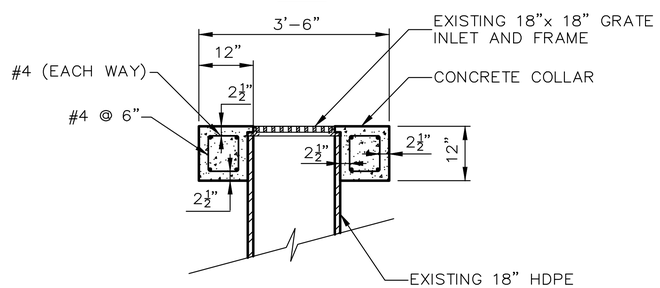
SECTION C–C



SIDEWALK CURB



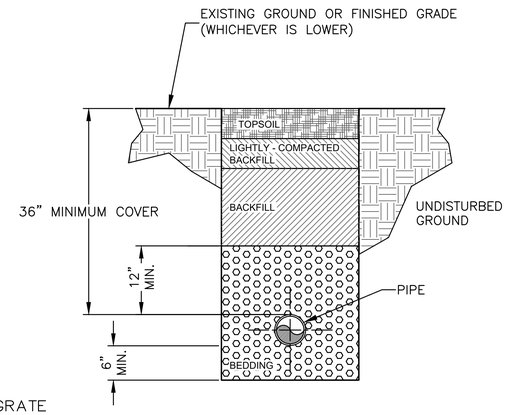
PLAN



SECTION A–A

GRATE INLET COLLAR DETAIL

NOT TO SCALE



TYPICAL PIPE TRENCHING AND BEDDING DETAIL

NOT TO SCALE

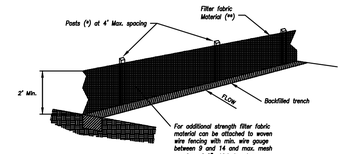
NOTES:

1. BEDDING:
   BEDDING AGGREGATE SHALL BE PLACED FROM A LEVEL OF 6 INCHES BELOW THE BOTTOM OF THE PIPE TO A LEVEL OF 12 INCHES ABOVE THE TOP OF THE PIPE.
2. BACKFILL:
   A) TRENCH FOUNDATION:
   THE AREA AT THE BOTTOM OF THE EXCAVATION SHALL BE COMPOSED OF A STABLE MATERIAL CAPABLE OF SUPPORTING THE PLACEMENT OF BEDDING MATERIAL, PIPE, OR STRUCTURES.
   B) BACKFILL OF ALL PIPES UNDER ROADWAYS, CURB AND GUTTER AND ALL OTHER PAVED AREAS WITHIN THE RIGHT OF WAY SHALL CONSIST OF FLOWABLE BACKFILL AS SPECIFIED IN APWA SPEC. 2100 PARAGRAPH 2602.2H MIX DESIGN TYPE A. THE FLOWABLE BACKFILL SHALL EXTEND 2 FEET FROM THE BACK OF CURB TO 2 FEET BACK OF CURB, UP TO 18" INCHES BELOW FINISHED GRADE. FOR EXISTING ROADWAYS FLOWABLE BACKFILL SHALL BE EXTENDED TO THE BASE OF PAVEMENT.

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

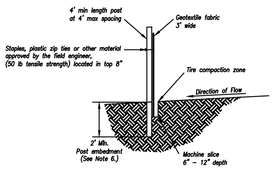
FINAL DEVELOPMENT PLANS
MISC. SITE DETAILS
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base
DRAWING NO. 22-011 FDPs
DATE April 8, 2022
JOB NO. 22-011



(*) POSTS
- MIN. LENGTH 4'
- HARDWOOD 1 9/16" x 1 9/16"
- NO.2 SOUTHERN PINE 2 9/16" x 2 9/16"
- STEEL 1.33 LB/FT

(**) – Geotextile Fabric shall meet the requirements of AASHTO M288



SILT FENCE DETAILS
Not to Scale

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches ½ the height of silt fence.
2. Repair as necessary to maintain function and structure.

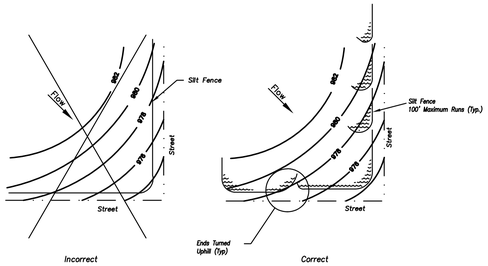
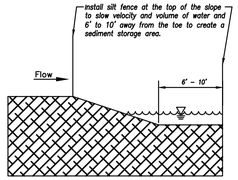
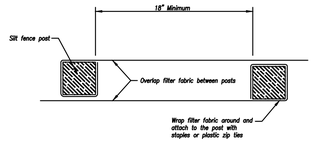


Figure A

SILT FENCE LAYOUT
Not to Scale

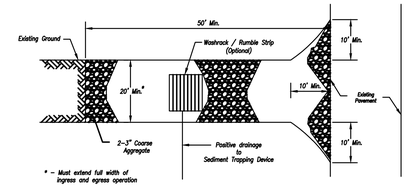




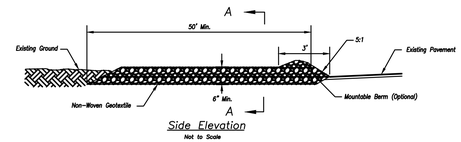
JOINING FENCE SECTIONS
Not to Scale

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

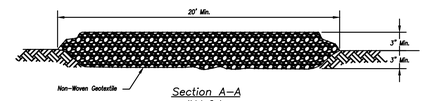
AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03
	ADOPTED: 10/24/2016



Plan View
Not to Scale



Side Elevation
Not to Scale



Section A–A
Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1:V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

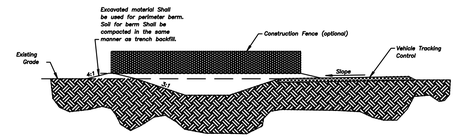
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:

1. Concrete washout area shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

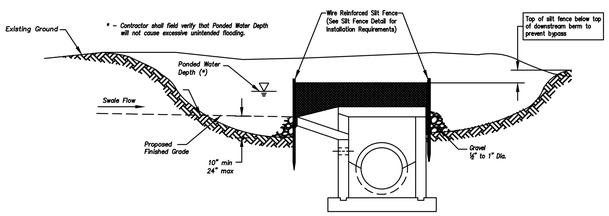
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



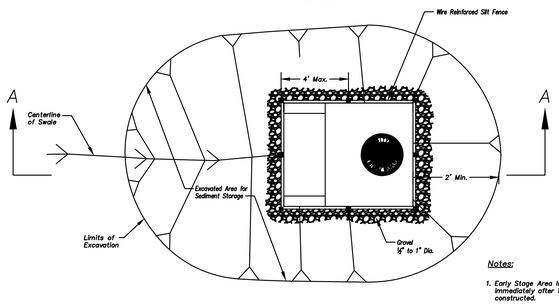
CONCRETE WASHOUT

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01
	ADOPTED: 10/24/2016

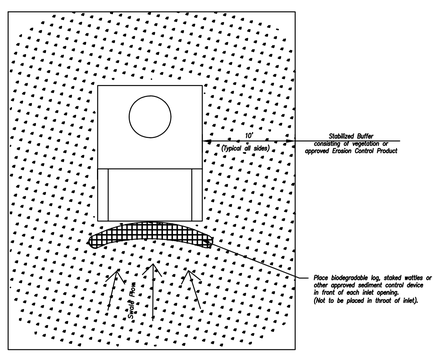


Section A–A
Not to Scale

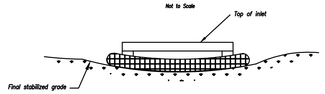


Plan
Not to Scale

EARLY STAGE AREA INLET
(All open boxes and inlets not at final grade)



Plan
Not to Scale



Front View

LATE STAGE AREA INLET
(Area inlets at final grade and existing inlets)

Notes:

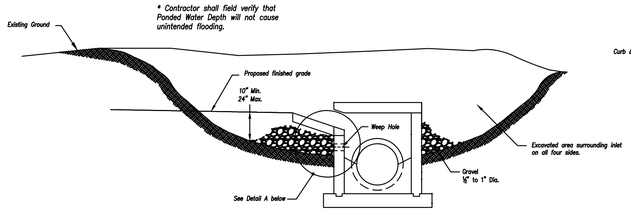
1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.

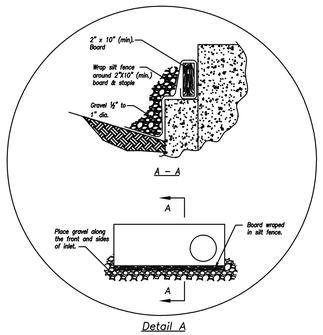
Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
AREA INLET AND JUNCTION BOX PROTECTION	STANDARD DRAWING NUMBER ESC-07
	ADOPTED: 10/24/2016





Detail A

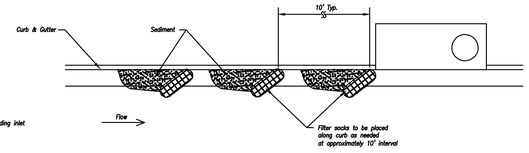
EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

Notes:

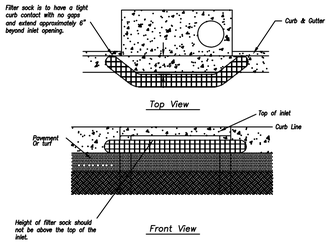
1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.



On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06
	ADOPTED: 10/24/2016

NO.	REVISION	DATE	BY	CK/APP
2	PER CITY'S COMMENTS	05/16/22	SPW	RKS
1	PER CITY'S COMMENTS	04/28/22	SPW	RKS
	SUBMITTED TO CITY OF LEE'S SUMMIT	04/08/22	SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

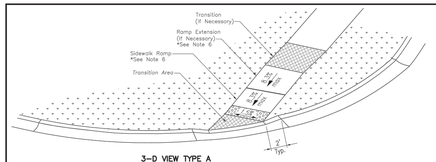
STATE OF MISSOURI
R. KEVIN STERRETT
NUMBER E-26440
REGISTERED PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
MISC. SITE DETAILS
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

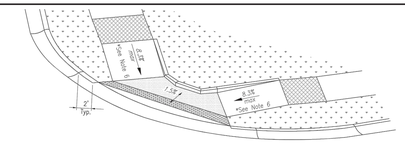
X-REF NO.: 22-011 Base
DRAWING NO.: 22-011 FDPs
DATE: April 8, 2022
JOB NO.: 22-011



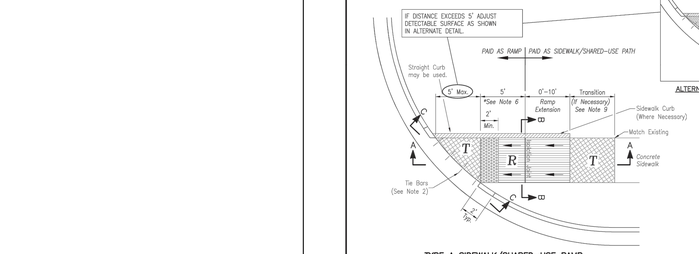
3-D VIEW TYPE A
SIDEWALK/SHARED-USE RAMP

LEGEND

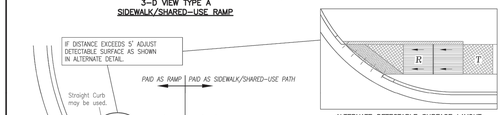
- SIDEWALK RAMP
- TURNING SPACE
- DETECTABLE WARNING SURFACE
- TRANSITION



3-D VIEW TYPE B
SIDEWALK/SHARED-USE RAMP



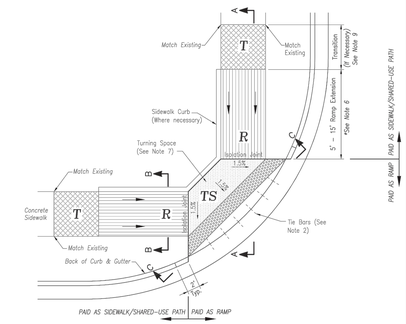
TYPE A SIDEWALK/SHARED-USE RAMP
Not to Scale



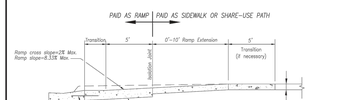
ALTERNATE DETECTABLE SURFACE LAYOUT

SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:

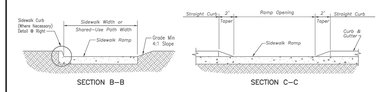
1. CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
2. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION.
3. ALL RAMPS, SIDEWALKS, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
4. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
5. ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
6. ADA MAXIMUM RAMP SLOPE = 8.33%
   ADA MAXIMUM CROSS SLOPE = 2.0%
   *ROADWAY EXCEPTION: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
7. TURNING SPACES SHALL BE 1.5%, ±0.5%, SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES, WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
8. FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR
9. RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
10. ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).



TYPE B SIDEWALK/SHARED-USE RAMP
Not to Scale

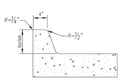


SECTION A–A

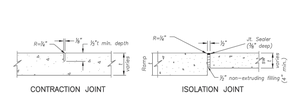


SECTION B–B SECTION C–C

TYPE A & B SIDEWALK RAMP
Not to Scale

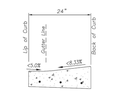


SIDEWALK CURB DETAIL
Not to Scale



CONTRACTION JOINT ISOLATION JOINT

JOINT DETAILS
Not to Scale



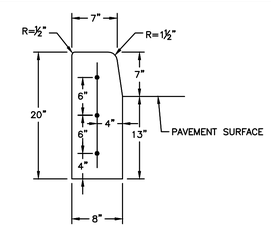
CURB & GUTTER DETAIL AT RAMP
Not to Scale

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

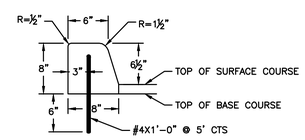
STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
Project:
Sheet Name: ADA RAMP RETROFIT DETAIL

Drawn By: MJF
Checked By: DL
Date: 06/2021
Proj. #:

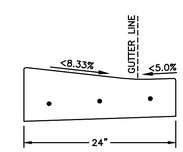
GEN-3A



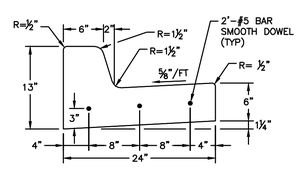
STRAIGHT CURB
(TYPE C–1)



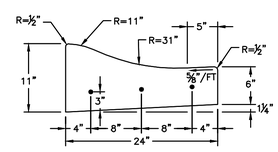
DOWELLED CURB
(TYPE DC)



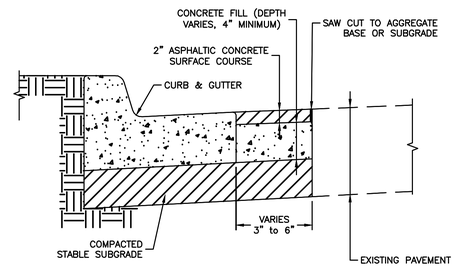
CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)



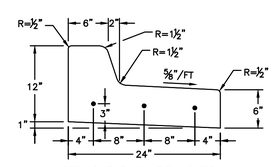
STRAIGHT BACK CURB & GUTTER
(TYPE CG–1)



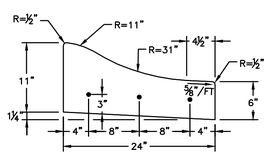
ROLL BACK CURB & GUTTER
(TYPE CG–2)



CURB REPLACEMENT DETAIL



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG–1 DRY)



ROLL BACK DRY CURB & GUTTER
(TYPE CG–2 DRY)

GENERAL NOTES

1. ¾" ISOLATION JOINTS WITH 3 (2'–#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
Project:
Sheet Name: CURB & GUTTER DETAIL

Drawn By: MJF
Checked By: DL
Date: 04/17
Proj. #:

GEN-4

NO.	BY	CK/APP
2	SPW	RKS
1	SPW	RKS

DATE	REVISION
05/16/22	PER CITY'S COMMENTS
04/28/22	PER CITY'S COMMENTS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI
R. KEVIN STERRETT
NUMBER E-26440
PROFESSIONAL ENGINEER

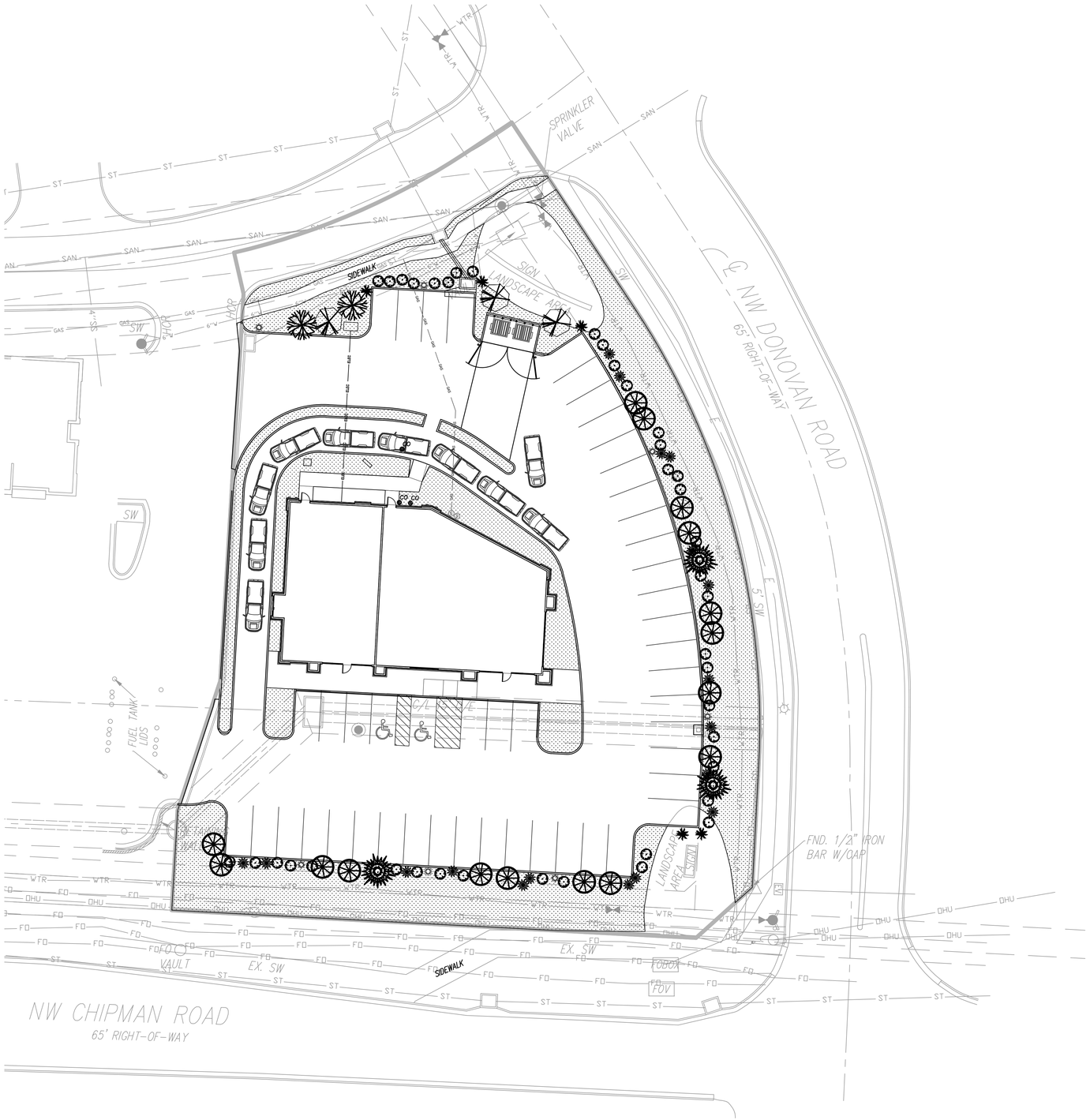
R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E2010005573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
MISC. SITE DETAILS

400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO.
22–011 Base
DRAWING NO.
22–011 FDPs
DATE
April 8, 2022
JOB NO.
22–011



NOTES:

1. Open areas not covered with other landscaping materials shall be covered with sod.
2. All trees/shrubs are shown graphically, not numerically.
3. A 3 foot tall berm may be substituted for screening shrubs.
4. Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
5. The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
6. Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting. All Landscaping to meet Article 14 of the UDO.

0 20' 30' 40'

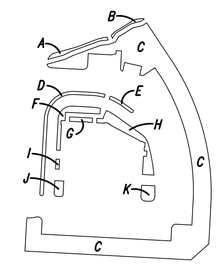
SCALE: 1"=20'

Worksheet for Tree and Shrub Requirements:

A – Size of development site	= 45,068 SF
B – Length of street frontage of development site	= 476.63 LF
C – Trees required on street frontage = 1/30 LF	= 16 Trees
D – Trees provided	= 22 Trees
E – Parking lot area	= 18,521 SF
F – Green space required in parking lot (E x 5%)	= 926 SF
G – Green space provided	= 14,683 SF
H – Shrubs required along frontage = 1/20 LF	= 24 Shrubs
Shrubs required along frontage (Parking lot screen) 359 LF at 12/40 LF	= 9 Shrubs
I – Shrubs Provided	
Shrubs Provided (Parking lot screen)	= 63 Shrubs
Shrubs Provided (Total frontage)	= 63 Shrubs
J – Quantity of additional trees required 1 tree per 5000 SF of open area (14,532/5,000)	= 3 Trees
K – Additional Trees Provided	= 9 Trees
L – Quantity of additional shrubs required 2 shrubs per 5000 SF of open area (14,532/5,000)	= 6 Shrubs
M – Additional Shrubs Provided	= 24 Shrubs

Interior Landscape

Area	Square Feet
A	229
B	98
C	11,707
D	602
E	105
F	489
G	124
H	858
I	44
J	171
K	256
TOTAL	14,683



Sodded area

LANDSCAPE SCHEDULE:

SPECIES	CALIPER/HEIGHT	QUANTITY
Shademaster Honeylocust (Gleditisia triacanthos var. inermis 'Shademaster')	3" Caliper, measured 6" above the ground	2
October Glory Red Maple (Acer rubrum)	3" Caliper, measured 6" above the ground	1
Amur Maple Tree (Acer Ginnala 'Flame')	3" Caliper, measured 6" above the ground	16
Cornelian Cherry Dogwood (Cornus mas 'Golden Glory')	3" Caliper, measured 6" above the ground	3
Winter Gem Boxwood (Buxus microphylla var. japonica)	30" Minimum height at time of planting	18
Fireball Dwarf Burning Bush, (or equal) (Euonymus alatus 'Compactus')	30" Minimum height at time of planting	40
Skyrocket Juniper (Juniperus scopulorum 'Skyrocket')	6' Minimum height at time of planting	5

DATE	REVISION	NO.	BY	CK/APP
05/16/22	PER CITY'S COMMENTS	2	SPW	RKS
04/28/22	PER CITY'S COMMENTS	1	SPW	RKS
04/08/22	SUBMITTED TO CITY OF LEE'S SUMMIT		SPW	RKS

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES

STATE OF MISSOURI
RICHARD KEVIN STERRETT
NUMBER E-26440
PROFESSIONAL ENGINEER

R. KEVIN STERRETT | MO E-26440
May 16, 2022

Consult Inc engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS

LANDSCAPE PLAN

400 NW. CHIPMAN ROAD

MEDICAL BUILDING / RESTAURANT

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base

DRAWING NO. 22-011 FDPs

DATE April 8, 2022

JOB NO. 22-011