

NE Swann Road

LEES SUMMIT NORTH
HIGH SCHOOL

E Chipman Road

Hwy 291 South

Hwy 291 South

LOCATION MAP
LEES SUMMIT, MISSOURI

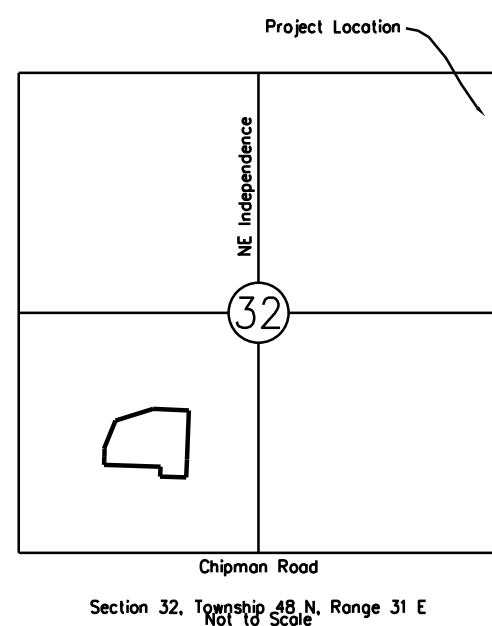
UTILITY LOCATION MISSOURI ONE-CALL SYSTEM
1-800-DIG-RITE
1-800-344-7483

GAS SERVICE MISSOURI GAS ENERGY
3025 SE CLOVER DRIVE
LEE'S SUMMIT, MISSOURI 64082
1-800-582-0000

WATER SERVICE CITY OF LEE'S SUMMIT UTILITIES
220 SE GREEN STREET
LEE'S SUMMIT, MISSOURI 64063
816-966-1900

commencing at the Southwest corner of the Southwest Quarter of Section 32; thence North 88 degrees, 00 minutes, 27 seconds West, along the South line of the Southwest Quarter, 1525.36 feet; thence North 01 degree 59, minutes, 33 seconds East, leaving the South line, 97.98 feet to a point on the existing North right-of-way of Chipman Road and the Southwest corner of "Summit Point First Plat" recorded in Book 41 at Page 60; thence North 01 degree, 54 minutes, 38 seconds East, along the West line of the plat, 417.56 feet to the Point of Beginning; thence North 01 degree, 54 minutes, 38 seconds East, 135.86 feet; thence North 72 degrees, 33 minutes, 20 seconds West, 5.19 feet; thence North 22 degrees, 20 minutes, 37 seconds East, 250.76 feet to a point on the South line of "AMLI Summit Ridge Lot 1", recorded in Book 166 at Page 48; thence North 72 degrees, 33 minutes, 35 seconds East, along the South line of the plat, 330.00 feet; thence South 87 degrees, 28 minutes, 25 seconds East, continuing along the South line, 251.73 feet to the Southeast corner of the plat, also being a point on the West line of "Maple Tree Manor First Plat" recorded in Book 160 at Page 59; thence South 87 degrees, 28 minutes, 25 seconds East, along the West line of the plat, 44.56 feet to a point on the West line of "Maple Tree Manor, Lot 8A and 8B" recorded in Book 1116 at Page 85; thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 32.10 feet to the Southwest corner of the plat and the Northwest corner of "Replat of English Manor Units 41-72 Inclusive", recorded in Book 149 at Page 13; thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 439.00 feet to the Southwest corner of the Southwest corner of the plat and the Northwest corner of "St. Matthews Acres", recorded in Book 39 at Page 160, thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 439.00 feet to the Point of Beginning; thence North 88 degrees, 05 minutes, 22 seconds West, 218.00 feet; thence North 01 degree, 54 minutes, 38 seconds East, 81.01 feet; thence North 88 degrees, 05 minutes, 22 seconds West, 470.58 feet to the Point of Beginning, containing 314,151.52 square feet or 7.21 acres, more or less.

Phone (831) 480-6339



1. THE BOUNDARY INFORMATION, EXISTING UTILITY LINES, AND TOPOGRAPHIC FEATURES SHOWN ARE ACCORDING TO THIS INFORMATION MADE AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES EXISTING MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING TOPOGRAPHIC FEATURES AND EXISTING UTILITY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. PORTION OF TOPOGRAPHIC SURVEY PROVIDED BY OWNER.
2. LANDSCAPING SHALL BE INSTALLED PRIOR TO OCCUPANCY.
3. THE CONTRACTOR SHALL SUBMIT AN EXPANSION/CONTRACTION JOINT PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
4. ALL EXCAVATION SHALL BE UNCLASSIFIED.
5. THE CONTRACTOR SHALL CONTACT THE CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS AT (816) 969-1829 WITHIN 48 HOURS OF COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL CONTACT RIGHT-OF-WAY INSPECTIONS AT (816) 969-1838 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHTS-OF-WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.

C100 - TITLE SHEET
C101 - FINAL DEVELOPMENT PLAN
C200 - OVERALL SITE PLAN
C201 - SITE PLAN (WEST)
C202 - SITE PLAN (EAST)
C300 - OVERALL GRADING PLAN
C301 - GRADING PLAN (WEST)
C302 - GRADING PLAN (EAST)
C400 - UTILITY PLAN
C401 - STORM SEWER PLAN (WEST)
C402 - STORM SEWER PLAN (EAST)
C403 - STORM SEWER PROFILES
C404 - STORM SEWER PROFILES
C405 - SANITARY SEWER PLAN & PROFILE - LINE 1
C406 - SANITARY SEWER PLAN & PROFILE - LINE 2
C407 - WATER LINE PLAN & PROFILE - LINE 1
C500 - EROSION CONTROL PLAN - PHASE I
C501 - EROSION CONTROL PLAN - PHASE II
C502 - EROSION CONTROL PLAN - PHASE III

C600 - DETAILS
C601 - DETENTION BASIN DETAILS
C602 - EROSION CONTROL DETAILS
C603 - EROSION CONTROL DETAILS (2)
C604 - LEES SUMMIT DETAILS
C605 - LEES SUMMIT DETAILS
C606 - LEES SUMMIT DETAILS

C700 - CLUBHOUSE SITE PLAN
C701 - CLUBHOUSE GRADING PLAN
C702 - CLUBHOUSE UTILITY PLAN

C1000	PUBLIC STREET DEMO PLAN
C1001	PUBLIC STREET PLAN
C1002	PUBLIC STREET GRADING AND EROSION
C1003	CONTROL PLAN
	PUBLIC STREET DETAILS

[illegible]

Rev. -	Date: 03-25-2015	Designed by: RP	Reviewed by: ---	Plot size: 1420
		Own by: LWS	Submitted by: ---	
File name: 2150652-SH-CD Cover Sheet.dgn				
Plot date: 21/2/2012 2:54:26 PM				

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

SITE/CIVIL PLANS
Construction Drawings

TITLE SHEET

C100

FINAL DEVELOPMENT PLAN
SUMMIT POINT 2nd PLAT
LEE'S SUMMIT, MISSOURI

LEGAL DESCRIPTION:

A tract of land in the Southwest Quarter of Section 32, Township 48N, Range 31W in Lee's Summit, Jackson County, Missouri, described as follows:
Commencing at the Southeast corner of the Southwest Quarter of Section 32; thence North 88 degrees, 00 minutes, 27 seconds West, along the South line of the Southwest Quarter, 1525.36 feet; thence North 01 degree, 59 minutes, 33 seconds East, leaving the South line, 97.98 feet to a point on the existing North Right-Of-Way of Chipman Road and the Southwest corner of "Summit Point First Plat", recorded in Book 41 at Page 60; thence North 01 degree, 54 minutes, 38 seconds East, along the West line of the plat, 417.58 feet (measured), (420.12 feet, plat), to the Northwest corner of the plat and the POINT OF BEGINNING; thence North 01 degree, 54 minutes, 38 seconds East, 135.86 feet; thence North 72 degrees, 33 minutes, 20 seconds West, 5.15 feet; thence North 22 degrees, 20 minutes, 37 seconds East, 250.76 feet to a point on the South line of "AHLI Summit Ridge Lot 1", recorded in Book 168 at Page 48; thence North 72 degrees, 31 minutes, 39 seconds East, along the South line of the plat, 330.00 feet; thence South 87 degrees, 28 minutes, 25 seconds East, continuing along the South line, 251.73 feet to the Southeast corner of the plat, also being a point on the West line of "Maple Tree Manor-1st Plat", recorded in Book 160 at Page 59; thence South 67 degrees, 28 minutes, 25 seconds East, along the West line of the plat, 44.56 feet to a point on the West line of "Maple Tree Manor, Lot 8A and 8B", recorded in Book 116 at Page 85; thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 32.10 feet to the Southwest corner of the plat and the Northwest corner of "Regal of English Manor Units 41-72 Inclusive", recorded in Book 149 at Page 13; thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 439.00 feet to the Southwest corner of the plat and the Northwest corner of "St. Matthews Acres", recorded in Book 39 at Page 160; thence South 02 degrees, 04 minutes, 01 second West, along the West line of the plat, 65.45 feet to the Northeast corner of "Summit Point First Plat"; thence along the North line of the plat the following three courses:
North 88 degrees, 05 minutes, 22 seconds West, 218.00 feet;
North 01 degree, 54 minutes, 38 seconds East, 81.01 feet;
North 88 degrees, 05 minutes, 22 seconds West, 470.58 feet
to the POINT OF BEGINNING, containing 314,151.52 square feet, or 7.21 acres, more or less.

SITE DATA TABLE:

AREA OF SITE = 7.21 ACRES
EXISTING ZONING - RP-4
PROPOSED ZONING - RP-4

DENSITY = 36 UNITS/4.97 ACRES = 7.24 UNITS PER ACRE

UNIT MIX (NEW CONSTRUCTION)

48 - 1 BEDROOM
72 - 2 BEDROOM
24 - 3 BEDROOM

PARKING REQUIREMENTS

5 - EXISTING BUILDINGS (100 UNITS)
1 & 2 BR @ 1.5 PER UNIT + 0.5 GUEST PER UNIT
(100x1.5) + (100x0.5) = 200 spaces
3 - Type A Buildings (72 UNITS)
24 - 2 BR @ 1.5 PER UNIT + 0.5 GUEST PER UNIT
3(24x1.5) + 3(24x0.5) = 144 spaces
1 - Type B Building (24 UNITS)
12 - 1 BR @ 1.5 PER UNIT + 0.5 GUEST PER UNIT
1(12x1.5) + 1(12x0.5) = 24 spaces
12 - 3 BR @ 2 PER UNIT + 0.5 GUEST PER UNIT
1(12x2.0) + 1(12x0.5) = 30 spaces
2 - Type C Building (48 UNITS)
18 - 1 BR @ 1.5 PER UNIT + 0.5 GUEST PER UNIT
2(18x1.5) + 2(18x0.5) = 72 spaces
6 - 3 BR @ 2 PER UNIT + 0.5 GUEST PER UNIT
2(6x2.0) + 2(6x0.5) = 30 spaces
500 TOTAL SPACES REQUIRED

PARKING PROVIDED

230 EXISTING
245 NEW
475 TOTAL SPACES PROVIDED

PROJECT DENSITY (PHASES 1 & 2)

5 - EXISTING BUILDINGS (100 1 & 2 BR UNITS)
3 - Type A Buildings (72 2 BR UNITS)
1 - Type B Building (12 1BR UNITS & 12 3BR UNITS)
2 - Type C Building (36 1BR UNITS & 12 3BR UNITS)
244 TOTAL UNITS EXISTING AND PROPOSED
100 UNITS ON EXISTING PROPERTY (PHASE I)
144 UNITS ON NORTH PROPERTY (PHASE II)

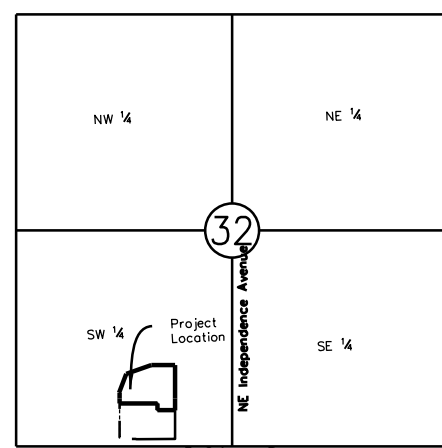
AREA OF TRACT (PHASES I & II) = 13.96 ACRES
DENSITY 244 UNITS /13.96 ACRES = 17.48 UNITS PER ACRE (PHASES I-II)

IMPERVIOUS AREA = 3.8 ACRES
GREEN SPACE (PERVIOUS AREA) = 3.41 ACRES = 47%

FLOOR AREA RATIO (FAR)

3A BUILDINGS @ 11,300 SF - 33,900 SF
1B BUILDING @ 11,000 SF - 11,000 SF
2C BUILDINGS @ 10,580 SF - 21,160 SF
TOTAL - 66,080 SF

FAR = 66,080/314,068 (7.21 ACRES) = 0.21



Vicinity Map

ID	OWNER	ZONING
①	MAPLE TREE MANOR HOMES ASSOCIATION LLC	RP-3
②	LANDON M GOMES	RP-3
③	RKM REAL ESTATE LLC	RP-3
④	ROBIN L HALL	RP-3
⑤	ERW PROPERTIES LLC (7 UNITS)	RP-3
⑥	LW PROPERTIES LLC (8 UNITS)	RP-3
⑦	ST MATTHEW LUTHERAN CHURCH	R-1
⑧	JEFFREY AND LAUREN DITTMER	RP-2
⑨	BRUCE RUSSELL SCOGGAN	RP-2
⑩	A&R INVESTMENT SOLUTIONS LLC	RP-2
⑪	RONNIE JOANNE BABICH	RP-2
⑫	SHE SHERMAN & ZHON SHELLEY	RP-2
⑬	JABAN M MOORE	RP-2
⑭	DAN A NEUSTADTER	RP-2
⑮	MCAP SAGE LP	RP-4
⑯	CARROLL L METZGER TRUSTEE	CP-2
⑰	CARROLL L METZGER TRUSTEE	RP-4
⑱	REORGANIZED SCHOOL DISTRICT NO 7	R-1
⑲	JVM SUMMIT RIDGE APARTMENTS LLC	RP-4

FLOOD PLAIN ELEVATION:

THE MAXIMUM 100-YEAR WSEL ON THE PROPERTY WAS CALCULATED TO BE ELEVATION 998.8. THE MINIMUM FLOOR ELEVATION FOR ANY OF THE PROPOSED IS SET AT 1000.8 (2' FREEBOARD.)

SEWER IMPACT STATEMENT:

THE PROPOSED DEVELOPMENT WILL PRODUCE MINIMAL SEWAGE TO THE SYSTEM, ASSUMING AN AVERAGE FLOW OF 100 GPCD AND AN AVERAGE OF 1 PERSON PER BEDROOM (414 BEDROOMS), THE SYSTEM WILL RECEIVE 41,400 GPD OR 29 GPM. THE EXISTING SEWER HAS AVAILABLE CAPACITY.

WATER MAIN CAPACITY:

PER STAFF, THE EXISTING WATER MAIN IN CHIPMAN ROAD HAS THE CAPACITY TO SERVE THE PROJECT.

NOTES:

- PROJECT SHALL BE CONSTRUCTED IN ONE PHASE AND BE PLATTED IN ONE LOT.
- CONSTRUCTION SHALL COMMENCE SPRING 2021
- CONSTRUCTION COMPLETE FALL 2022
- AS PER FEMA MAP (COMMUNITY PANEL NO. 29085C04363) DATED JANUARY 20, 2017, THE PROPERTY LIES TO THE SOUTH OF TRIBUTARY P3 OF PRAIRIE LEE LAKE WHERE LOCATED IN FEMA DESIGNATED ZONE A WHERE NO BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.

MODIFICATIONS:

- REDUCTION OF GUEST PARKING REQUIREMENTS FROM 122 TO 111
- INCREASE OF PROJECT DENSITY TO 17.48 UNITS PER ACRE

OIL & GAS WELLS

We have made a visual inspection of the premises and have determined that there is no visual evidence that any oil or gas wells exist within the boundary of the subject property.

We have also made a review of the file "Oil and Gas Permits Database" found at <https://dnr.mo.gov/geology/geosrv/oln/gas.htm> and find no permits for oil and gas wells on the subject property.

ADDRESSES

All units shall be addressed separately. House numbers will be provided by the city.

BENCH MARK:

CHIS "□" ON CURB INLET
NORTH SIDE OF CHIPMAN ROAD
130' WEST OF SOUTHWEST CORNER
ELEV = 1022.38

DEVELOPER:

CANYON VIEW PROPERTIES
331 SOQUEL AVENUE, SUITE 100
SANTA CRUZ, CA 95062
831.480.6339
ATTN: GARY RAUSCHER

ENGINEER:

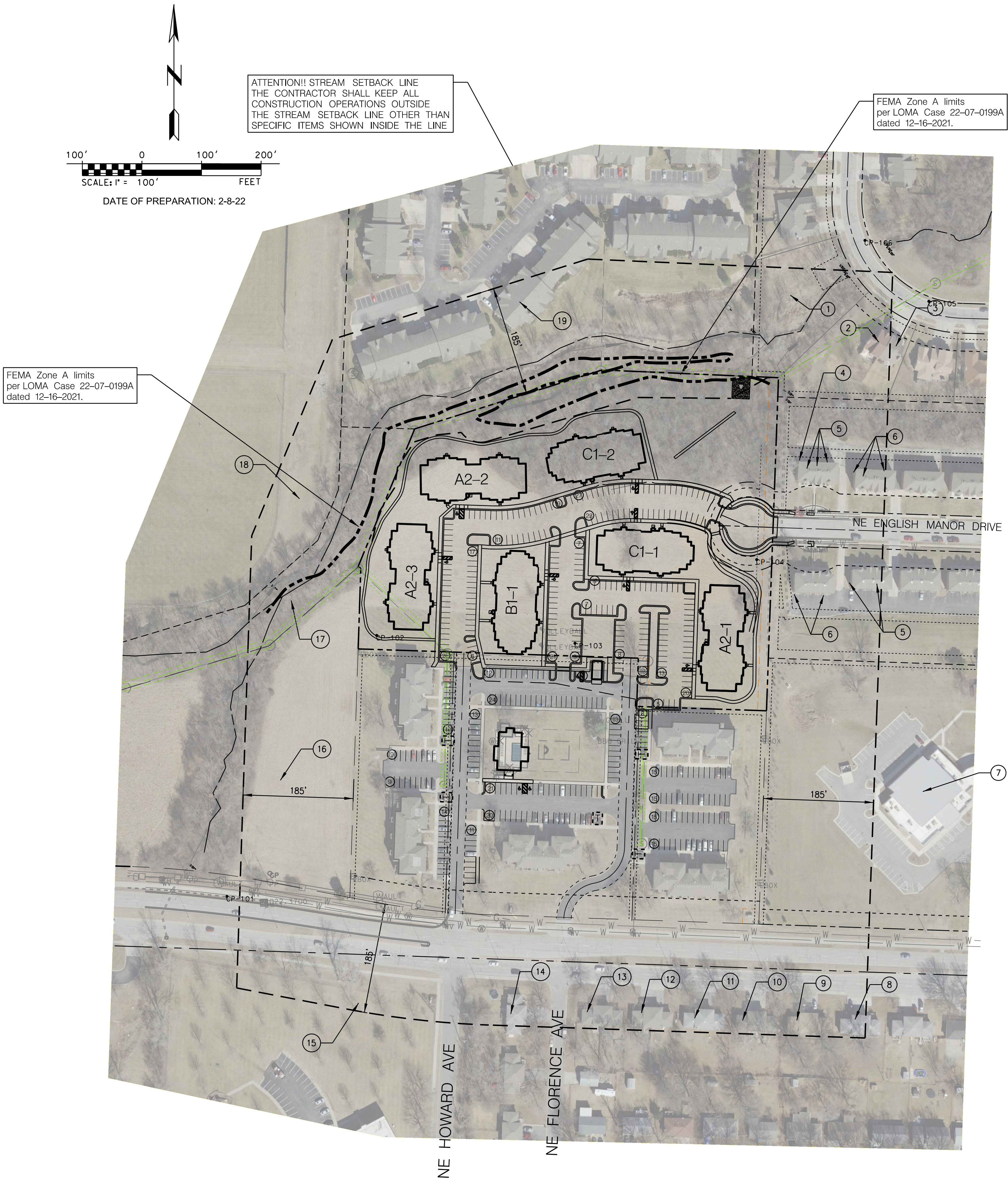
CFS ENGINEERS
9229 WARD PARKWAY, SUITE 110
KANSAS CITY, MO 64114
816.333.4477
ATTN: LANCE SCOTT

OWNER:

SUMMIT POINT PHASE II LLC
331 SOQUEL AVENUE, SUITE 100
SANTA CRUZ, CA 95062
831.480.6339
ATTN: GARY RAUSCHER

ARCHITECT:

BCS Design
19920 West 161st Street
Olathe, Kansas 66062
913.780.4820
Attn: Jeff Shinkle



CFS ENGINEERS
cfe.com

STATE OF MISSOURI
LANCE SCOTT
REGISTERED PROFESSIONAL ENGINEER
E-24355
EXPIRATION DATE 12/31/2025

Rev.	Date	By	Check By	Reviewed By	Plot Scale	City Submittal	Description	Appr.
05-25-2015	---	---	LWS	---	1/8"=1'-0"	2-2-22	REVISED PER COMMENTS 4-25-22	---
							CITY SUBMITTAL	
							Work	

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Final Development Plan

INDEX AND SITE DATA

Sheet reference number:
C101



FEMA Zone A limits
per LOMA Case 22-07-0199A
dated 12-16-2021.

FEMA Zone A limits
per LOMA Case 22-07-0199A
dated 12-16-2021.

ATTENTION!! STREAM SETBACK LINE
THE CONTRACTOR SHALL KEEP ALL
CONSTRUCTION OPERATIONS OUTSIDE
THE STREAM SETBACK LINE OTHER THAN
SPECIFIC ITEMS SHOWN INSIDE THE LINE

Detention basin

100 year water surface elevation of Detention Basin = 1000.48

Asphaltic concrete Parking lot
and drives. See detail Sheet C600

English Manor Drive Cul-de-sac
PUBLIC IMPROVEMENT PLANS
CONSTRUCTED BY OTHERS

Asphaltic concrete Parking lot
and drives. See detail Sheet C600

- NOTES:

1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC., AND TO INCLUDE ANY WORK IN DOT R.O.W. AND/OR CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH GEOTECHNICAL REPORT.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND PRECISE BUILDING DIMENSIONS. SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS.
8. ALL DIMENSIONS SHOWN ON BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
9. ALL RADII SHALL BE 4'0" MEASURED AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS AND GEOTECH REPORT.
11. PARKING LOT STRIPING SHALL BE ACCORDING TO KANSAS CITY METROPOLITAN CHAPTER OF APWA. ALL STRIPING IS TO HAVE TWO COATS OF PAINT (MIN.). ALL STRIPING OTHER THAN ACCESSIBLE SHALL BE WHITE. ACCESSIBLE STRIPING SHALL BE BLUE.
12. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS AND SPECIFICATIONS.
13. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
14. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUB-CONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS.
15. ALL CURB AND GUTTER SHALL BE TYPE CG-1 OR CG-2 AS NOTED ON THE PLAN.
16. ALL WORK SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE METROPOLITAN CHAPTER OF APWA AND THE CITY OF LEE'S SUMMIT, MISSOURI, IN CURRENT EDITION.

Legend

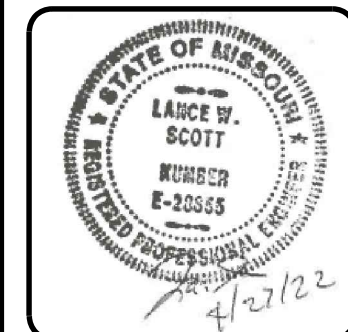
-
- Map of the proposed 30' wide Right-of-Way (ROW) for the proposed 10' wide Sanitary Sewer Line. The map shows the proposed sewer line, existing sewer line, and various landmarks and features. A legend on the right side of the map defines the symbols used.
- Legend:**
- Major Contour
 - Minor Contour
 - Right-of-Way Line
 - Section Line
 - Easement Line
 - Storm Sewer Line
 - Sanitary Sewer Line
 - Waterline
 - Fence Line
 - Vegetation Line
 - Found Survey Monument
 - Section Bar with Cap GPS CLS 1999 141100
 - Schedule Corner
 - Sketch Note B-Z Exception
 - Storm Sewer Manhole
 - Sanitary Sewer Manhole
 - Tree
 - Water Meter
 - Water Valve
 - Fire Hydrant
 - Light Pole
 - Center Line
 - Found
 - Bar & Cap
 - B&C
 - Existing Contour (Interpolate)
 - Existing Contour (Index)
 - Proposed Contour
 - Regulatory Floodplain
 - Stream Setback

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings

OVERALL SITE PLAN

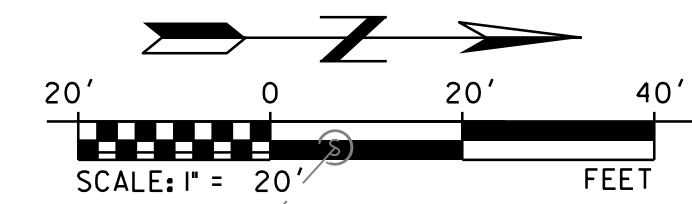
Sheet
reference
number:
C200



Mark	Description	Date	App
	CITY SUBMITTAL	02/02/22	
	REVISED PER COMMENTS	04/27/22	

Designed by: RP	Date: 03-25-2015	Rev. =
Drawn by: LWS RP	Reviewed by: ---	
Submitted by: ---	Plot scale: 1/50	

SIDEWALK NOTE:
ALL SIDEWALKS SHALL BE 5
MINIMUM WIDTH



CFS
ENGINEERS
1421 E. 104th Street, Ste. 100 KCMO
o. 816-333-4477 f. 816-333-6688
cfse.com

[illegible]

Designed by: RP	Date: 03-25-2015	Rev. -
Own by: RP	Ok'd by: LWS	Reviewed by:
Submitted by:	Plot scale: 1:20	

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

SITE PLAN (WEST)

C201



Major Contour	Water Meter
Minor Contour	Water Valve
Right-of-Way Line	Fire Hydrant
Section Line	Light Pole
Easement Line	Center Line
Storm Sewer Line	F
Sanitary Sewer Line	Found Bar & Cap
Waterline	BAC
Fence Line	
Vegetation Line	Existing Contour (Index)
Found Survey Monument	Existing Contour (Intermediate)
Set Back from Bay Cap CPAS CLS 1999141100	
Section Corner	Proposed Contour
Schedule B-2 Exception	
Storm Sewer Manhole	
Sanitary Sewer Manhole	
Tree	

1. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITY, EXISTING, PAVEMENT, STRIPPING CURBS, ETC. AND TO OVERSEEN ANY WORK BEING DONE RIGHT OF WAY AND/OR CITY RIGHT OF WAY. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
3. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT ONE FOOT (1') INTERVALS AND ARE REFERENCED TO USGS DATUM.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE NECESSARY PERMITS FOR THE COMPLETION OF EARTHWORK AS SHOWN AND FOR HAULING BORROW MATERIAL IN AND WASTE MATERIAL OFF OF THE SITE.
5. AREAS OF PROPOSED CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION AND TOPSOIL TO A DEPTH OF SIX INCHES (6") AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE TOPSOIL SHALL BE STOCKPILED AND REDISTRIBUTED PER THE SPECIFICATIONS. TOPSOIL SHALL NOT BE USED FOR STRUCTURAL FILL IN BUILDING AND PAVEMENT AREAS.
6. TESTING AND INSPECTION OF EARTHWORK SHALL BE PROVIDED BY A TESTING LABORATORY SELECTED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF TESTING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD ADJUST THE TOPS OF ALL MANHOLES AND VALVEMETER BOXES AS NECESSARY TO MATCH THE FINISH GRADE OF ADJACENT AREAS, NO SEPARATE OR ADDITIONAL COMPENSATION SHALL BE MADE TO THE CONTRACTOR FOR MAKING FIELD ADJUSTMENTS TO MANHOLES AND BOXES.
8. SOIL FOR FILLING SHOULD BE GRADED AS IT ARRIVES.
9. GRADING SHALL NOT EXCEED A 3 HORIZONTAL TO A 1 VERTICAL SLOPE.
10. THE CONTRACTOR SHALL NOT GRADE OUTSIDE THE PROPERTY LINE UNTIL APPROVED FROM APPROPRIATE REGULATORY AGENCIES.
11. REMOVE FROM THE SITE MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN THE OPINION OF THE OWNER OR OTHERS, ARE OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS. DO NOT REMOVE ITEMS ELSEWHERE IN SITE OR PREMISES UNLESS SPECIFICALLY INDICATED.
12. STRIP TOPSOIL TO WHATEVER DEPTHS ENCOUNTERED TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL BE STOCKPILED AND REDISTRIBUTED PER THE SPECIFICATIONS. SHALL CONSIST OF SANDY CLAY SURFICIAL SOIL FOUND IN DEPTH OF NOT LESS THAN 6" SATISFACTORY TOPSOIL IS REASONABLY FREE OF SUBSOIL, CLAY, LUMPS, STONES, AND OTHER OBJECTS OVER 2" IN DIAMETER. WEEDS, ROOTS, AND OTHER OBSTRUCTIVE MATERIAL.
13. STOCKPILE TOPSOIL IN STORAGE PILES AS SHOWN ON WHERE DIRECTED. CONSTRUCT STORAGE PILES TO FREELY DRAIN SURFACE WATER. COVER STORAGE PILES IF REQUIRED TO PREVENT WINDBLOWN DUST. DISPOSE OF UNUSABLE WASTE MATERIAL. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS SPECIFICATIONS NOTED OTHERWISE ON THE DRAWINGS.
14. COMPLETELY REMOVE STUMPS, ROOTS, AND OTHER DEBRIS BELOW PROPOSED SUBGRADE ELEVATION. FILL DEPRESSIONS CAUSED BY CLEANING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL. UNLESS FURTHER EXCAVATION OR EARTHWORK IS REQUIRED.
15. REMOVE EXISTING SOIL ABOVE AND BELOW GRADE IMPROVEMENTS AND ABANDON UNDERGROUND PIPING OR CONDUIT NECESSARY TO PERMIT CONSTRUCTION AND OTHER WORK.
16. UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE DRAWINGS OR IN THE SOIL INVESTIGATION REPORT, AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SUBGRADE TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM OF 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, IN ACCORDANCE WITH ASTM D 698. AT A MOISTURE CONTENT OF NOT LESS THAN 2% BELOW AND NOT MORE THAN 2% ABOVE THE OPTIMUM MOISTURE CONTENT. THE TWO PERPENDICULAR DIRECTIONS UNDER THE SUPERVISION AND DIRECTION OF A FIELD GEOTECHNICAL ENGINEER. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS STATED ABOVE.
17. UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE DRAWINGS, FILL MATERIALS USED IN PREPARATION OF SUBGRADE SHALL BE PLACED IN LIFTS OR LAYERS NOT TO EXCEED 1' LOOSE MEASURE AND COMPACTED TO A MINIMUM DENSITY OF 95% OF THE STANDARD PROCTOR DRY DENSITY. IN ACCORDANCE WITH ASTM D 698. AT A MOISTURE CONTENT OF NOT LESS THAN 2% BELOW AND NOT MORE THAN 2% ABOVE THE OPTIMUM MOISTURE CONTENT. THE COMPACTED SOIL SHALL BE REPAVED TO 98% OF THE STANDARD PROCTOR DRY DENSITY IN THE UPPER 24 INCHES OF FILL SUPPORTED PAVEMENT AREAS.
18. ALL GRADING SHALL COMPLY WITH THE GEOTECHNICAL REPORT.
19. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL, IN ACCORDANCE WITH THE APPROVED LAND DISTURBANCE PERMIT ISSUED BY THE CITY OF LEE'S SUMMIT, MISSOURI PUBLIC WORKS.
21. SEE SHEETS C301 AND C302 FOR SPOT ELEVATIONS.



ATTENTION!! STREAM SETBACK LINE
THE CONTRACTOR SHALL KEEP ALL
CONSTRUCTION OPERATIONS OUTSIDE
THE STREAM SETBACK LINE OTHER THAN
SPECIFIC ITEMS SHOWN INSIDE THE LINE

FEMA Zone A limits
per LOMA Case 22-07-0199A
dated 12-16-2021.

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STATE OF MISSOURI
LANDSCAPE ARCHITECT
NUMBER
E-20555
4/2/22

Work	Description	Date	Appr.
		04/27/22	
		04/27/22	
		04/27/22	
		04/27/22	

Rev.	Designated by:	Date:	By:	Reviewed by:
05-25-2016	RP	05-25-2016	RP	WNS
---	Submitted by:	---	Submitted by:	---

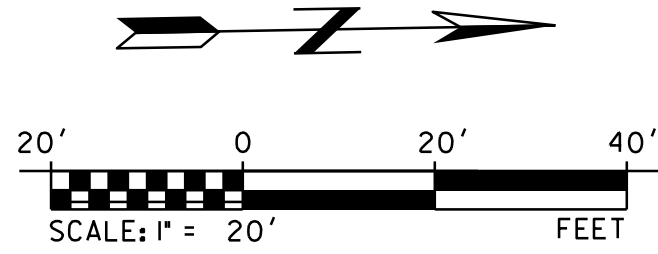
SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings

WEST SIDE GRADING PLAN

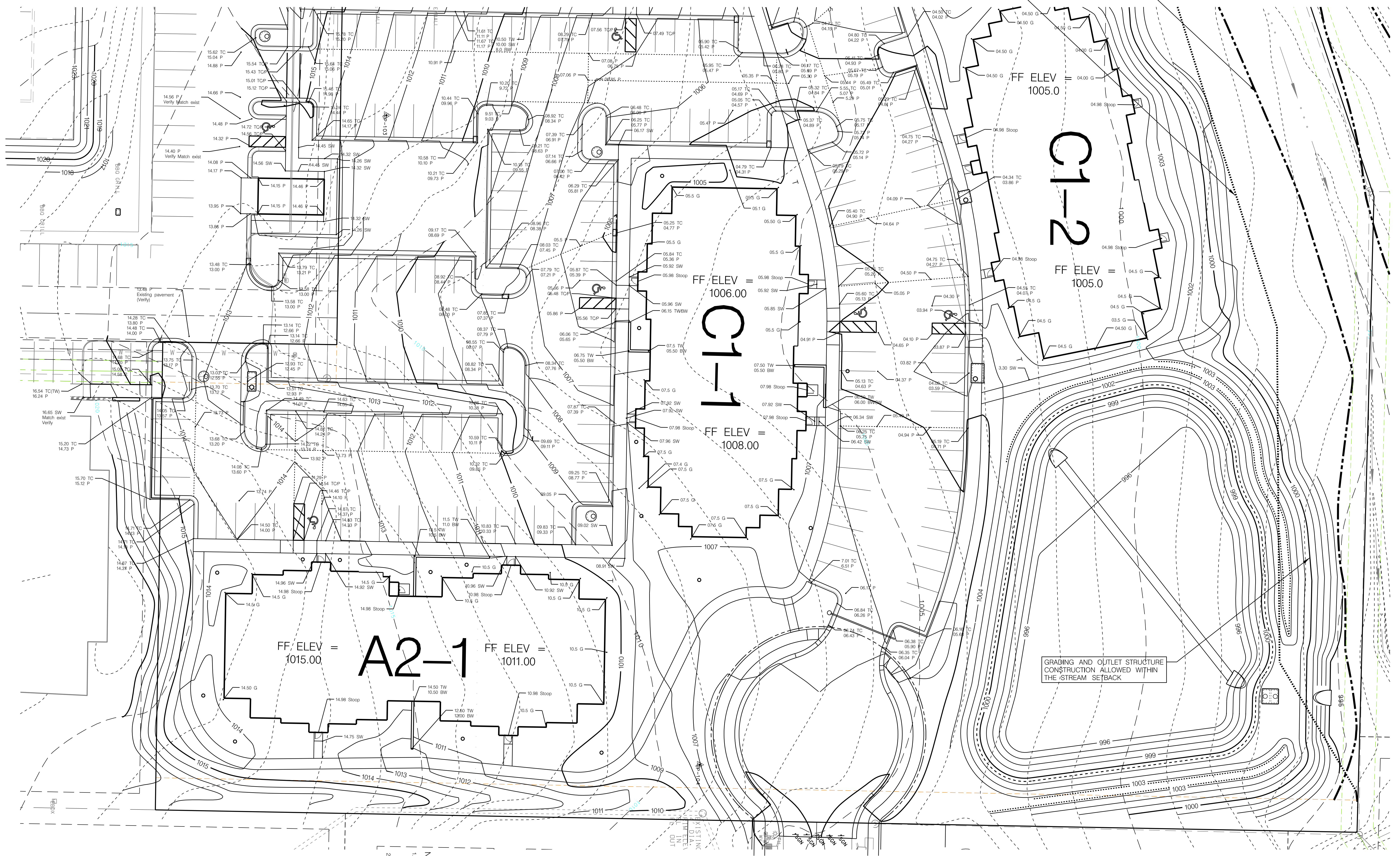
C301

File name: 202505-51-SH-CD West Side Grading Plan.dgn
Plot date: 04/27/2022 2:22:28 PM



ATTENTION!! STREAM SETBACK LINE
THE CONTRACTOR SHALL KEEP ALL
CONSTRUCTION OPERATIONS OUTSIDE
THE STREAM SETBACK LINE OTHER THAN
SPECIFIC ITEMS SHOWN INSIDE THE LINE

FEMA Zone A limits
per LOMA Case 22-07-0199A
dated 12-16-2021.



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4/21/22

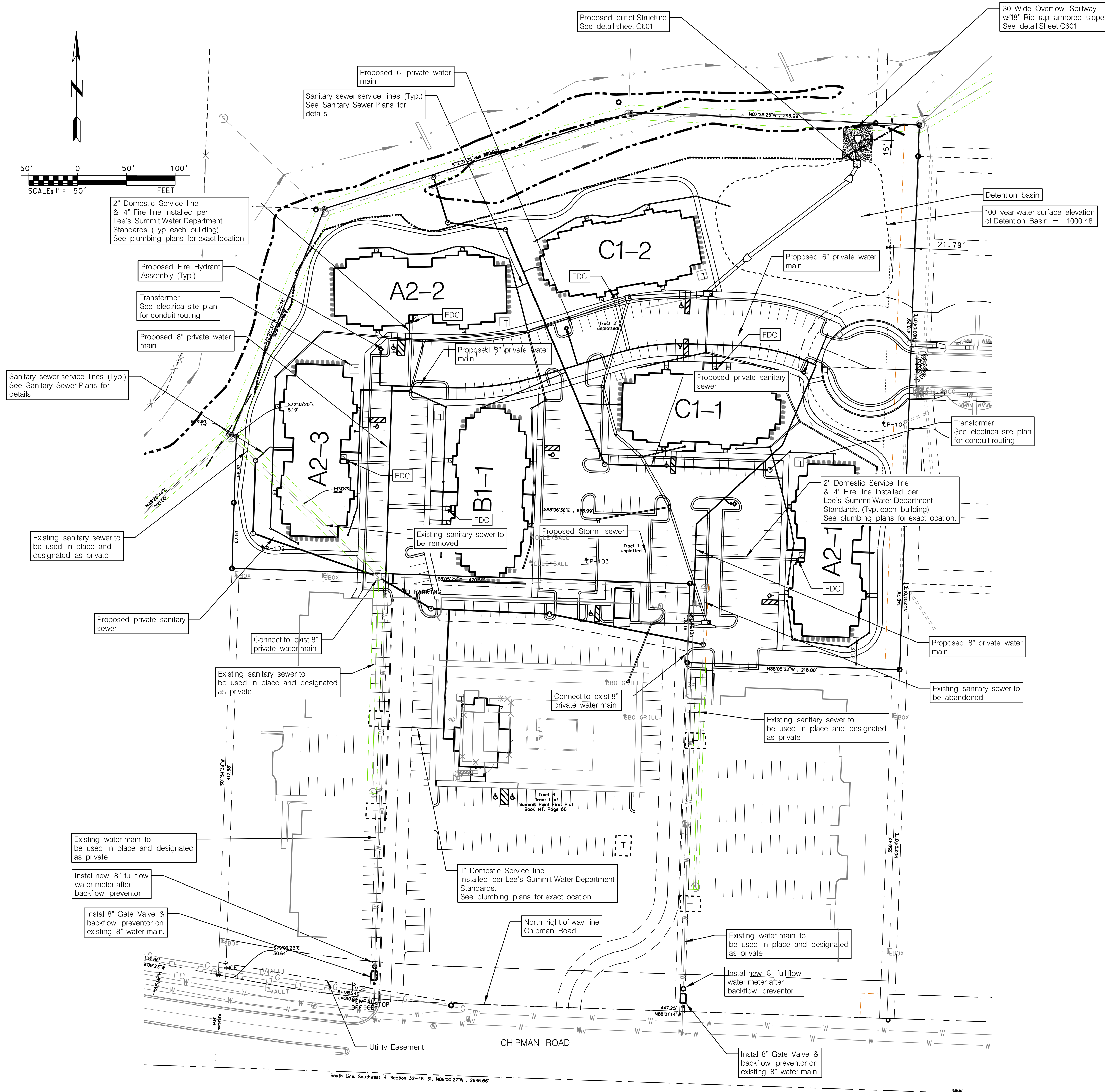
Work	Description	Date	Appr.
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		04/21/22	
		04/21/22	

Rev.	Designated by:	Drawn by:	Checked by:	Reviewed by:	Plot scale:	Submitted by:	File name/2025/ST-SH-CD	East Side Grading Plan/2025
05-25-205	RP	WJS	WJS	---	1/20	---	File name/2025/ST-SH-CD	East Side Grading Plan/2025

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri
Construction Drawings

EAST SIDE GRADING PLAN

C302



- UTILITY NOTES:**
1. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS, ANY DEVIATION FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION, WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE.
 3. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTION TO THEIR FACILITIES.
 4. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS AS REQUIRED WITH THE RESPECTIVE UTILITY COMPANY/OWNER.
 5. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR UTILITY SERVICE CONNECTIONS.
 6. THE CONTRACTOR SHALL COORDINATE LOCATIONS AND SIZES OF UTILITY SERVICE CONNECTIONS AT THE BUILDING WITH THE ARCHITECTS, MECHANICAL, PLUMBING PLANS AND DETAILS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PUBLIC AND DOMESTIC WATER SERVICE LINES, METERS, BACK-FLOW DEVICES, PITS, VALVES AND ALL OTHER INCIDENTALS REQUIRED FOR A COMPLETE OPERABLE DOMESTIC WATER SYSTEM. ALL COST ASSOCIATED WITH THE COMPLETE WATER SYSTEM FOR THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DOMESTIC AND IRRIGATION LINES SHALL BE OF MATERIALS APPROVED BY THE CITY OF LEE'S SUMMIT. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT.
 8. THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTION ASSEMBLY ON THE DOMESTIC WATER SERVICE LINE PRIOR TO ANY POINT OF USE.
 9. THE CONTRACTOR SHALL COORDINATE INSTALLATION AND LOCATION OF ELECTRICAL SERVICE AND TRANSFORMER PADS WITH THE POWER COMPANY.
 10. THE CONTRACTOR SHALL COORDINATE LOCATION AND CONSTRUCTION OF GAS SERVICE LINE AND GAS METER WITH THE GAS COMPANY.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL SANITARY SEWER SERVICE LINES FROM THE BUILDINGS TO THE PUBLIC OR PRIVATE LINE. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC LOCATIONS AND ELEVATIONS OF THE SERVICE LINES AT THE BUILDING CONNECTION. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT, MISSOURI.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS AND EQUIPMENT AND INSTALLATION OF ELECTRICAL POWER, TELEPHONE AND GAS SERVICE FROM A POINT OF CONNECTION FROM THE PUBLIC OR PRIVATE UTILITY LINES TO THE BUILDING STRUCTURES. THIS WILL INCLUDE ALL CONDUITS, SERVICE LINES, METERS, CONCRETE PADS AND ALL OTHER INCIDENTALS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM AS REQUIRED BY THE OWNER AND THE PUBLIC UTILITIES. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SIZE OF UTILITIES SPECIFIC LOCATION OF SERVICE AND ENTRANCE DETAILS OF THE BUILDINGS.
 13. THE CONTRACTOR SHALL COORDINATE WITH THE PHONE COMPANY FOR LOCATION AND INSTALLATION OF PHONE SERVICE TO BUILDING.
 14. A RIGHT-OF-WAY WORK PERMIT SHALL BE OBTAINED BY THE CONTRACTOR TO COMPLETE UTILITY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
 15. CONTRACTOR SHALL INSTALL 2-2" CONDUITS FOR THE TELEPHONE AND CATV SERVICE CONNECTIONS TO THE BUILDING AS REQUIRED BY THE UTILITY COMPANY (SEE ELECTRICAL PLAN).
 16. ALL SANITARY SEWER PVC PIPING SHALL BE SDR-26, UNLESS OTHERWISE NOTED. ALL SERVICE LATERALS SHALL BE 4" DIA., AND ALL WYE CONNECTIONS SHALL BE "CUT IN".

- NOTES:**
1. All construction shall be per APWA and/or Lee's Summit standards.
 2. Project will be all electric. No gas lines will be provided.
 3. Storm Sewer shall be HDPE or PVC.
 4. Unless noted otherwise, all of the drainage for the project shall be Private.
 5. Fire Department Connection (FDC) shall be 4" Storz type fitting.
 6. All water lines and fire hydrants shall be Private.
 7. All transforming and ground mounted equipment shall be screened by landscaping.

FIRE DEPARTMENT CONNECTION:
Each building has a water room located near the center on the front.
Fire department connection is located in the water room and is shown thus.

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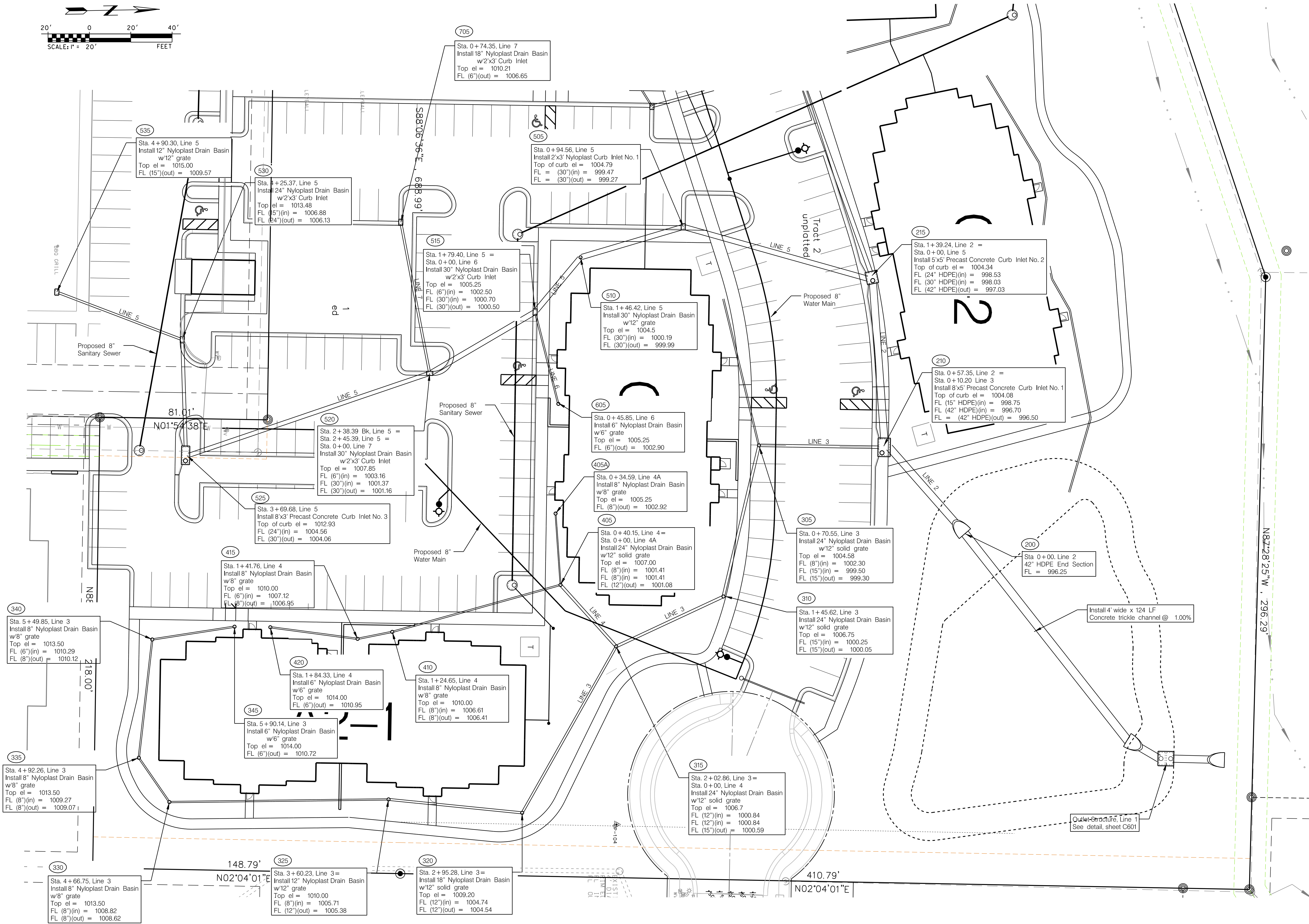
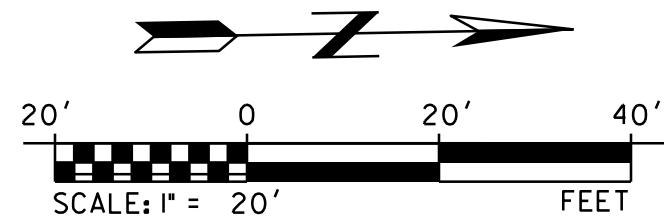
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2	WWS	04/27/22	CITY SUBMITTAL	
3	WWS	04/27/22	Work	

Designed by:	WWS	04/25/2025	Rev.	
Drawn by:	WWS	04/25/2025	Reviewed by:	
Checked by:	WWS	04/25/2025	Plot scale:	1/50
Submitted by:	WWS	04/25/2025	File name:	215065-ST-SH-CD Utility Plan.dgn
			Plot date:	04/27/2022 3:55:23 PM

SUMMIT POINT 504 NE Chipman Road Lee's Summit, Missouri	Construction Drawings
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UTILITY PLAN

Sheet reference number:
C400



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Rev.	By	Date	Description	Appr.
1	WMS	04/27/22	REVISED PER COMMENTS	
2	WMS	04/27/22	CITY SUBMITTAL	
3	WMS	04/27/22	Work	

Rev.	By	Date	Description	Appr.
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3	WMS	04/27/22	Work	

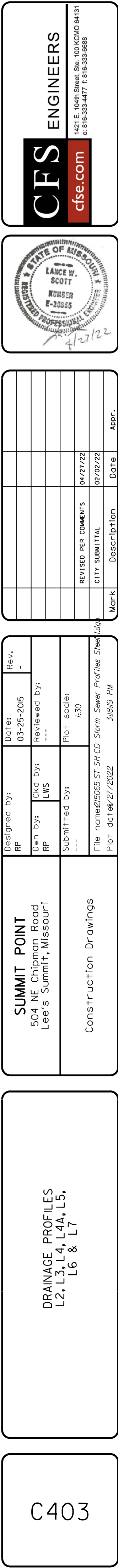
SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings

EAST SIDE DRAINAGE PLAN
LI, L2, L3, L4, L4A, L5,
L6 & L7

C402

\\shared_drives\215065\CADD\215065-S1-SH-CD_East Side Drainage Plan.dgn





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STATE OF MISSOURI
LAND SURVEYOR
NUMBER
E-22555
PROFESSIONAL
4/27/22

Rev.	By	Date	Description	Appr.
05-25-206	RP	04/27/22	REVISED PER COMMENTS	
---	RP	04/27/22	CITY SUBMITTAL	
---	---	04/27/22	Work	

DESIGNED BY: RP

CHKD BY: AWS

SUBMITTED BY: ---

FILE NAME: 21506557-57-CD San Sewer Plan & Profile Line 1.dgn

DATE: 04/27/2022

SUMMIT POINT

504 NE Chipman Road

Lee's Summit, Missouri

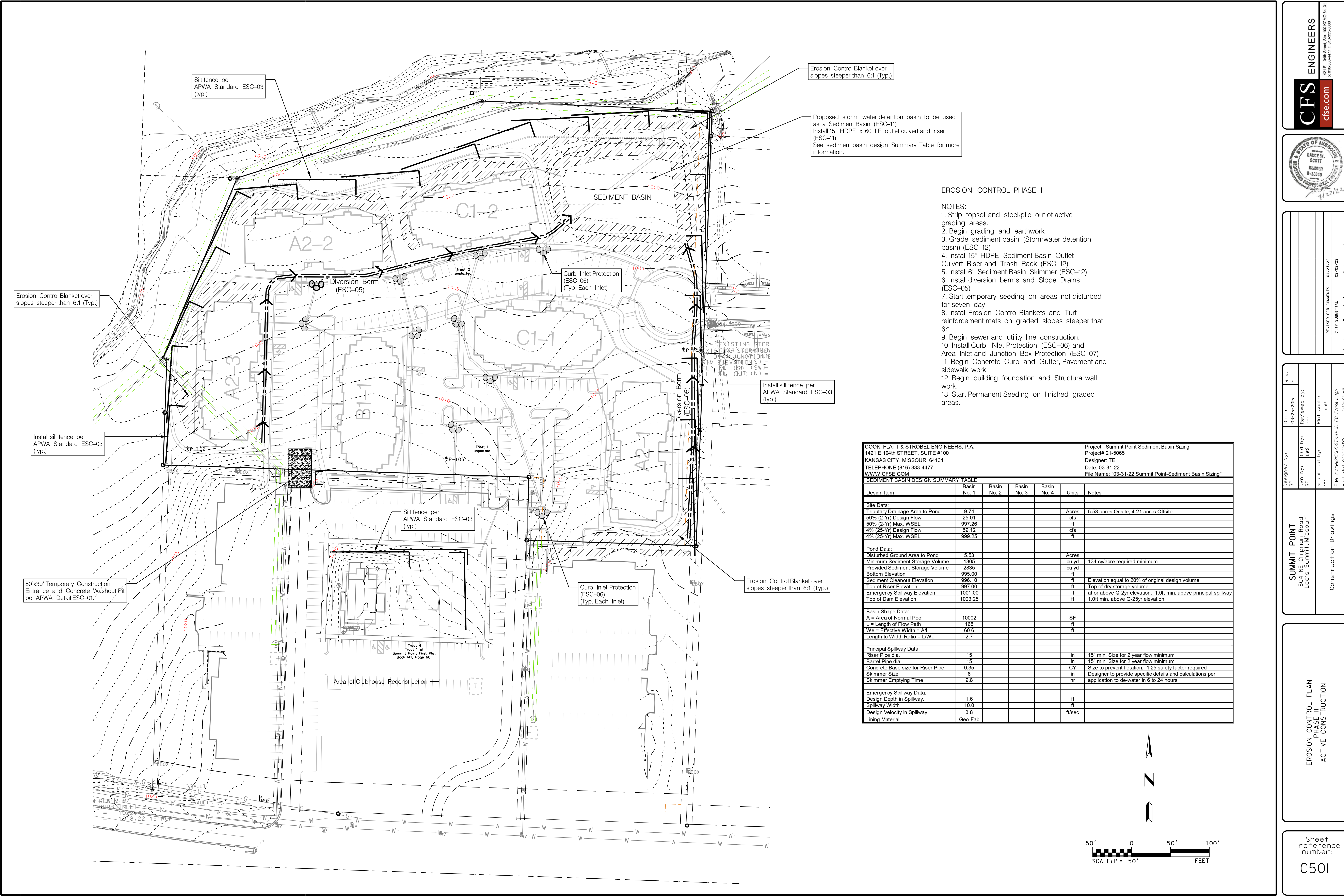
Construction Drawings

SANITARY SEWER

PLAN AND PROFILE

LINE 1

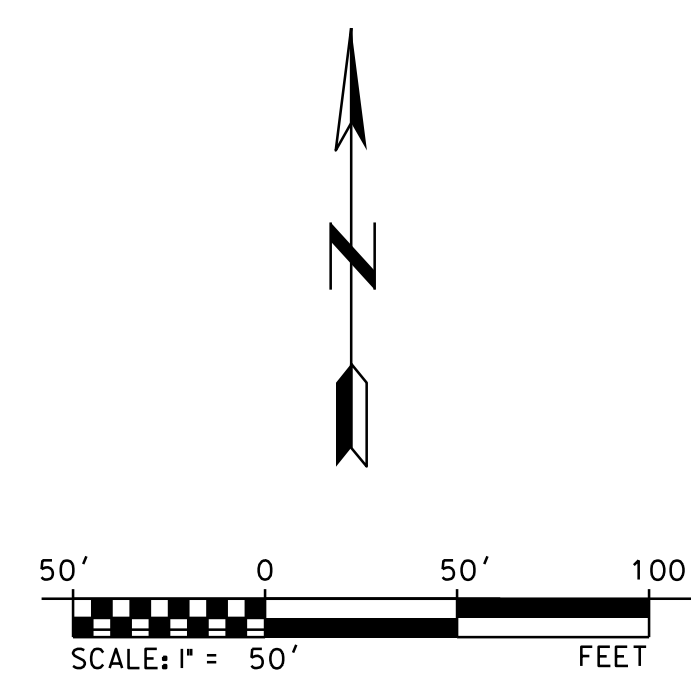
C405



EROSION CONTROL PHASE II

- NOTES:
1. Strip topsoil and stockpile out of active grading areas.
 2. Begin grading and earthwork
 3. Grade sediment basin (Stormwater detention basin) (ESC-12)
 4. Install 15" HDPE Sediment Basin Outlet Culvert, Riser and Trash Rack (ESC-12)
 5. Install 6" Sediment Basin Skimmer (ESC-12)
 6. Install diversion berms and Slope Drains (ESC-05)
 7. Start temporary seeding on areas not disturbed for seven day.
 8. Install Erosion Control Blankets and Turf reinforcement mats on graded slopes steeper than 6:1.
 9. Begin sewer and utility line construction.
 10. Install Curb Inlet Protection (ESC-06) and Area Inlet and Junction Box Protection (ESC-07)
 11. Begin Concrete Curb and Gutter, Pavement and sidewalk work.
 12. Begin building foundation and Structural wall work.
 13. Start Permanent Seeding on finished graded areas.

COOK, FLATT & STROBEL ENGINEERS, P.A. 1421 E 104th STREET, SUITE #100 KANSAS CITY, MISSOURI 64131 TELEPHONE (816) 333-4477 WWW.CFSE.COM					Project: Summit Point Sediment Basin Sizing Project# 21-5065 Designer: TEI Date: 03-31-22 File Name: "03-31-22 Summit Point-Sediment Basin Sizing"	
SEDIMENT BASIN DESIGN SUMMARY TABLE						
Design Item	Basin No. 1	Basin No. 2	Basin No. 3	Basin No. 4	Units	Notes
Site Data:						
Tributary Drainage Area to Pond	9.74				Acres	5.53 acres Onsite, 4.21 acres Offsite
50% (2-Yr) Design Flow	25.01				cfs	
50% (2-Yr) Max. WSEL	997.26				ft	
4% (25-Yr) Design Flow	59.12				cfs	
4% (25-Yr) Max. WSEL	999.25				ft	
Pond Data:						
Disturbed Ground Area to Pond	5.53				Acres	
Minimum Sediment Storage Volume	1305				cu yd	134 cu/acre required minimum
Provided Sediment Storage Volume	2835				cu yd	
Bottom Elevation	995.00				ft	
Sediment Cleanout Elevation	995.10				ft	Elevation equal to 20% of original design volume
Top of Riser Elevation	997.00				ft	Top of dry storage volume
Emergency Spillway Elevation	1001.00				ft	at or above Q-2yr elevation, 1.0ft min. above principal spillway
Top of Dam Elevation	1003.25				ft	1.0ft min. above Q-25yr elevation
Basin Shape Data:						
A = Area of Normal Pool	10002				SF	
L = Length of Flow Path	165				ft	
We = Effective Width = A/L	60.6				ft	
Length to Width Ratio = L/We	2.7					
Principal Spillway Data:						
Riser Pipe dia.	15				in	15" min. Size for 2 year flow minimum
Barrel Pipe dia.	15				in	15" min. Size for 2 year flow minimum
Concrete Base size for Riser Pipe	0.35				CY	Size to prevent flotation, 1.25 safety factor required
Skimmer Size	6				in	Designer to provide specific details and calculations per application to de-water in 6 to 24 hours
Skimmer Emptying Time	9.8				hr	
Emergency Spillway Data:						
Design Depth in Spillway	1.6				ft	
Spillway Width	10.0				ft	
Design Velocity in Spillway	3.8				ft/sec	
Lining Material	Geo-Fab					



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LANDSCAPE ARCHITECT

NUMBER E-20555

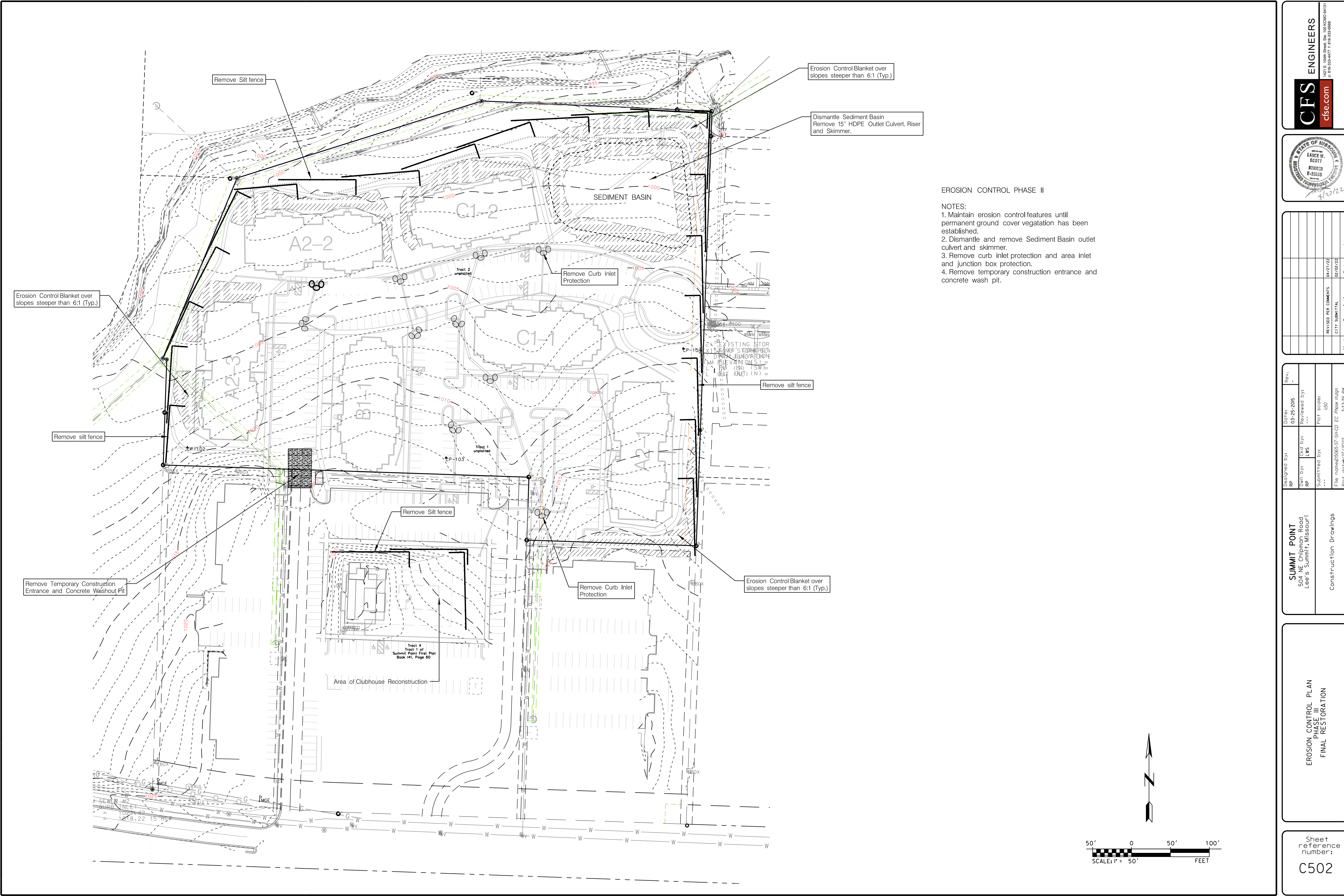
4/27/22

Rev.	By	Date	Description	Appr.
1	TEI	03/31/22	Construction Drawings	

Summit Point
504 NE Chipman Road
Lee's Summit, Missouri

EROSION CONTROL PLAN
PHASE II
ACTIVE CONSTRUCTION

Sheet reference number:
C50I



EROSION CONTROL PHASE II

- NOTES:
1. Maintain erosion control features until permanent ground cover vegetation has been established.
 2. Dismantle and remove Sediment Basin outlet culvert and skimmer.
 3. Remove curb inlet protection and area inlet and junction box protection.
 4. Remove temporary construction entrance and concrete wash pit.

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LANDSCAPE ARCHITECT

SCOTT E. SCOTT

NUMBER E-20255

EXPIRATION DATE 12/31/2025

4/27/22

Rev.	By	Date	Description	Appr.
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SUMMIT POINT

504 NE Chipman Road

Lee's Summit, Missouri

Construction Drawings

EROSION CONTROL PLAN

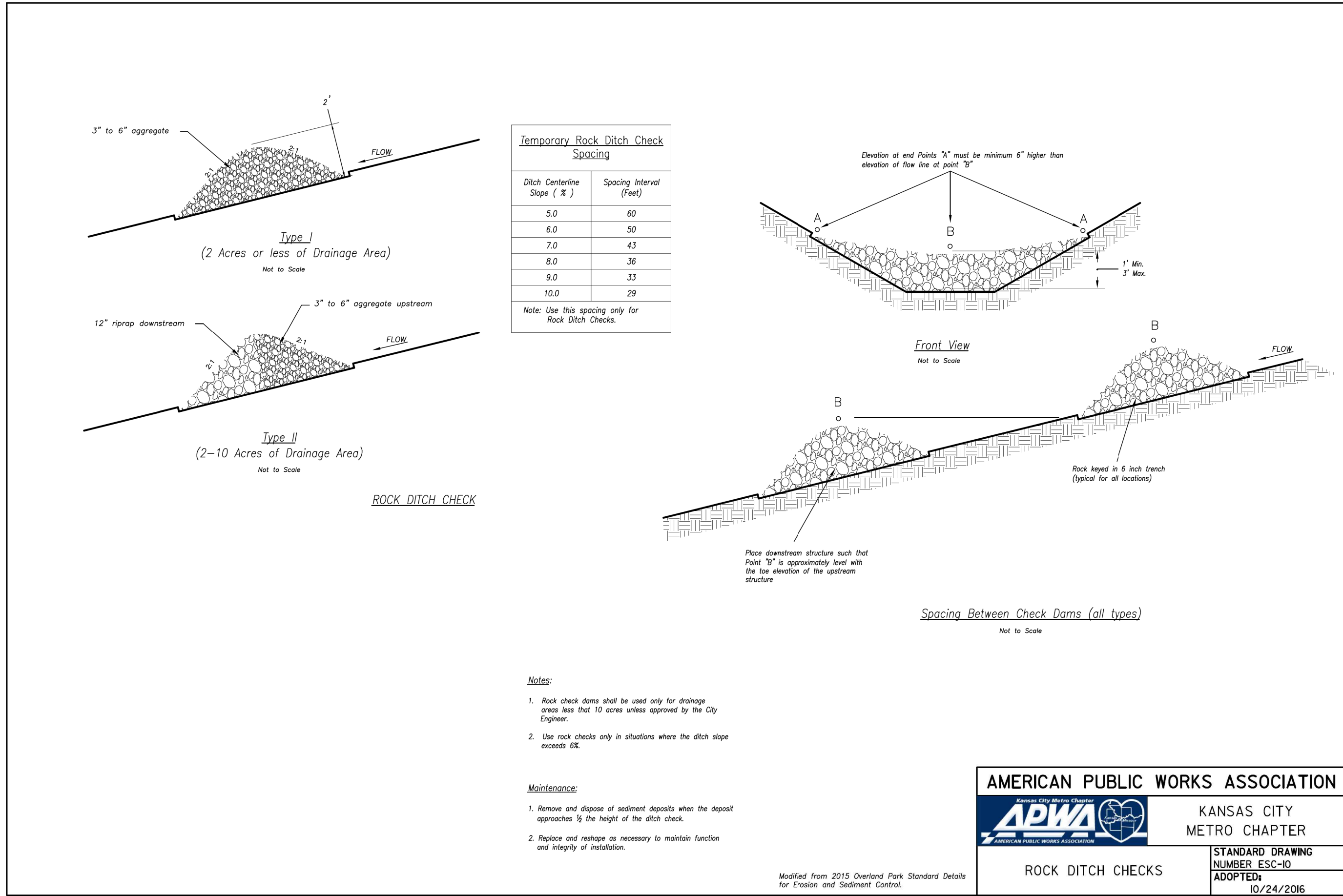
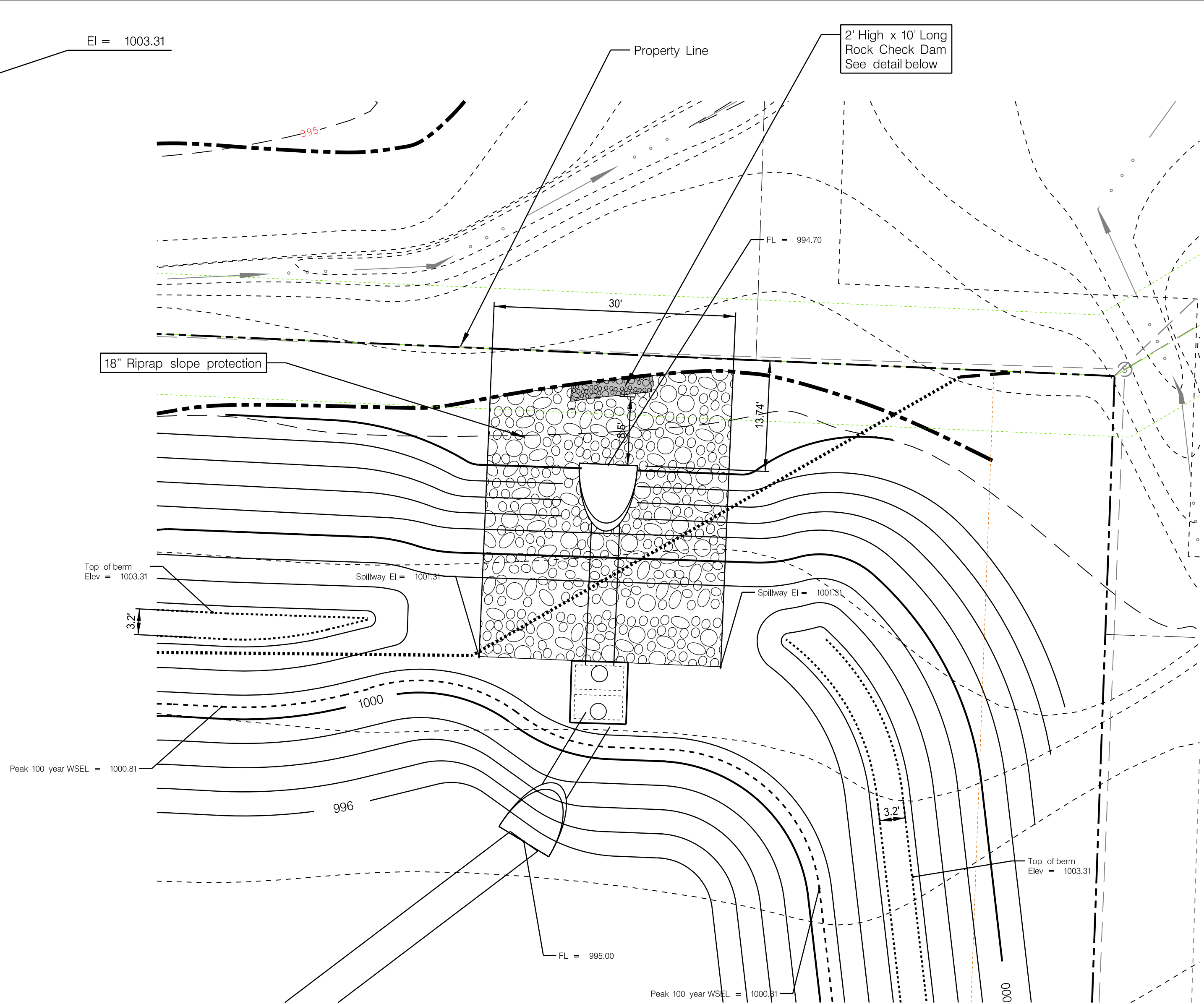
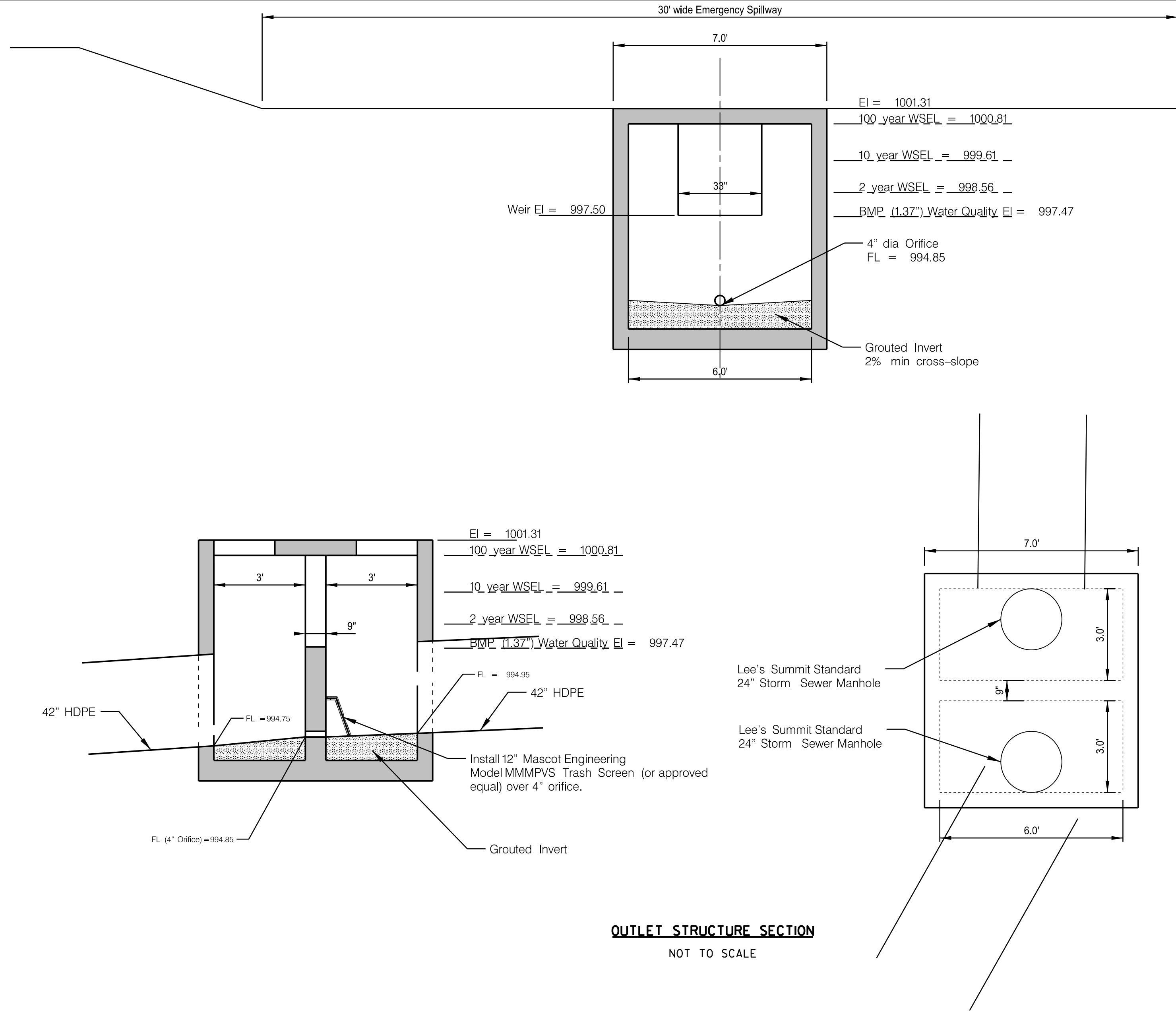
PHASE III

FINAL RESTORATION

Sheet reference number:

C502

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STATE OF MISSOURI
LANCE W. SCOTT
REGISTERED PROFESSIONAL ENGINEER
E-220555
4/27/22

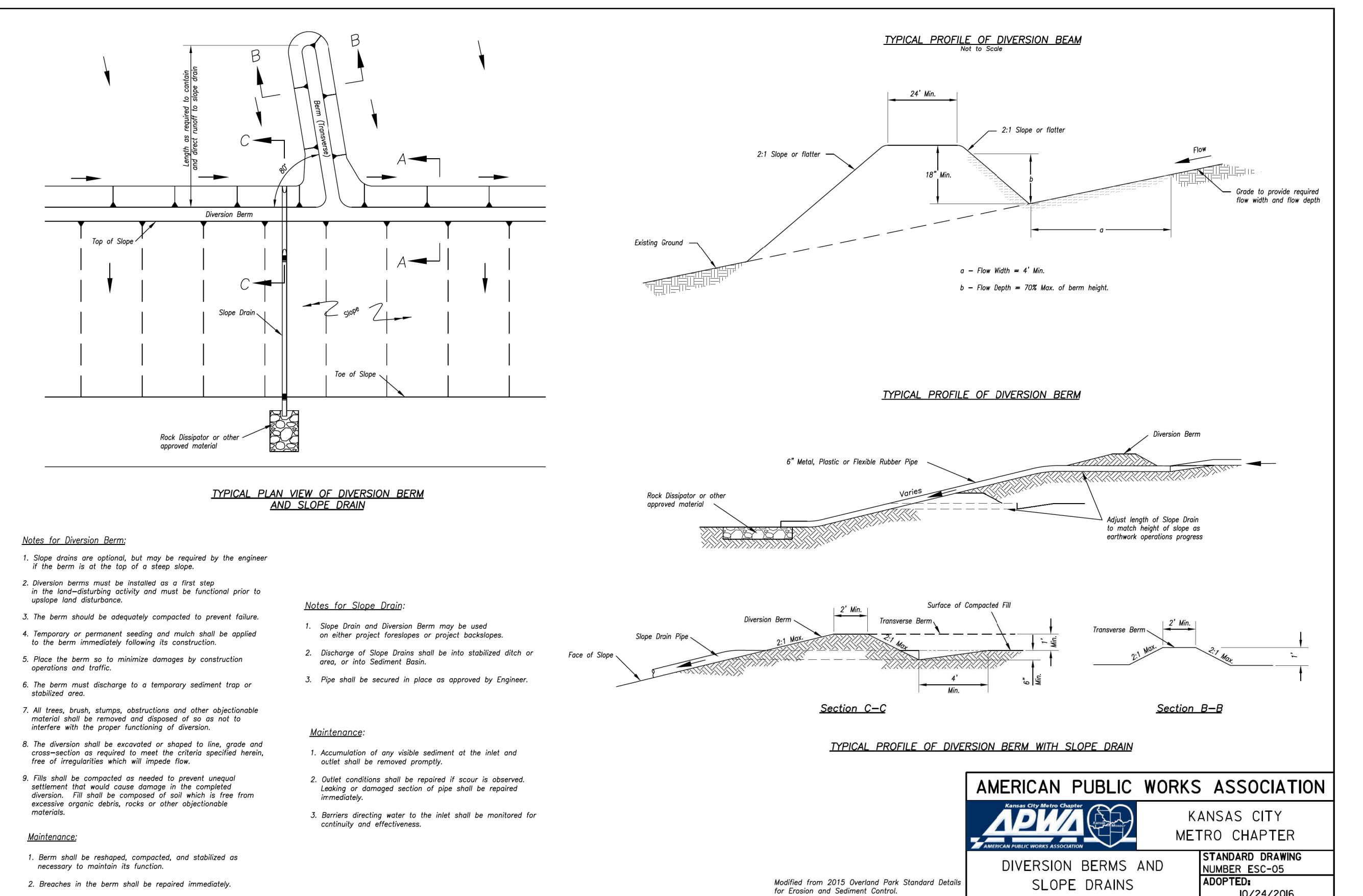
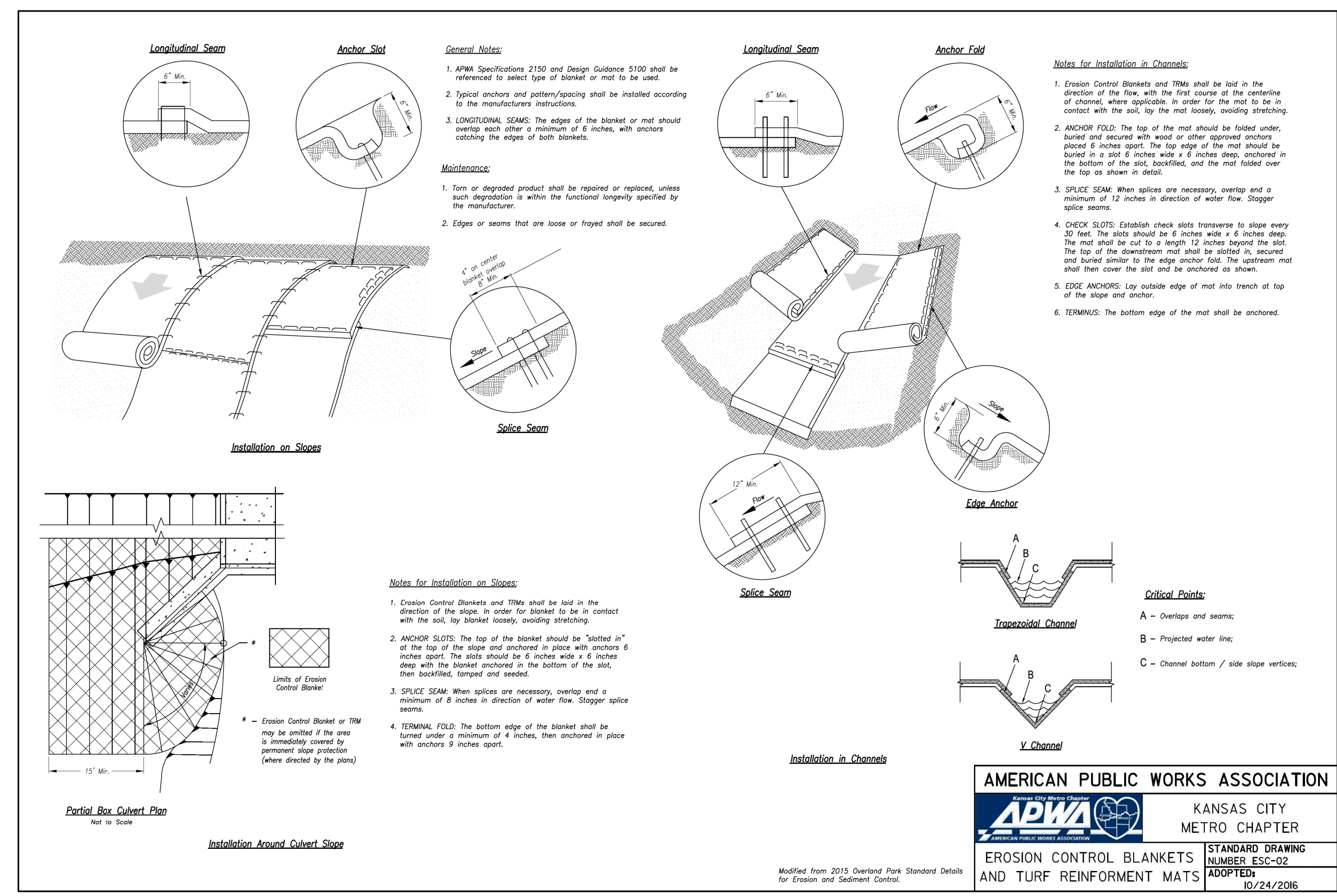
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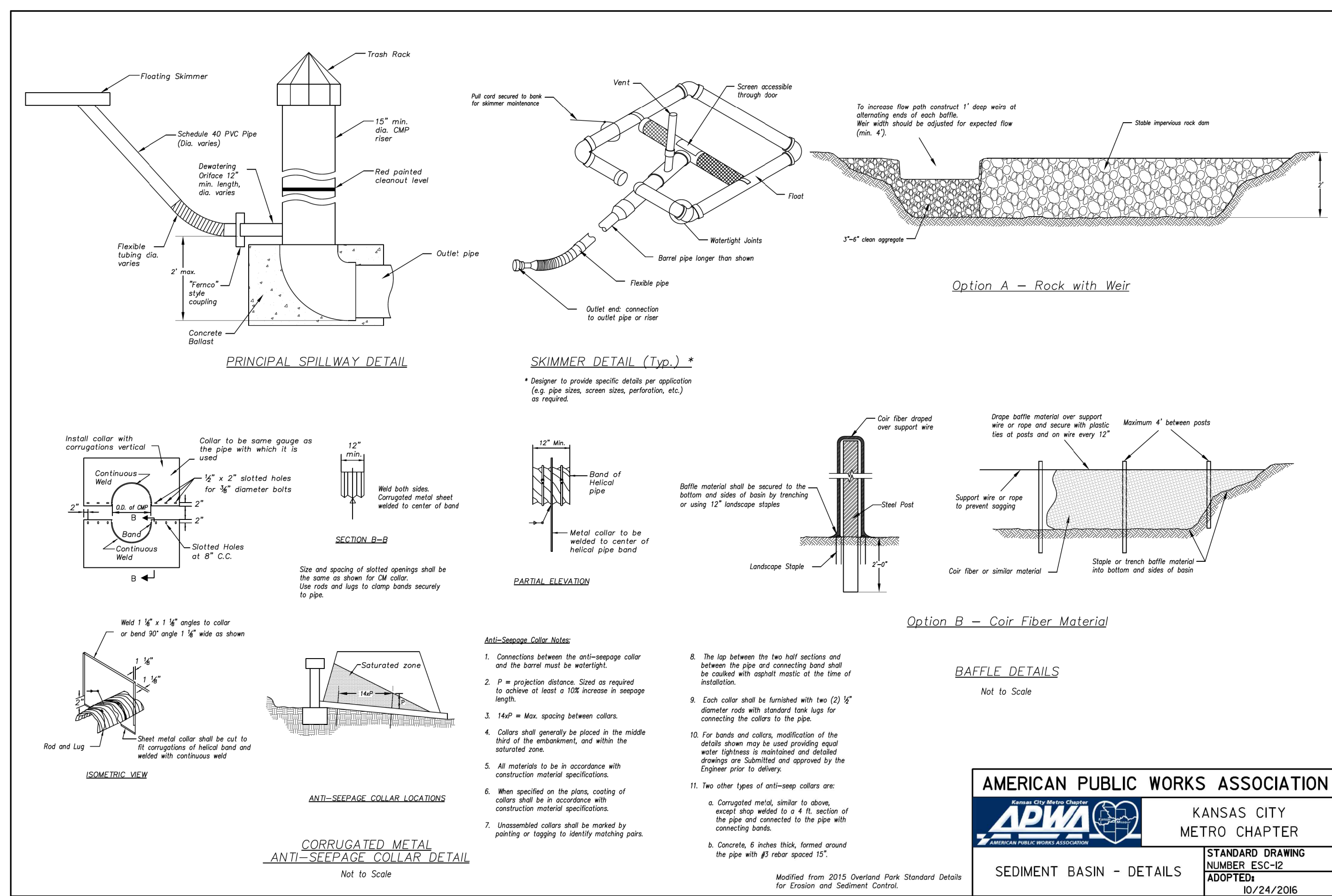
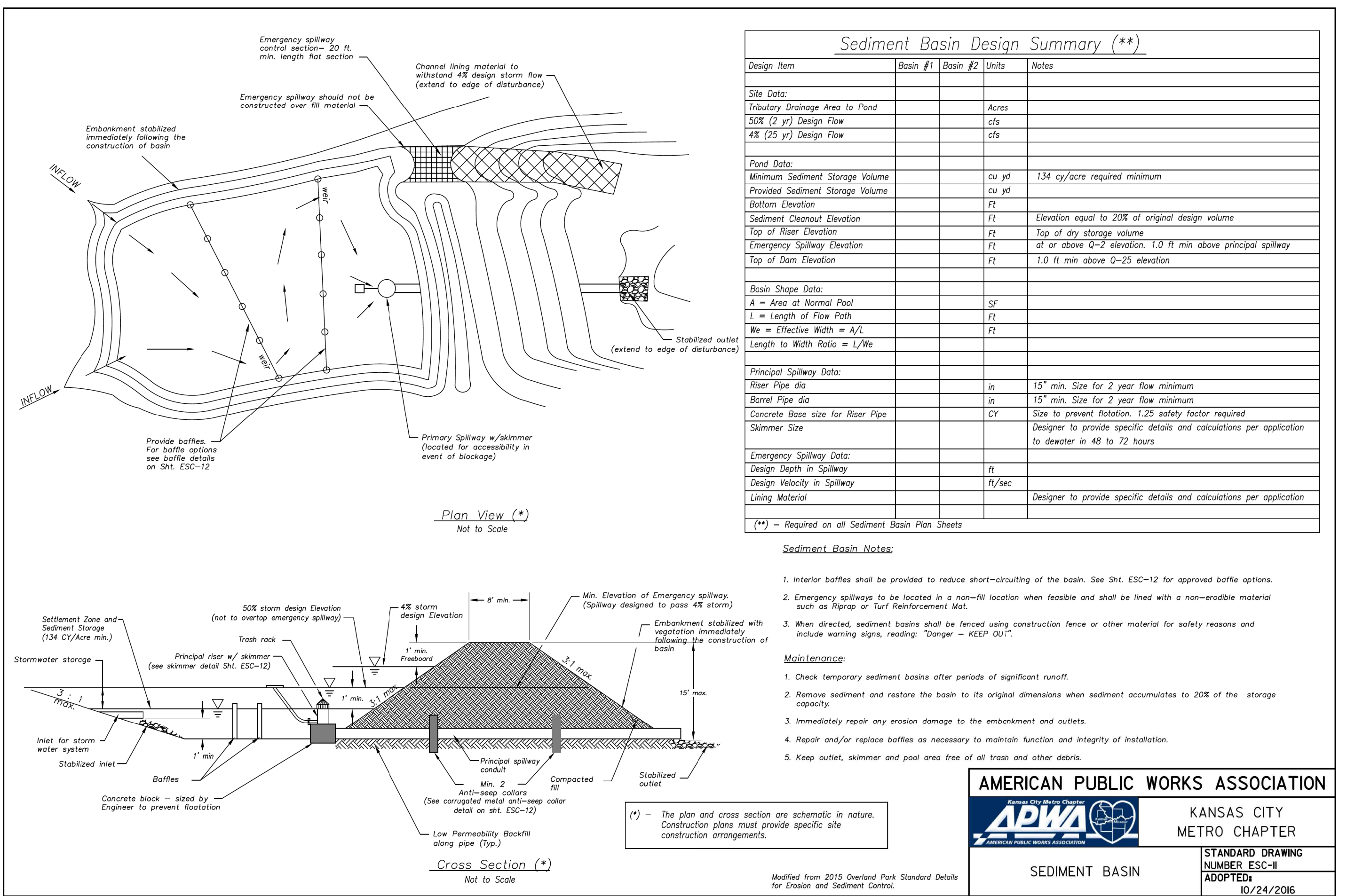
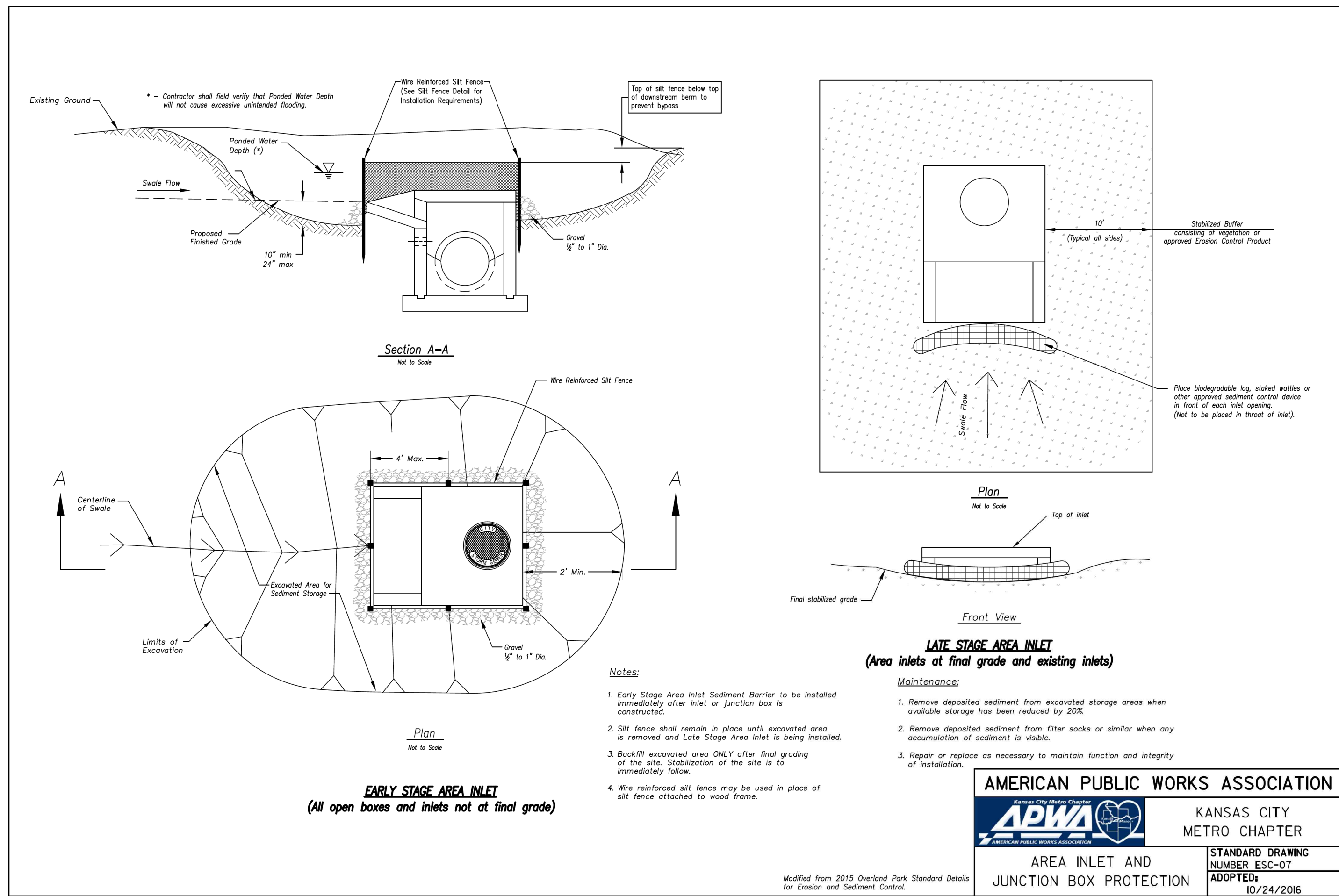
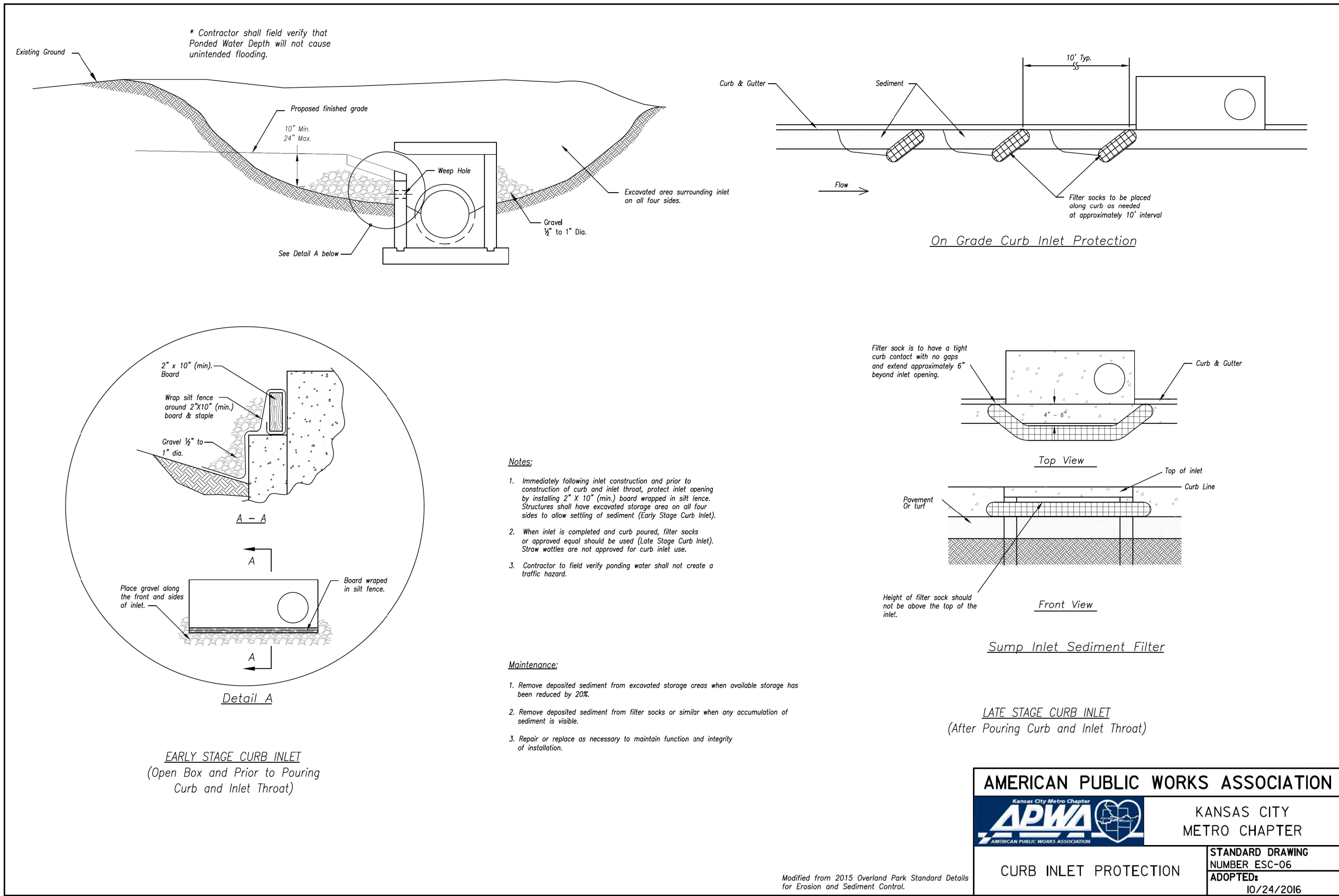
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RP	RP	WWS	---	---	1/4"	h/d	REVISED PER COMMENTS	04/27/22	
							CITY SUBMITTAL	04/27/22	

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri
Construction Drawings

DETENTION BASIN DETAILS

C601





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LANCIE W. SCOTT

REGISTERED PROFESSIONAL ENGINEER

NUMBER E-20553

4/2/12

Rev.	Designated by:	Drawn by:	Checked by:	Submitted by:	Plot scale:	City Submit:	Work	Description	Date	Appr.
05-25-2005	RP	RP	LWS	---	1/40	---	---	---	---	---
04/23/22	---	---	---	---	---	---	---	---	---	---
04/23/22	---	---	---	---	---	---	---	---	---	---

Summit Point

504 NE Chipman Road

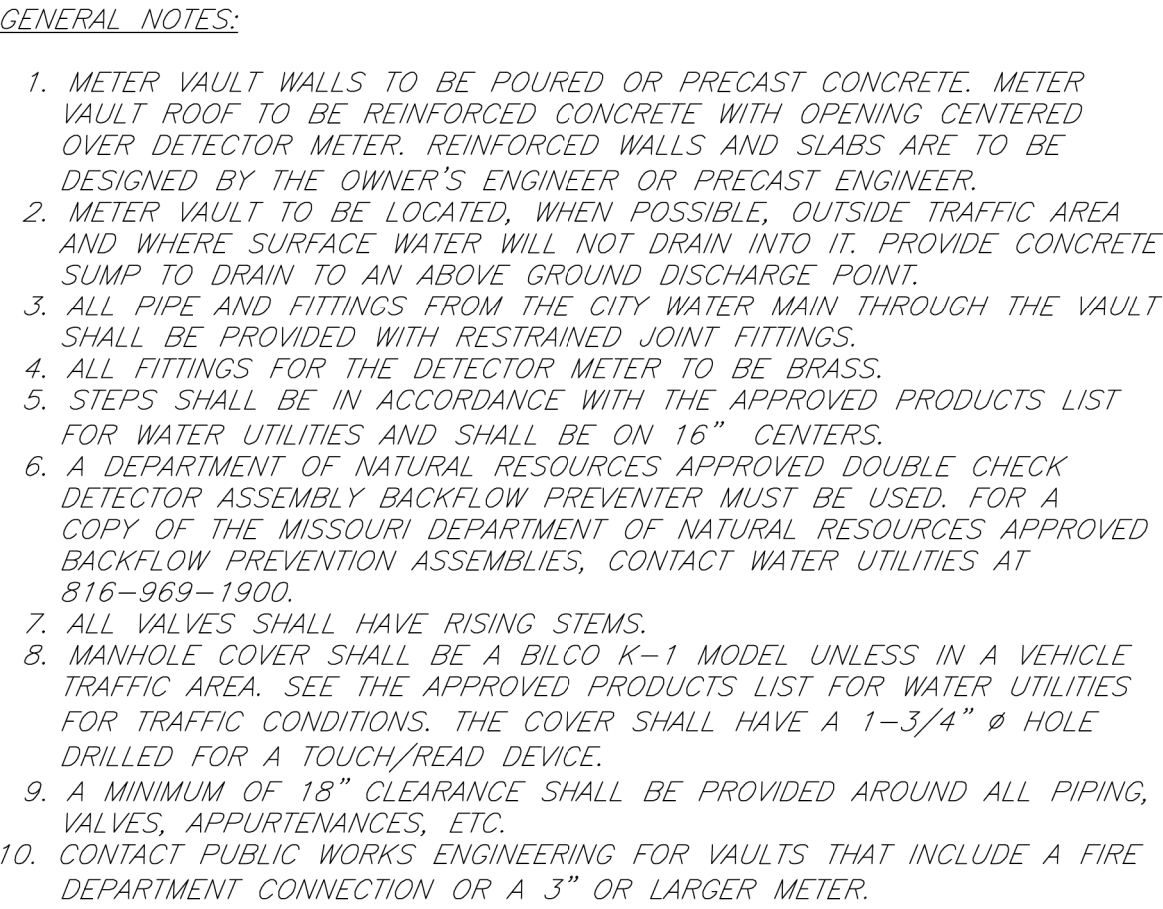
Lee's Summit, Missouri

Construction Drawings

EROSION CONTROL DETAILS (2)

Sheet reference number:

C-603

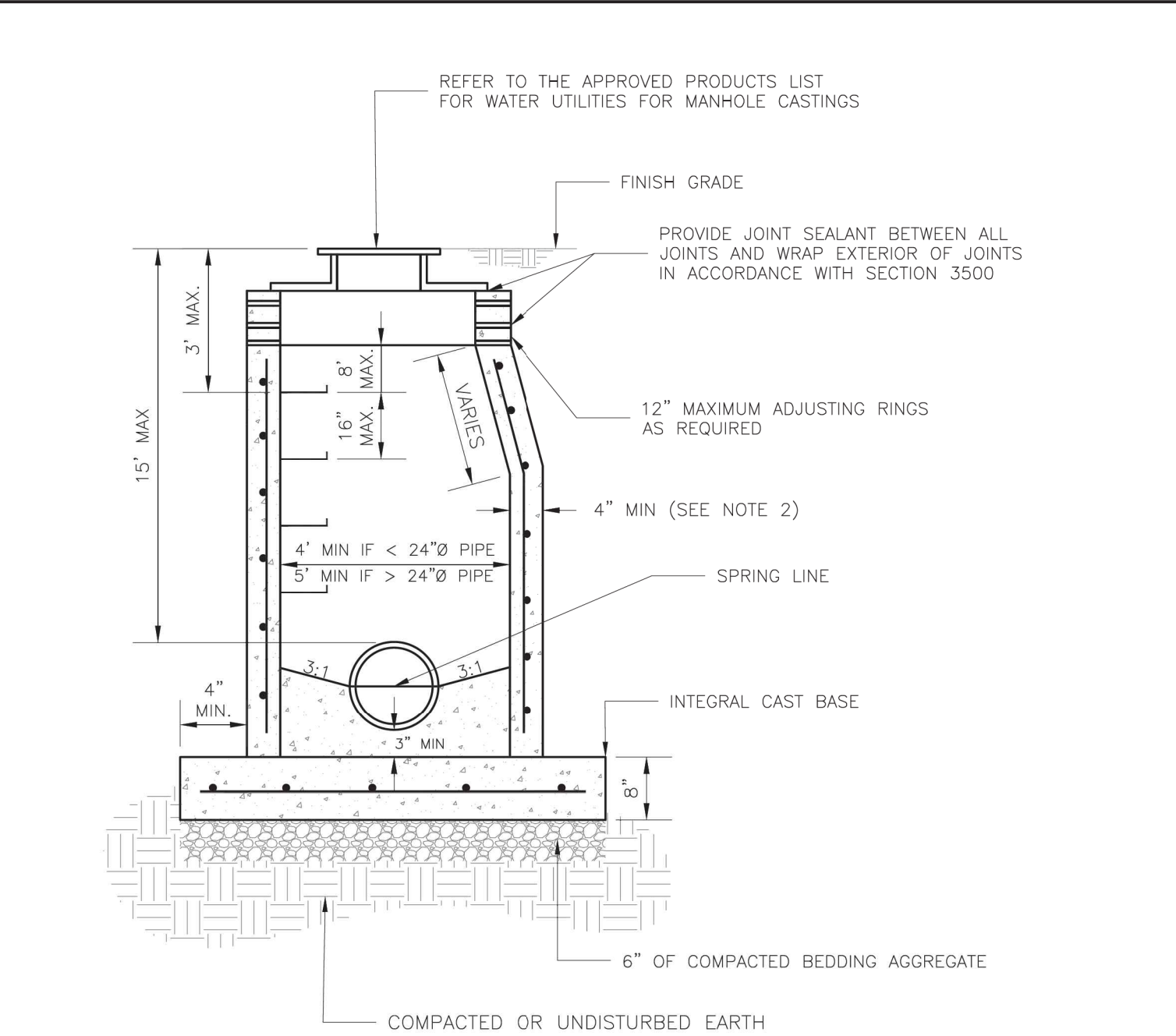


CITY OF LEE'S SUMMIT, MO
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063

STANDARD DRAWINGS

Project: Sheet Name:
 STANDARD DRAWINGS
 VAULT FOR DOUBLE CHECK DETECTOR CHECK

Drawn By: .AS
Checked By: .DL
Date: 1/14
Rev: 1/14
OF
WAT-12



1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH ($\frac{1}{12}$) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 15'.
3. ONLY THE TOP PORTION OF THE MANHOLE SHALL BE CONCRETE. WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
4. ONLY ECCENTRIC FRACTURE CONES WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
5. THE FILL CONCURE FLOW MANHOLE FOR SIDE BRANCH SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.

LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD SANITARY PRECAST MANHOLE

Date: 12/2015
Drawn By: SC
Checked By: DL
SAN-2

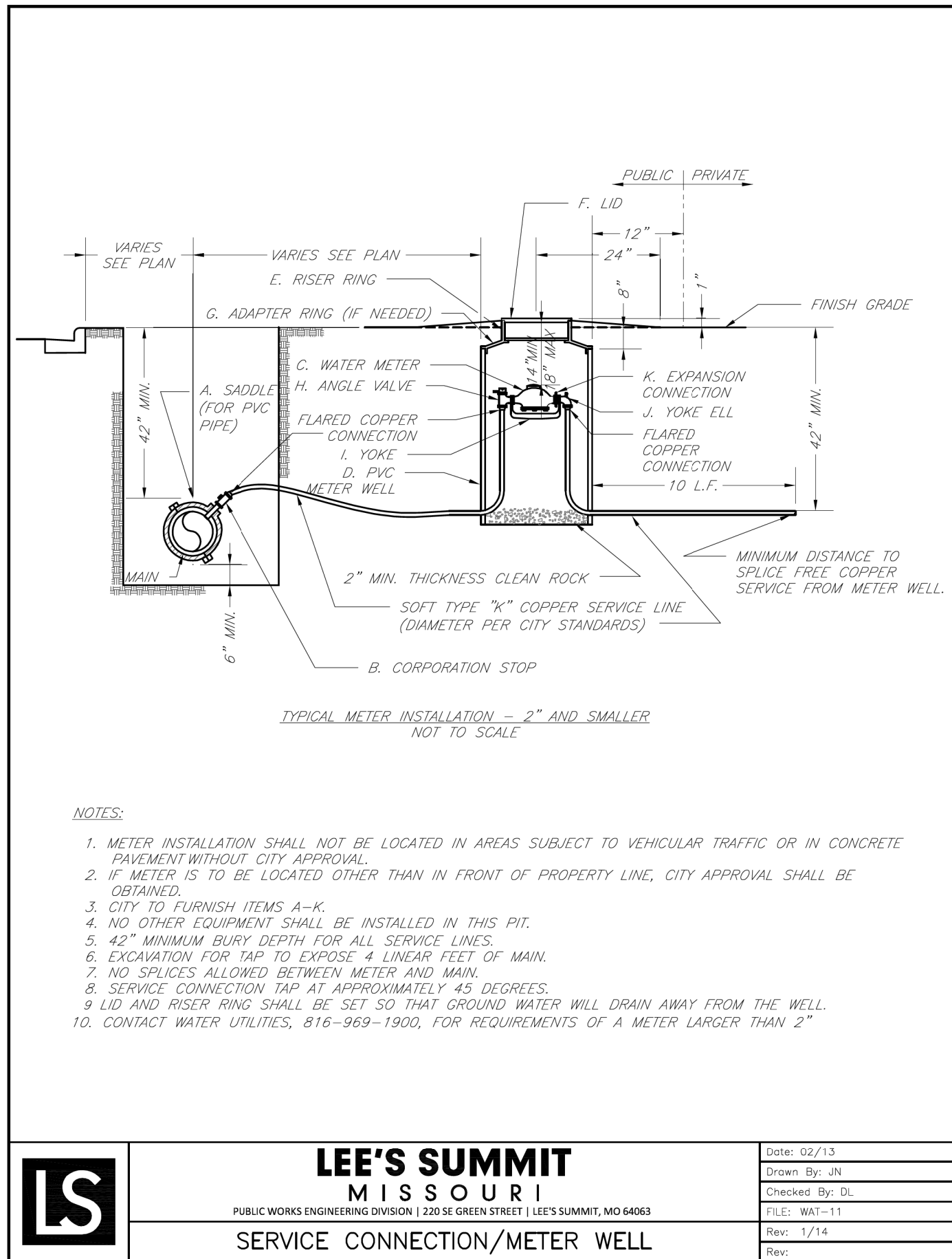
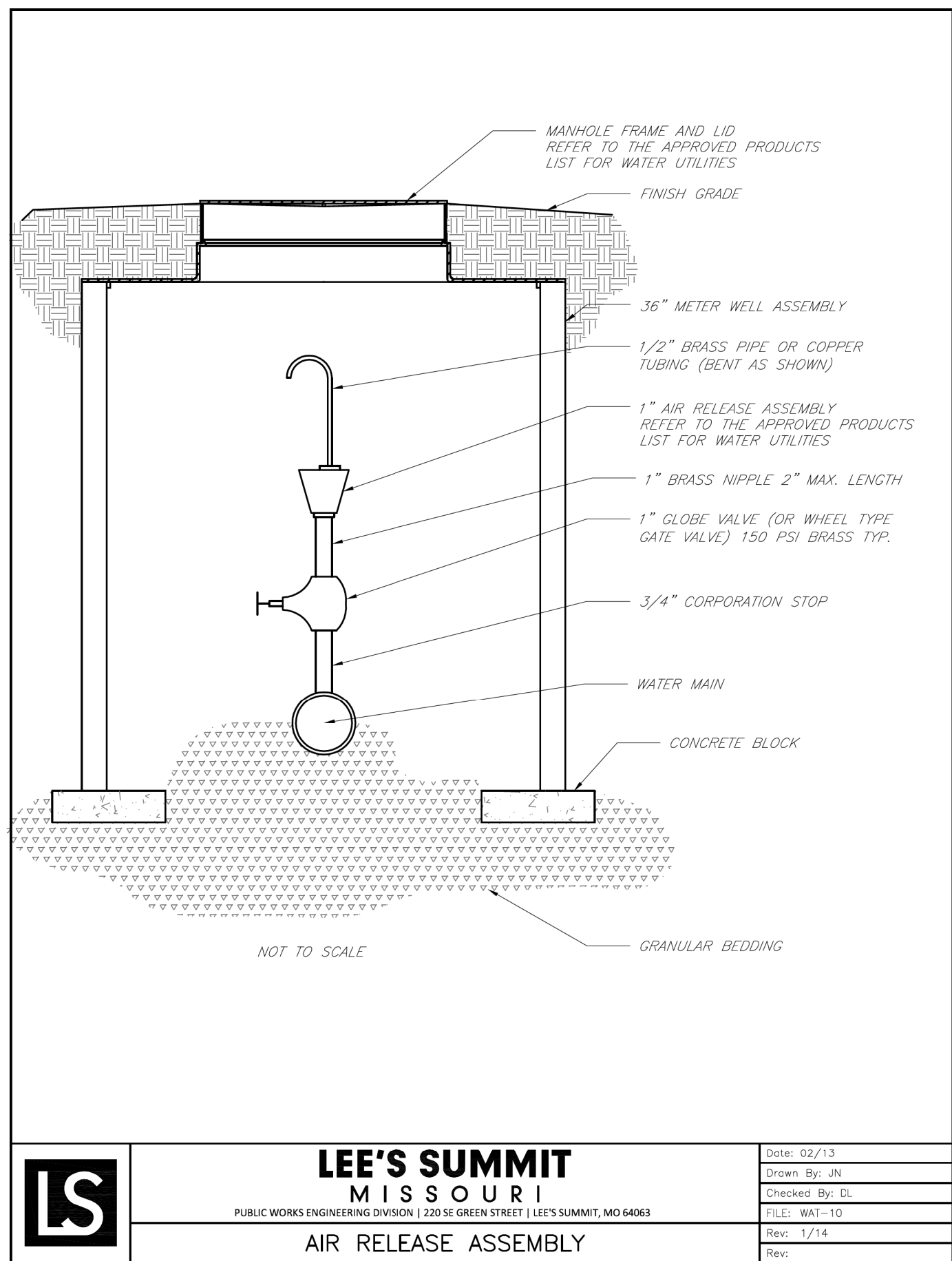
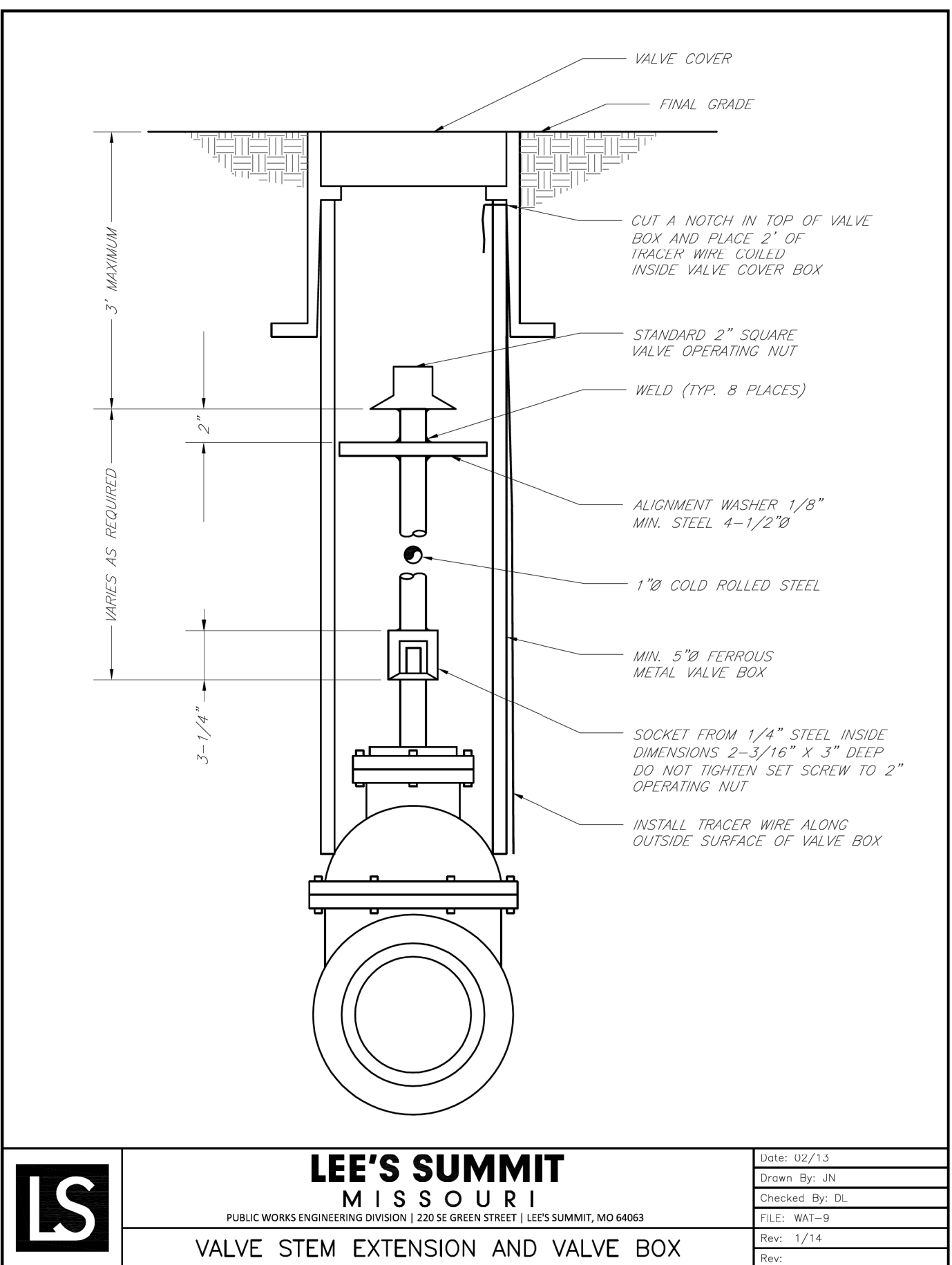
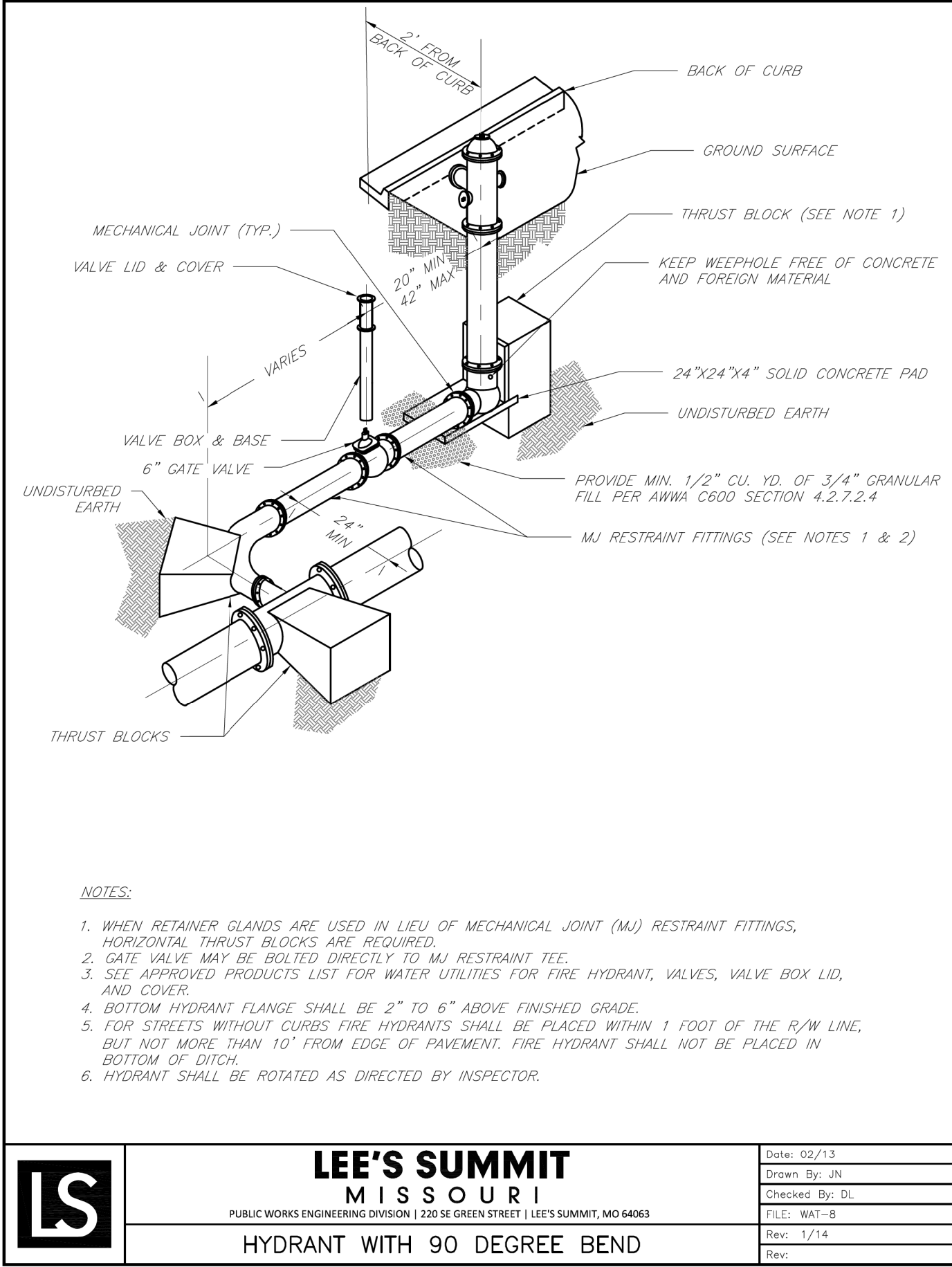
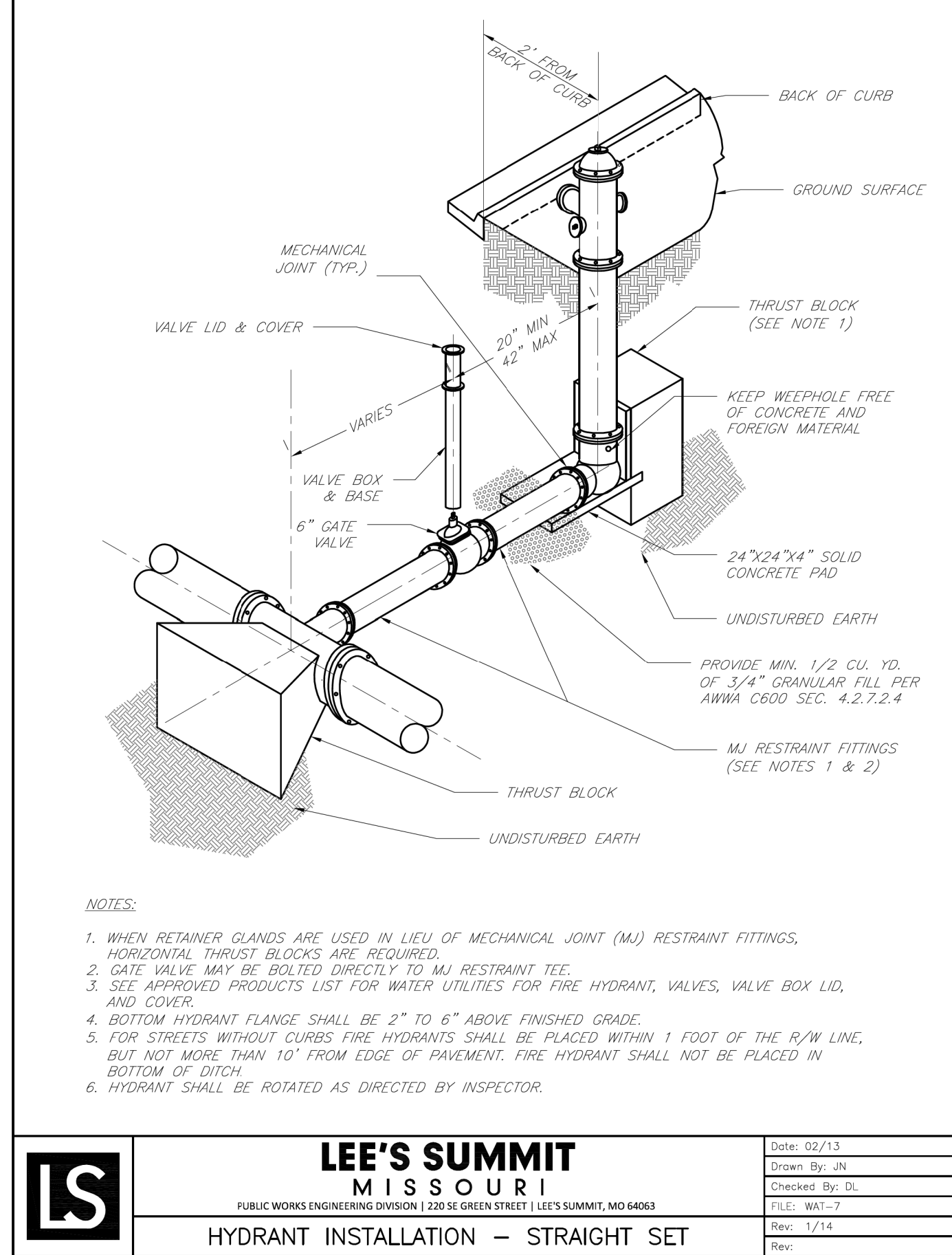
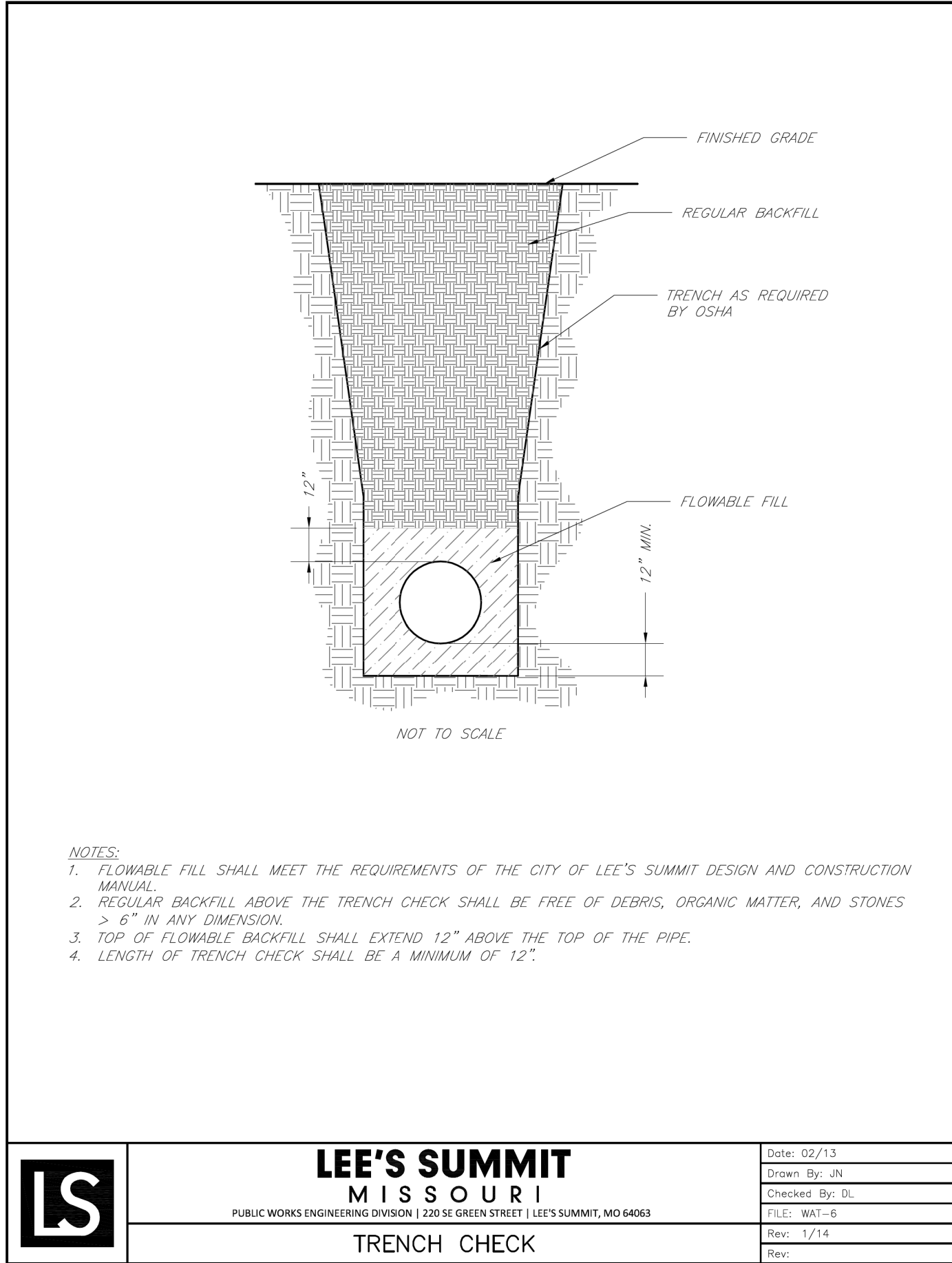
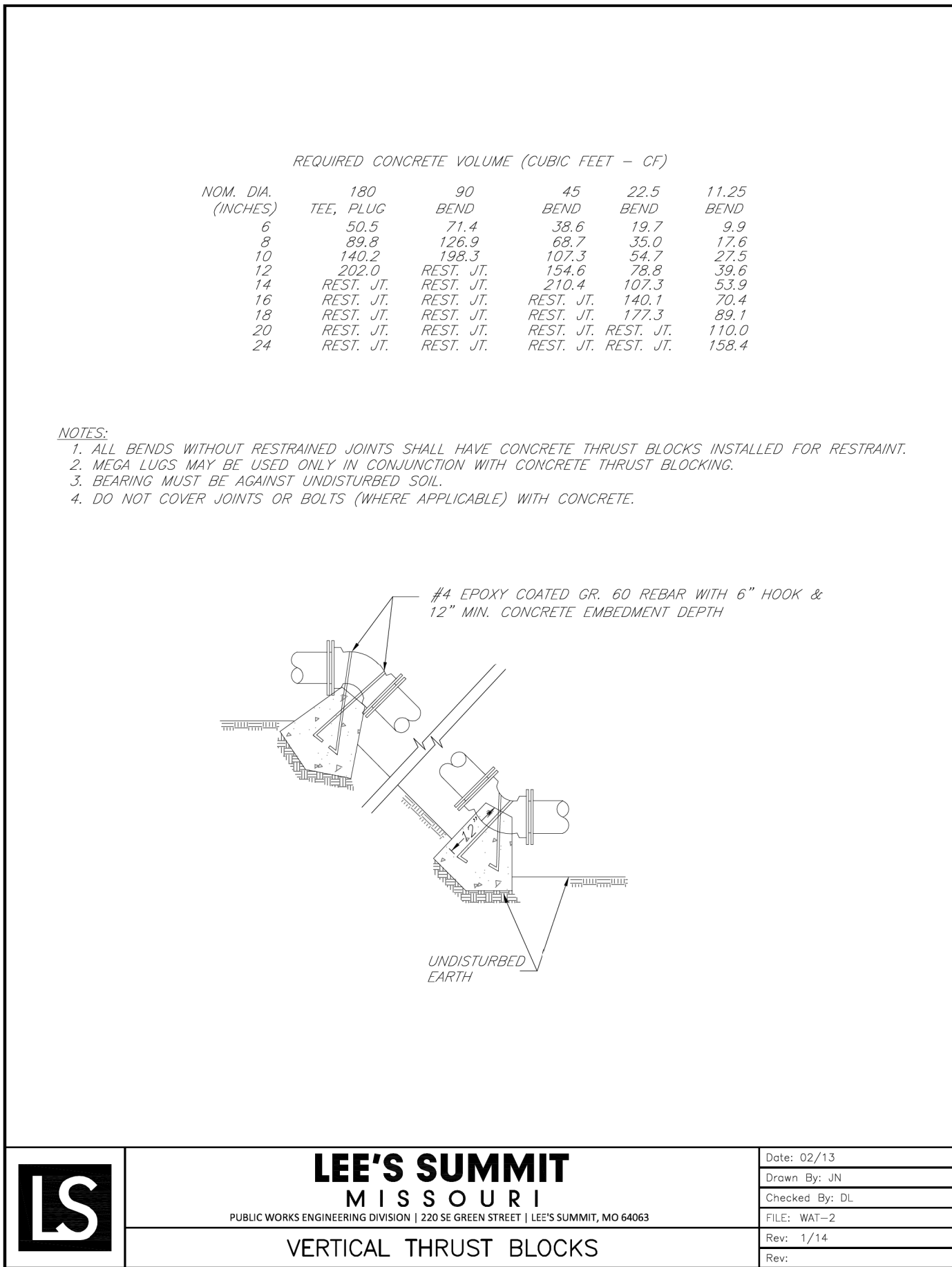
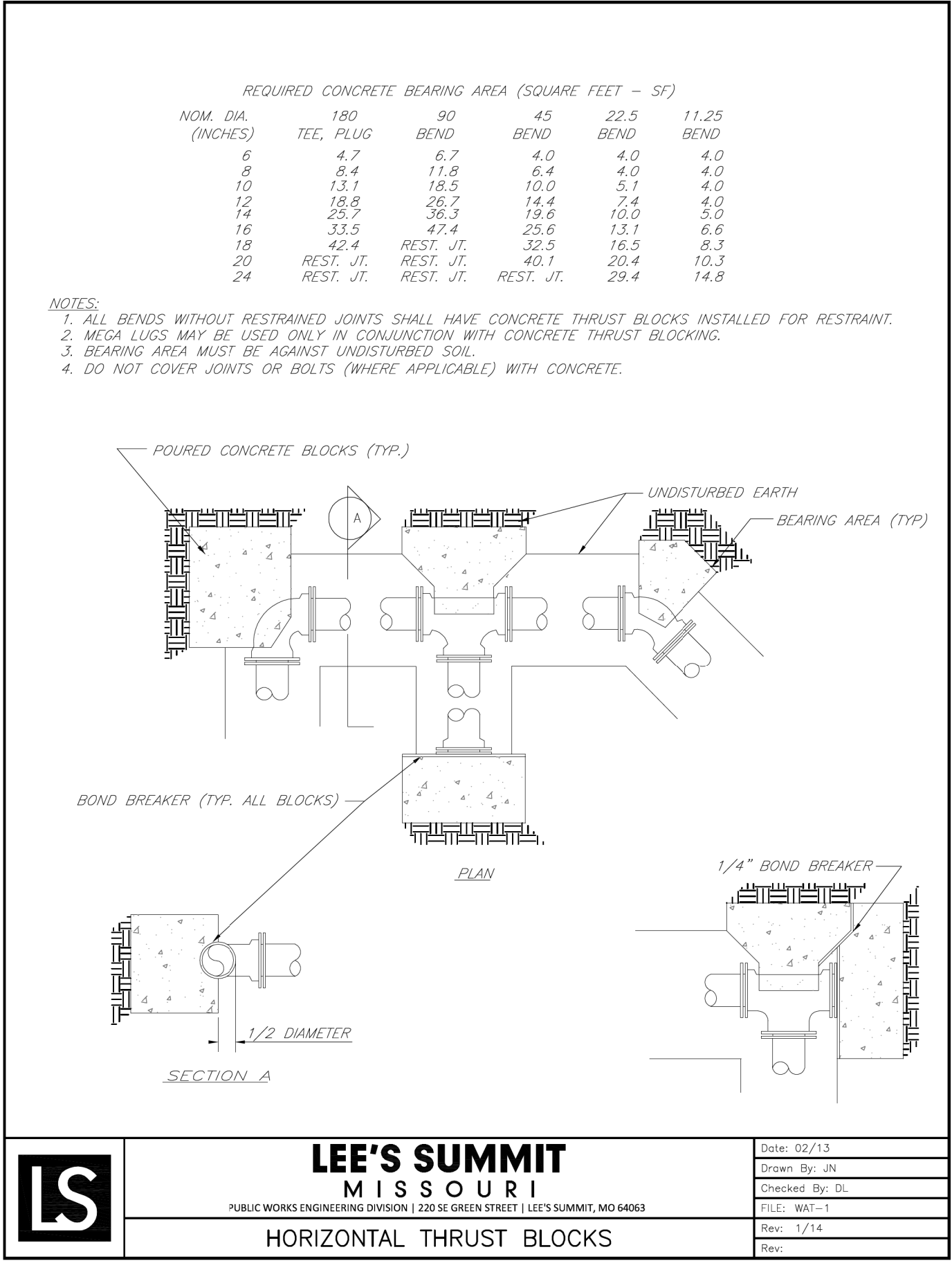


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	REVISED PER COMMENTS	04/21/22	
	CITY SUBMITTAL	02/02/22	

Designed by: RP	Date: 03-25-2015	Rev. -
Dwn by: RP	Gkd by: LWS	Reviewed by: ---
Submitted by: ---	Plot scale: 1:40	
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Plot date:04/27/2022 3:27:46 PM		

SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings



CFSENGINEERS
cfe.com

STATE OF MISSOURI
LAND & SCOTT
NUMBER
E-202555
4/27/22

DESIGNED BY: RP
CHECKED BY: LWS
SUBMITTED BY: ---
FILE: 20250555-ST-SH-CD
DATE: 04/27/2022

DATE: 02/13
DRAWN BY: JN
CHECKED BY: DL
FILE: WAT-1
REV: 1/14

DATE: 02/13
DRAWN BY: JN
CHECKED BY: DL
FILE: WAT-2
REV: 1/14

DATE: 02/13
DRAWN BY: JN
CHECKED BY: DL
FILE: WAT-6
REV: 1/14

DATE: 02/13
DRAWN BY: JN
CHECKED BY: DL
FILE: WAT-7
REV: 1/14

ENGINEERS
1421 E. 10th Street, Ste. 100 KC MO 64131
816-333-4477 F 816-333-6688

REVISIONS

NO.	DESCRIPTION	DATE	BY
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WORK DESCRIPTION

NO.	DESCRIPTION	DATE	BY
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APPROVED

NO.	DESCRIPTION	DATE	BY
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DESIGNED BY: RP

504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings

DATE: 02-25-2025

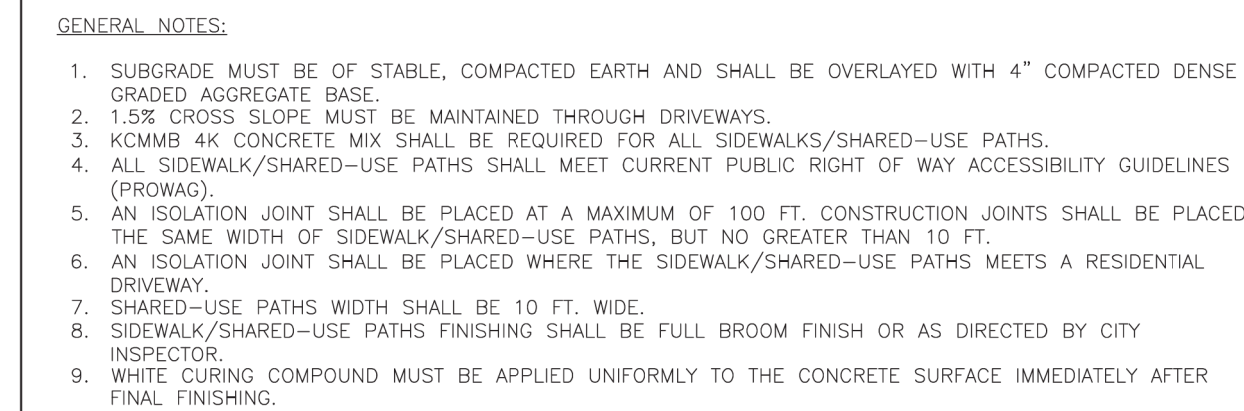
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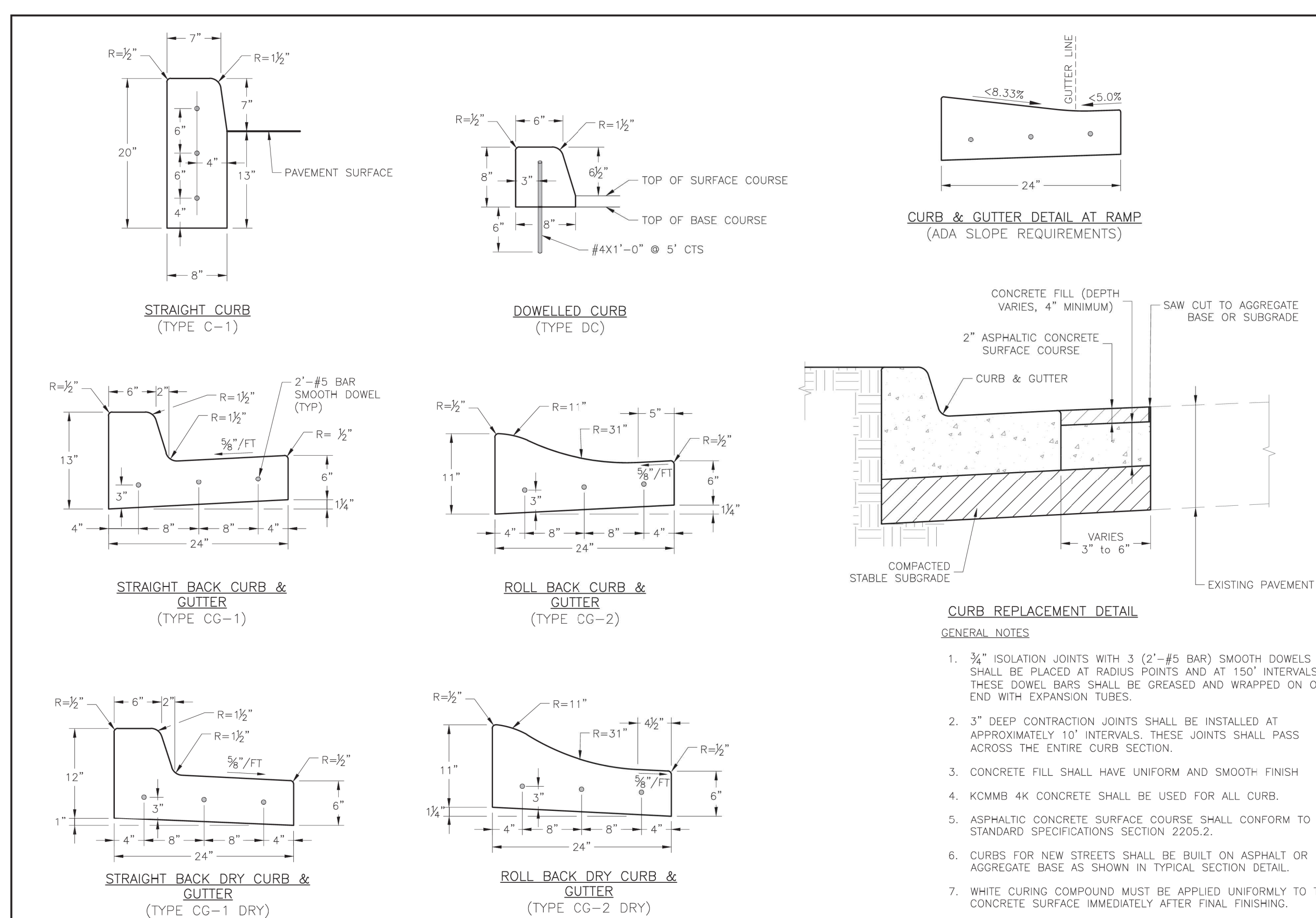
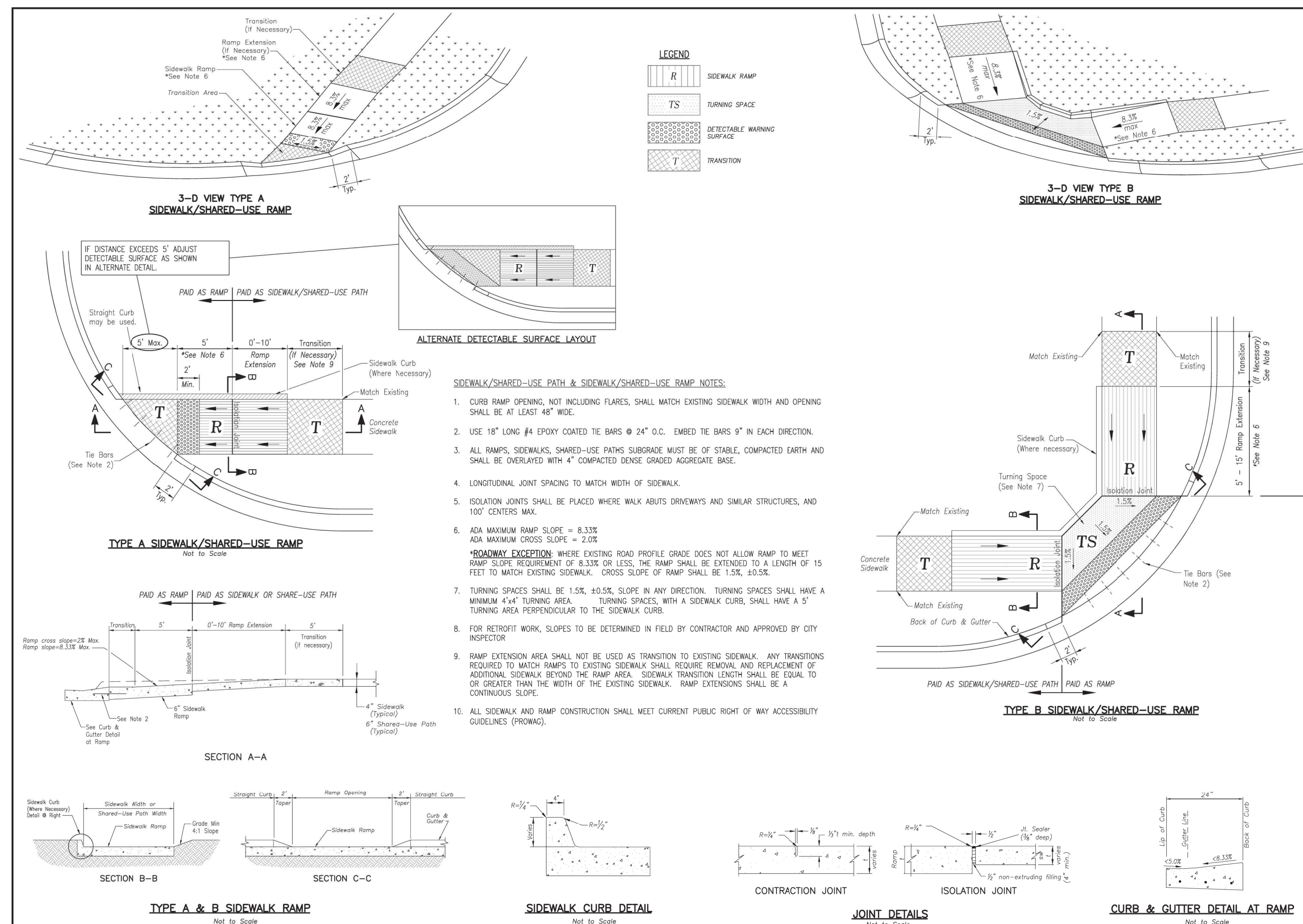
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WATER DETAILS

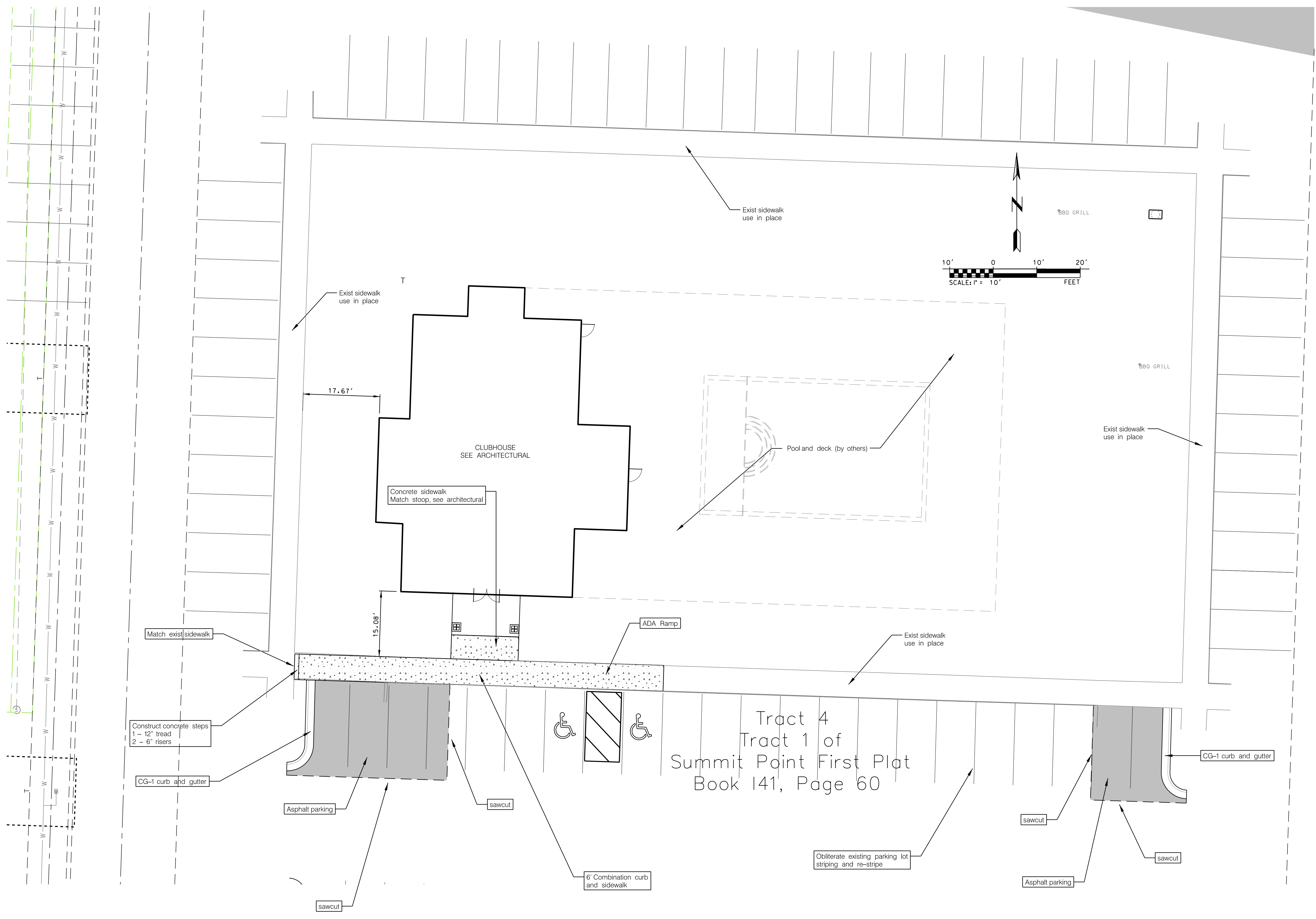
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	<p align="center">SIDEWALK/SHARED-USE PATH DETAIL</p>	<p align="center">GEN-2</p>



SHEET C606 Sheet reference number:	
CURB AND RAMP DETAILS	
SUMMIT POINT 504 NE Chipman Road Lees Summit, Missouri	Date: 03-25-2015 Drawn by: LWS Reviewed by: --- Plot scale: (40) File name: 210625-SM-CD Details-LS Curb and Ramp.dwg Plot date: 07/10/2022 3:30PM PM



Tract 4
Tract 1 of
Summit Point First Plat
Book 141, Page 60

CFS ENGINEERS
cfe.com

1421 E. 10th Street, Ste. 100 KC MO 64131
816-333-4477 F 816-333-6668

Professional Engineer
LANCE W. SCOTT
NUMBER E-22055
EXPIRATION 12/31/2025
4/27/22

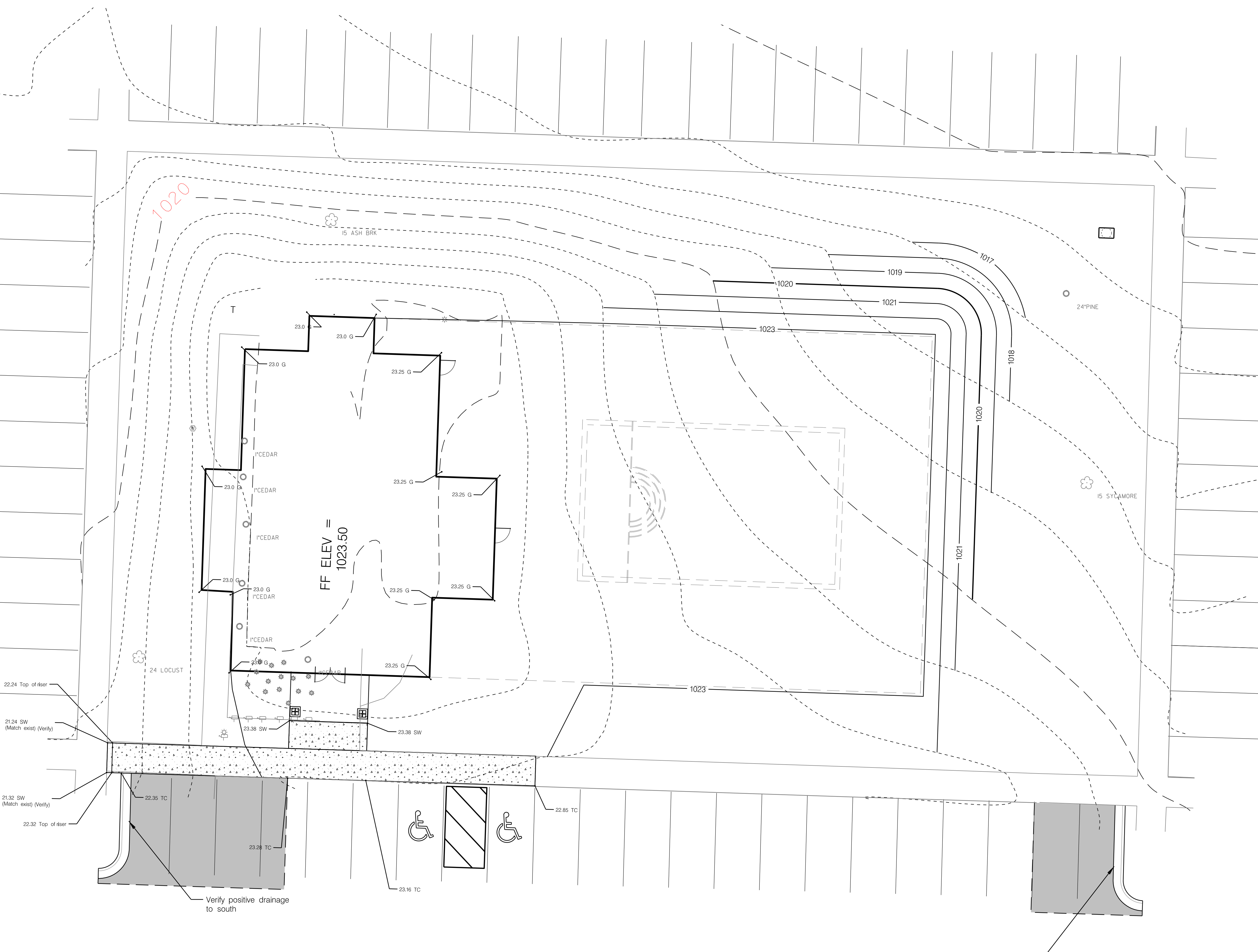
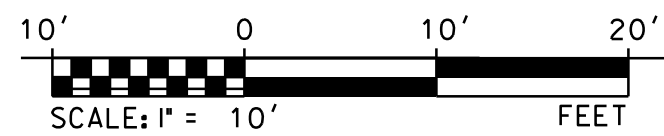
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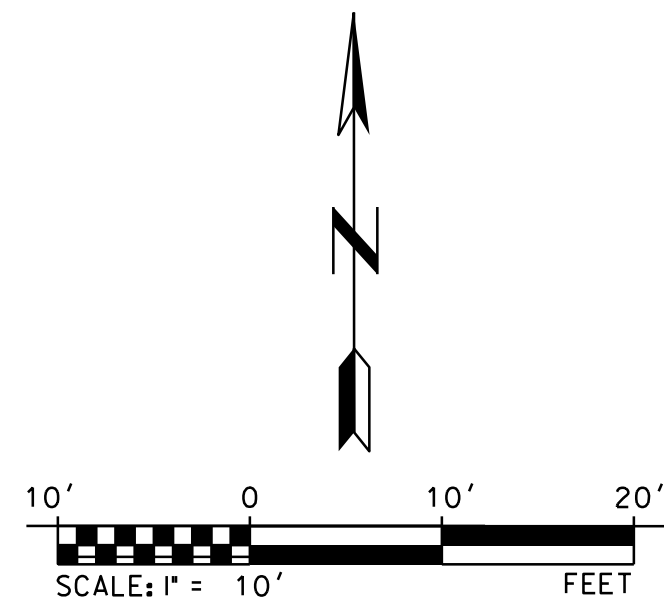
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Submitted by:	---	Plot scale:	1/4" = 1' = 0	04/27/22	
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CLUBHOUSE SITE PLAN

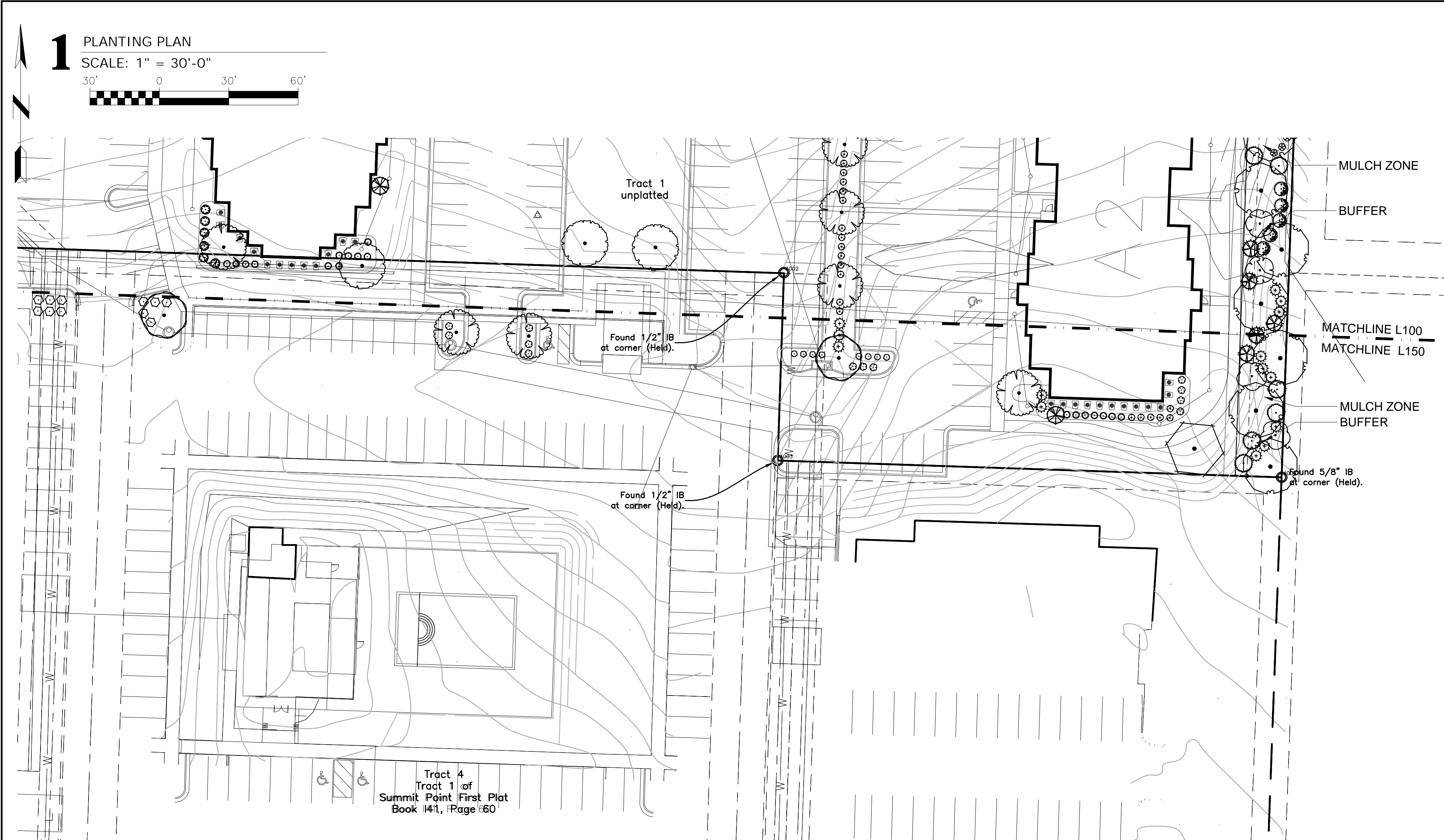
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Landscape Requirements:

SEC. 8.750. - ACCEPTABLE PLAN MATERIALS

- Medium shrubs, 18- to 24-inch balled and burlapped or two-gallon container
- Large shrubs, 24- to 30-inch balled and burlapped or 5-gallon container.
- Ground cover, two and one-half-inch peat pot.
- Deciduous trees shall be a minimum of three-inch caliper, measured at a point 6 inches above the ground or top of the root ball, at planting.
- Evergreen trees shall be a minimum height of eight feet at planting.

The American Standard for Nursery Stock, published by the American Association for Nurserymen, shall be the standard reference for the determination of plant standards. Publications of the University Extension, University of Missouri System, the Missouri Department of Conservation, and other authorities acceptable to the Director also may be used.

SEC. 8.790. - LANDSCAPING - MINIMUM REQUIREMENTS

Street frontage - Provide one tree for each 30 feet of street frontage, public or private, within the landscaped setback abutting said street frontage. A minimum 20-foot-wide landscape strip shall be provided along the full length of any street frontage. Provide one shrub for each 20 feet of street frontage. (PROVIDED)

Open yard areas - The minimum open yard area landscaping requirements shall be two shrubs per 5,000 square feet of total lot area, excluding building footprint area. All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope. In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of one tree for every 5,000 square feet of lot area not covered by buildings/structures.

CALCULATION: Lot Area (292,384 SF) - Building (66,259) = 226,125

Trees Required = 46 Trees (56 PROVIDED)

Shrubs Required = 92 Shrubs (248 PROVIDED)

- Sod all disturbed areas not mulched

SEC. 8.790. - LANDSCAPING - MINIMUM REQUIREMENTS

Trash storage containers - A detailed drawing of enclosure and screening methods to be used in connection with trash storage containers on the property shall be included with the landscaping plan. (See Detail 4 on Sheet L200)

Sec. 8.810. - Parking lot landscaping and trees.

- Deciduous shade trees shall be provided within any parking lot designed. - PROVIDED.
- Landscape islands within the parking lot shall be at least five percent of the entire area - PROVIDED.
- Provide a landscaping island at the end of every parking bay no less than 9' wide - PROVIDED.
- All parking lot landscape islands shall be curbed - PROVIDED.

Sec. 8.820. - Screening, parking lot.

For any parking lot that is visible from a street right-of-way, a visual screen shall be provided.

Provide screening to a height of 2.5 feet along the edge of the parking lot or loading area closest to and parallel to the street. Planted screen requires at least 12 shrubs per 40 linear feet. Shrubs must be at least 18 inches tall at the time of planting.

Sec. 8.880. - Buffer design standards.

- Provide a natural buffer with evergreen, deciduous or perennial vegetation to provide an opaque visual screen during all seasons of the year to a height of 6'
- Plant 3" caliper trees at a density of no less than one tree for each 30 feet of buffer length.
- Provide 20' buffer on side lots and rear lot lines

Sec. 8.900. - Required typical impact screens.

REQUIRED - on the East Lot Line, provide a Medium impact screening that provides:

Shade trees 1/500 SF
Ornamental trees 1/750 SF
Evergreen trees 1/300 SF
Shrubs 1/200 SF





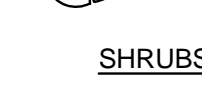







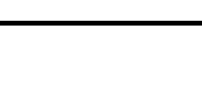
CALCULATION: East Lot line is 500 LF or 10,000 SF. Requires

Shade trees 1/500 SF = 20 Trees (20 PROVIDED)
Ornamental trees 1/750 SF = 14 Trees (14 PROVIDED)
Evergreen trees 1/300 SF = 34 Trees (34 PROVIDED)
Shrubs 1/200 SF = 50 Shrubs (50 PROVIDED)

(East Buffer Only)

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	ACE STA	Acer miyabei 'State Street' / Miyabei Maple	3" Cal.	B&B	5	6' Tall Min.
	GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	3" Cal.	B&B	6	6' Tall Min.
	QUE BIC	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	5	6' Tall Min.
	QUE CRI	Quercus robur x alba 'Crimson Spire' / Crimson Spire Oak	3" Cal.	B&B	5	6' Tall Min.
CONIFEROUS TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
	JUN CAN	Juniperus virginiana 'Canaertii' / Canaerti Juniper	6" Ht.	B&B	17	
	JUN TAY	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	6" Ht.	B&B	17	
FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	CER OKL	Cercis canadensis 'Oklahoma' / Oklahoma Redbud	2" Cal.	B&B	4	6' Tall Min.
	MAL ROY	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	2" Cal.	B&B	1	6' Tall Min.
	PRU CHA	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	2" Cal.	B&B	5	6' Tall Min.
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	B&B	4	6' Tall Min.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	HYD RUB	Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea	3 gal	Container	1	24" Tall Min.
	JUN SEA	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper	3 gal.	Container	25	24" Tall Min.
	LAG MPE	Lagerstroemia indica '18LI' TM / Black Diamond Purely Purple Crape Myrtle	3 gal	Container	11	24" Tall Min.
	PHY TIN	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal.	Container	14	24" Tall Min.

(Open Yard and Parking Lot Areas)

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	ACE WAR	Acer platanoides 'Warrenred' TM / Pacific Sunset Maple	B & B	2"Cal	16	6' Tall Min.
	GIN AUT	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2"Cal	7	6' Tall Min.
	QUE BIC	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	9	6' Tall Min.
	QUE CRI	Quercus robur x alba 'Crimson Spire' / Crimson Spire Oak	3" Cal.	B&B	10	6' Tall Min.
FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	MAL JEW	Malus floribunda 'Jewel' TM / Red Jewel Crabapple	2" Cal	B&B	8	6' Tall Min.
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	B&B	6	6' Tall Min.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	BUX VEL	Buxus microphylla koreana 'Green Velvet' / Korean Boxwood	5 gal	Container	61	18" Tall Min.
	BUX GRA	Buxus sempervirens 'Graham Blandy' / Graham Blandy English Boxwood	5 gal	Container	33	24" Tall Min.
	FOT GAR	Fothergilla gardenii / Dwarf Fothergilla	3 gal.	Container	27	18" Tall Min.
	HYD RUB	Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea	3 gal	Container	47	24" Tall Min.
	HYP AME	Hypericum kalmianum 'Ames' / Ames St. Johns Wort	2 gal	Container	36	18" Tall Min.
	JUN HUG	Juniperus horizontalis 'Hughes' / Hughes Juniper	2 gal	Container	17	18" Tall Min.
	JUN SEA	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper	3 gal.	Container	8	24" Tall Min.
	LAG END	Lagerstroemia 'PILLAG-V' / Enduring SummerTM Red Crape myrtle	3 gal	Container	26	24" Tall Min.
	NEP WAL	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	5 gal	Container	14	18" Tall Min.
	PHY TIN	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal.	Container	24	24" Tall Min.
	WEI BRA	Weigela florida 'Bramwell' / Fine Wine Weigela	3 gal.	Container	35	24" Tall Min.
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Foerster's Feather Reed Grass	2 gal	Container	41	18" Tall Min.

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Designated by:	Date:	Rev.
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Submitted by:	File name:	Plot scale:
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SUMMIT POINT
504 NE Chipman Road
Lee's Summit, Missouri

Construction Drawings

LANDSCAPE PLAN (SOUTH)

Sheet
reference
number:

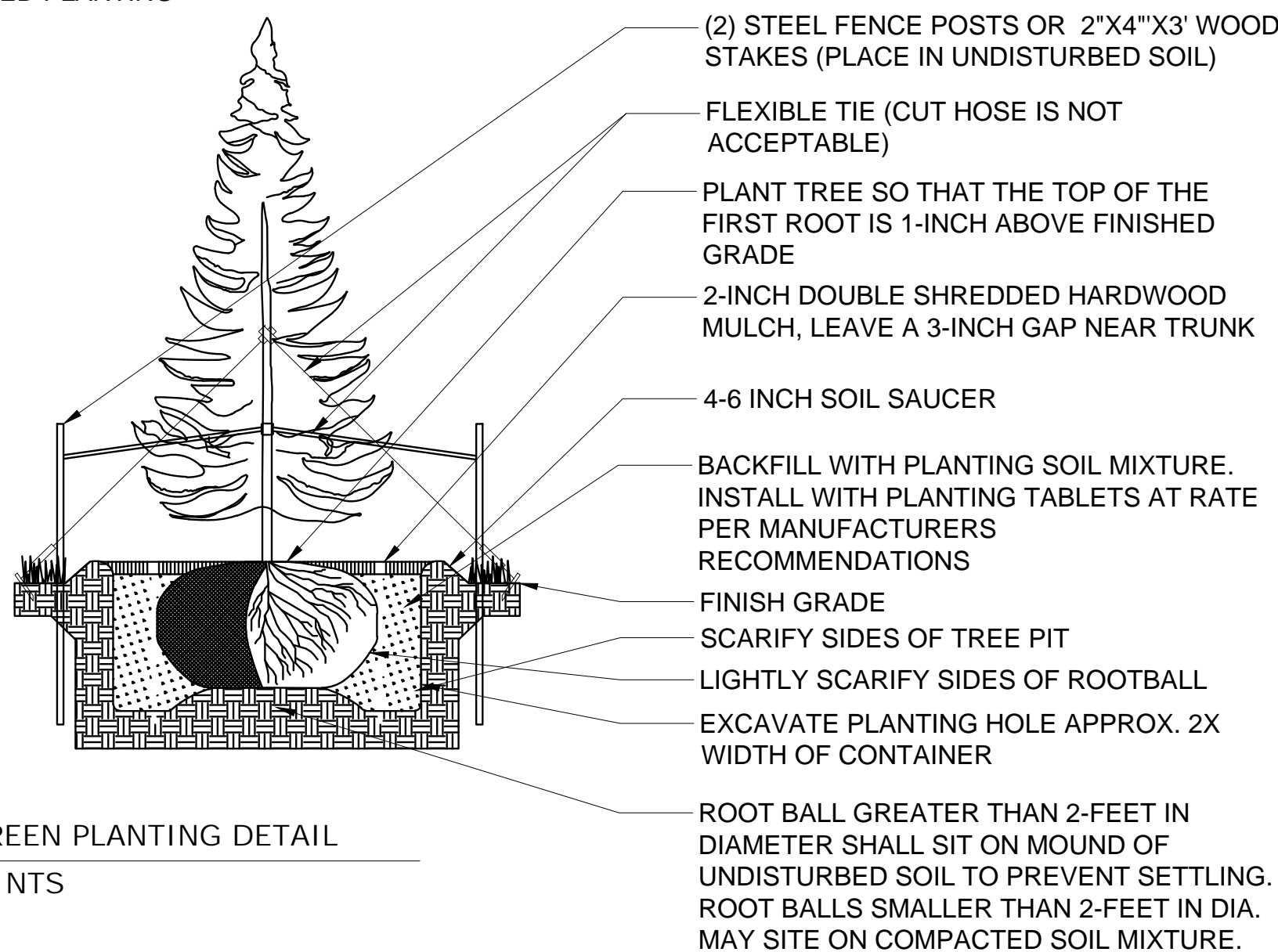
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Landscape Notes:

1. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE. ANY DAMAGE TO UTILITIES OR OTHER SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR WILL BE REPAIRED AT NO COST TO THE OWNER. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR PROPOSED UTILITY LOCATIONS AND EXTERIOR LIGHTING LOCATIONS.
3. THE CONTRACTOR SHALL KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO WIND AND SUN. DO NOT SHAVE ROOT BALL. ALL WIRE BASKETS SHALL BE CUT AND REMOVED FROM THE ENTIRE TOP AND 2/3 OF SIDES OF ROOT BALLS PRIOR TO INSTALLATION.
4. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL TYPE, SIZE, AND / OR QUANTITY. CONTRACTOR CANNOT SUBSTITUTE PLANT MATERIAL WITHOUT WRITTEN APPROVAL OF THE OWNER.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
6. ALL PLANT MATERIAL MUST CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE (ANLA) ANSI Z60.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
7. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S. ALL SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED FREE OF CHARGE.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN LIVE AND HEALTHY CONDITION FOR ONE FULL YEAR AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH SAME GRADE AND SPECIES.
10. THE LOCATION OF PLANT MATERIAL IS CRITICAL AND SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS. STAKE OR MARK LOCATION OF ALL PLANT MATERIAL AND BED LINE LOCATIONS. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF ALL MATERIAL.
11. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS DETRIMENTAL TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
12. PROVIDE DOUBLE SHREDDED HARDWOOD MULCH IN ALL TREE SAUCERS AND PLANTING BEDS TO A 2-INCH MINIMUM DEPTH. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
13. ALL SOIL SURFACES NOT DESIGNATED FOR PLANTING OF TREES, SHRUBS, AND/OR GROUNDCOVERS PER THIS PLAN ARE TO BE SODDED WITH A TURF-TYPE TALL FESCUE BLEND.
14. SOD ALL DISTURBED AREAS. INSTALL BERMUDA GRASS IN SUNNY AREAS AND A FESCUE BLEND SOD IN SHADY AREAS.
15. THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING

AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.

16. THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
17. FINAL GRADE OF PLANTER SOIL SURFACES ARE TO BE 2 INCHES BELOW ADJACENT CURBING, WALKS, PAVEMENTS AND TURF AREAS TO ACCOMMODATE A TOP DRESSING OF MULCH AND 1-INCH FOR SOD AREAS.
18. REMOVE AND DISPOSE OF ALL PLANT MATERIAL ON PROJECT AREA INCLUDING BUT NOT LIMITED TO: TURF, SHRUBS, AND GROUND COVER.
19. DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
20. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE THE OWNER WITH HORTICULTURAL INFORMATION AS A GUIDE TO THE MAINTENANCE OF ALL PLANTS IN THIS PLAN FOR OPTIMUM GROWTH AND VIGOR.
21. THE TERMS AND CONDITIONS OF A WARRANTY PERIOD GUARANTEEING THE SURVIVAL OF THE PLANTS OF THIS PLAN SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR AND AGREED TO BY THE OWNER. THE OWNER SHALL PROVIDE FOR THE MAINTENANCE OF PLANTINGS PER THIS PLAN COMMENCING WITH THE END OF THE WARRANTY PERIOD.
22. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS OF GROWTH THAT HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT PLANTING SEASON.
23. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING HIS SCOPE OF WORK UNTIL FINAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, WATERING, MULCHING, SPRAYING, WEEDING, AND FERTILIZING PLANTING AND TURF AREAS.
24. PLANTING SCHEDULE:
TREE PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 31
SHRUB PLANTING: APRIL 15 - JUNE 15 OR AUGUST 15 - OCTOBER 15
SOD/SEED PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 1
25. METAL EDGER - STEEL EDGING, SIZE: 3/16-INCH WIDE BY 4-INCH DEEP, 15-INCH LONG STAKES, FINISH: GREEN POWDERCOATED, ACCEPTABLE MANUFACTURERS INCLUDE: BORDER CONCEPTS, RUSSEL, J.D. COMPANY (THE), OR SURE-LOC EDGING CORPORATION.
26. SEE TREE PLANTING DETAILS FOR TREE MYCORRHIZAL FUNGI/SOIL CONDITIONER APPLICATION REQUIREMENTS.
27. ALL PLANTING METHODS SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS.

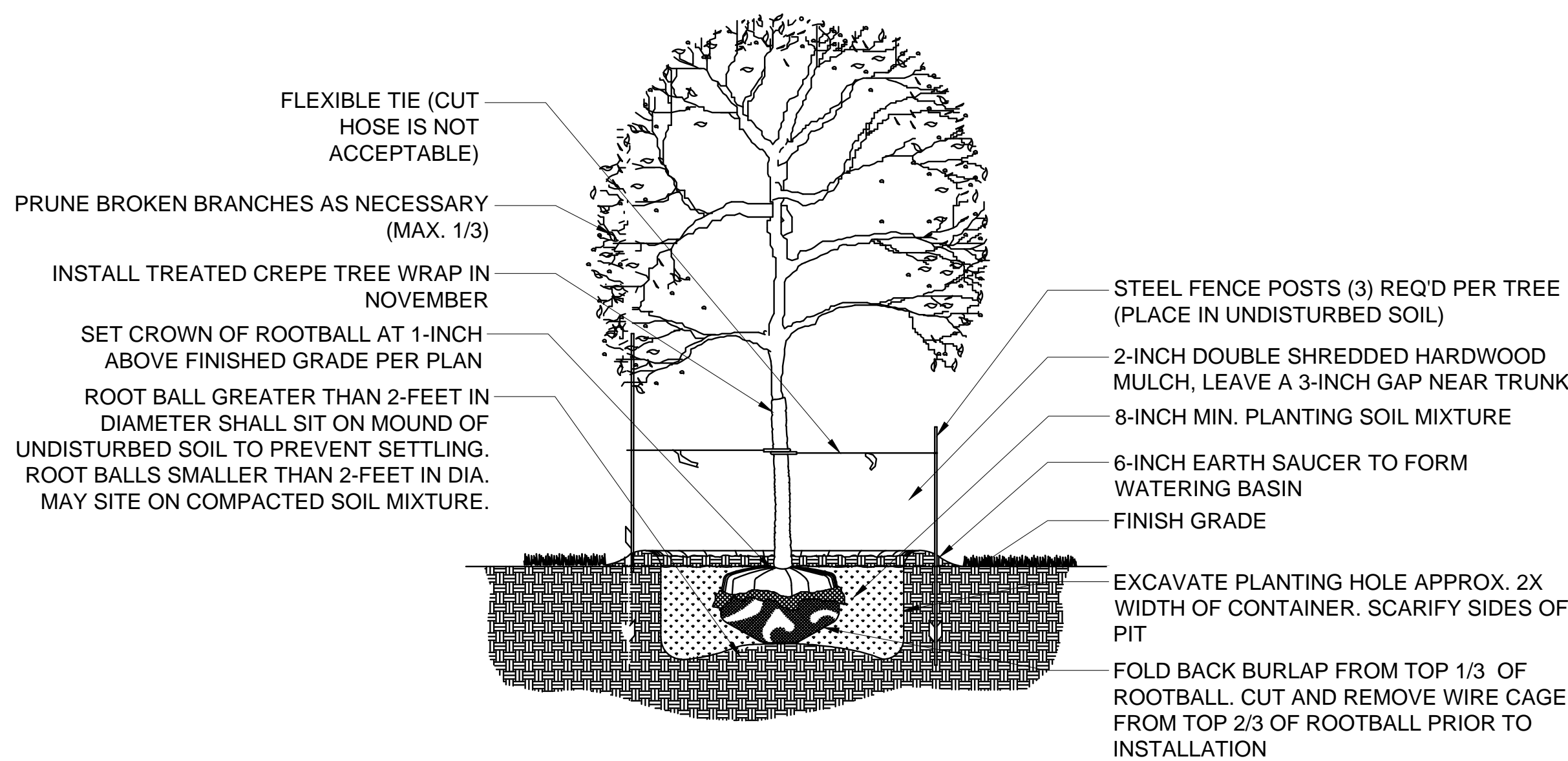


2 EVERGREEN PLANTING DETAIL

SCALE: NTS

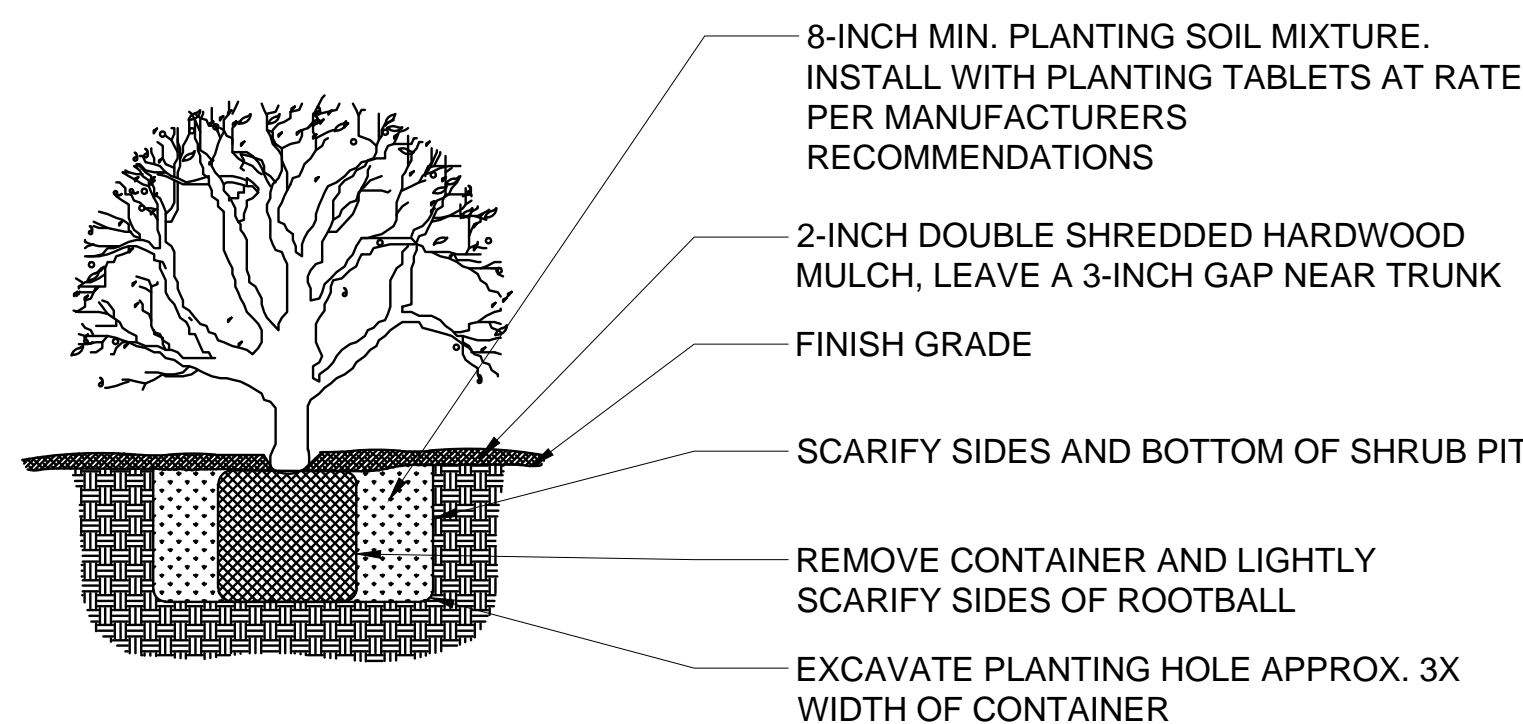
Tree Planting Notes:

1. EXCAVATE A PIT WHICH IS AT LEAST TWICE THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOT BALL, NOT THE TRUCK. BE SURE THE ROOT BALL RESTS ON SOLID GROUND.
2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING. CRACKED OR OTHERWISE DAMAGED ROOT BALLS SHALL BE REJECTED.
3. BACKFILL WITH PLANTING SOIL
4. INSTALL MYCORRHIZAL FUNGI/SOIL CONDITIONER AT EVERY TREE. INSTALL ONE 3 OUNCE PACKET PER CALIPER OF TREE. ACCEPTABLE MANUFACTURERS INCLUDE BEBANON SEABOARD CORPORATION, PHC TREE SAVER OR GROW-POWER, INC GROWLIFE.
5. SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
6. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
7. REMOVE EXCESS DEBRIS FROM AROUND ROOT COLLAR/FLARE IS LEVEL OR SLIGHTLY ABOVE (1" MAX) ADJACENT UPHILL GRADE.
8. COVER SMOOTHED SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUCK. KEEP MULCH WEEDS. REPLACE AS NEEDED.
9. PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
10. CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.
11. WATER THOROUGHLY FOLLOWING PLANTING.



1 TREE PLANTING DETAIL

SCALE: NTS



3 SHRUB PLANTING DETAIL

SCALE: NTS

Planting Bed Installation Notes:

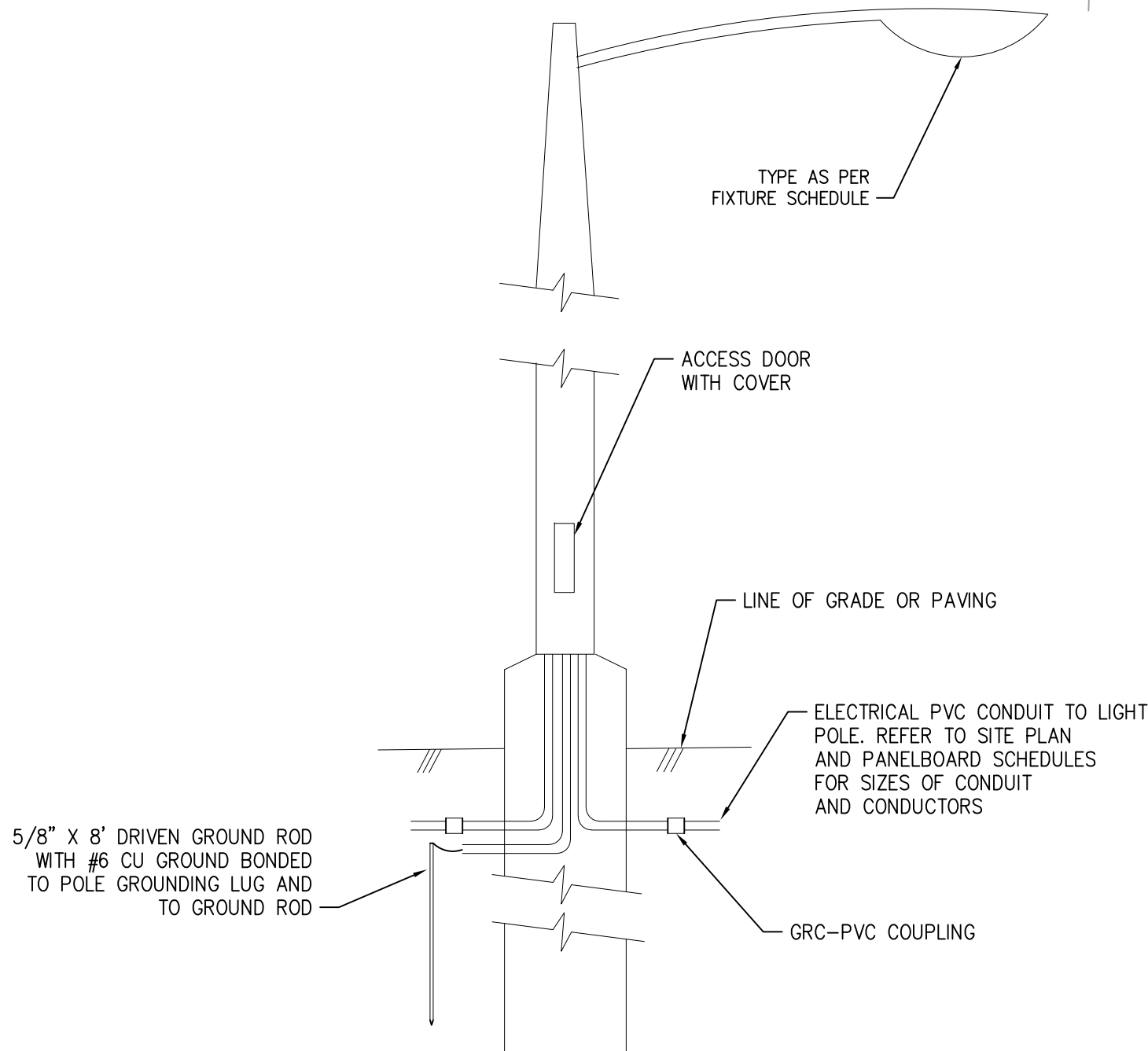
1. ALL PLANTATION BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1000 SQUARE FEET. FILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2000 SQ. FT.
2. AFTER PLANTING HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH OR ROCK APPLICATION.
3. PLANT PIT BACKFILL FOR SHRUBS SHALL BE 25% COTTON BOLL COMPOST AND 25% TOP SOIL AND 50% EXISTING SOIL. TOP SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREAS. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY NOT BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
4. PLANTING TABLETS: INSTALL MANUFACTURER GRO-POWER, INC. PRODUCT: GROPOWER TABLETS, SIZE: 7-GRAM TABLETS, RATE: 1 TABLETS PER 1-GALLON CONTAINER AND 4 TABLETS PER 3-GALLON CONTAINER AND 7 TABLETS PER 5-GALLON CONTAINER.
5. PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FOLLOWING CURVES. SUDDEN CURVES OR SHARP ANGLE SHOULD BE AVOIDED.

GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- D. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- E. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- F. ROUTE ALL EXPOSED, RIGID CONDUIT TIGHT TO STRUCTURE, PARALLEL TO BUILDING LINES AND IN UNISTRUT CABLE/PIPE TRAY WHERE POSSIBLE. COORDINATE CONDUIT ROUTING AND INSTALLATION WITH OTHER TRADES PRIOR TO ROUGH-IN. SUPPORT CONDUIT FROM STRUCTURE NOT ROOF DECK. MAINTAIN 2" MIN SPACING FROM BOTTOM OF ROOF DECK TO PREVENT ROOFING SCREWS FROM PENETRATING CONDUITS.

KEYED PLAN NOTES

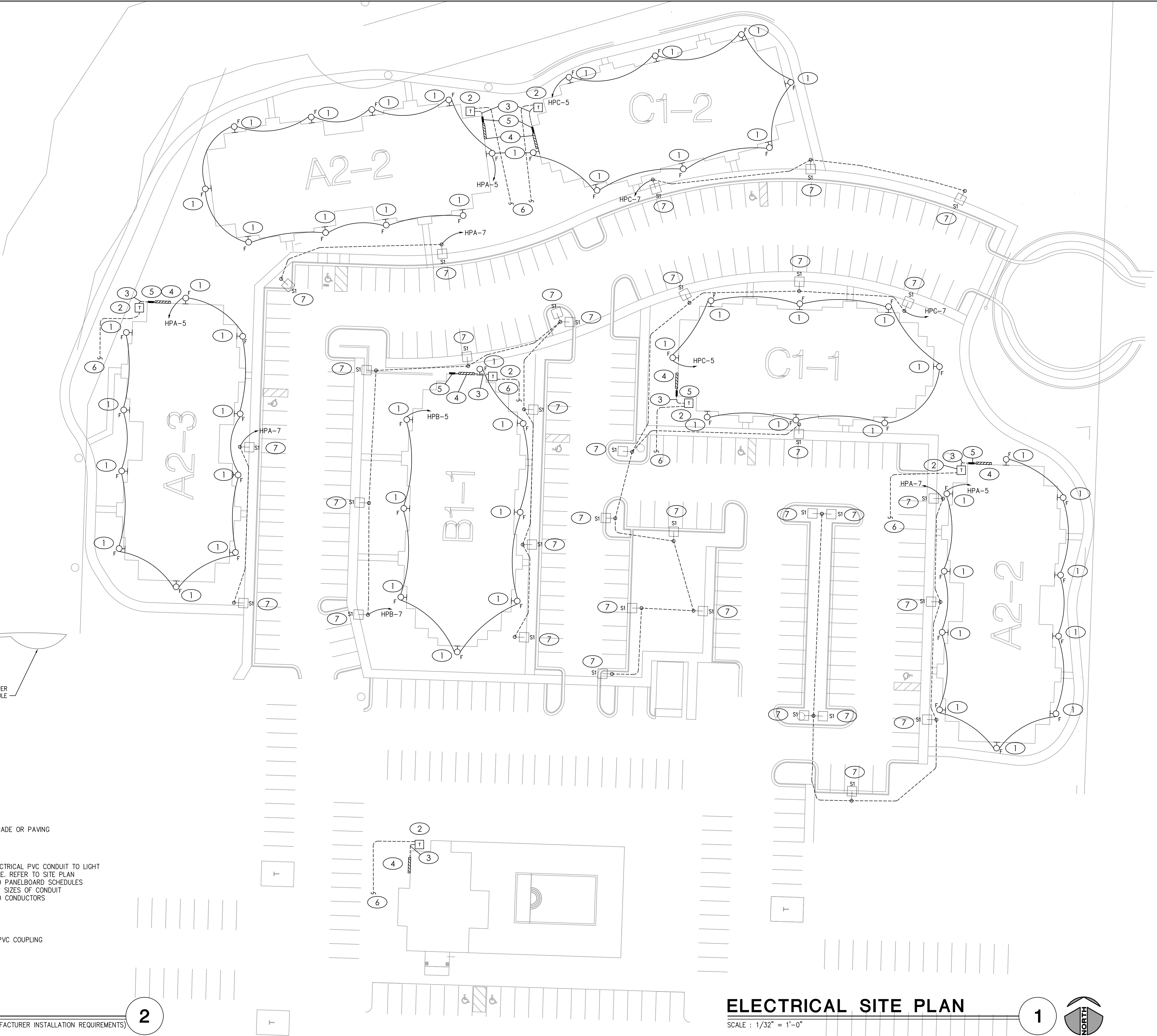
1. BUILDING EXTERIOR LIGHT FIXTURE. ROUTE EXTERIOR LIGHTING THROUGH PHOTOCELL. MOUNT PHOTOCELL ON ROOF AND POINT NORTH. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E301 FOR MORE INFORMATION.
2. PROPOSED UTILITY TRANSFORMER LOCATION. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
3. PROPOSED UTILITY SECONDARY CONDUIT/CONDUCTOR ROUTE. REFER TO SINGLE LINE DIAGRAM ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION. COORDINATE WITH UTILITY SERVICE EQUIPMENT LOCATIONS PRIOR TO CONSTRUCTION.
4. ELECTRICAL SERVICE ENTRANCE METER ENCLOSURES AND DISCONNECT. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
5. HOUSE PANEL LOCATION. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
6. PROPOSED UTILITY PRIMARY CONDUIT/CONDUCTOR ROUTE. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION. COORDINATE WITH UTILITY PRIOR TO CONSTRUCTION.
7. SITE LIGHTING POLE. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E301 FOR MORE INFORMATION.



POLE BASE DETAIL

NO SCALE (SPECIFIC DETAILS, FOUNDATION AND ANCHORING SHALL BE PER POLE MANUFACTURER INSTALLATION REQUIREMENTS)

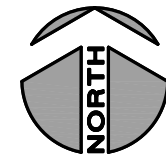
2



ELECTRICAL SITE PLAN

SCALE : 1/32" = 1'-0"

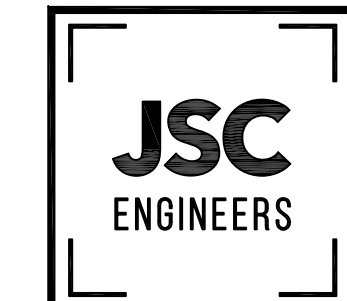
1



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Summit Point Apartment Phase II

504 NE Chipman Road
Lee's Summit, Missouri 64063



PROJECT NO. : JSC 21-058
DATE : 02.08.2022
DRAWN BY : JSC
REVIEWED BY : JRS

REVISED:

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SHEET NO.

ELECTRICAL SITE PLAN

E100

Calculation Summary					
Label	Units	Avg	Max	Min	Max/Min
Parking_Lot	Fc	1.63	4.29	0.23	18.65
Property_Line	Fc	0.00	0.0	0.0	N.A.


CALCULATION SUMMARY

SCALE: NONE

3

Luminaire Schedule				
Symbol	Label	Arrangement	Total Lamp Lumens	LLF
	DSX1_LED_P1_40K_T3M_MVOLT	SINGLE	6,763	0.900

FIXTURE TYPE 'S1' - MOUNTING HEIGHT: 18' ABOVE GRADE.



D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.01 ft²
Length: 33"
Width: 13"
Height (H1): 7.12"
Height (H2): 9.12"
Weight (max): 27 lbs

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information		EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PHRHV DDBND	
Series	Options	Color temperature	Distribution
DSX1 LED	Forward optics	30K 3000K	T15 Type II (down)
P1	P1	40K 4000K	T15 Type II (down)
P2	P2	50K 5000K	T15 Type II (down)
P3	P3		T15 Type II (down)
P4	P4		T15 Type II (down)
P5	P5		T15 Type II (down)
P6	P6		T15 Type II (down)
P7	P7		T15 Type II (down)
P8	P8		T15 Type II (down)
P9	P9		T15 Type II (down)
P10	P10		T15 Type II (down)
P11	P11		T15 Type II (down)

Control options	Other options	Shipped installed	Shipped separately
WDR2: 10' light 10' generation 2 enabled	PH: High flow, medium beam angle, 9-12 mounting height, ambient sensor enabled at 16'	WDR2: 10' light 10' generation 2 enabled	WDR2: 10' light 10' generation 2 enabled
PHRH: 10' light 10' generation 2 enabled	PHH: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	PHRH: 10' light 10' generation 2 enabled	PHRH: 10' light 10' generation 2 enabled
PFR: 10' light 10' generation 2 enabled	PRH: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	PFR: 10' light 10' generation 2 enabled	PFR: 10' light 10' generation 2 enabled
PFRS: 10' light 10' generation 2 enabled	PRHS: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	PFRS: 10' light 10' generation 2 enabled	PFRS: 10' light 10' generation 2 enabled
PRF: 10' light 10' generation 2 enabled	PRF: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	PRF: 10' light 10' generation 2 enabled	PRF: 10' light 10' generation 2 enabled
PRFS: 10' light 10' generation 2 enabled	PRFS: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	PRFS: 10' light 10' generation 2 enabled	PRFS: 10' light 10' generation 2 enabled
DRG: 10' light 10' generation 2 enabled	DRG: High flow, medium beam angle, 15-17 mounting height, ambient sensor enabled at 16'	DRG: 10' light 10' generation 2 enabled	DRG: 10' light 10' generation 2 enabled
IS: Dual switching	IS: Dual switching	IS: Dual switching	IS: Dual switching

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DSX1 LED
Rev: 1/15/20
Page 1 of 8

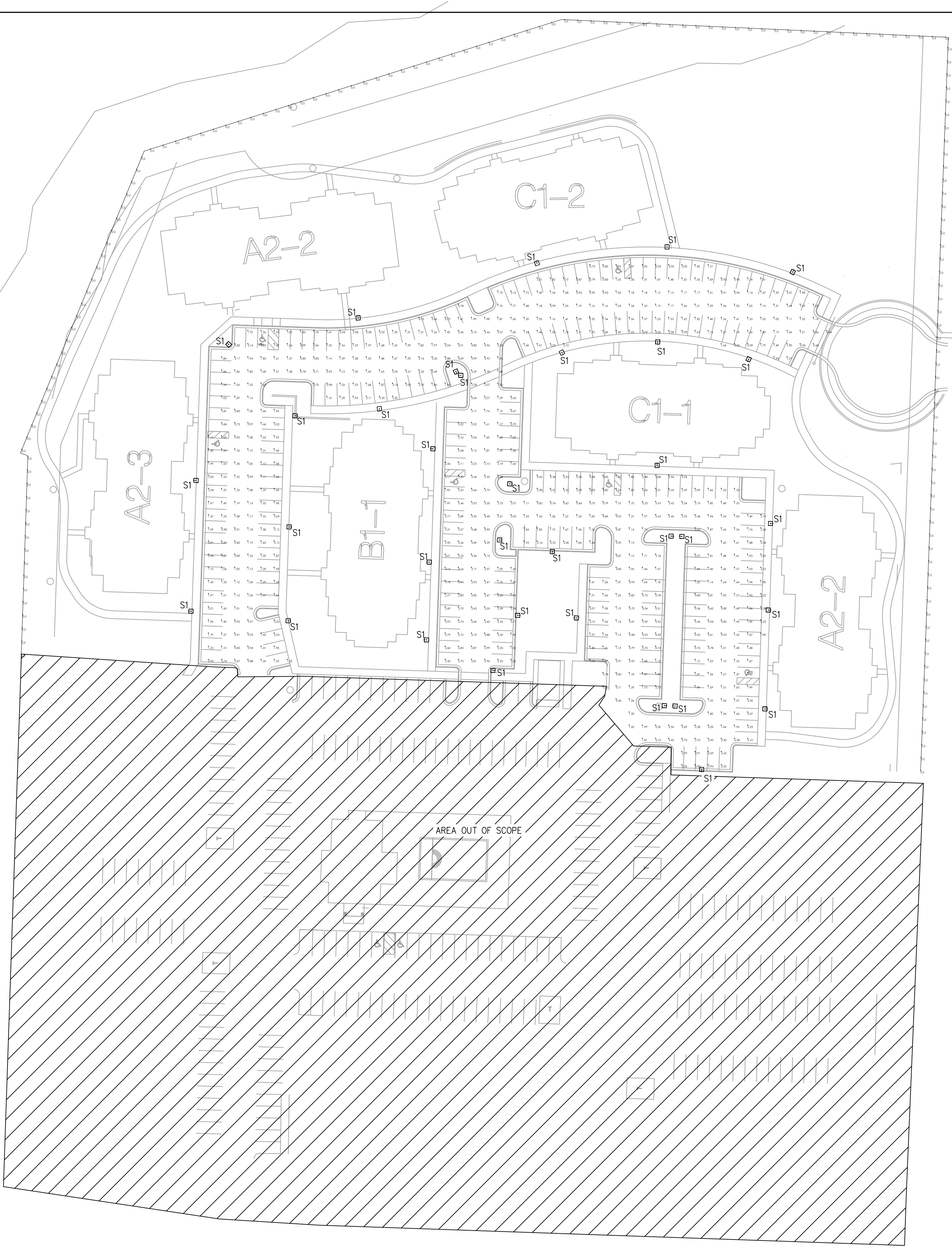
LIGHT FIXTURE SPECS

SCALE: NONE

2

SPECIFICATIONS

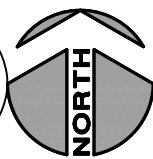
- ALL CONDUCTORS SHALL BE THHN COPPER ABOVE GRADE, XHHW-2 BELOW GRADE, MINIMUM #12.
- ALL WIRING EXPOSED TO WEATHER OR BELOW GRADE SHALL BE IN RIGID GALVANIZED CONDUIT OR SCH. 40 PVC.
- ALL OTHER WIRING SHALL BE IN EMT, SCH. 40 PVC OR MC CABLE, UNLESS PROTECTED AND ENCLOSED WITHIN BUILDING MATERIALS, IN WHICH CASE TYPE NM CABLE MAY BE USED.
- THE ENTIRE SYSTEM SHALL BE ELECTRICALLY CONTINUOUS AND PROPERLY GROUNDED. EVERY FEEDER AND BRANCH CONDUIT SHALL HAVE CODE SIZED GREEN INSULATED GROUND CONDUCTOR.
- "MH" = MOUNTING HEIGHT (IN FEET)



SITE LIGHTING PLAN

SCALE: 1/32" = 1'-0"

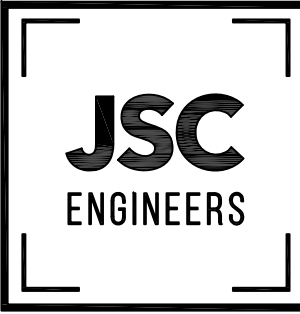
1



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Summit Point Apartment Phase II

504 NE Chipman Road
Lee's Summit, Missouri 64063



02-08-2022

professional seal

PROJECT NO.: JSC 21-058
DATE: 02.08.2022
DRAWN BY: JSC
REVIEWED BY: JRS

REVISED:

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SHEET NO.

SITE PHOTOMETRIC PLAN

ES-1



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CRAM-A-LOT TRASH ENCLOSURE

Summit Point Apartments Phase II
504 NE Chipman Road
Lee's Summit, Missouri 64063



PROJECT NO. : 2021-08
DATE : 01.15.2022
DRAWN BY : BCS STAFF
REVIEWED BY :

REVISED:

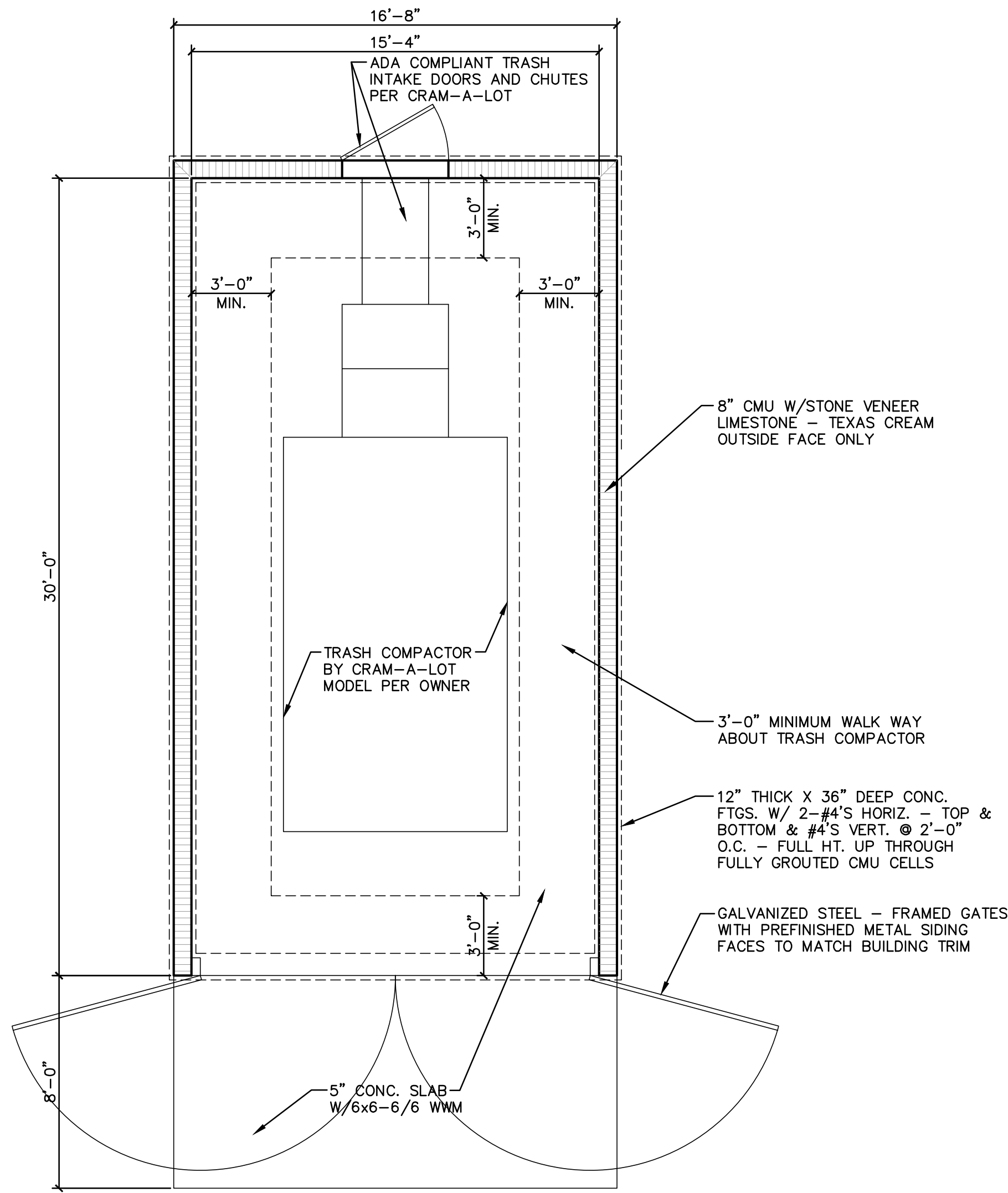
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SHEET NO.

A110

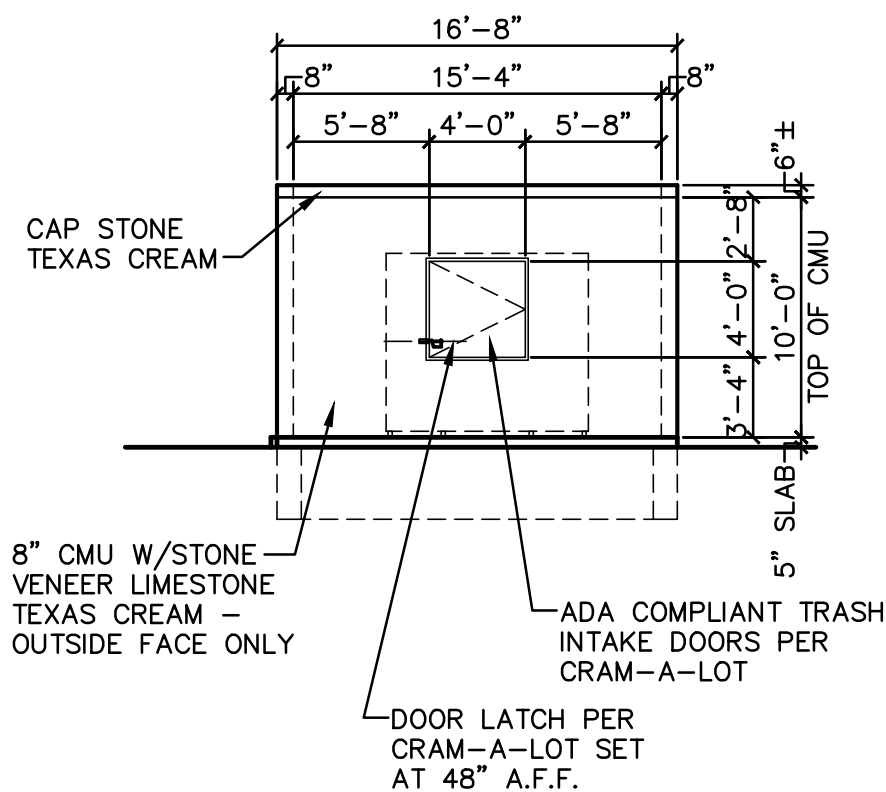
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Permit Set



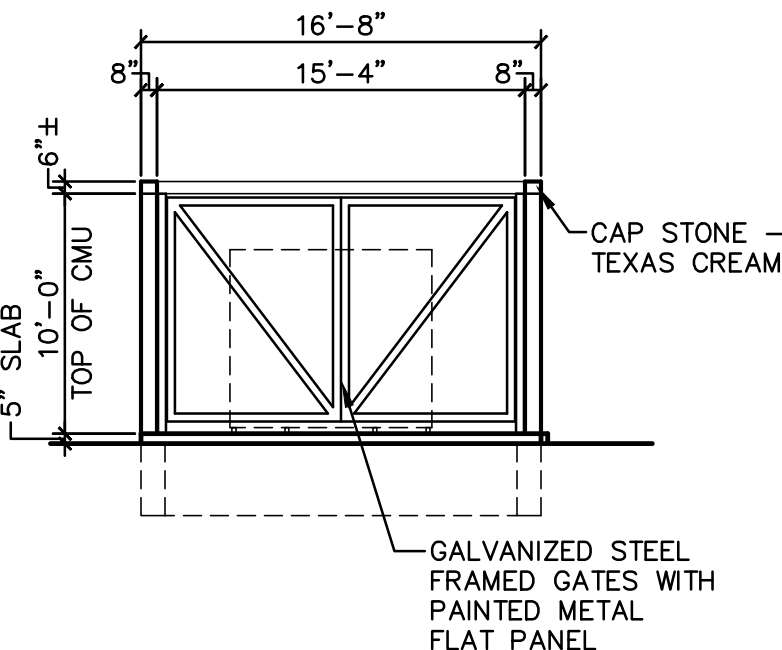
1 CRAM-A-LOT TRASH ENCLOSURE

1/4" = 1'-0"



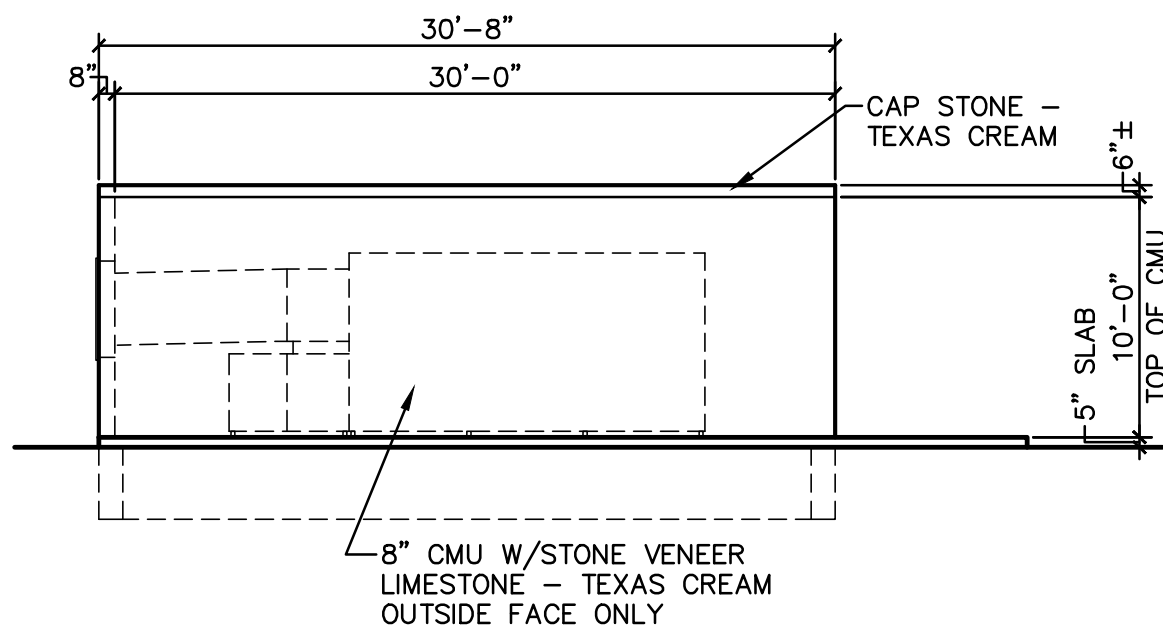
4 BACK ELEVATION

1/8" = 1'-0"



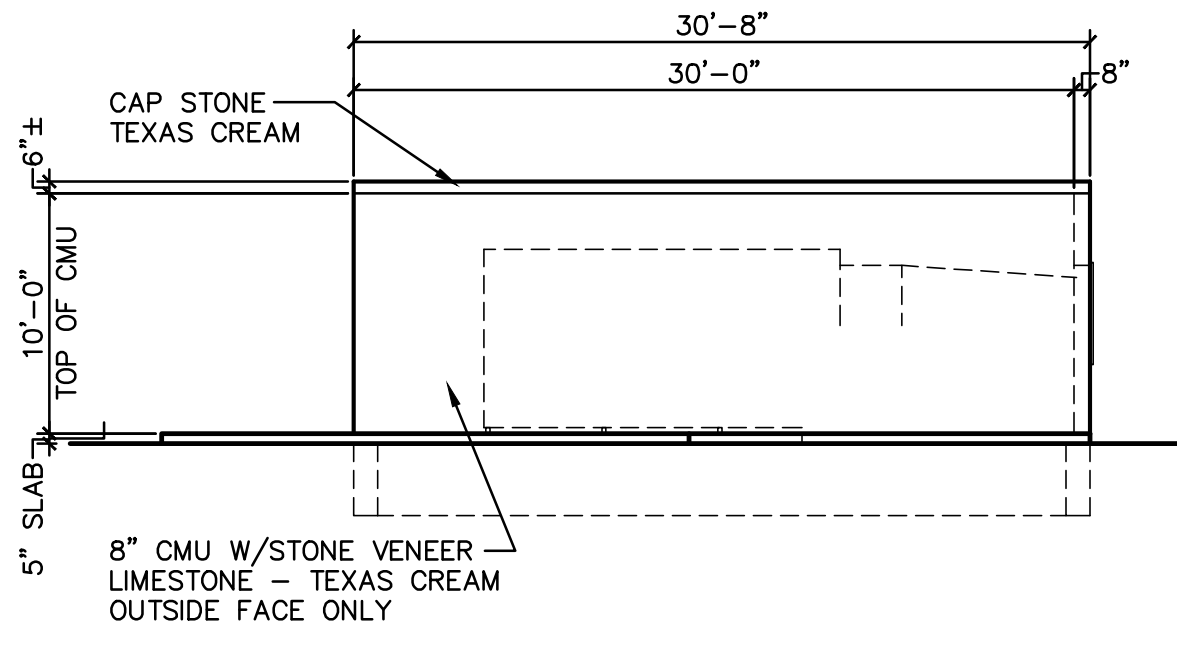
2 FRONT ELEVATION

1/8" = 1'-0"



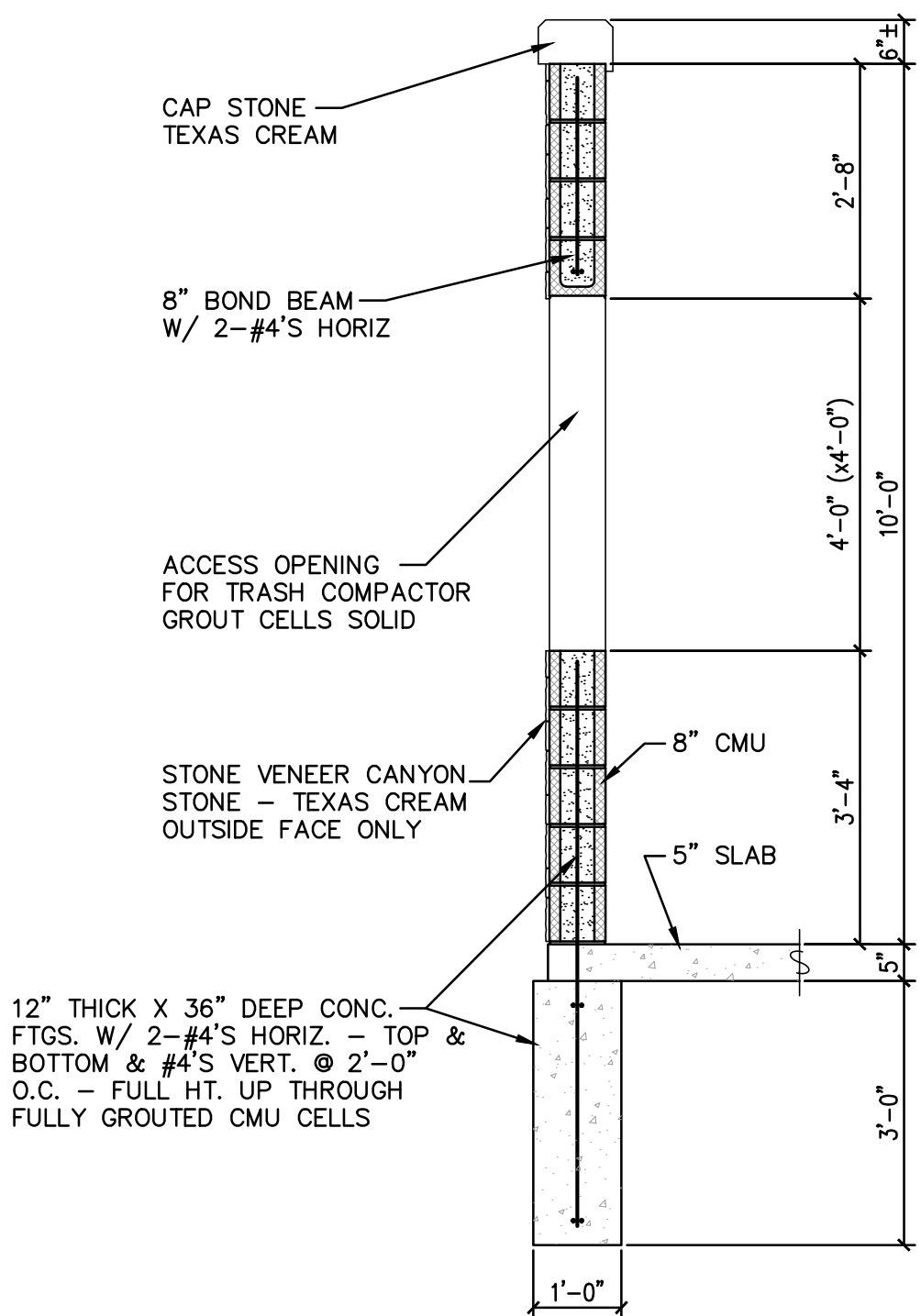
5 LEFT ELEVATION

1/8" = 1'-0"



3 RIGHT ELEVATION

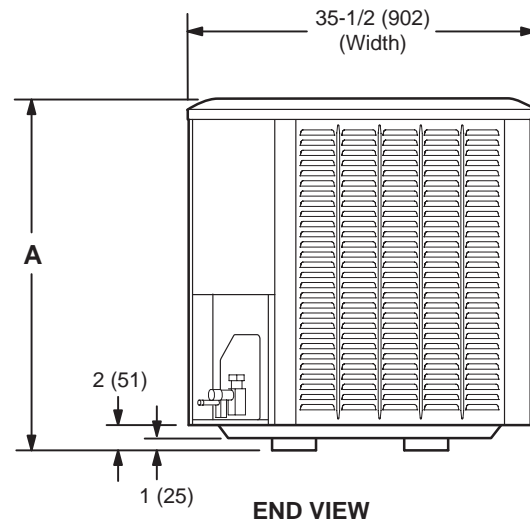
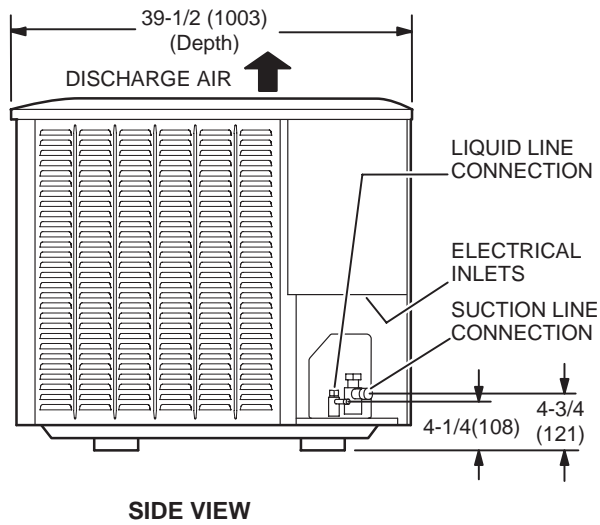
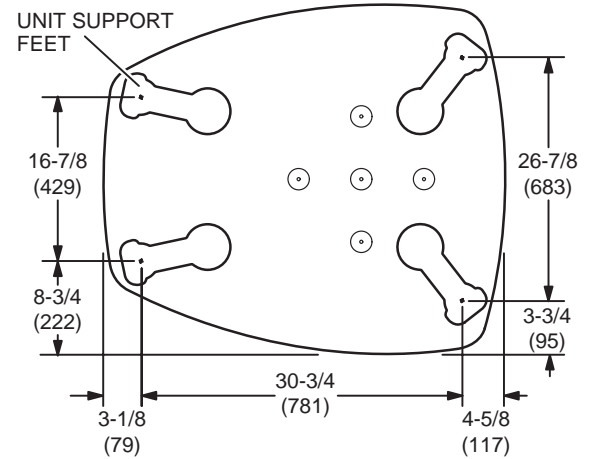
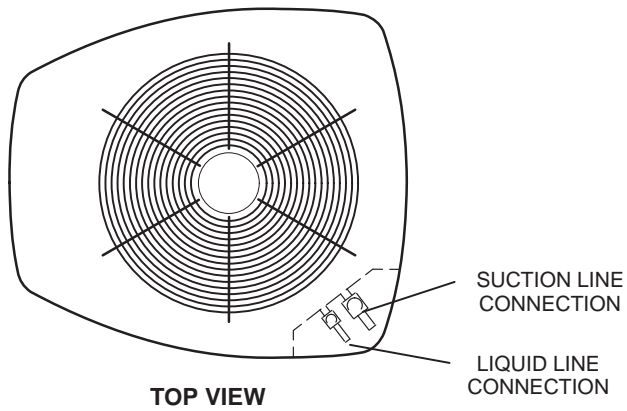
1/8" = 1'-0"



6 WALL SECTION

1/2" = 1'-0"

DIMENSIONS - UNIT



Apartment

Clubhouse

Model No.	A	
	in.	mm
XP20-024	39	991
XP20-036	39	991
XP20-048	45	1143
XP20-060	45	1143