

USER: ssaylor

DWG: F:\2018\1001-1500\018-1140-C\40-Design\AutoCAD\Final Plans - Asbuilt\Sheets\GNCV\Street & Storm\C_MDR02-C181140.dwg
DATE: Apr 27, 2022 3:40pm



KEY MAP

Woodside Ridge Second Plat Minimum Building Opening Elevation				
Lot	Rear Left MBOE	Rear Right MBOE	As Built Plot Plan Required	
149	945.25	938.92	Y	
150	952.25	945.25	Y	
151	950.78	952.25	Y	
152	950.23	950.78	Y	
153	950.56	950.23	Y	
154	953.80	950.56	Y	
155	970.20	979.35	Y	
156	957.42	970.20	Y	
157	953.53	957.42	Y	
158	937.69	953.53	Y	
166	948.97	945.09	Y	
167	952.18	948.97	Y	
168	959.64	952.18	Y	
169	961.17	959.64	Y	
170	965.96	961.17	Y	
184	947.98	959.19	Y	
185	937.74	947.98	Y	
186	934.36	937.74	Y	
187	936.96	934.36	Y	
192	939.85	934.23	Y	
193	941.51	939.85	Y	
194	945.79	941.51	Y	
195	947.41	945.79	Y	
196	950.30	947.41	Y	
197	951.37	950.30	Y	
198	952.90	951.37	Y	

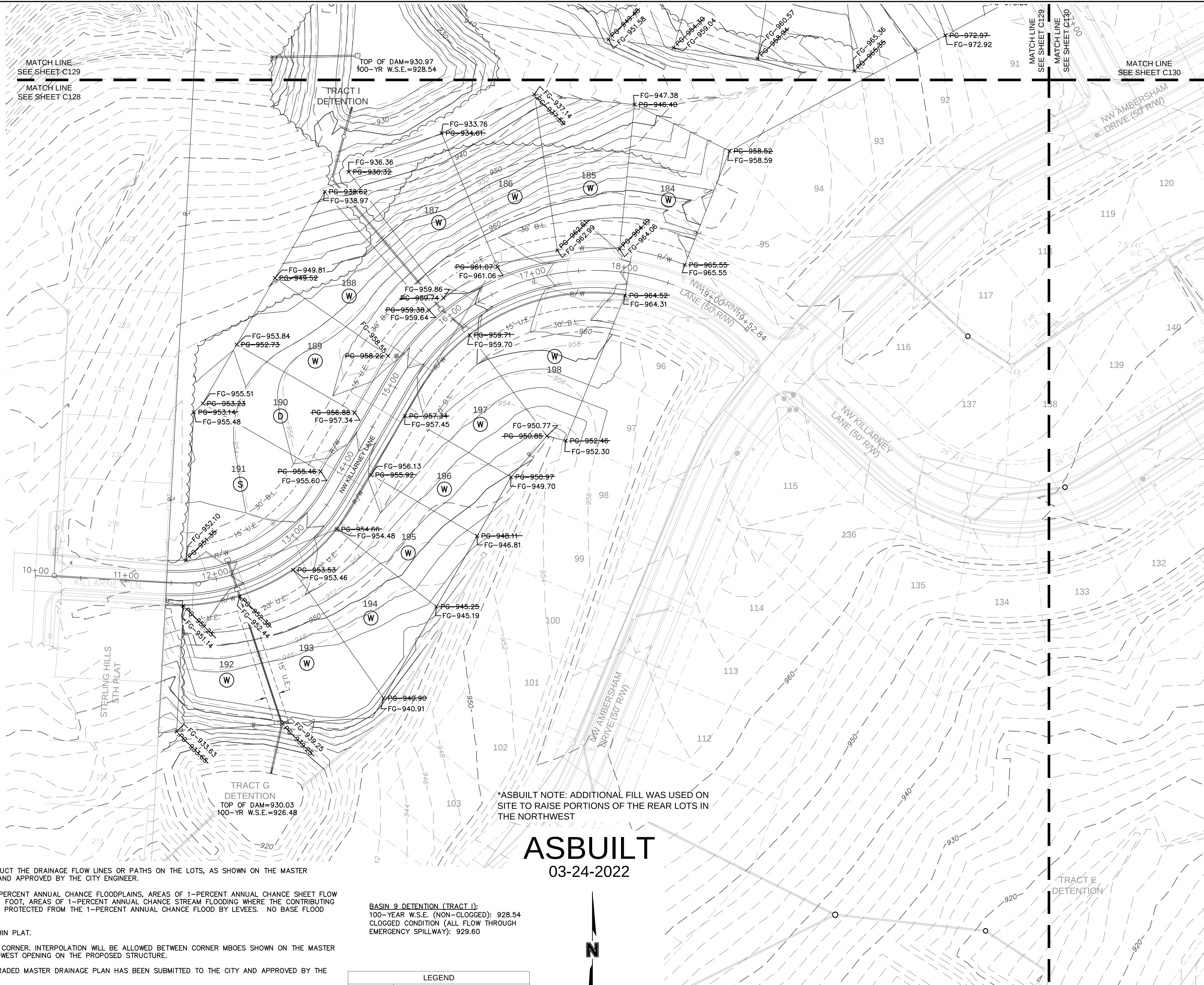
MBOE elevations have been provided per lot lines, facing the lot from the street. Interpolation will be allowed between the right and left side MBOE's provided, depending on the location of the lowest opening on the proposed structure.

NOTES:

- INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOTS, AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.
- PLAT IS LOCATED IN ZONE X, "AREAS OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAINS, AREAS OF 1-PERCENT ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1-PERCENT ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE"
- BUFFER ZONE FOR NATURAL STREAMS IS LOCATED WITHIN PLAT.
- MBOE ELEVATIONS HAVE BEEN PROVIDED AT EACH LOT CORNER. INTERPOLATION WILL BE ALLOWED BETWEEN CORNER MBOES SHOWN ON THE MASTER DRAINAGE PLAN, DEPENDING ON THE LOCATION OF THE LOWEST OPENING ON THE PROPOSED STRUCTURE.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL AN AS-GRADED MASTER DRAINAGE PLAN HAS BEEN SUBMITTED TO THE CITY AND APPROVED BY THE CITY.

RMBOE - REAR MINIMUM BUILDING OPENING ELEVATION
FMBOE - FRONT MINIMUM BUILDING OPENING ELEVATION

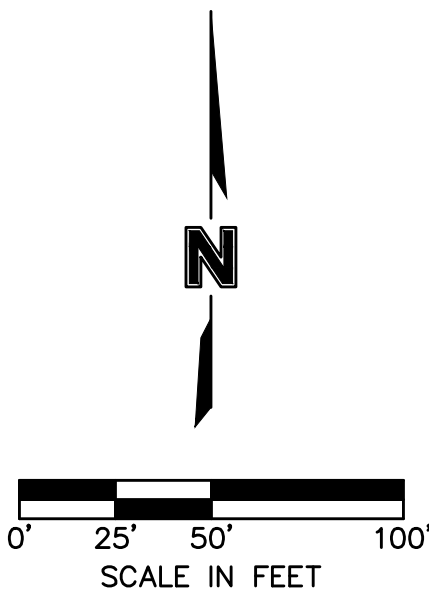
LOT TYPES:
S - STANDARD
D - DAYLIGHT
W - WALKOUT



BASIN 9 DETENTION (TRACT I):
100-YEAR W.S.E. (NON-CLOGGED): 928.54
CLOGGED CONDITION (ALL FLOW THROUGH EMERGENCY SPILLWAY): 929.60

LEGEND	
100	FINISHED INDEX CONTOURS
100	FINISHED INTERMEDIATE CONTOURS

ASBUILT
03-24-2022



olsson

NO Conflicts of Interest at 03/29/22
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STATE OF MISSOURI
JULIE ELAINE
SELLERS
Professional Engineer
NUMBER
PE-2017000367
02/21/2022

BY
REVISIONS DESCRIPTION
NO. REV. DATE
1 7/10/2020 REVISED PER CITY COMMENTS

MASTER DRAINAGE PLAN
STREET & STORM SEWER PLANS
WOODSIDE RIDGE
SECOND PLAT
LEE'S SUMMIT, MO
2020

drawn by: C.S.M.
checked by: S.M.S.
designed by: C.S.M.
QA/QC by: J.E.S.
project no.: C18-1140
date: 2020.07.10

SHEET
C128