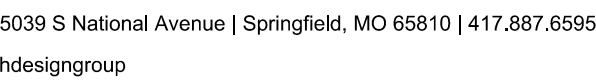
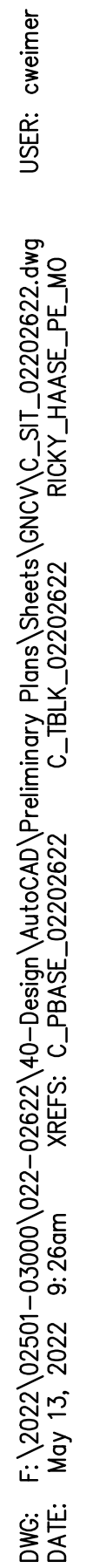




# C101





## PROJECT TEAM

AQUATICS ENGINEER  
REENGINEERED, INC.  
NICHOLAS R. NOWACKI, PE  
19102 181<sup>ST</sup> AVENUE  
BIG LAKE, MN 55309

CONTRACTOR SHALL SAWCUT & REMOVE ASPHALT OR CONCRETE PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH EDGE BETWEEN NEW & EXISTING PAVEMENT. EXTENTS OF REMOVAL SHALL ACCOMMODATE NEW CONSTRUCTION SHOWN ON THESE PLANS. SEE DEMOLITION PLAN ON SHEET C102 FOR ADDITIONAL ITEMS TO BE REMOVED OR SALVAGED

1. DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.
2. ALLOW CONCRETE PAVING TO AGE FOR 28 DAYS BEFORE MARKING.
3. ALL PAVEMENT SURFACES SHALL BE CLEANED/CLEARED OF ANY DEBRIS OR CURING COMPOUNDS IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS PRIOR TO ANY MARKING APPLICATIONS.
4. DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND ALLEYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
5. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
6. PAINT FOR PARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROFESSIONAL PAINTS, AND SPECIFIC CONCRETE PAVING: USE YELLOW COLOR. WHITE, BLUE OR YELLOW, WHERE APPROPRIATE, UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:
  - A. BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE YELLOW COLOR.
  - B. CONCRETE AND CURB AND GUTTER PAVING: USE YELLOW OR WHITE.
  - C. ADA ACCESSIBLE PARKING AND ENTRWAYS: USE BLUE COLOR.
  - D. PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
7. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN, PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. USE ONE COAT OF PAINT FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.
8. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. ADA ACCESSIBLE PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL ACCESSIBLE SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE TO PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.

PROPERTY LINE  
UTILITY EASEMENT  
PROPOSED BUILDING SETBACK



OLSSON HAS NOT PERFORMED ANY BOUNDARY OR  
TOPOGRAPHIC SURVEY. ALL EXISTING SURVEY INFORMATION  
SHOWN IS PER THE STROTHER CROSSING LOTS 4A-4C  
MINOR PLAT RECORDED ON 08/15/2019

**olsson**

Olsson, Inc. MO State Certificate of Authority #001592 (Engineering)  
Olsson, Inc. MO State Certificate of Authority #2005000285 (Landscape Architecture)  
550 St. Louis St.  
Springfield, MO 65806 TEL 417.890.8802 [www.olsson.com](http://www.olsson.com)

[illegible]

PROJECT NO.: XX-XXX REVIEWED BY: RGH  
DRAWN BY: WKH DATE: 05.13.2022

**PROFESSIONAL SEAL**

PDP SUBMITTAL:  
NOT FOR  
CONSTRUCTION

THIS DRAWING AND THE ARCHITECTURAL WORK REPRESENTED ARE OWNED BY H DESIGN GROUP, LLC. COPYRIGHT INCLUDES THIS DRAWING, AS WELL AS, ALL COMPONENTS OF THE CONCEPTUAL DESIGN. REPRODUCTION OF ANY KIND IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF H DESIGN GROUP, LLC.

## DIVENTURES - LEE SUMMIT, MO

PROJECT ADDRESS:  
2951 NE INDEPENDENCE AVENUE  
LEES SUMMIT, MO 64064

## SHEET

# C102



