

LEE'S SUMMIT, MO) AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS & SPECIFICATIONS AT THE SITE AT ALL TIMES. 2. ALL REFERENCES CONTAINED WITHIN THESE PLANS TO THE OWNER'S ENGINEER ARE HEREBY

REFERENCED OLSSON, INC. 3. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL 811, AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !!STOP!! CALL BEFORE YOU DIG!!

4. UTILITIES AS SHOWN WERE OBTAINED FROM INFORMATION INDICATED ON THE SURVEY OR BY FIELD OBSERVATION. CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN THE CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.

5. CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER. 6. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL TRADE PERMITS AND PAY ALL FEES

AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS. 7. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

8. ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS TO COMPLETE CONSTRUCTION AS SHOWN ON PLANS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES, TRAFFIC SIGNAL LOOP LEAD INS, SIGNAL POLES, ETC. DAMAGED IMPROVEMENTS SHALL BÉ REPAIRED IN CONFORMANCE WITH THE LATEST CITY STANDARDS AND TO THE CITY'S SATISFACTION.

10. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK, DRIVEWAYS OR STRUCTURE UNLESS SHOWN TO BE REMOVED.

11. ALL WORK WITHIN ROAD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MO REQUIREMENTS, UNLESS OTHERWISE NOTED. 12. ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

13. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNER DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTORS EXPENSE.

14. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN TO COMPLETE CONSTRUCTION SHOWN ON PLANS. 15. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR TOP OF PAVEMENT, SIDEWALKS, CURBS AND FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR

GRADING LINE ELEVATIONS.

VERTICAL IN 3 FEET HORIZONTAL.

17. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MIN. OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE, UNLESS SPECIFIED OTHERWISE.

18. ALL BACKFILL SHALL BE TAMPED. BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE COMPACTED TO 95% MAX. DENSITY AS PER ASTM-D698 (STANDARD PROCTOR COMPACTION) 19. THE CONTRACTOR IS RESPONSIBLE FOR ATTENDING TO AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO PLOW ZONES, WET SOILS AND OTHER CONDITIONS. THE UNSUITABLE CONDITIONS MUST BE CORRECTED PER THE GEOTECHNICAL ENGINEER'S REPORT, WHERE REQUIRED, TO MEET PROJECT NEEDS.

20. ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND BE AIR ENTRAINED.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL/MUD AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.

22. CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND THE CITY OF LEE'S SUMMIT, MO. 23. CONTRACTOR SHALL RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT AN OFF-SITE FACILITY. CONTRACTOR TO CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE.

24. CONTRACTOR IS RESPONSIBLE FOR PROVIDING BERMS, SILT FENCES, OR OTHER MEANS TO PREVENT ERODED MATERIALS FROM REACHING THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTIES. IN THE EVENT THE PREVENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS, SILT, OR MUD AND RESTORE THE RIGHT-OF-WAY TO ORIGINAL OR BETTER CONDITION.

25. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL PROCEDURES SHALL BE IN PLACE PRIOR TO BEGINNING GRADING ACTIVITIES. 26. CONSTRUCTION ACCESS TO THE SITE SHALL BE LIMITED TO THE APPROVED TEMPORARY

CONSTRUCTION ENTRANCE(S) AS SHOWN ON SHEET C601. 27. TEMPORARY CONSTRUCTION ENTRANCE SHALL HAVE SHOT ROCK FOR ITS SURFACE. 28. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING THE WHOLE CONSTRUCTION

PERIOD BY THE CONTRACTOR. 29. CONTRACTOR SHALL PROTECT ANY STORM INLETS FROM SEDIMENT THAT TAKE STORM WATER FROM THE AREA OF CONSTRUCTION.

30. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL AND LANDSCAPING PLANS.

31. CONTRACTOR SHALL PROVIDE ENGINEER WITH AS-BUILT TOPOGRAPHY FOR ALL DETENTION AND WATER QUALITY FACILITIES PRIOR TO PLACEMENT OF TOPSOIL. TOPOGRAPHIC INFORMATION SHALL INCLUDE ALL BASIN GRADING, SPILLWAY, AND OUTLET STRUCTURE INFORMATION (INCLUDING ALL OPENINGS AND OUTLETS). USING THE INFORMATION PROVIDED, ENGINEER SHALL VERIFY BASIN CONFORMITY WITH THE DESIGN PLANS, AS-BUILTS VERIFICATION IS REQUIRED TO BE APPROVED BY THE CITY PRIOR TO ISSUANCE OF OCCUPANCY PERMIT.

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	SITE INFORMATION	I / PARKING TABLE	
	LEGAL DES	SCRIPTION	
LOT 4B OF STROTHER (CROSSING, LOCATED IN THE I OF LEE'S SUMMIT, JACKS	NW¼ OF THE NE¼ , SECTION SON COUNTY, MISSOURI	20, T.48N., R.31E., CITY
	CITY OF LEE'S SUMMIT, JAC	CKSON COUNTY, MISSOURI	
	ADDF	RESS	
	LOT 4B - STROTHER CROS	SSING, LEE'S SUMMIT, MO	
	SITE I	DATA	
EXISTING LOT	AREA (PER PLAT)	2.77 ACF 120,661±	
PROPOS	ED LOT AREA	1.67 ACR 72,902± \$	ES
PROPOSED E	XCESS LOT AREA	1.10 ACR 47,759± \$	ES
	NG FLOOR AREA	9,910± S	
	FAR	0.136	
PAVI	ED AREA	32,836 S	.F.
IMPERVIOUS	SURFACE AREA	42,746 S	.F.
IMPERVIOUS	SURFACE RATIO	42,746 / 72,902 S	.F. (58.6%)
BUILDI	NG HEIGHT	APPROX. 2	26'-6"
	ZON	ING	
	CP-2: PLANNED COMM	IUNITY COMMERCIAL	
PRES	ENT USE	VACAN	Т
PROP	OSED USE	RETAIL & AQUAT	IC CENTER
	REQUIRED	PARKING	
PARK	NG RATIO	RETAIL: 5 SPACES PER 1,00 AREA	
STAND	ARD STALLS	48	
STANDARD AC	CESSIBLE STALLS	1	
VAN ACCE	SSIBLE STALLS	1	
т	OTAL	50	
	PROVIDED	PARKING	
REGULAR	9'x19' STALLS	70 STAL	LS
STANDARD 9'x19'	ACCESSIBLE STALLS	2STALL	S
VAN ACCE	SSIBLE STALLS	1 STALL	S
Т	OTAL	73 STAL	LS
	NG RATIO	7.3 CARS / 1,0	000 S.F.

ENGINEER OLSSON, INC. RICKY HAASE 550 ST. LOUIS STREET SPRINGFIELD, MO 65806 TELE: (417) 890-8802 FAX: (417) 890-8805

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HWY 470 ROACH RA

OWNER / APPLICANT / DEVELOPER:

DIVENTURES CONTACT: WILLIAM MUNROE 11640 ARBOR STREET, SUITE 100 OMAHA, NE 68144 TELE: (531) 999-8425

LEGEND ------ PROPERTY LINE — — — UTILITY EASEMENT ------ PROPOSED BUILDING SETBACK

SCALE IN FEET

Olsson, Inc. MO State Certificate of Authority #001592 (Engineering)

550 St. Louis St. Springfield, MO 65806

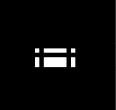
Olsson, Inc. MO State Certificate of Authority #2005000285 (Landscape Architecture)

MISSOURI 1-800-DIG-RITE OR 811 www.mo1call.com

TEL 417.890.8802 www.olsson.com

SURVEY NOTE

OLSSON HAS NOT PERFORMED ANY BOUNDARY OR TOPOGRAPHIC SURVEY. ALL EXISTING SURVEY INFORMATION SHOWN IS PER THE STROTHER CROSSING LOTS 4A-4C MINOR PLAT RECORDED ON 08/15/2019



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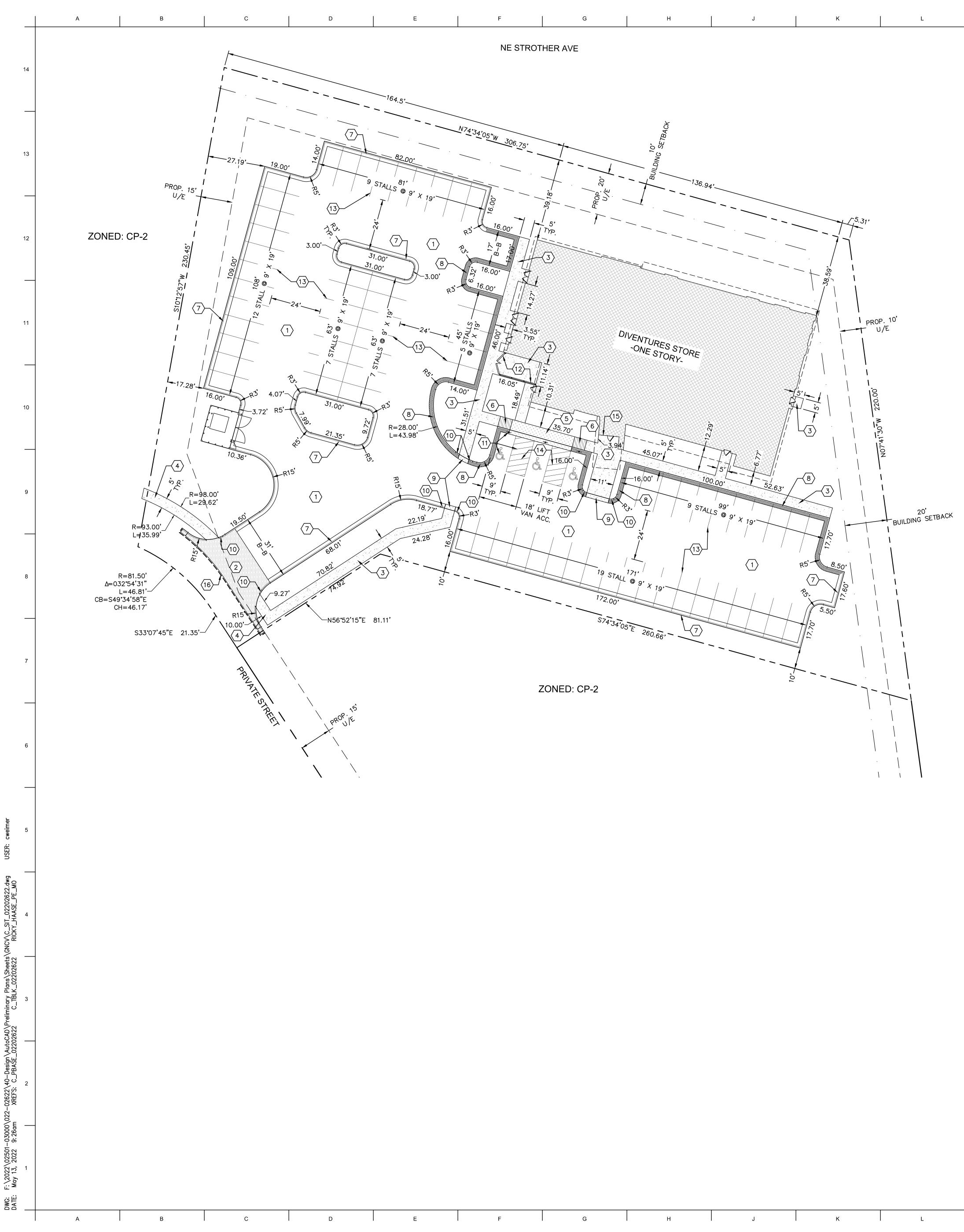
DIVENTURES - LEE SUMMIT, MO

2951 NE INDEPENDENCE AVENUE

GENERAL LAYOUT PLAN

PROJECT ADDRESS:

LEES SUMMIT, MO 64064



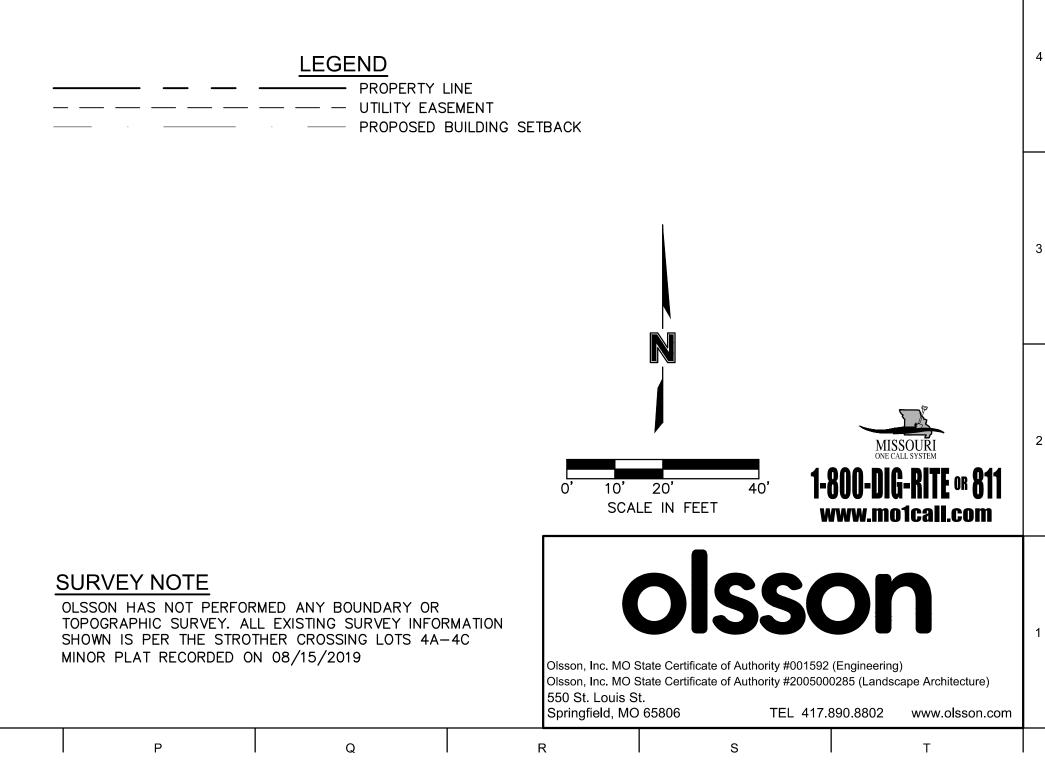
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	$\langle 1 \rangle$	 /I	<u>YNOTES:</u> ISTALL LIGHT DUTY ASPHALT PA SEE DETAIL SHEET CXXX)	VEMENT			
	$\langle 2 \rangle$	AI IIIIII	ISTALL CONCRETE PAVEMENT DR				
	3		ISTALL CONCRETE SIDEWALK SEE DETAIL SHEET CXXX)				
	<u> </u>		ISTALL PUBLIC CONCRETE SIDEW, ITY OF LEE SUMMIT DESIGN STAT				13
	5		ONSTRUCT CONCRETE SIDEWALK SEE DETAIL SHEET CXXX)	AND BANDING FLUSH WITH	H PAVEMENT		
	6	Т	ONSTRUCT CONCRETE CURB & S O PAVEMENT. 6' TRANSITION UNI SLOPE AT 8.33% MAX. (SEE DE	LESS OTHERWISE NOTED C	ON PLANS		
	$\langle 7 \rangle$	<u> </u>	ONSTRUCT STANDARD CURB & O SEE DETAIL SHEET CXXX)	GUTTER			12
	8		ONSTRUCT "DRY" CURB & GUTTE SEE DETAIL SHEET CXXX)	ER			
	9	- 1+1	ONSTRUCT CONCRETE BANDING F SEE DETAIL SHEET CXXX)	FLUSH WITH PAVEMENT			
	(10)		TRANSITION TO PAVEMENT. BE 2' UNLESS NOTED OTHERWISE EET CXXX)	Ξ			11
	(11)	•	SSIBLE STALL & BOLLARD MOUNT	IED SIGNAGE			
	(12) (13)		IING ENCLOSURE PER ARCH PLAN STRIPING PER MUTCD STANDARDS				
	$\langle 13 \rangle$	·	MARKING NOTES ON THIS SHEE		С.		
	15	PROP. LOCATION					10
	(16)	C E R O	ONTRACTOR SHALL SAWCUT & R ONCRETE PAVEMENT AS NECESS DGE BETWEEN NEW & EXISTING F EMOVAL SHALL ACCOMMODATE N N THESE PLANS. SEE DEMOLITIO DDITIONAL ITEMS TO BE REMOVE	ARY TO PROVIDE A SMOO PAVEMENT. EXTENTS OF IEW CONSTRUCTION SHOW N PLAN ON SHEET C102 F	N		
							9
	1. D	O NOT APPLY PA	RKING NOTES: VEMENT MARKING PAINT UNTIL L				
			E BEEN VERIFIED WITH THE ARCI PAVING TO AGE FOR 28 DAYS E				8
	DEB	RIS OR CURING C	RFACES SHALL BE CLEANED/CLE OMPOUNDS IN ACCORDANCE WITH TO ANY MARKING APPLICATIONS	H MANUFACTURES			
	4. D	ETAILS NOT SHOW	WN SHALL BE IN CONFORMITY WI	TH THE STATE			
	HIGH	WAYS, AND SIMIL	AR REQUIREMENTS ESTABLISHED NSPORTATION, FEDERAL HIGHWAY	BY THE U.S.			7
	THE	SITE PLANS.	STRIPING SHALL BE SINGLE LINE				
	HIGH FAS	IWAY MARKING ST T DRY ACRYLIC LA	IG PAVEMENT SHALL CONFORM T ANDARDS. USE SHERWIN WILLIAM ATEX TRAFFIC MARKING PAINT O OW, WHERE APPROPRIATE. UNLE	IS PROFESSIONAL R EQUAL, USE			
	DIRE A.E B.F	CTED, USE THE F BLACKTOP OR BITU PORTLAND CEMENT	OLLOWING: JMINOUS ASPHALT PAVING: USE CONCRETE PAVING: USE YELLO	YELLOW COLOR. W COLOR.			
	D. F		PARKING AND ENTRYWAYS: USE CURBS AT FIRE LANE DESIGNATI NTS.				6

7. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF ÀPPLYING THE MARKING WIDTHS AS SHOWN. PROVIDE À MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.

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8. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. ADA ACCESSIBLE PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL ACCESSIBLE SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.





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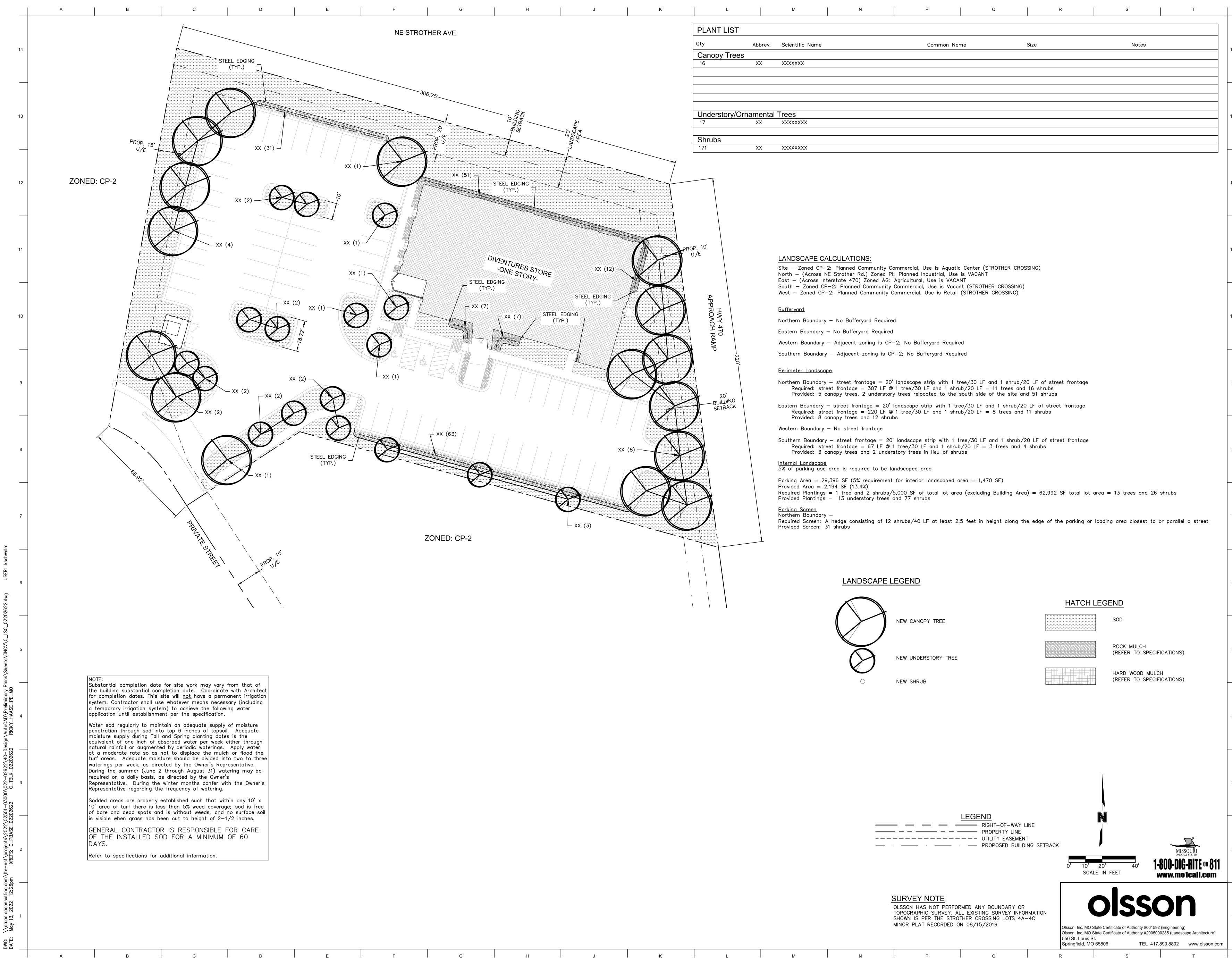
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SITE PLAN

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