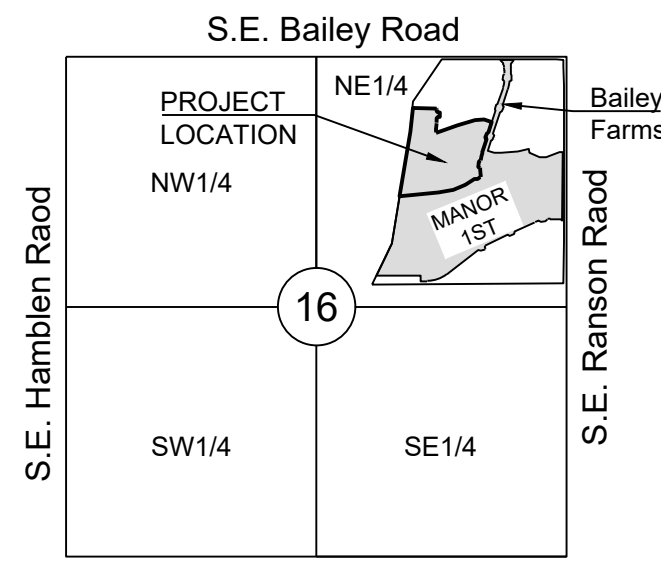


LEGEND:

- A/E - ACCESS EASEMENT
BC - BACK OF CURB
B/B - BACK TO BACK
BM - BENCHMARK
BL or B.L. - BUILDING LINE
CO - CLEANOUT
TJB - TELEPHONE JUNCTION BOX
C&G - CURB AND GUTTER
D/E - DRAINAGE EASEMENT
E/E - ELECTRICAL EASEMENT
EL - ELEVATION
FL - FLOW LINE
G/E - GAS LINE EASEMENT
HDPE - HIGH-DENSITY POLYETHYLENE
L/E - LANDSCAPE EASEMENT
MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
PVC - POLYVINYL CHLORIDE
P/L - PROPERTY LINE
PUB/E - PUBLIC EASEMENT
RCP - REINFORCED CONCRETE PIPE
ROW or RW - RIGHT-OF-WAY
S/E - SANITARY SEWER EASEMENT
SL - SERVICE LINE
SW - SIDEWALK
TE - TOP ELEVATION
UE - UTILITY EASEMENT
WSE - WATER SURFACE ELEVATION
W/E - WATERLINE EASEMENT



- ASPHALT PAVEMENT - EXISTING
ASPHALT PAVEMENT - PROPOSED
CONCRETE PAVEMENT - EXISTING
CONCRETE SIDEWALK - EXISTING
CONCRETE SIDEWALK - PROPOSED
CURB & GUTTER
CURB & GUTTER - EXISTING
TREELINE
EXISTING LOT AND RW LINES
EXISTING PLAT LINES
P/L - PROPERTY LINES
ROW - RIGHT-OF-WAY
SANITARY SEWER MAIN
SANITARY SEWER MAIN - EXIST.
STO - STORM SEWER
STORM SEWER - EXISTING
CABLE TV - EXISTING
FIBER OPTIC CABLE - EXISTING
TELEPHONE LINE - EXIST.
ELECTRIC LINE - EXISTING
OVERHEAD POWER LINE - EXIST.
UNDERGROUND ELECTRIC - EX.
GAS LINE - EXISTING
WATERLINE - EXISTING
LIGHT - EXISTING
EXISTING MANHOLE
CLEANOUT
EXISTING SANITARY MANHOLE
PROPOSED SANITARY MANHOLE
EXISTING AREA INLET
EXISTING CURB INLET
EXISTING GRATE INLET
EXISTING JUNCTION BOX
EXISTING STORM MANHOLE

STREET, STORMWATER, AND MASTER DRAINAGE PLAN
FOR
CORNERSTONE AT BAILEY FARMS, FIRST PLAT
IN THE CITY OF LEE'S SUMMIT
JACKSON COUNTY, MISSOURI

GENERAL NOTES:

- 1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
4. NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
5. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.": 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. AFTER APPROVAL OF THE SHOP DRAWINGS, A COPY OF THE APPROVED AND SIGNED SHOP DRAWINGS SHALL BE PROVIDED TO THE CITY INSPECTOR UPON REQUEST.
7. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
8. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
9. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
10. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASED OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
11. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED TO GRADE AS REQUIRED.
12. THE CONTRACTOR SHALL CONTACT DEVELOPMENT SERVICES INSPECTIONS AT: 816-969-1200 TO OBTAIN A DEVELOPMENT SERVICES CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO PERMIT ISSUANCE.
13. THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).

EARTHWORK:

- 1. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
3. The existing site topography depicted on the plans by contouring has been established by aerial photography and field verified by p.s. observation near 2-20-19. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
4. Proposed contours are to approximate finished grade.
5. Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a movable condition and positive drainage maintained throughout.
6. Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
7. Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
8. All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
9. Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a standard proctor test (AASHTO T99/ASTM 698).
10. Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
11. The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
12. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
a. Turf Areas - 2.5% Minimum, 4H:1V Maximum
b. Paved Areas - 1.2% Minimum, 5% Maximum
13. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
14. All disturbed areas in the right-of-way shall be sodded.
15. Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
16. Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.

STREET NOTES:

- 1. ALL STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL. ALL APPLICABLE AASHTO STANDARDS HAVE BEEN MET.
2. ALL INSPECTION OF STREET CONSTRUCTION TO BE PERFORMED BY THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEERING.
3. CURB RETURN RADII SHALL BE 25' AT BACK OF CURB UNLESS OTHERWISE NOTED.
4. SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
5. ASSUMED DESIGN SPEED = 25 MPH (COLLECTOR).
6. MINIMUM STOPPING SIGHT DISTANCE = 155 FEET.
7. MINIMUM K, SAG CURVE = 26 (14 WITH LIGHTING), CREST CURVE = 12.
8. GRADE INTERSECTIONS TO DRAIN AS SHOWN.
9. SSD = STOPPING SIGHT DISTANCE.
10. ALL ADA SIDEWALK RAMPS SHALL BE CONSTRUCTED BY THE DEVELOPER WITH THE PUBLIC INFRASTRUCTURE.

UTILITIES:

- 1. Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
2. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
3. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
4. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
5. Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
6. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
7. Trench spoils shall be neatly placed onsite adjacent to the trench, and compacted to prevent saturation and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Materials may be wasted onsite at the direction of the Owner or his appointed representative.
8. All excavation is considered unclassified, unless noted otherwise. Unclassified excavation for utility trenching is subsidiary to the unit price provided for the pipe. Any quantity provided for rock excavation is estimated based on the best information provided to the Project Engineer. The Engineer has the authority to identify and define the physical characteristics to determine the classification. Unit price quantities for rock excavation will be paid at a trench width of the nominal pipe diameter of the installed main plus 18 inches. Contractor is required to dispose of excess rock from their trenches by disposing it in areas as specified by the Project Engineer.

Sheet List Table with 2 columns: Sheet Number and Sheet Title. Lists sheets 1 through 20 including COVER SHEET, GENERAL LAYOUT, MASTER DRAINAGE PLAN-GRADING PLAN, SWALE GRADING PLAN, SE CRONIN ST PLAN AND PROFILE, SE SILO ST PLAN AND PROFILE, SE WINDBREAK DR (WEST) AND ARBORETUM DR PLAN AND PROFILE, INTERSECTION DETAILS, MASTER DRAINAGE PLAN-DRAINAGE AREA MAP, MASTER DRAINAGE PLAN-DRAINAGE CALCULATIONS, STORM PLAN, STORM PROFILE 1, STORM PROFILE 2, DETENTION BASIN DESIGN, STREET DETAILS 1, STREET DETAILS 2, STORM DETAILS, STORM DETAILS 2, STREET SIGN PLAN, and SIGN DETAILS.

PREPARED BY:



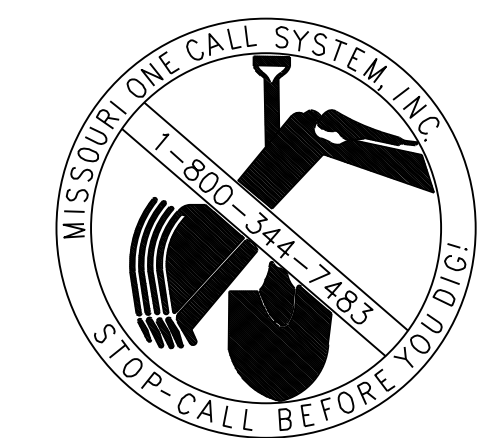
4/21/2022
SCHLAGEL & ASSOCIATES, P.A.

APPROVED BY:

CITY ENGINEER DATE
APPROVED FOR ONE YEAR FROM THIS DATE

OWNER/DEVELOPER:

CLAYTON PROPERTIES GROUP INC., DBA SUMMIT HOMES
BRADLEY KEMPF
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
p (816) 246-6700
BRADLEY@SUMMITHOMESKC.COM



MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSOM ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

SUMMARY OF QUANTITIES table with columns: ITEM, QUANTITY, UNITS. Lists items such as CLEARING AND GRUBBING, GRADING, ASPHALT PAVEMENT, CURB AND GUTTER, SIDEWALK, etc.

Table with 4 columns: Item description, Quantity, Units, and Notes. Lists items like FAIRCLOTH SKIMMER, END SECTION WITH TOE WALL, STONE RIPRAP, etc.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT
STREET, STORMWATER, AND MASTER DRAINAGE PLAN
SE BAILEY ROAD AND SE RANSOM ROAD
LEE'S SUMMIT, MISSOURI

Table with columns: REVISION DATE, DRAWN BY, CHECKED BY, DATE PREPARED, PROJ. NUMBER. Shows revision history and project details.

COVER SHEET
SHEET
1



**BASIS OF BEARINGS:**  
 MISSOURI STATE PLANE COORDINATE SYSTEM  
 (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**  
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 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

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PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

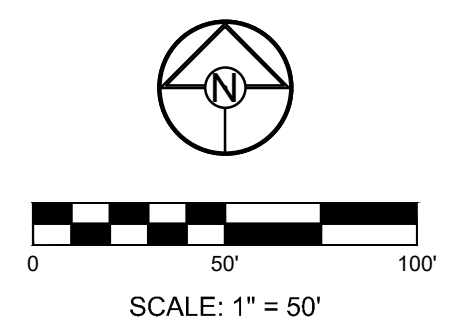
**CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER DRAINAGE  
 PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEES SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
02/03/2022	PER CITY COMMENTS DATED 01/10/2022
04/20/2022	PER CITY COMMENTS DATED 02/28/2022

GENERAL LAYOUT

SHEET

2





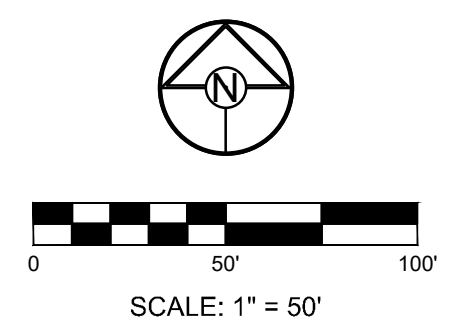
**BASIS OF BEARINGS:**  
MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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**GRADING LEGEND:**  
--- 1023 --- EXISTING CONTOUR  
— 1023 — PROPOSED CONTOUR

- NOTES:**
- MBOE = MINIMUM BUILDING OPENING ELEVATION FOR HOUSES ADJACENT TO ENGINEERED OVERFLOW SWALES SHALL BE MINIMUM 2 FEET ABOVE THE 100-YEAR WATER SURFACE ELEVATION.
  - EGL = ENERGY GRADE LINE (100-YEAR)
  - WSE = WATER SURFACE ELEVATION (100-YEAR)
  - ENGINEERED SWALES TO BE GRADED TO NORMAL DEPTH OF FLOW (WATER SURFACE ELEVATION) OR 1.0 FT, WHICHEVER IS GREATER. MINIMUM SLOPE OF ENGINEERED SWALES SHALL BE AS NOTED.
  - MINIMUM BUILDING OPENING ELEVATIONS (MBOEs) ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM

LOT TYPE TABLE		
LOT NUMBER	BASEMENT TYPE	MBOE
1	STANDARD	
2	DAYLIGHT	
3	DAYLIGHT	
4	DAYLIGHT	
5	WALKOUT	
6	WALKOUT	
7	WALKOUT	
8	WALKOUT	
9	DAYLIGHT	
10	STANDARD	1012.00
11	STANDARD	1014.00
12	STANDARD	1014.00
13	STANDARD	1015.00
14	STANDARD	1015.00
15	STANDARD	1012.00
16	STANDARD	1012.00
17	STANDARD	1012.00
18	STANDARD	1012.00
19	DAYLIGHT	1012.00
20	DAYLIGHT	1014.00
21	DAYLIGHT	1014.00
22	DAYLIGHT	1014.00
23	DAYLIGHT	
24	DAYLIGHT	
25	STANDARD	1018.00
26	STANDARD	1019.00
27	STANDARD	
28	STANDARD	
29	STANDARD	
30	STANDARD	1019.00
31	STANDARD	1018.00
32	STANDARD	
33	STANDARD	
34	STANDARD	
35	STANDARD	
36	STANDARD	
37	STANDARD	



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PREPARED BY:  
  
4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER DRAINAGE  
PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEES SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
02/03/2022	PER CITY COMMENTS DATED 01/10/2022
04/20/2022	PER CITY COMMENTS DATED 02/28/2022

DRAWN BY: JRJ	CHECKED BY: JLL	DATE PREPARED: 1/22/2021	PROJ. NUMBER: 21-135
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**MASTER DRAINAGE PLAN-GRADING PLAN**

SHEET

# 3

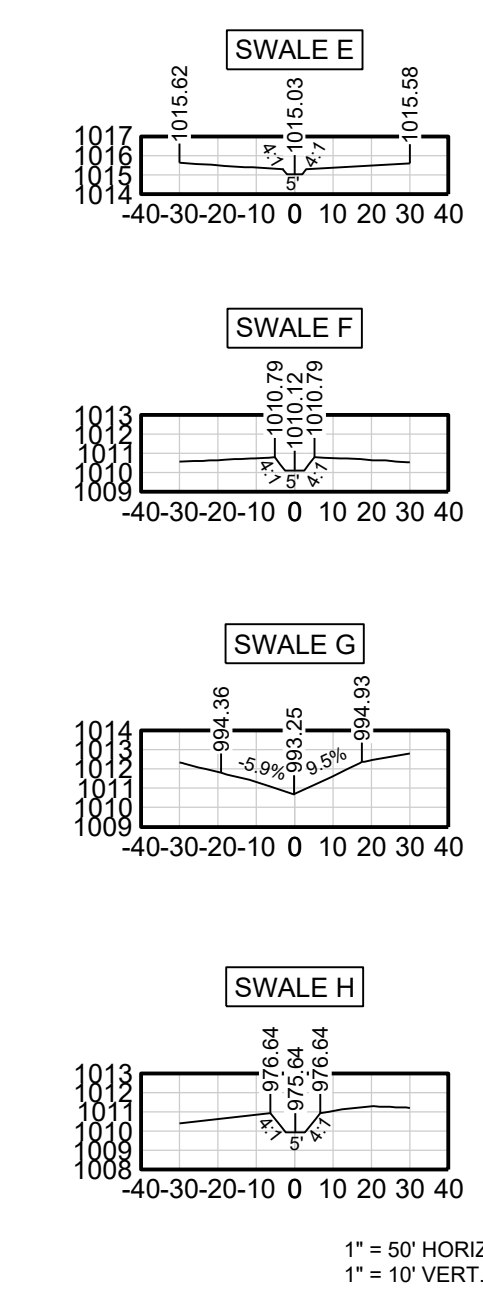
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**BASIS OF BEARINGS:**  
MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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**GRADING LEGEND:**  
 - - - 1023 - - - EXISTING CONTOUR  
 ——— 1023 ——— PROPOSED CONTOUR  
 A A DENOTES OVERFLOW SWALE  
 ○ EL:000.00 DENOTES FINISHED GRADE ELEVATION  
 ○ EL:000.00 (EX.) DENOTES EXISTING GRADE ELEVATION  
 ● HP 000.00 DENOTES LOT HIGH POINT ELEVATION



- NOTES:**
- MBOE = MINIMUM BUILDING OPENING ELEVATION FOR HOUSES ADJACENT TO ENGINEERED OVERFLOW SWALES SHALL BE MINIMUM 2 FEET ABOVE THE 100-YEAR WATER SURFACE ELEVATION.
  - EGL = ENERGY GRADE LINE (100-YEAR)
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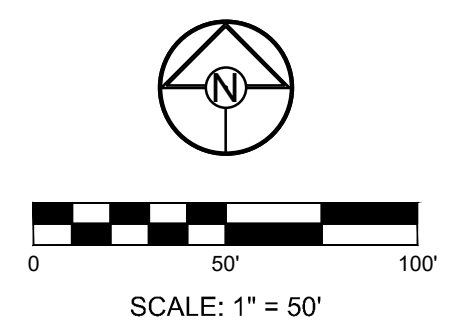
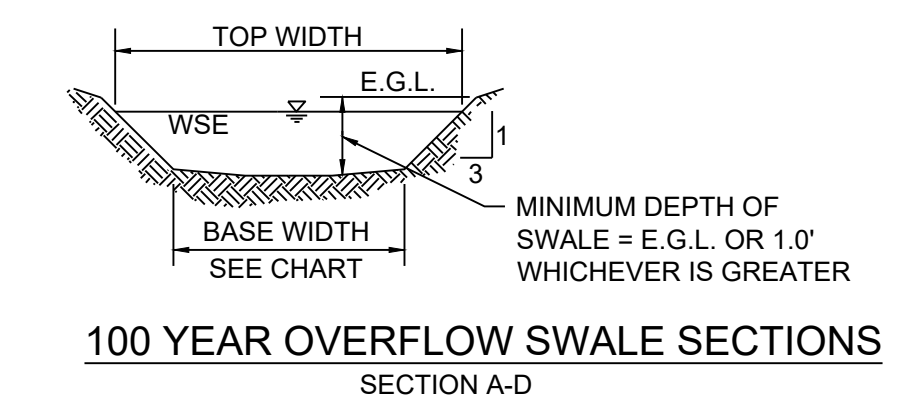
WEIR CALCULATIONS (Q = CLH<sup>3/2</sup>)

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	WEIR ELEVATION	WEIR COEFFICIENT	LENGTH (FT.)	HEAD REQUIRED (FT.)	WSE
1	0.60	5.11	2.91	2.20	1016.30	3.33	10	0.16	1016.46

100 YEAR OVERFLOW SWALES

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
A-A	0.76	6.47	3.69	2.78	2.2	5	4:1	4.00	0.50	2.78	0.12	0.62
B-B	3.21	27.33	15.57	11.76	2.0	5	4:1	8.84	0.48	3.54	0.19	0.67
C-C	3.56	30.31	17.27	13.04	2.4	0	4:1	6.96	0.87	4.31	0.29	1.16
D-D	8.77	74.67	42.54	32.12	5.3	5	4:1	10.04	0.63	6.78	0.71	1.34

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot I \cdot A$   
 $K_{10} = 1.0$   $K_{100} = 1.25$   $C = 0.66$   $I =$  INTENSITY  
 DESIGN OVERFLOW =  $Q_{OVERFLOW} = Q_{100} \cdot Q_{10}$   
 MANNINGS "n" = 0.030 FOR SWALES



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PREPARED BY:

4/21/2022

CORNERSTONE AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN

SE BAILEY ROAD AND SE RANSON ROAD  
LEES SUMMIT, MISSOURI

REVISION DATE DESCRIPTION

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DRAWN BY: JRJ

CHECKED BY: JLL

DATE PREPARED: 1/22/2021

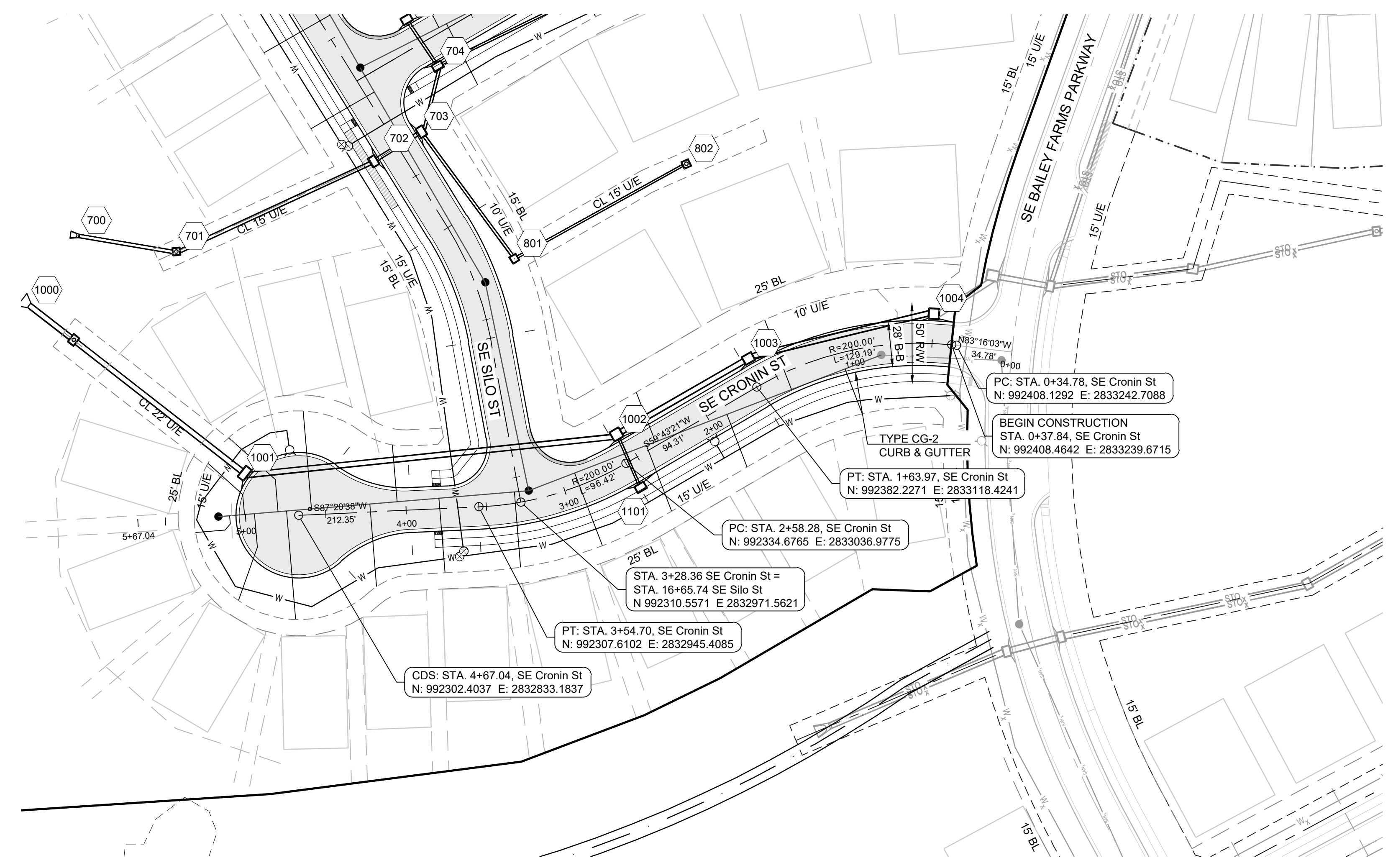
PROJ. NUMBER: 21-138

SWALE GRADING PLAN

SHEET

4

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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

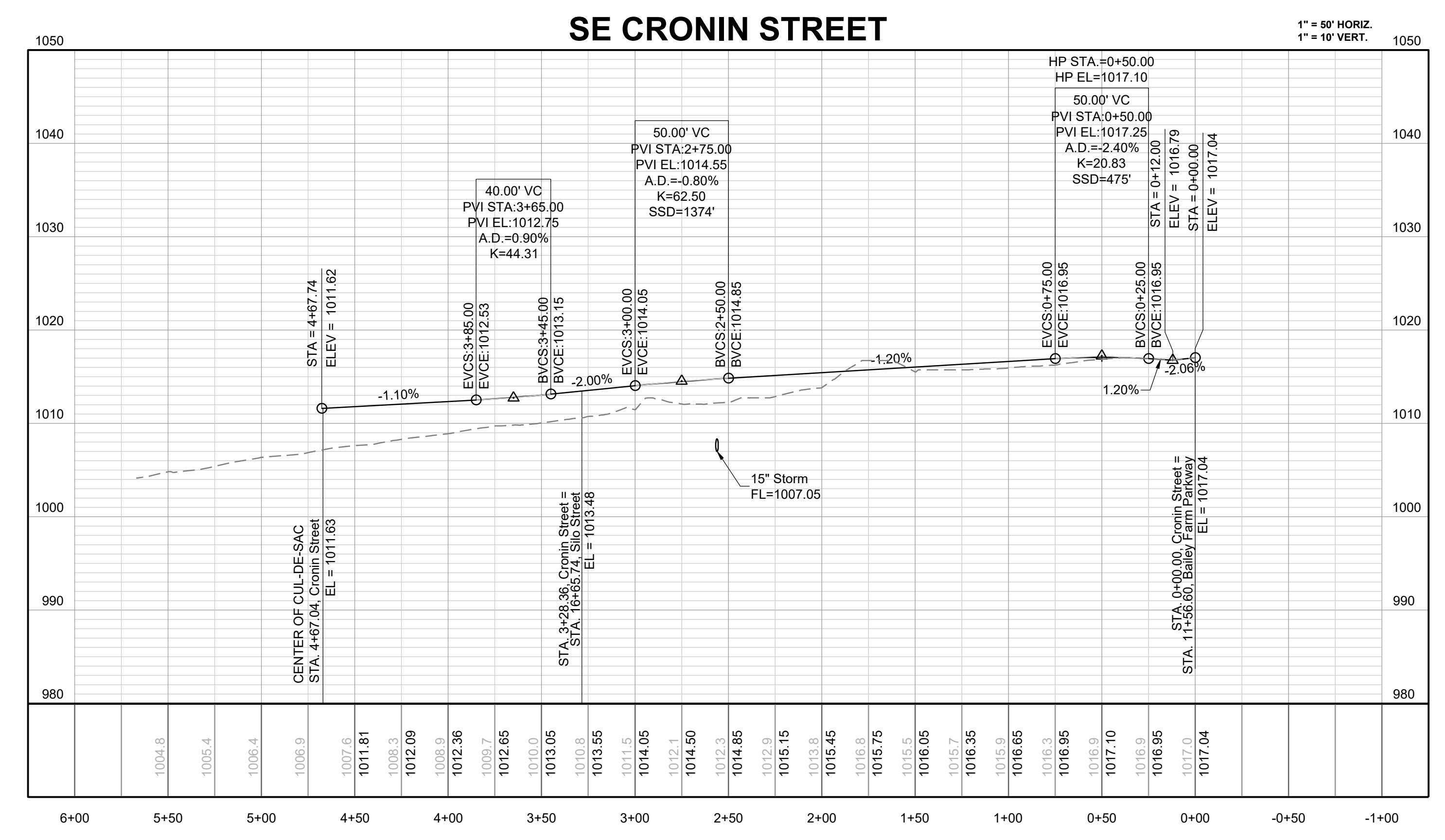
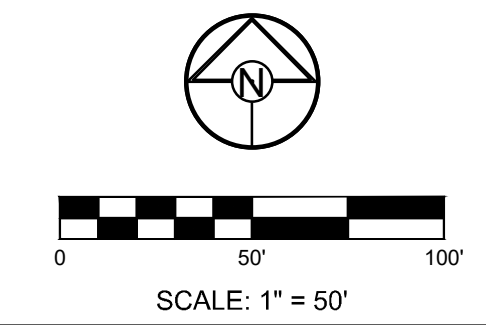
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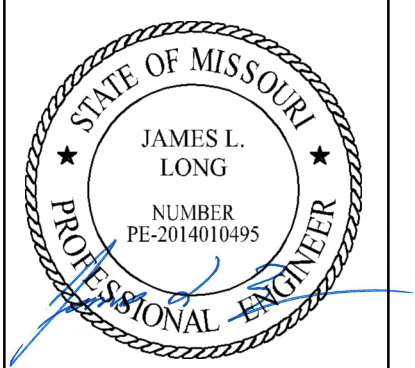
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 #E200208989-F #MCA201005237 #LS202008989-F

PREPARED BY:



4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

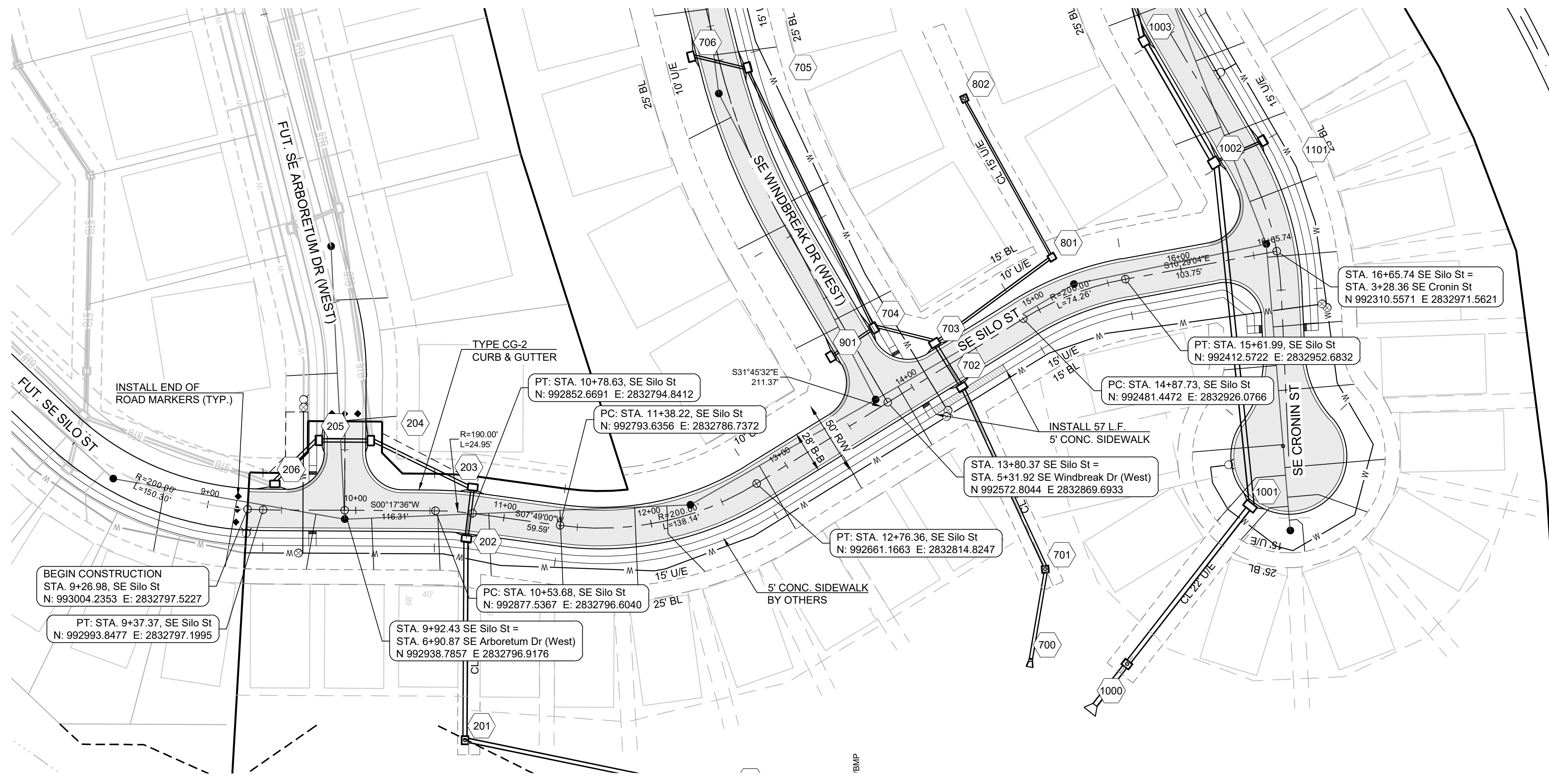
CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER DRAINAGE  
 PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
02/03/2022	PER CITY COMMENTS DATED 01/10/2022
04/20/2022	PER CITY COMMENTS DATED 02/28/2022

SE CRONIN ST  
 PLAN AND  
 PROFILE

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**5**

I:\PROJECTS\2021\121-136\3.0 Design\3.0 DWG Plans\6.0 SS\21-136-SS-PP.dwg



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM CRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

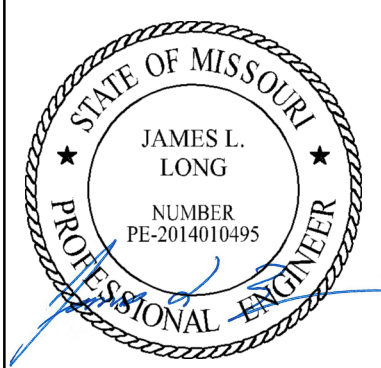
**NOTES:**

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

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 #E2020028890JF #KAC201005237 #LS202008956-F

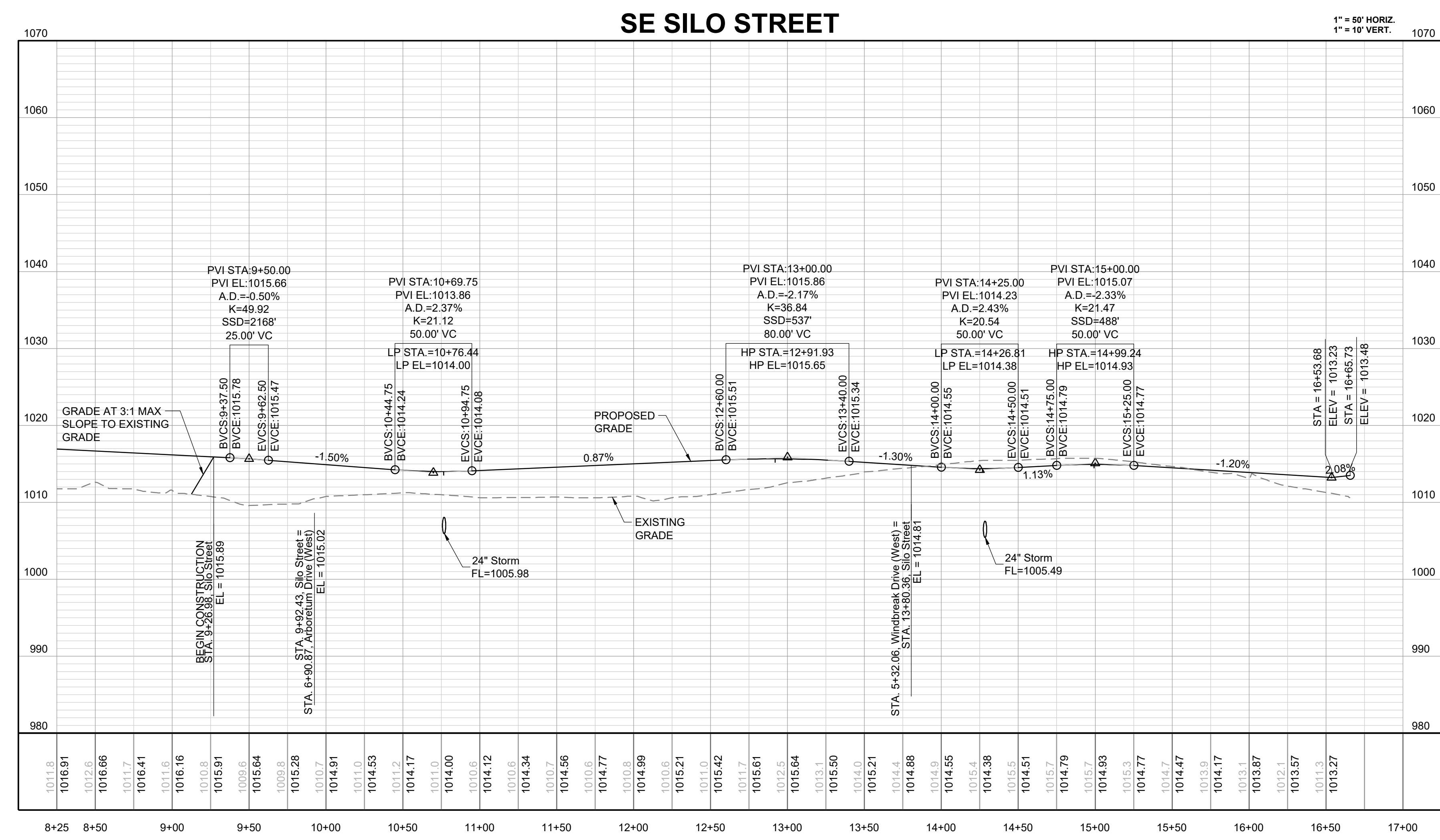
PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
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4/20/2022	PER CITY COMMENTS DATED 02/28/2022

DRAWN BY:	JRU
CHECKED BY:	JLL
DATE PREPARED:	1/20/2021
PROJ. NUMBER:	21-136

SE SILO ST PLAN AND PROFILE

SHEET 6

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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ELEV. = 1046.25

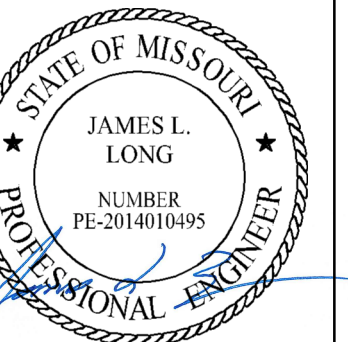
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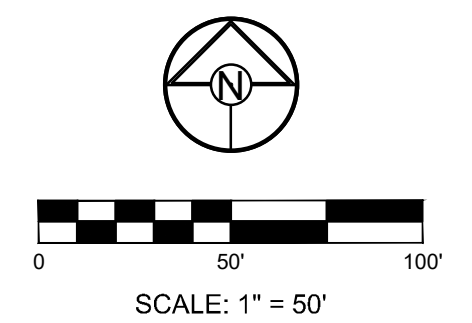
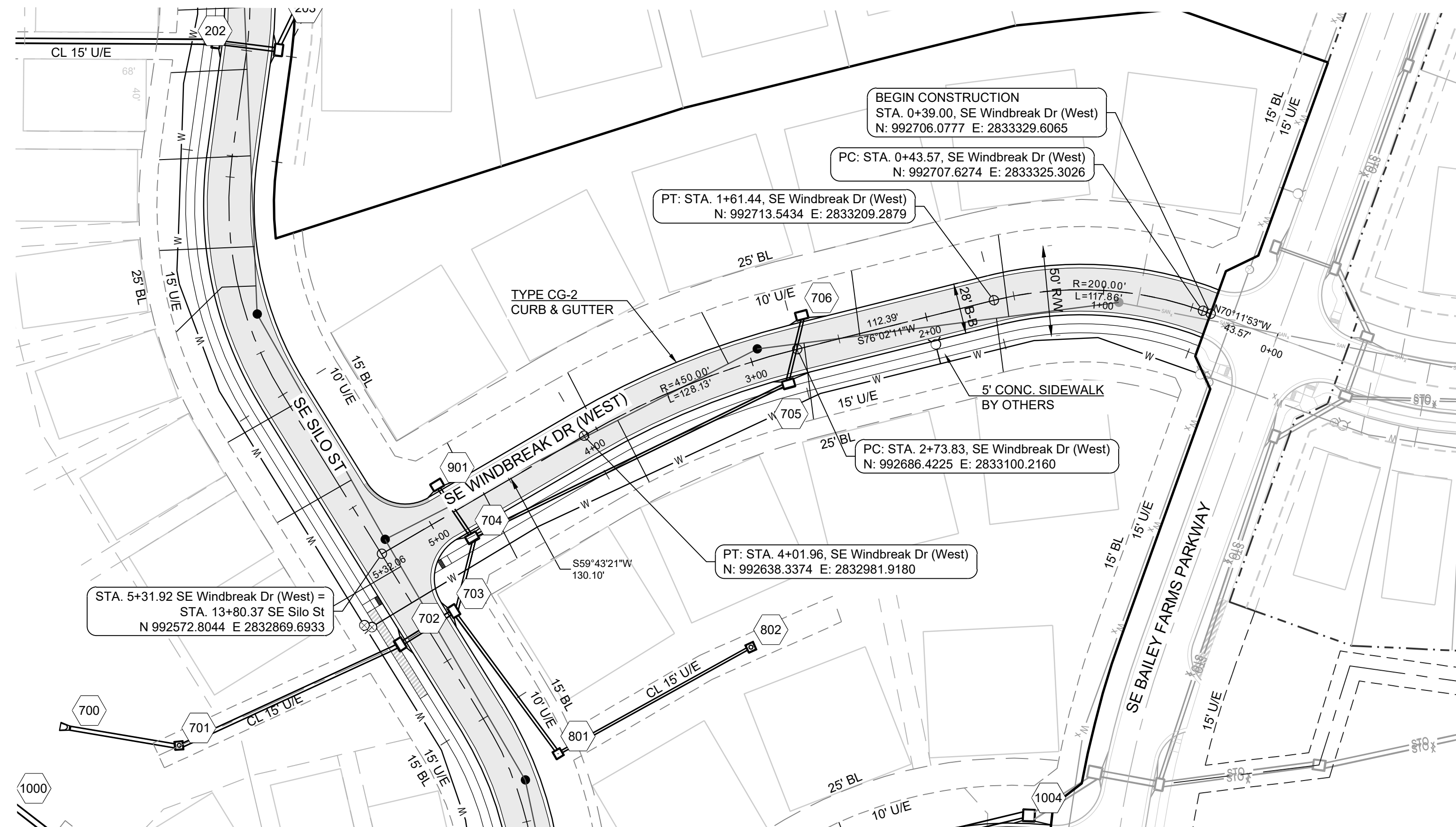
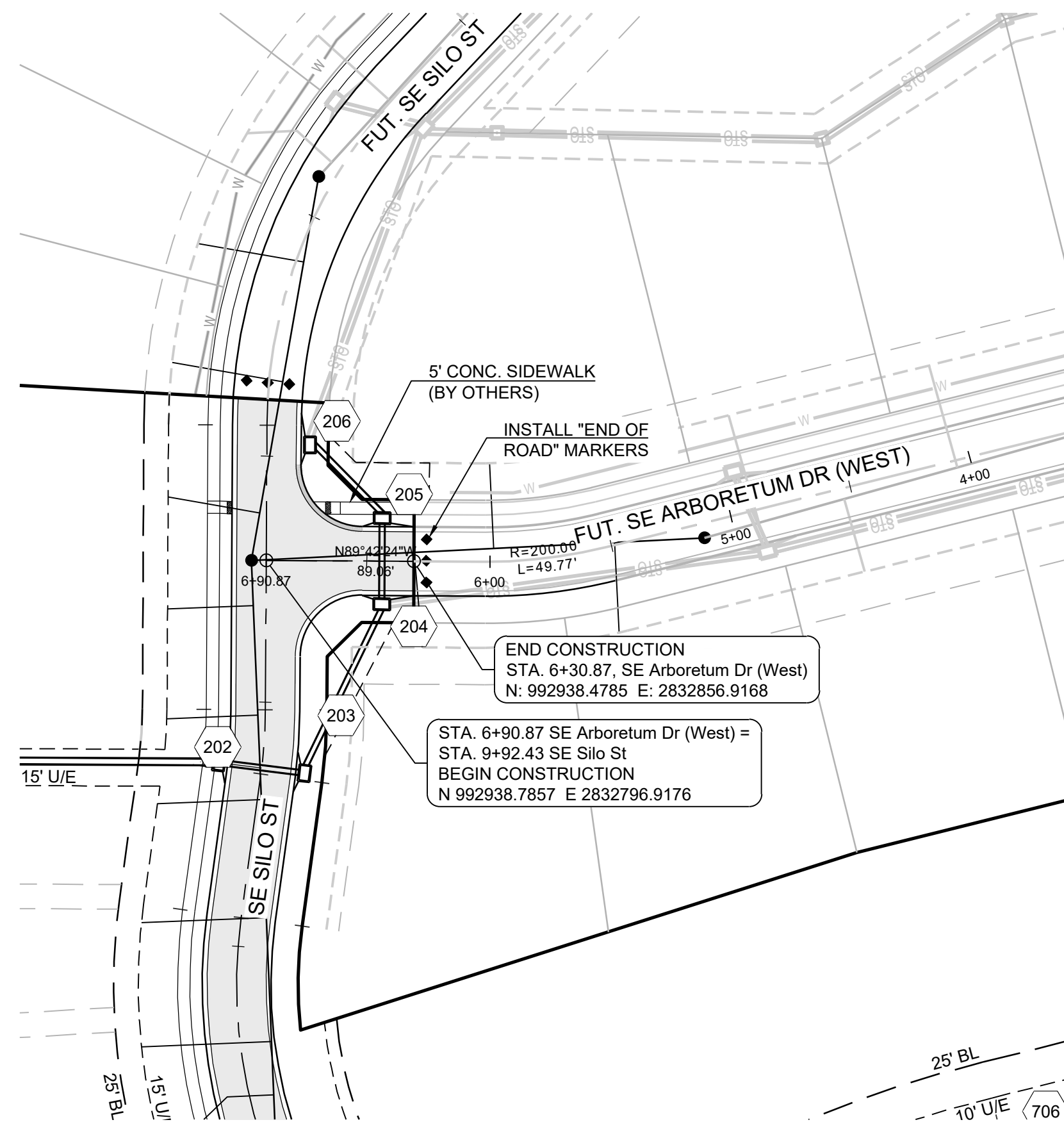
PREPARED BY:



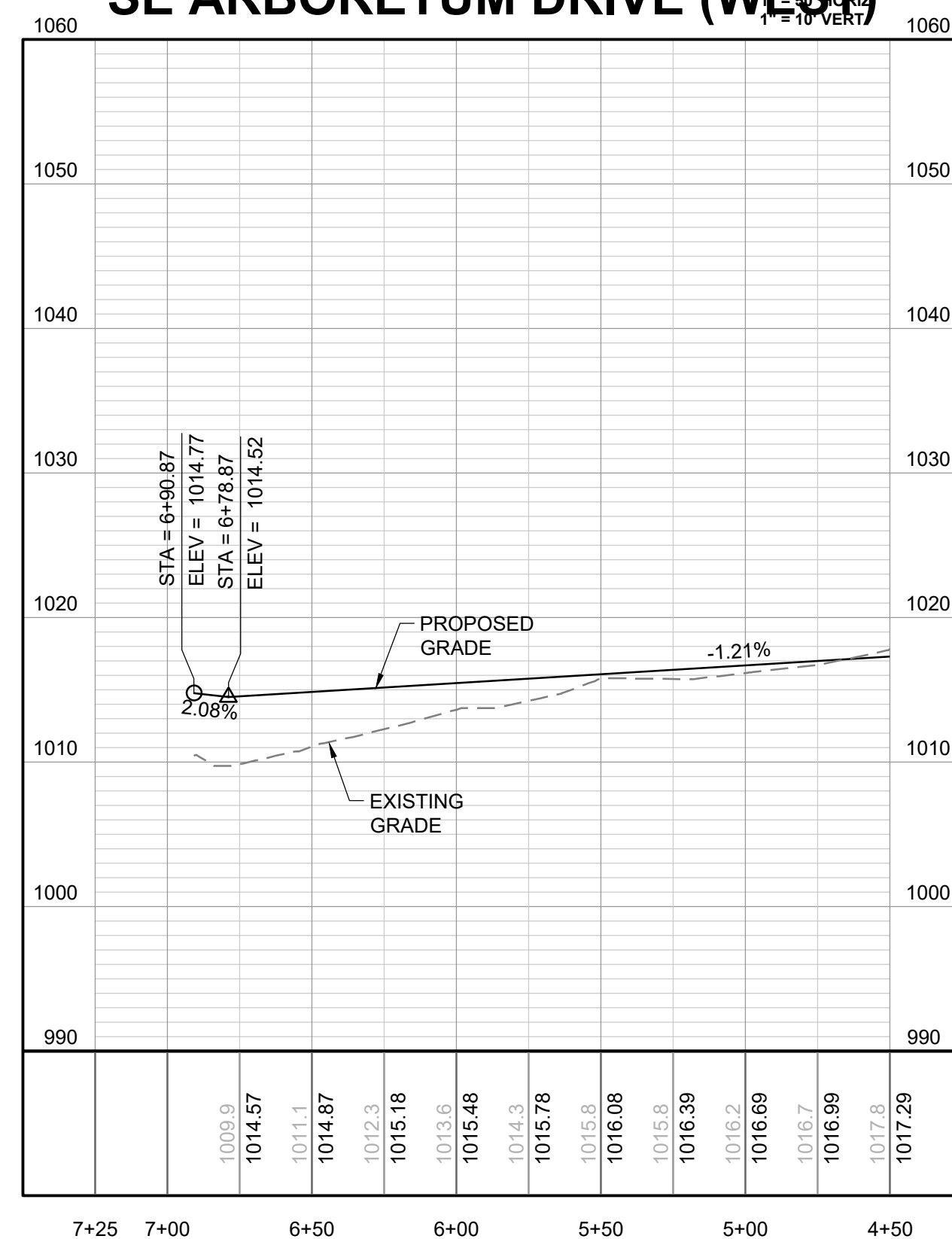
4/21/2022

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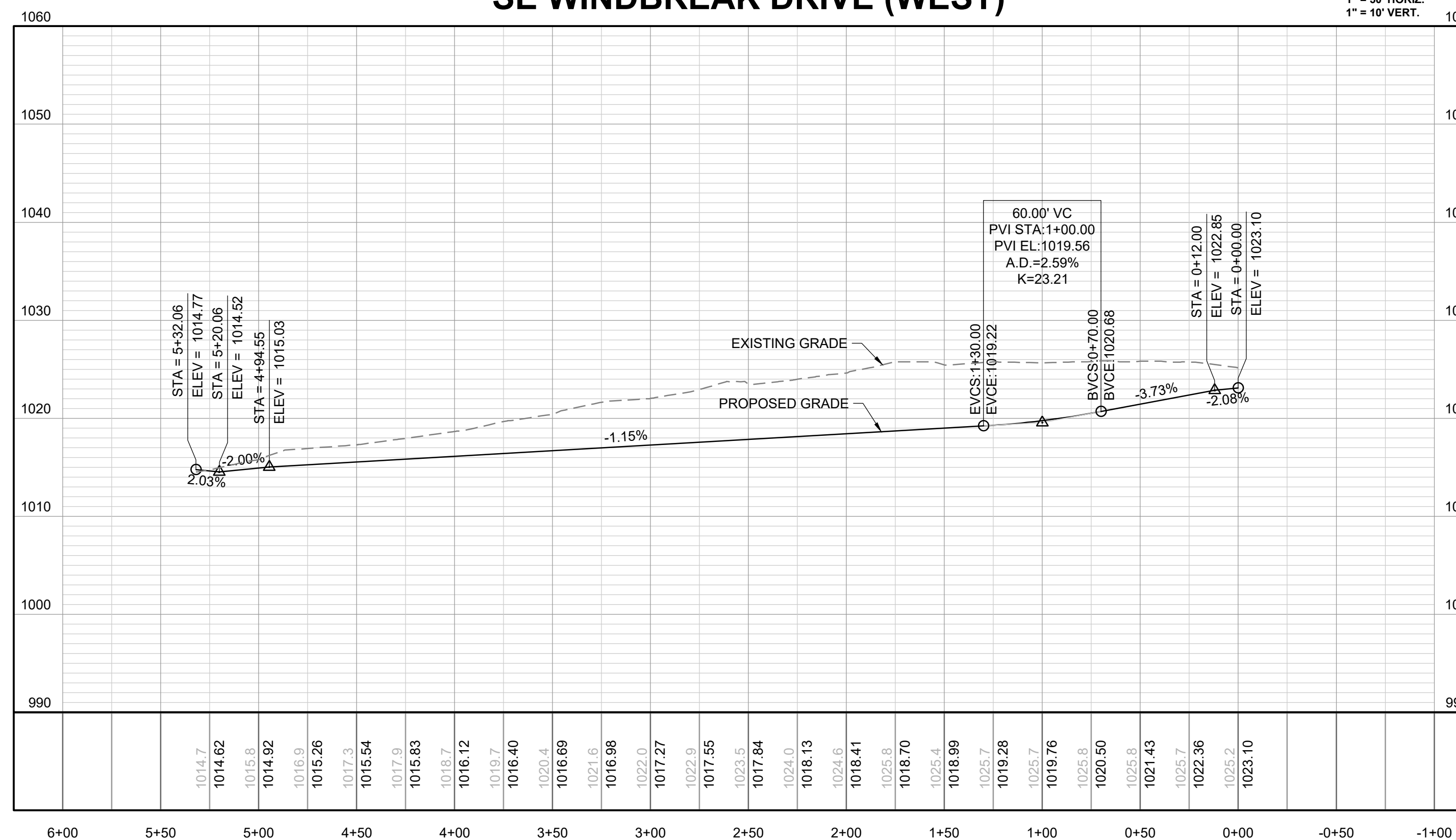
CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI



**SE ARBORETUM DRIVE (WEST)**

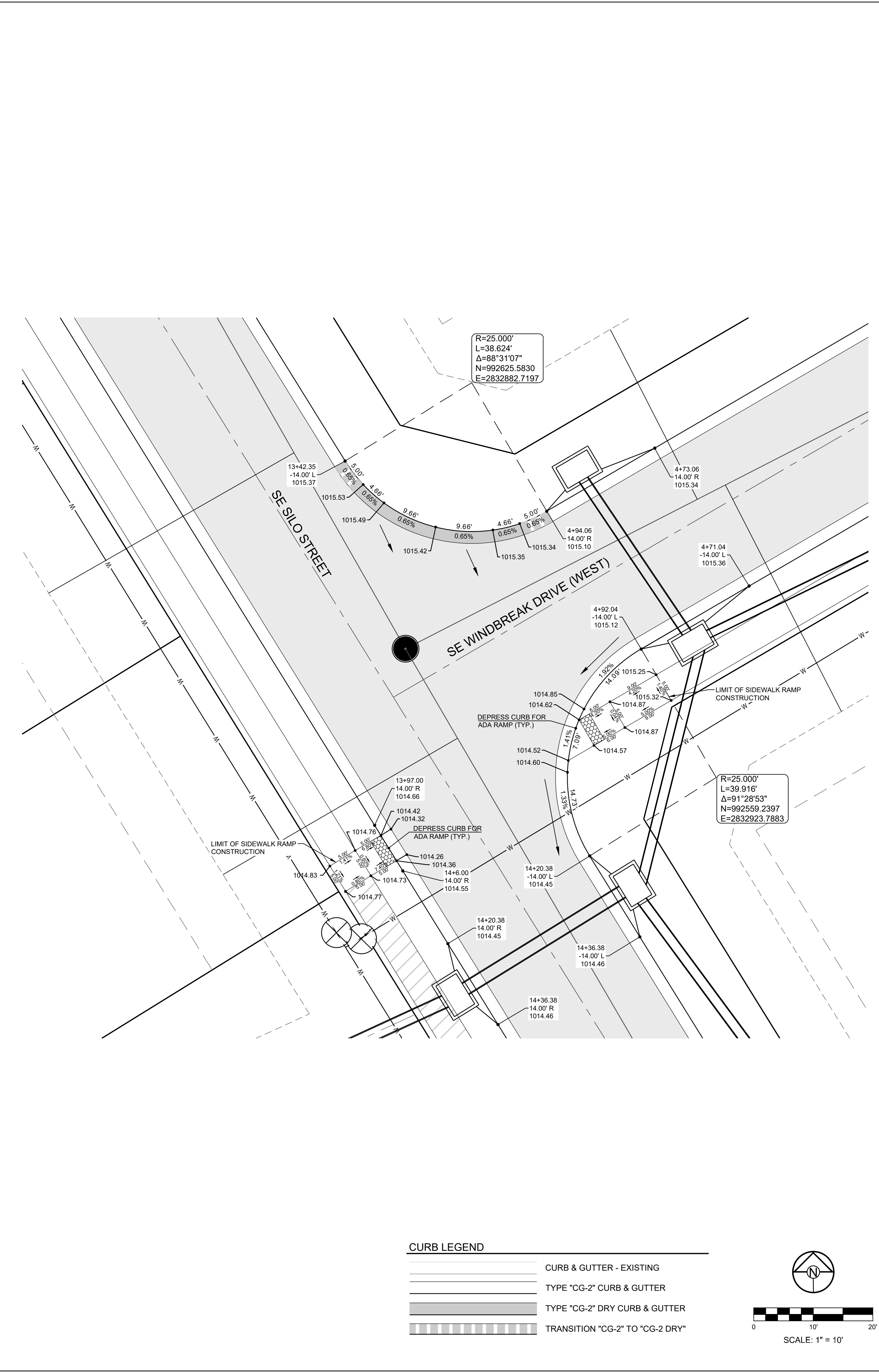
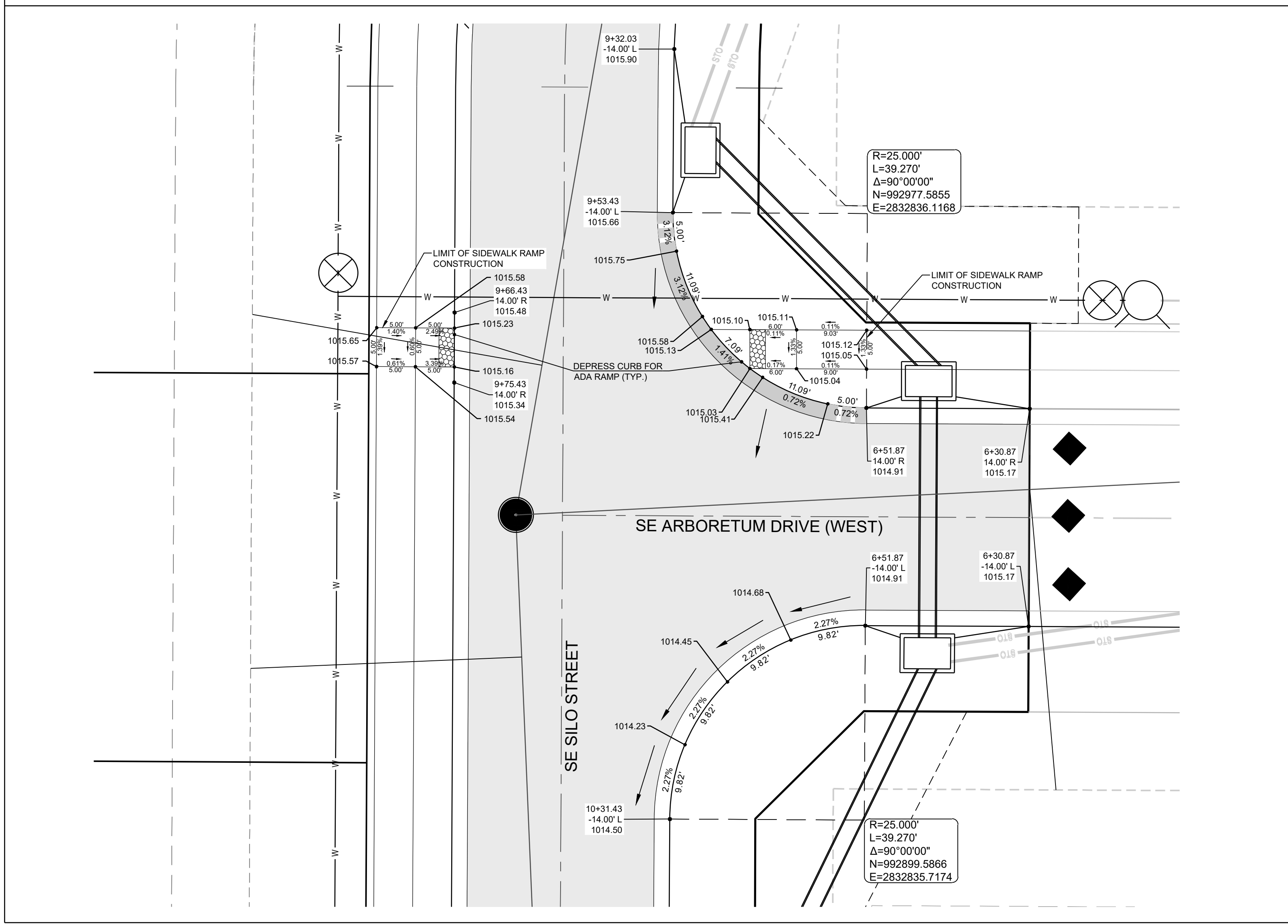
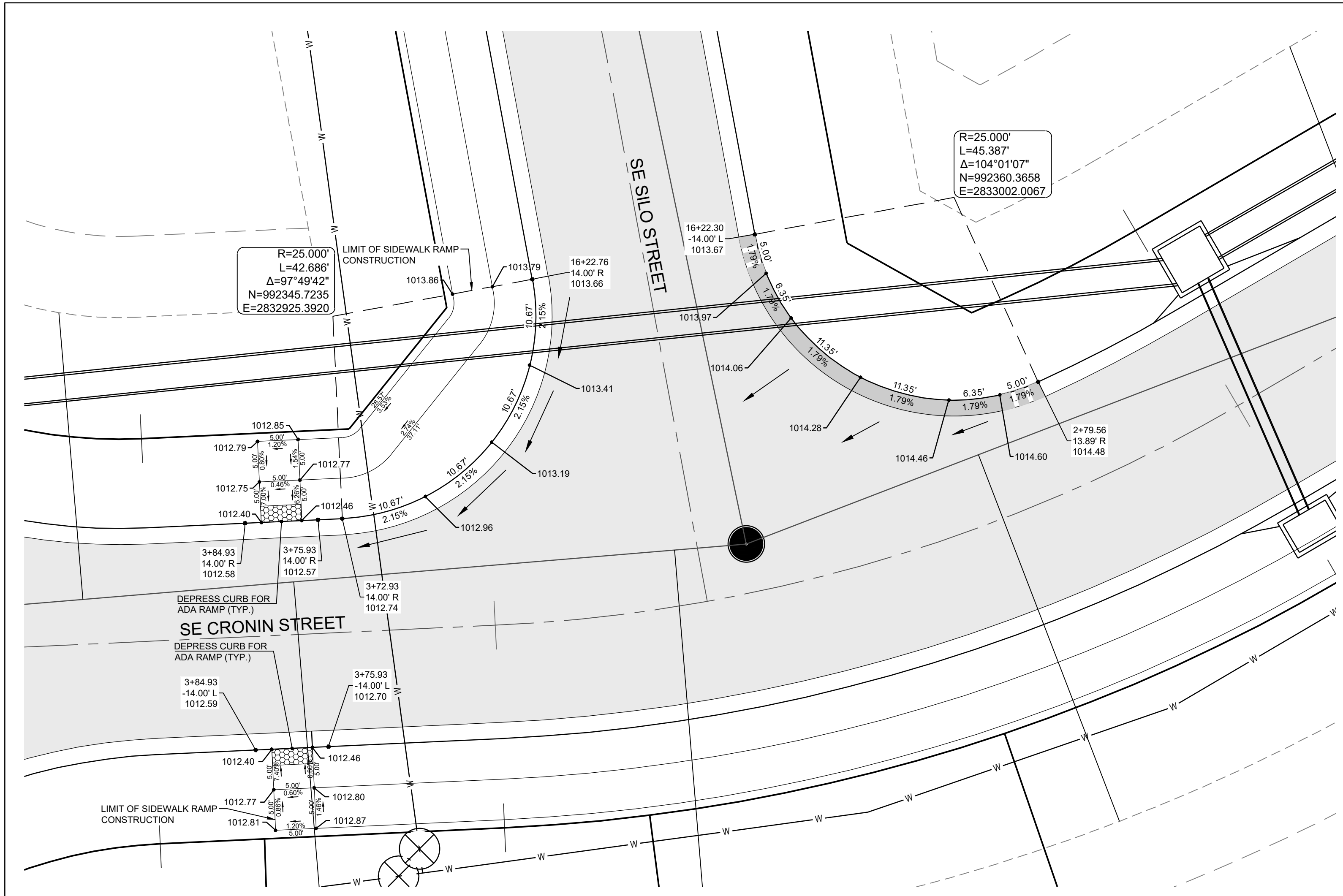


**SE WINDBREAK DRIVE (WEST)**



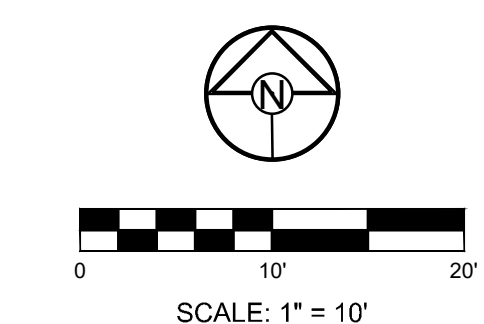
REVISION DATE	DESCRIPTION
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SE WINDBREAK DR (WEST) AND ARBORETUM DR PLAN AND PROFILE SHEET



**CURB LEGEND**

[Symbol]	CURB & GUTTER - EXISTING
[Symbol]	TYPE "CG-2" CURB & GUTTER
[Symbol]	TYPE "CG-2" DRY CURB & GUTTER
[Symbol]	TRANSITION "CG-2" TO "CG-2 DRY"



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Missouri State Certificate of Authority  
#E2002003600F #LAC201005237 #LS200200889F

PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
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INTERSECTION DETAILS

SHEET  
**8**

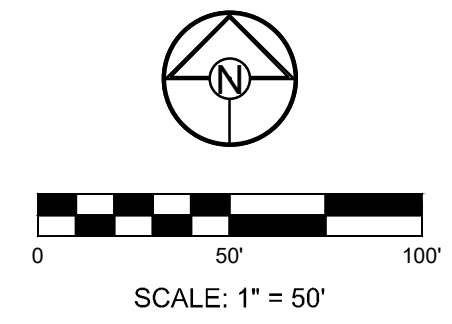




**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
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PREPARED BY:  
  
JAMES L. LONG  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER  
4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.

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04/20/2022	PER CITY COMMENTS DATED 02/28/2022

DRAWN BY: JRJ  
CHECKED BY: JLL  
DATE PREPARED: 12/20/2021  
PROJ. NUMBER: 21-138

MASTER DRAINAGE  
PLAN-DRAINAGE  
AREA MAP

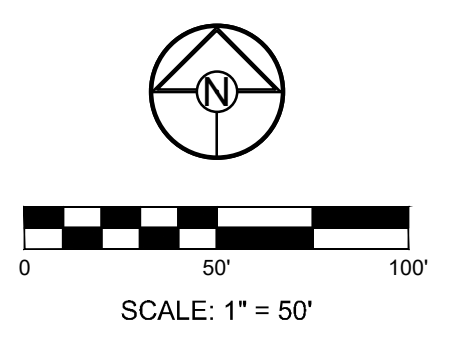


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Structure	Notes
200	STA 0+00.00, LINE 200 INSTALL 30" HDPE FLARED END SECTION W/ TOEWALL AND 7 CU. YD (16'X8'X2.5') STONE RIP-RAP USING A MIN. 100# (D50=15") STONE. PLACE FILTER FABRIC PRIOR TO INSTALLATION OF RIP-RAP. N 992676.4508 E 2832604.7511
201	STA 1+84.94, LINE 200 INSTALL 5 X 4 JUNCTION BOX N 992857.6387 E 2832641.8233
202	STA 3+20.84, LINE 200 INSTALL 6 X 4 CURB INLET N 992856.6949 E 2832777.7216
203	STA 3+55.88, LINE 200 INSTALL 6 X 4 CURB INLET N 992852.3684 E 2832812.4917
204	STA 4+31.37, LINE 200 INSTALL 6 X 4 CURB INLET N 992921.0453 E 2832843.8274
205	STA 4+66.37, LINE 200 INSTALL 6 X 4 CURB INLET N 992956.0449 E 2832844.0066
206	STA 5+08.11, LINE 200 INSTALL 6 X 4 CURB INLET N 992985.7268 E 2832814.6582
700	STA -0+00.00, LINE 700 INSTALL 24" HDPE FLARED END SECTION W/ TOEWALL AND 5 CU. YD (14'X6'X1.5') STONE RIP-RAP USING A MIN. 50# (D50=12") STONE. PLACE FILTER FABRIC PRIOR TO INSTALLATION OF RIP-RAP. N 992476.2527 E 2832696.4116
701	STA 0+61.50, LINE 700 INSTALL 4 X 4 JUNCTION BOX N 992466.5519 E 2832757.1471
702	STA 1+96.54, LINE 700 INSTALL 6 X 4 CURB INLET N 992522.6991 E 2832879.9587
703	STA 2+31.54, LINE 700 INSTALL 6 X 4 CURB INLET N 992541.1211 E 2832909.7182
704	STA 2+73.50, LINE 700 INSTALL 6 X 4 CURB INLET N 992581.8404 E 2832919.8570
705	STA 4+68.73, LINE 700 INSTALL 6 X 4 CURB INLET N 992667.1149 E 2833095.4758
706	STA 5+07.46, LINE 700 INSTALL 6 X 4 CURB INLET N 992705.1565 E 2833102.7289
801	STA 0+97.97, LINE 800 INSTALL 4 X 4 AREA INLET OPEN TO EAST N 992462.0478 E 2832967.5530

Structure	Notes
802	STA 2+20.13, LINE 800 INSTALL 4 X 4 AREA INLET OPEN TO EAST & WEST N 992521.0360 E 2833074.5302
901	STA 0+35.06, LINE 900 INSTALL 6 X 4 CURB INLET N 992611.0492 E 2832900.4685
1000	STA 0+00.00, LINE 1000 INSTALL 30" HDPE FLARED END SECTION W/ TOEWALL AND 12 CU. YD. (18'X9'X2) STONE RIP-RAP USING A MIN. 100# (D50=15") STONE. PLACE FILTER FABRIC PRIOR TO INSTALLATION OF RIP-RAP. N 992433.0590 E 2832665.5966
1001	STA 0+35.00, LINE 1000 INSTALL 5 X 5 JUNCTION BOX N 992411.5375 E 2832693.1978
1002	STA 1+70.00, LINE 1000 INSTALL 8 X 4 CURB INLET N 992328.5259 E 2832799.6593
1003	STA 4+02.81, LINE 1000 INSTALL 6 X 6 CURB INLET N 992352.7296 E 2833031.2069
1004	STA 4+97.47, LINE 1000 INSTALL 6 X 5 CURB INLET N 992399.9823 E 2833113.2254
1005	STA 6+16.30, LINE 1000 INSTALL 6 X 6 CURB INLET N 992427.8021 E 2833228.7610
1101	STA 0+36.19, LINE 1100 INSTALL 6 X 4 CURB INLET N 992319.7811 E 2833046.1733
3900	STA -0+00.00, LINE 3900 INSTALL 30" HDPE FLARED END SECTION W/ TOEWALL AND 7 CU. YD (16'X8'X2.5') STONE RIP-RAP USING A MIN. 200# (D50=24") STONE. PLACE FILTER FABRIC PRIOR TO INSTALLATION OF RIP-RAP. N 992087.6378 E 2832542.7072
3901	STA 0+89.50, LINE 3900 INSTALL 4 X 5 JUNCTION BOX N 992174.2309 E 2832565.3322



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PREPARED BY:

JAMES L. LONG  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER

4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

**CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN**

**SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI**

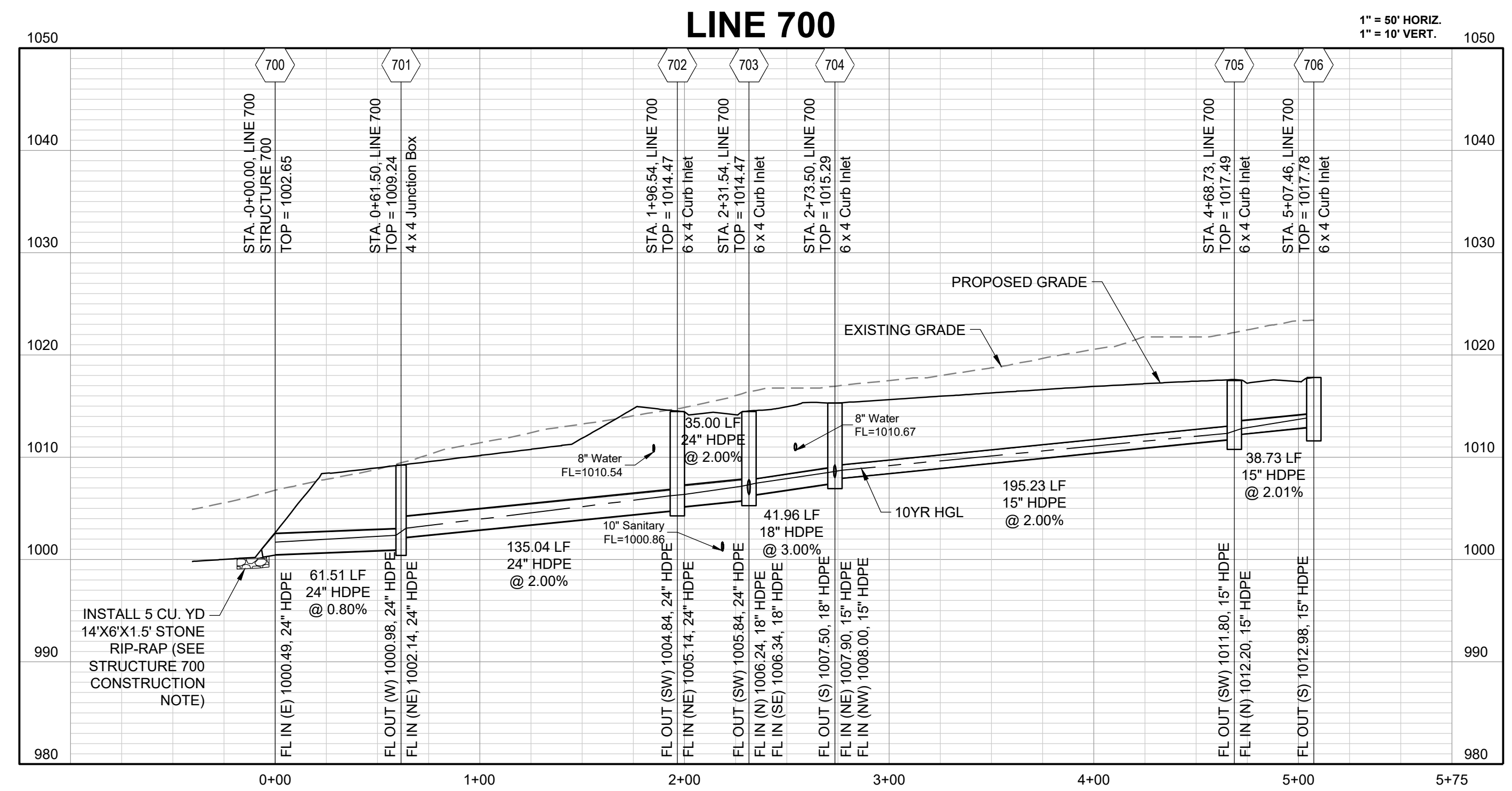
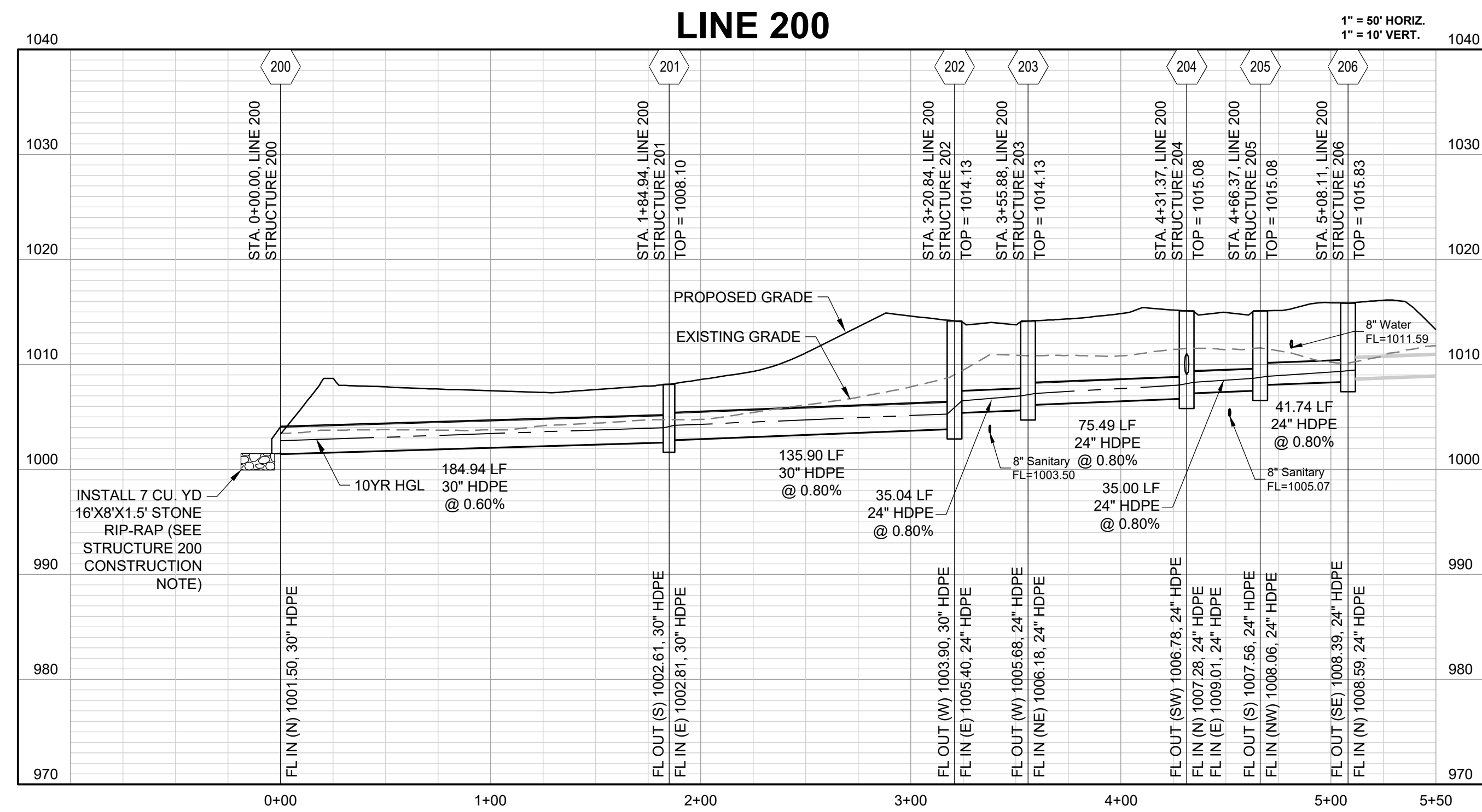
REVISION DATE	DESCRIPTION
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DRAWN BY: J.R.J.	CHECKED BY: J.L.L.	DATE PREPARED: 1/22/2021	PROJ. NUMBER: 21-139
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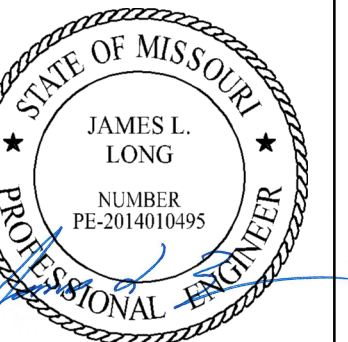
**STORM PLAN**

SHEET

**11**



PREPARED BY:



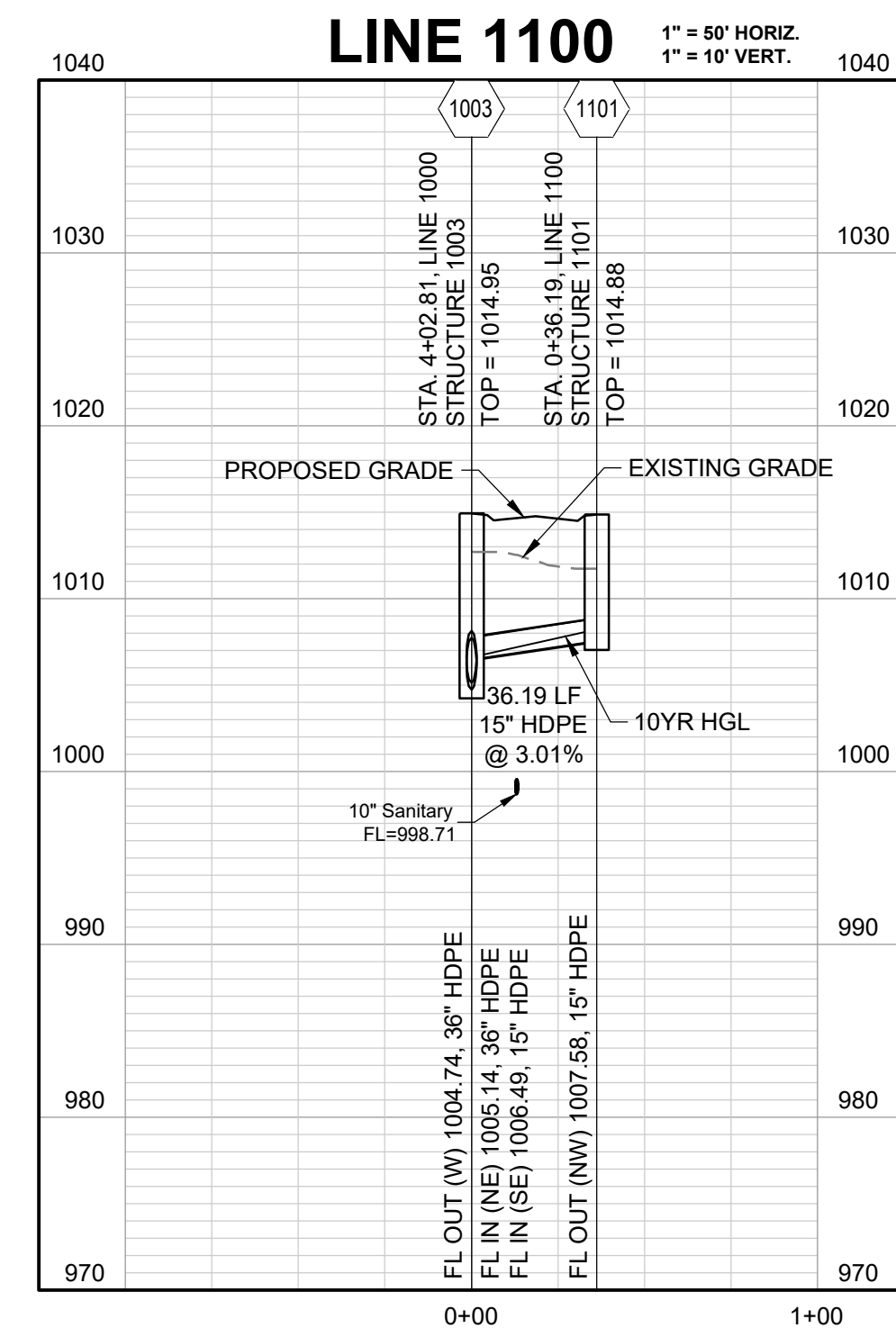
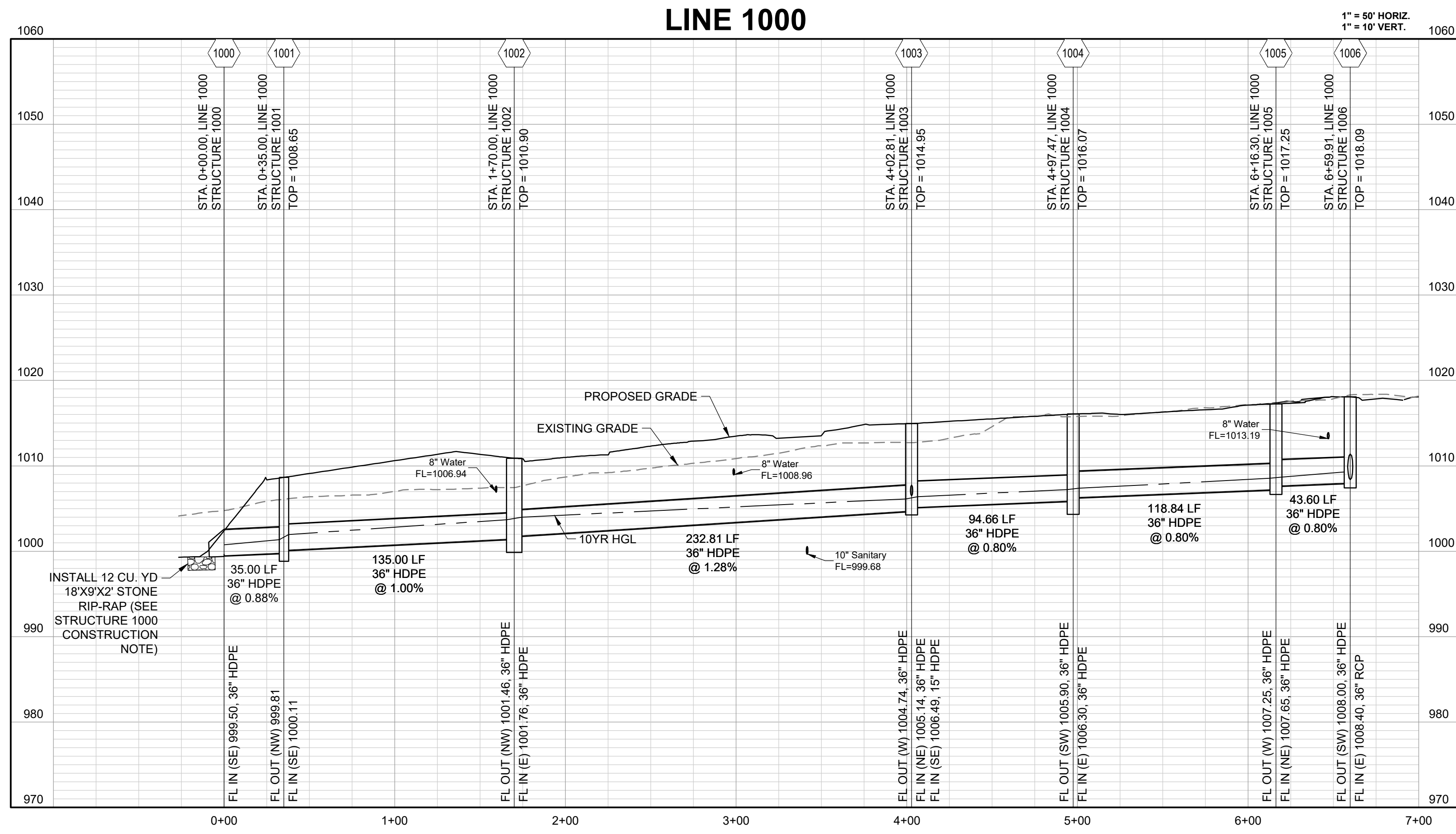
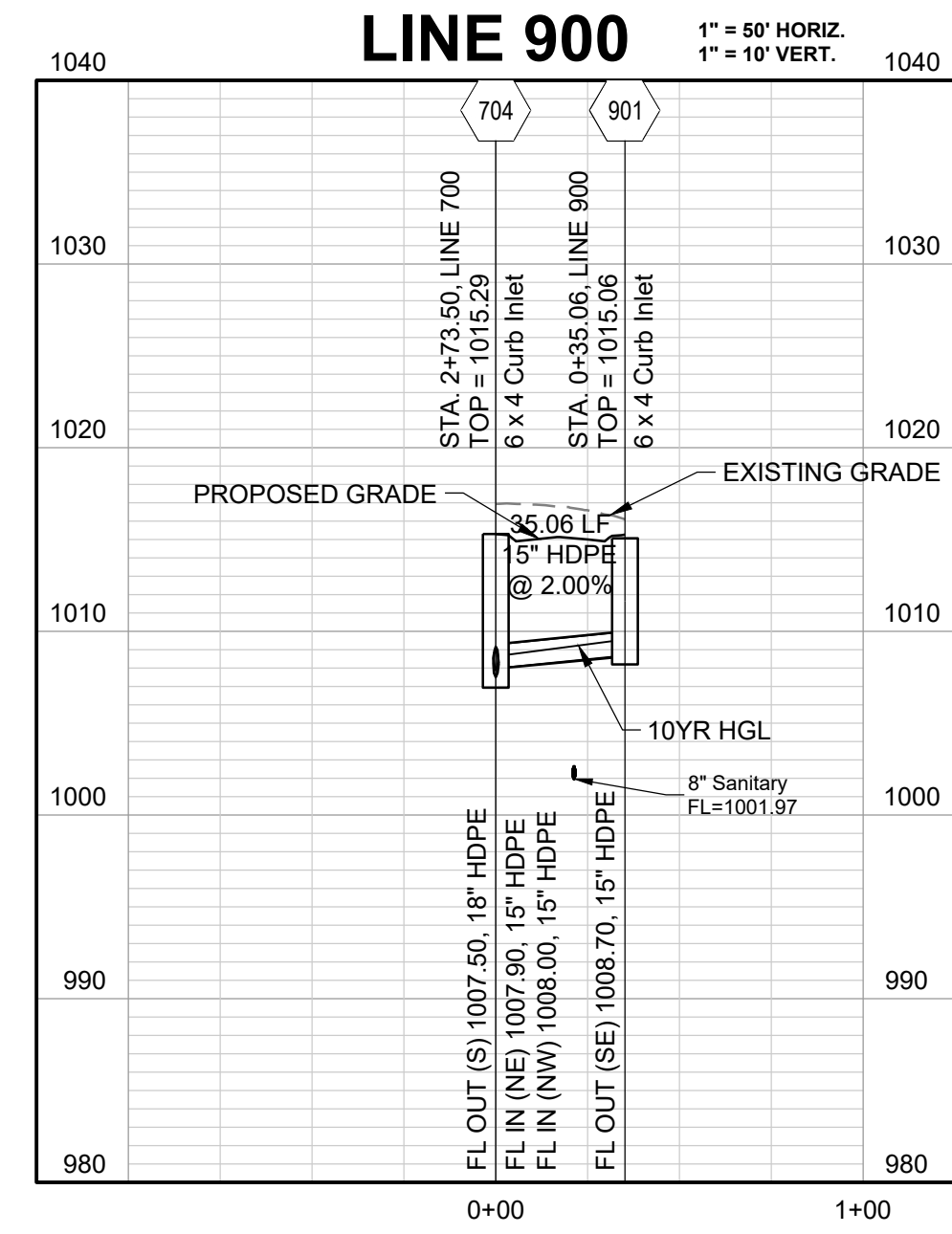
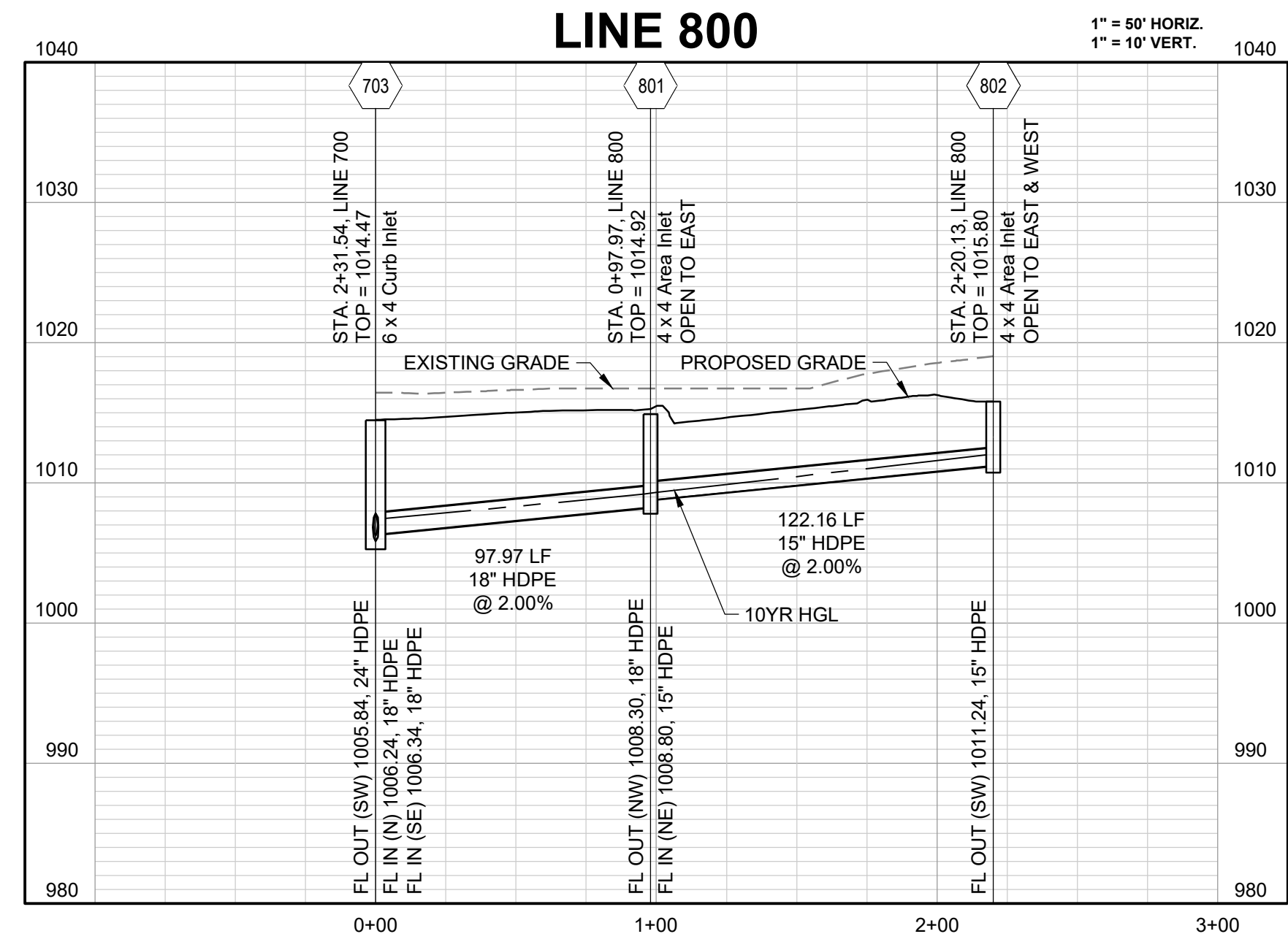
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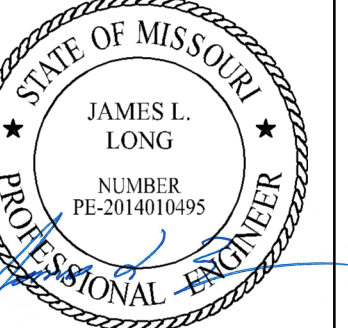
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STORM PROFILE  
 1



PREPARED BY:



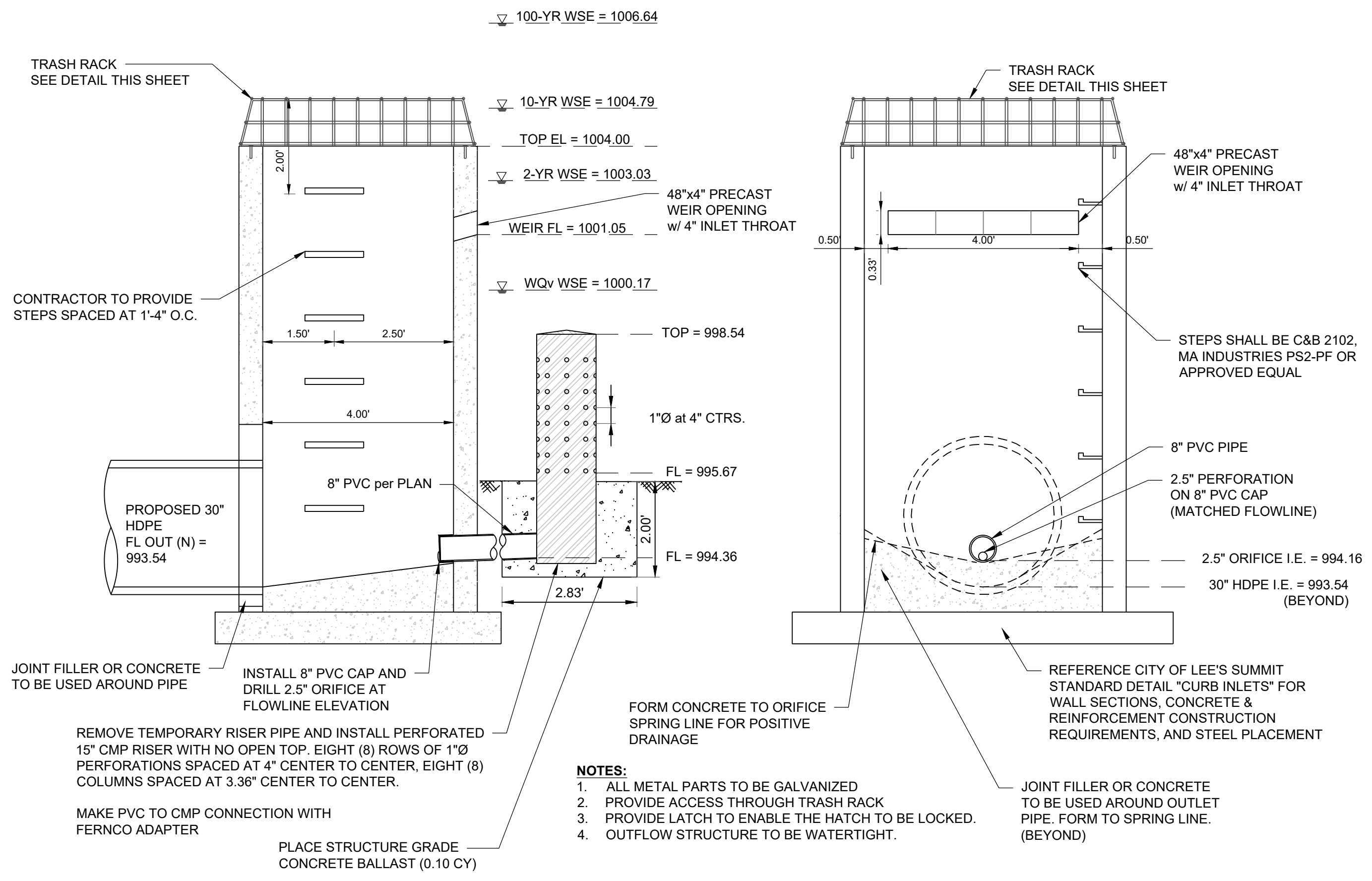
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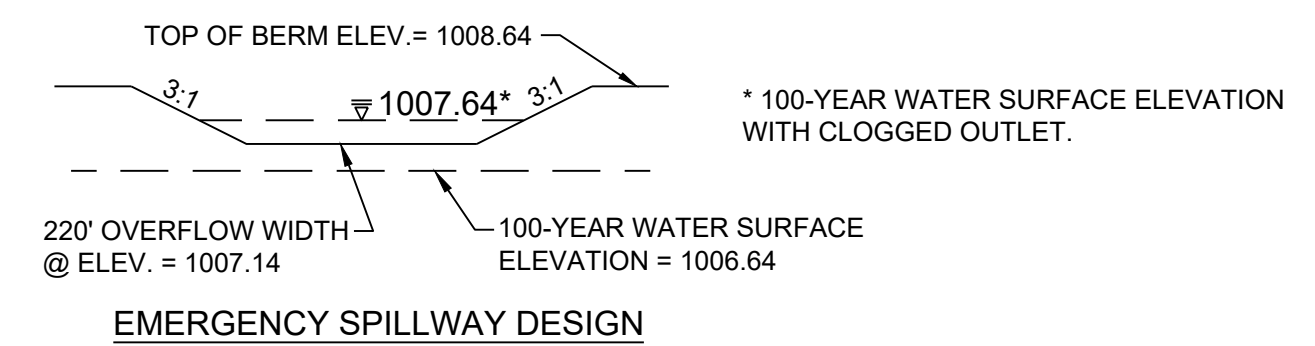
STORM PROFILE  
 2



## WATER QUALITY STRUCTURE 3901 (NOT TO SCALE)

**DETENTION STORAGE:**

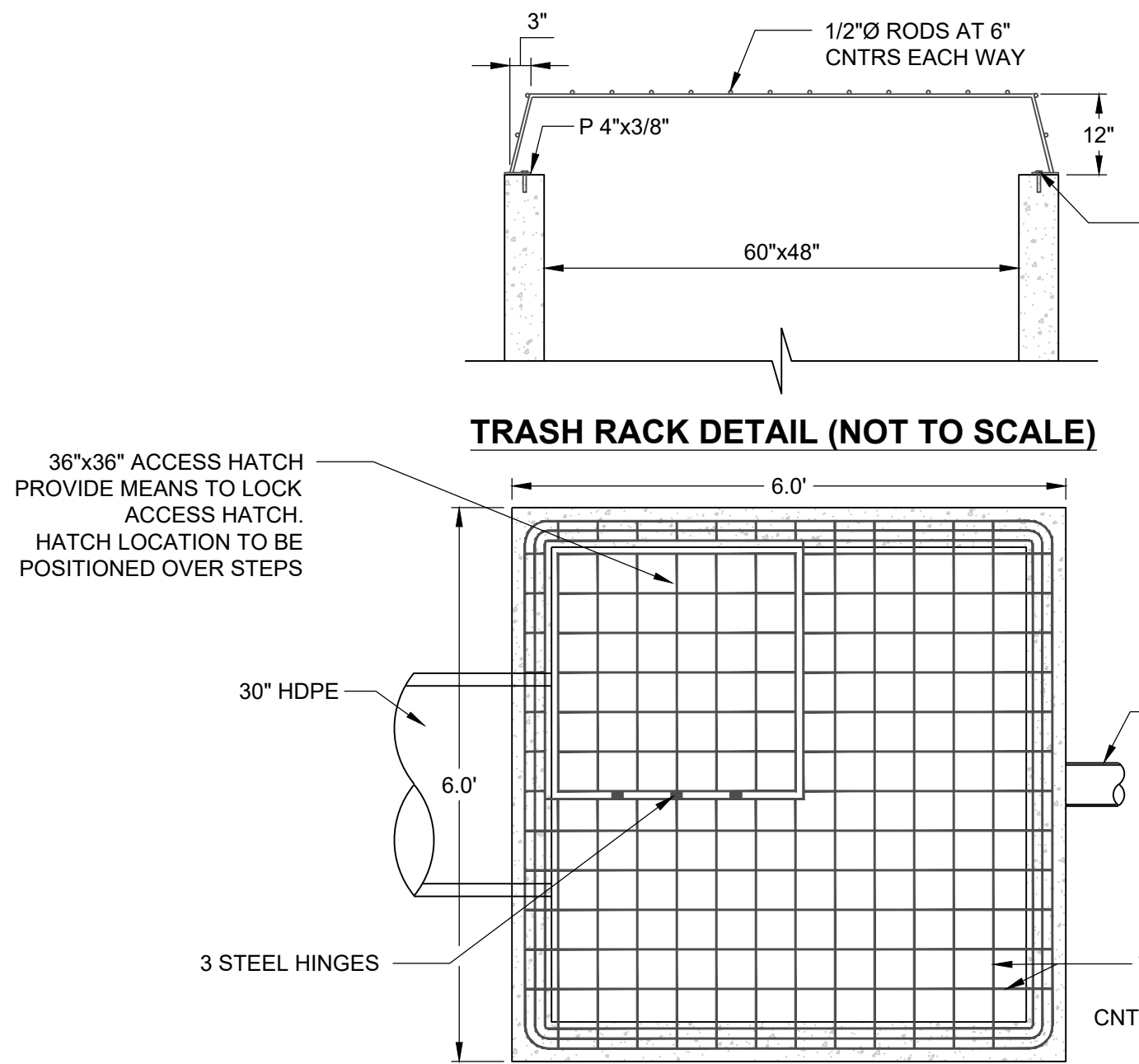
100 YEAR, 24 HR. RAINFALL - MAXIMUM WSE = (SEE FINAL STORMWATER MGMT. PLAN)	1006.64
EMERGENCY SPILLWAY FLOWLINE SET AT 0.5 FEET ABOVE MAX. WSE, SPILLWAY ELEV. =	1007.14
EMERGENCY SPILLWAY DESIGN: Q(100) = 260.19 CFS, Q = CLH <sup>3/2</sup> , C = 3.33, L = 220 FT., 260.19 CFS = 3.33 * 220 FT. * (H <sup>3/2</sup> ), H = 0.5 FT.	
WATER SURFACE ELEVATION THROUGH SPILLWAY =	1007.64
+ ONE (1) FOOT OF FREEBOARD =	1008.64
SET BASIN TOP AT	1008.64



**DETENTION BASIN STORAGE VOLUME**

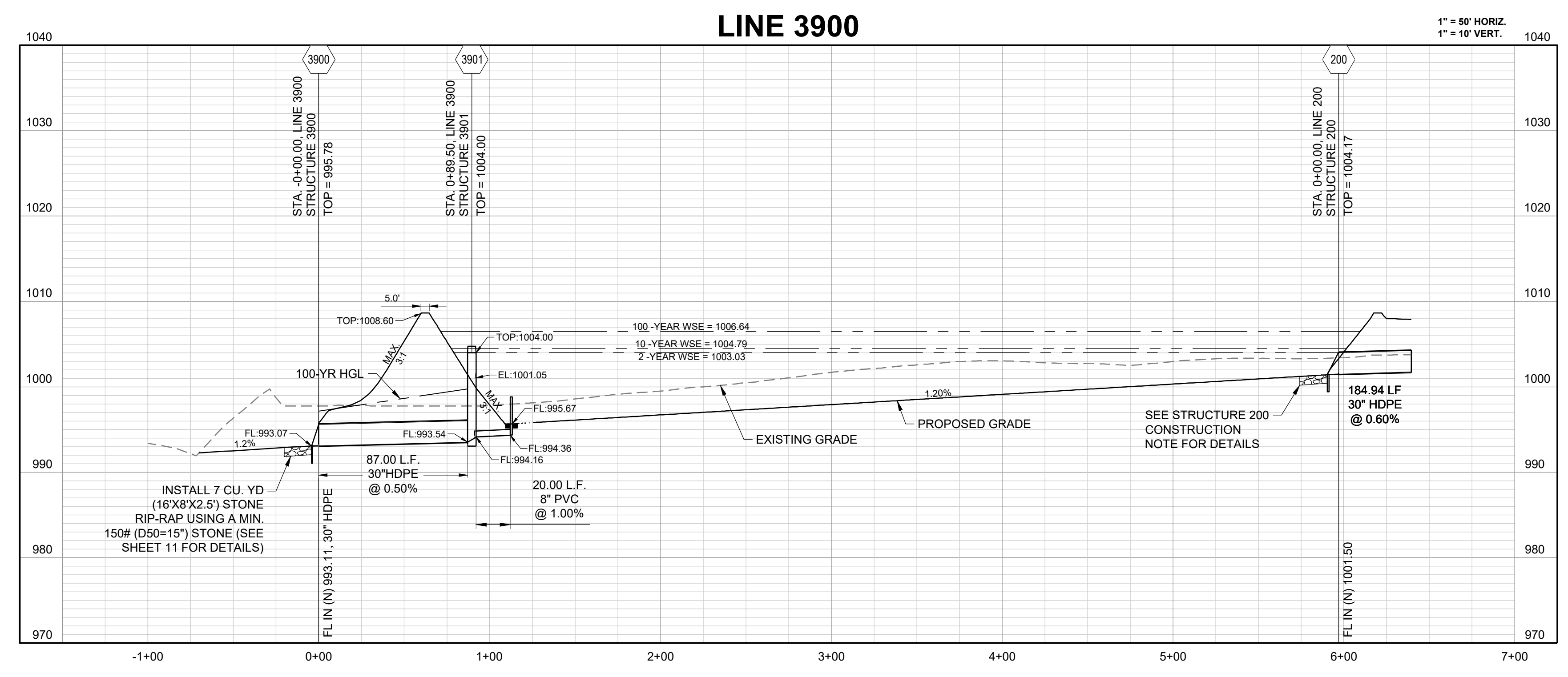
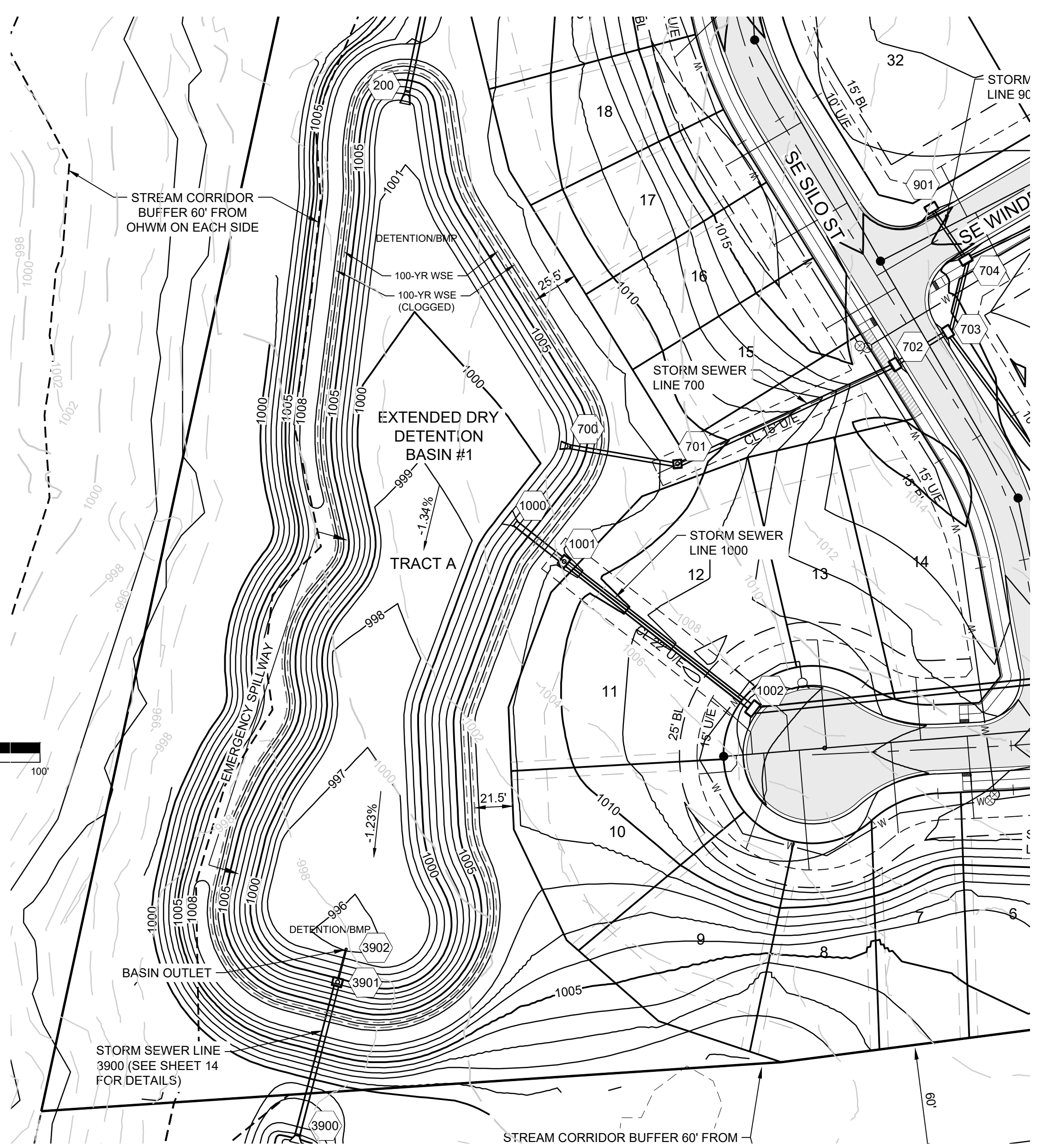
DESIGN STORM	VOLUME (CUBIC FEET)
2-YEAR	164,409
10-YEAR	249,634
100-YEAR	352,702

**NOTE:**  
DETENTION / SEDIMENT BASIN SHALL BE CONSTRUCTED ALONG WITH ALL OTHER EROSION CONTROL AND SEDIMENT CONTROL DEVICES AND PRIOR TO ANY INFRASTRUCTURE BEING CONSTRUCTED.



**NOTES:**

- ALL METAL PARTS TO BE GALVANIZED.
- PROVIDE ACCESS THROUGH TRASH RACK.
- PROVIDE LATCH TO ENABLE THE HATCH TO BE LOCKED.
- OUTFLOW STRUCTURE TO BE WATERTIGHT.
- BAR GRATING TO BE INSTALLED OVER V-NOTCH CASTING AFTER THE REMOVAL OF THE TEMPORARY SEDIMENT PERFORATED STEEL PLATE. (RE: EROSION CONTROL PLAN)



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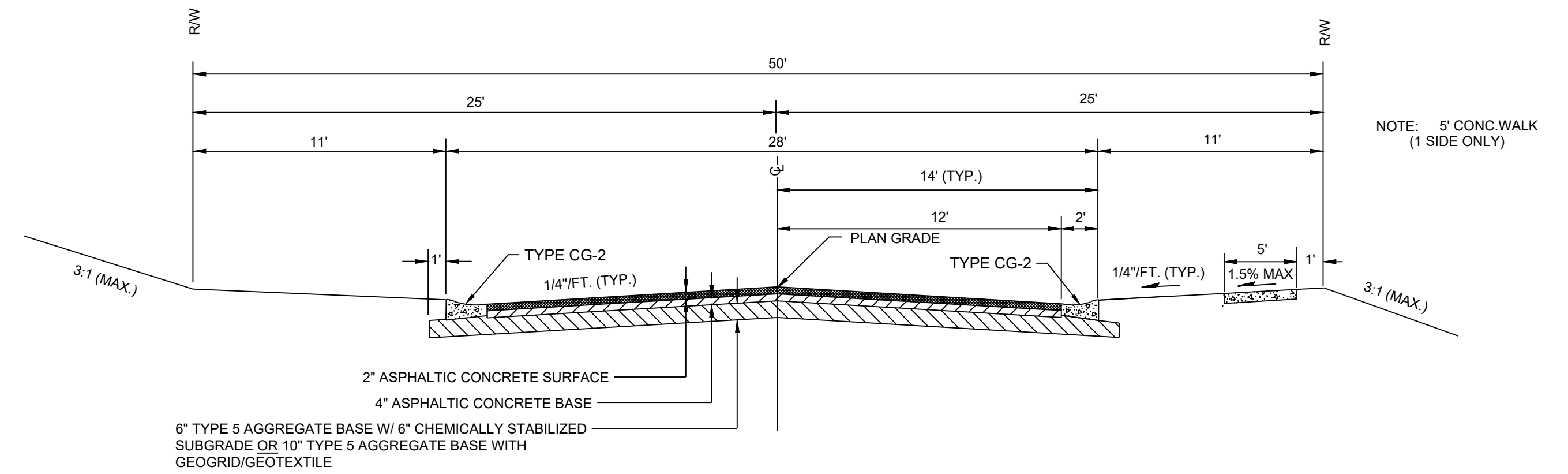
DRAWN BY: JRJ	CHECKED BY: JLL	DATE PREPARED: 12/20/21	PROJ. NUMBER: 21-138
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DETENTION BASIN DESIGN

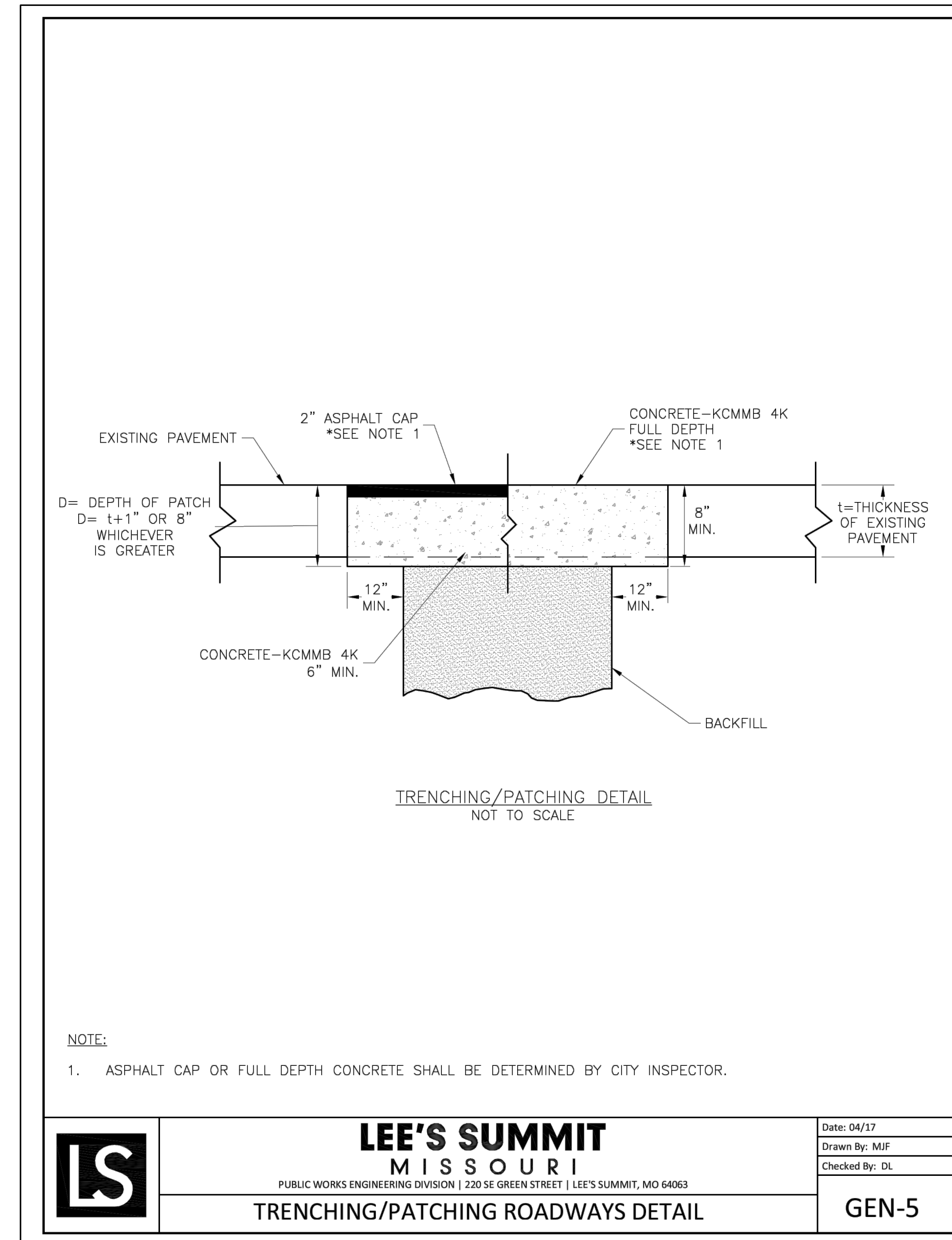
**TABLE LS-2: MINIMUM ASPHALT PAVEMENT THICKNESSES**

Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	Aggregate Base (in.)	Chemical Subgrade Stabilization (in.)	Geogrid / Geotextile <sup>(1)</sup>
Residential Local/Access	A	2	4	6	6	--
	B	2	4	10	--	Geogrid / Geotextile
Residential Collector	A	2	5.5	6	9	--
	B	2	5.5	12	--	Geogrid / Geotextile
Commercial Industrial Local/Collector	A	2	7.5	6	9	--
	B	2	7.5	12	--	Geogrid / Geotextile

Notes:  
**(1)** Geogrid shall be polypropylene material and Geotextile shall be woven, polypropylene as shown in the City's Approved Products List



ASPHALT MIX:  
 Surface: 5-01  
 Base: 5-01



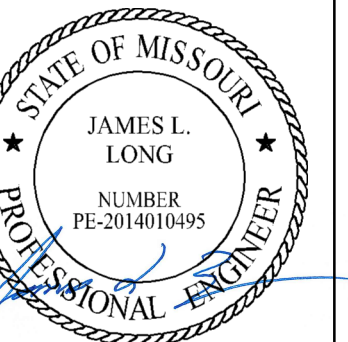
<b>LS</b>	<b>LEE'S SUMMIT</b> MISSOURI	Date: 04/17
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Drawn By: MIF
TRENCHING/PATCHING ROADWAYS DETAIL		Checked By: DL
		GEN-5

LS5200

17

July 2020

PREPARED BY:



4/21/2022

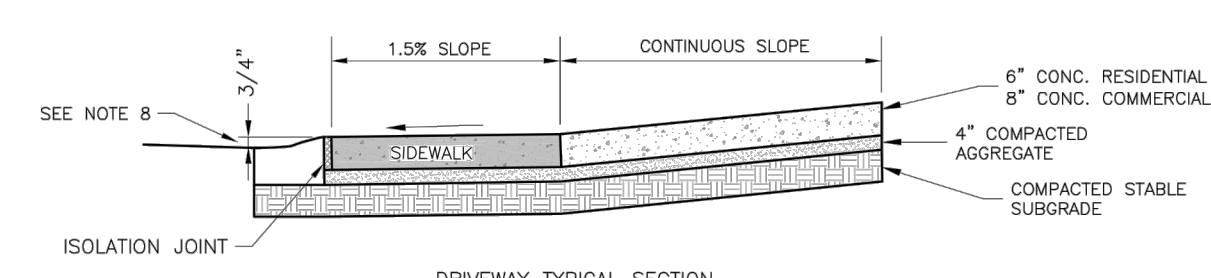
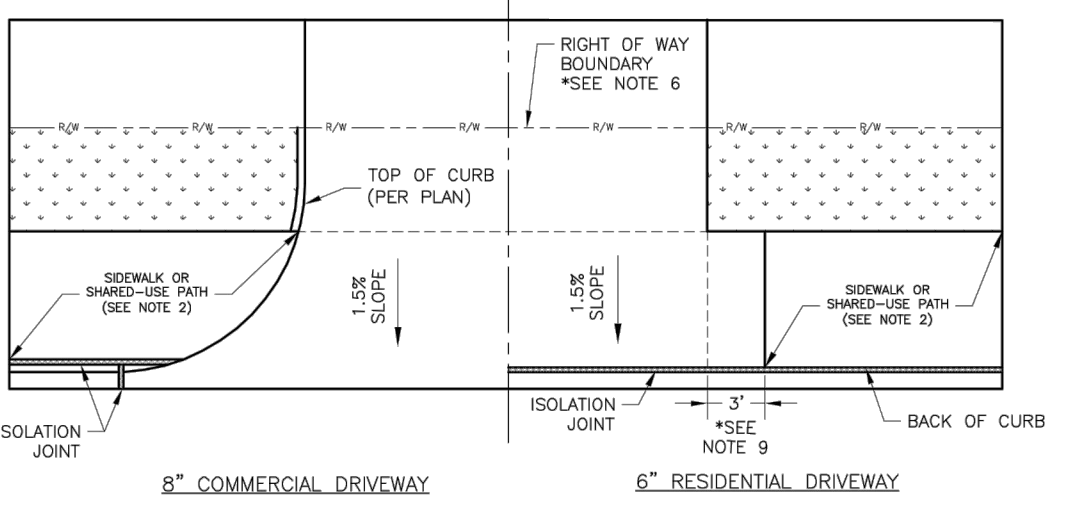
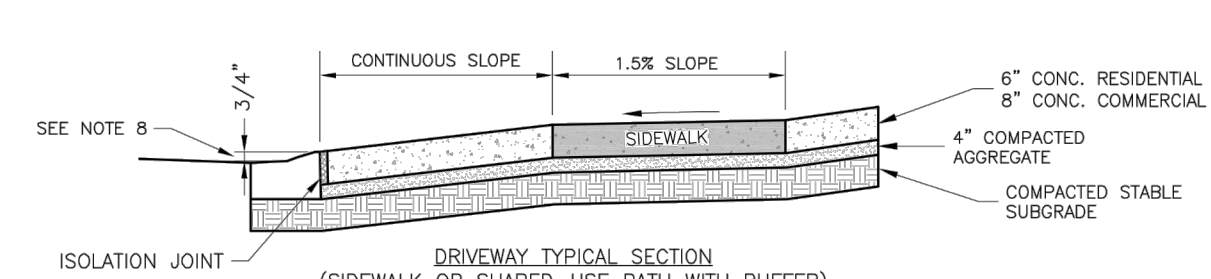
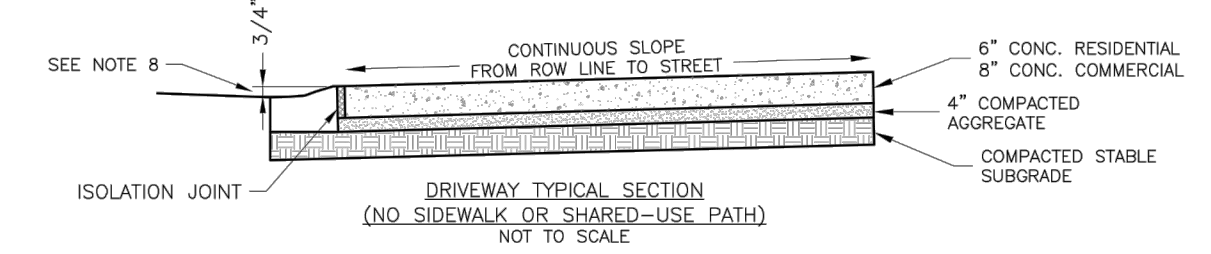
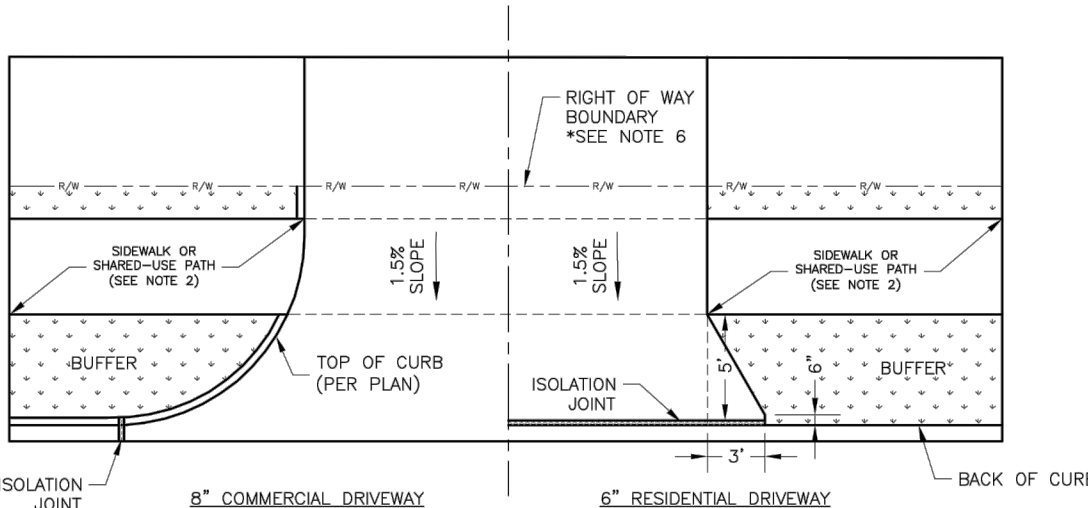
SCHLAGEL & ASSOCIATES, P.A.

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DRAWN BY: JRJ  
 CHECKED BY: JLL  
 DATE PREPARED: 12/20/2021  
 PROJ. NUMBER: 21-138

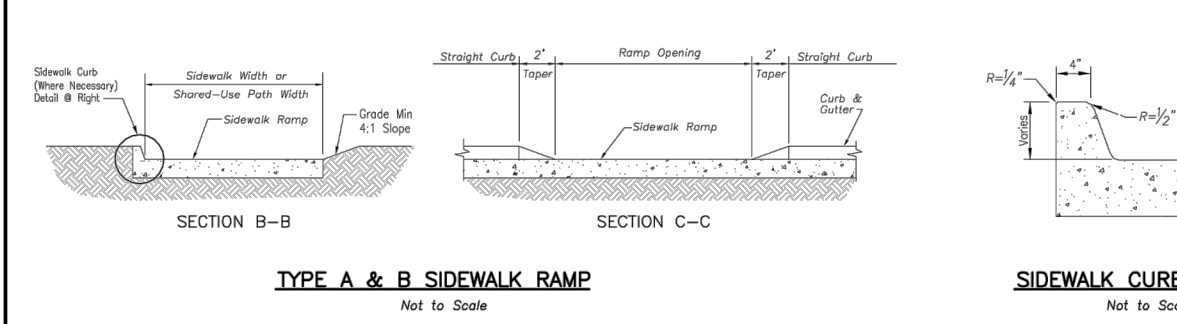
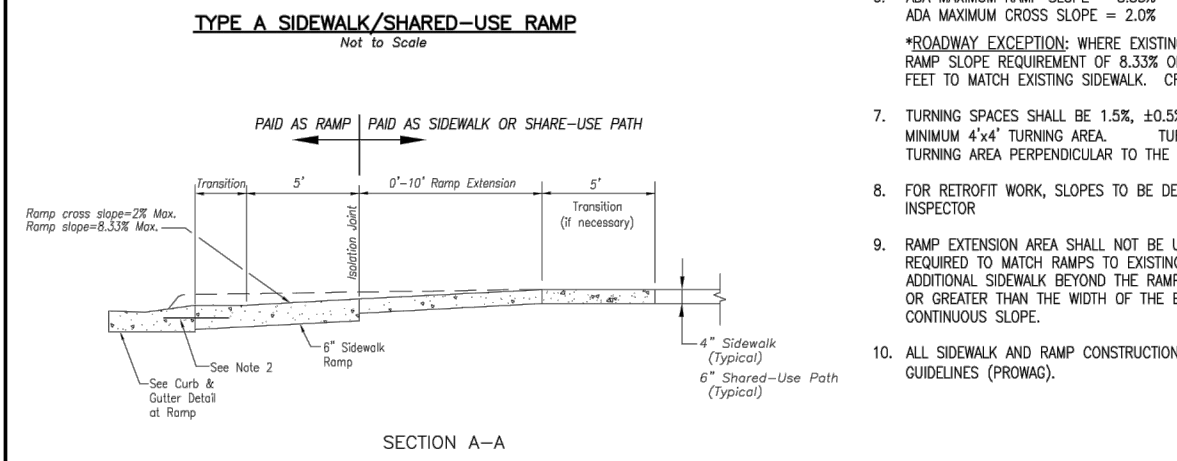
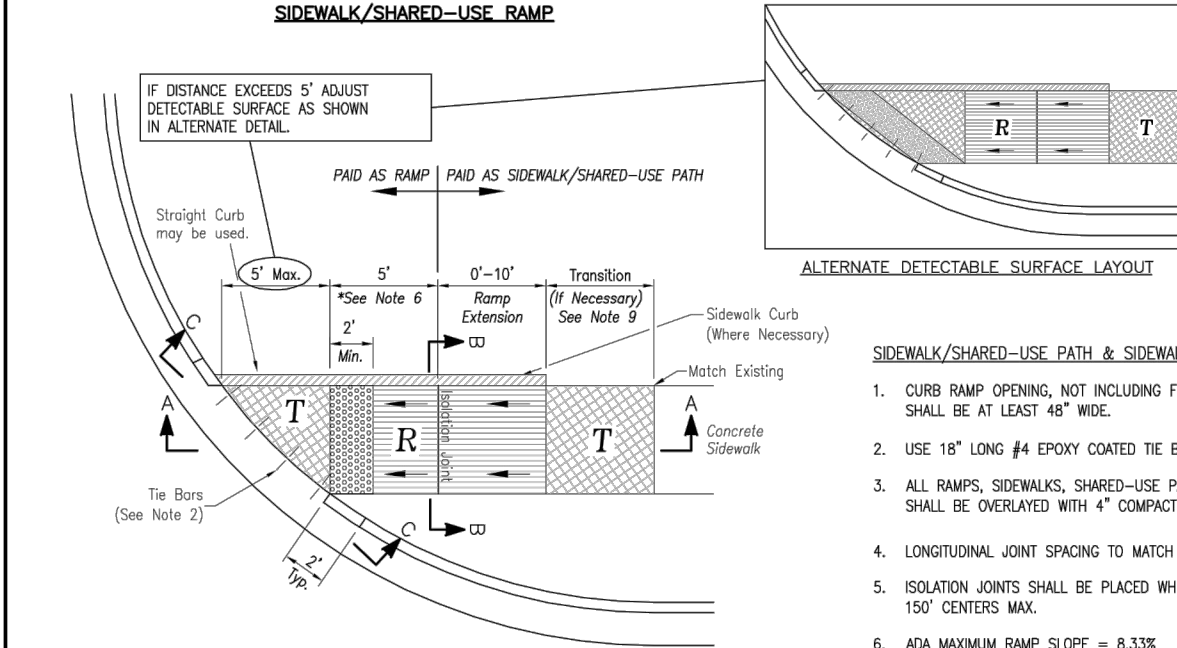
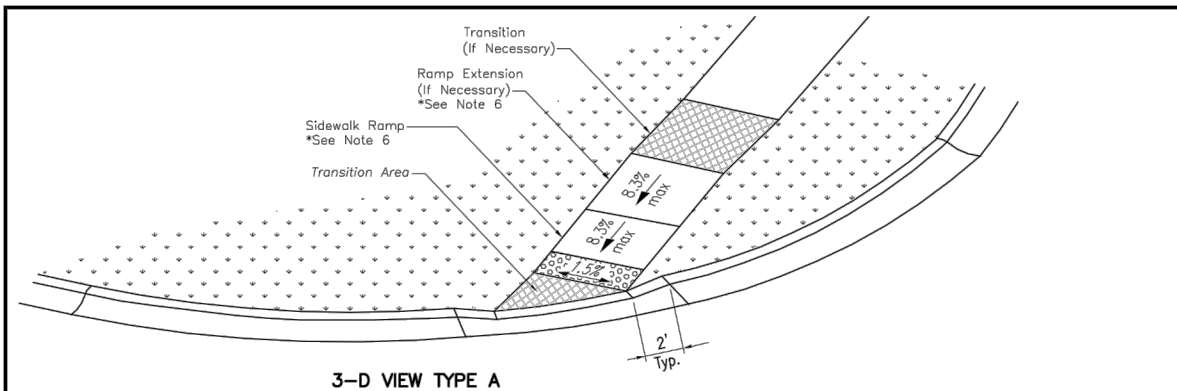
STREET DETAILS  
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- GENERAL NOTES**
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAIN WITH 4\"/>
  - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL).
  - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
  - KCMBB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
  - COMMERCIAL DRIVEWAYS AND DRIVEWAY APPROACHES, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMBB 4K CONCRETE MIX.
  - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
  - 3/4\"/>
  - 3/4\"/>
  - SIDEWALK ADJOINING CURB SHALL BE 6\"/>
  - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

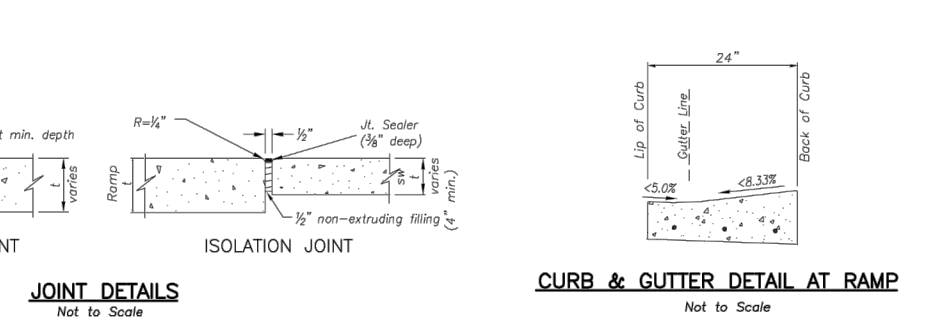
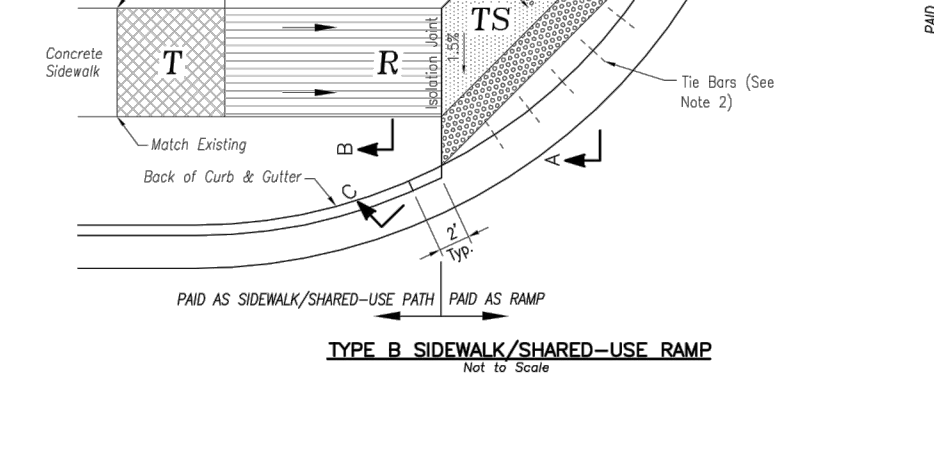
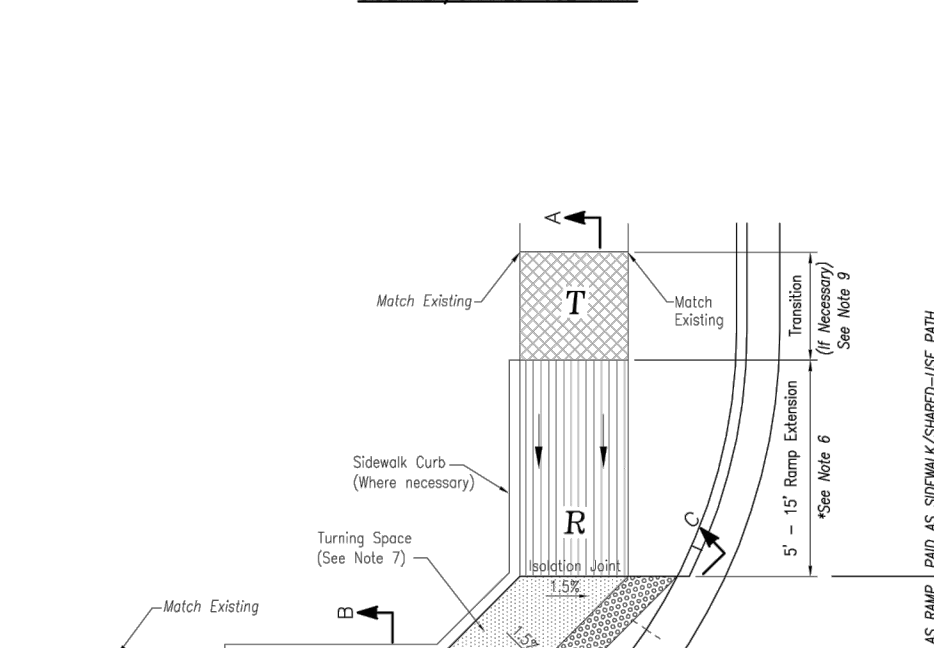
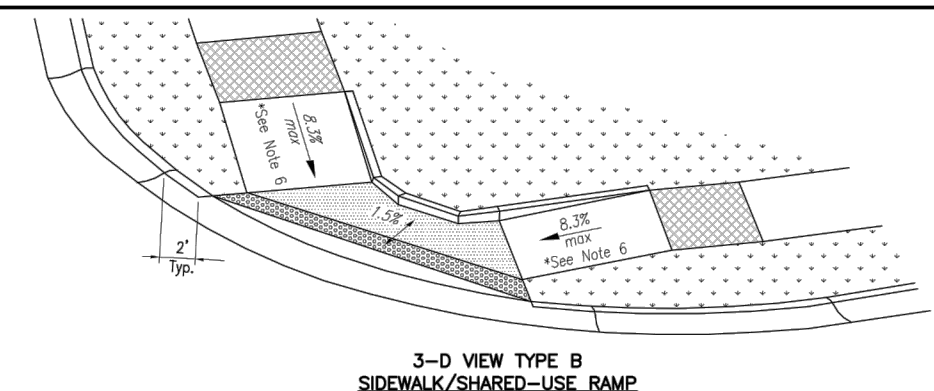
**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 DRIVEWAY DETAIL

GEN-1



- LEGEND**
- R SIDEWALK RAMP
  - TS TURNING SPACE
  - DETECTABLE WARNING SURFACE
  - T TRANSITION

- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES**
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48\"/>
  - USE 18\"/>
  - ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAIN WITH 4\"/>
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 150\"/>
  - ADA MAXIMUM RAMP SLOPE = 0.33%  
 ADA MAXIMUM CROSS SLOPE = 2.0%
  - \*SLOPEWAY EXCEPTION: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 0.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
  - TURNING SPACES SHALL BE 1.5%, ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
  - FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
  - RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
  - ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).



**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 ADA RAMP RETROFIT DETAIL

GEN-3A

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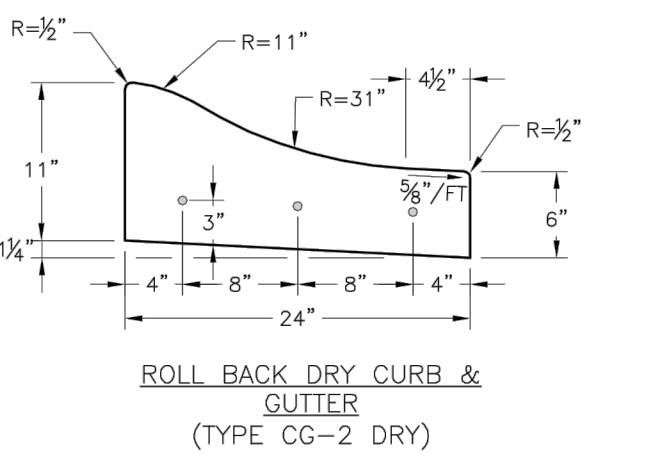
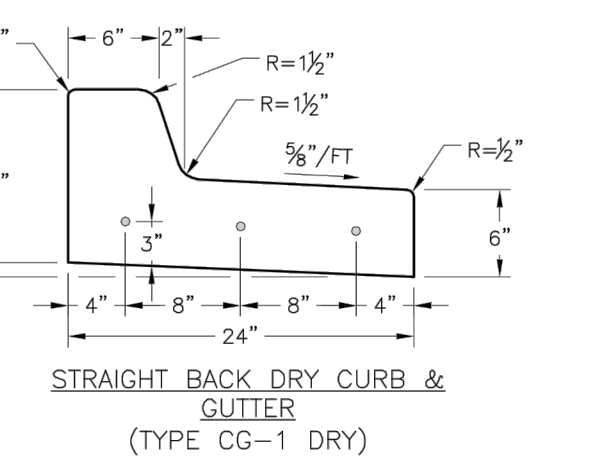
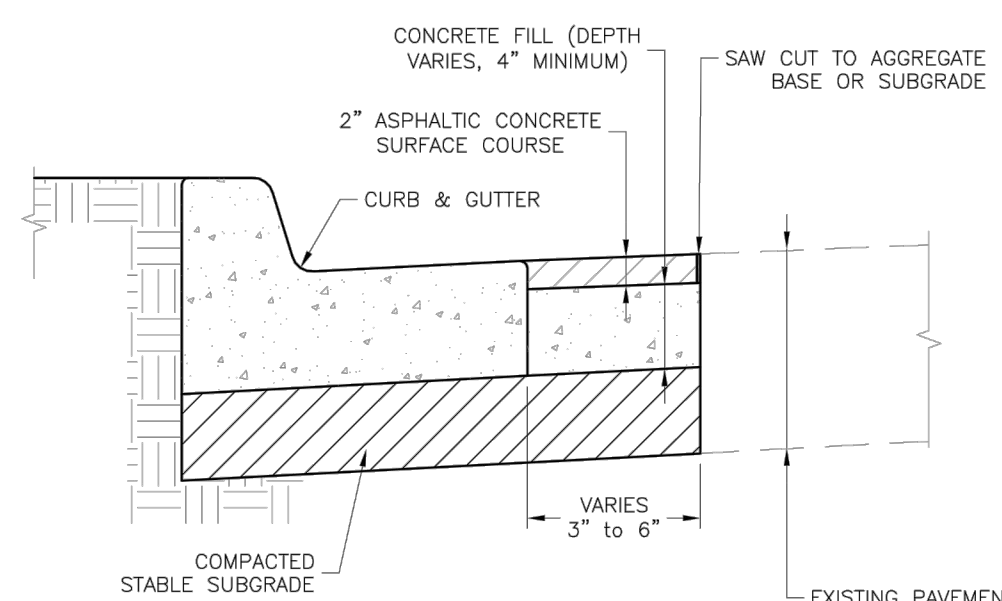
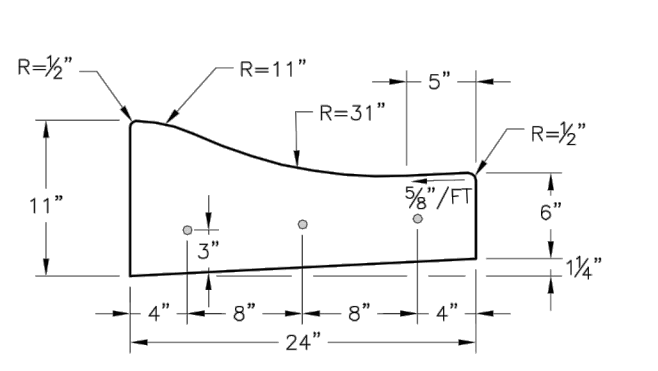
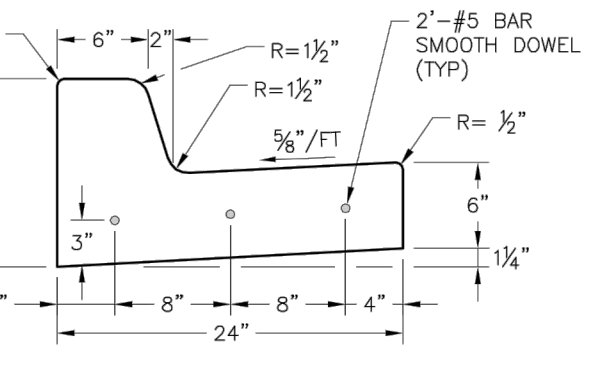
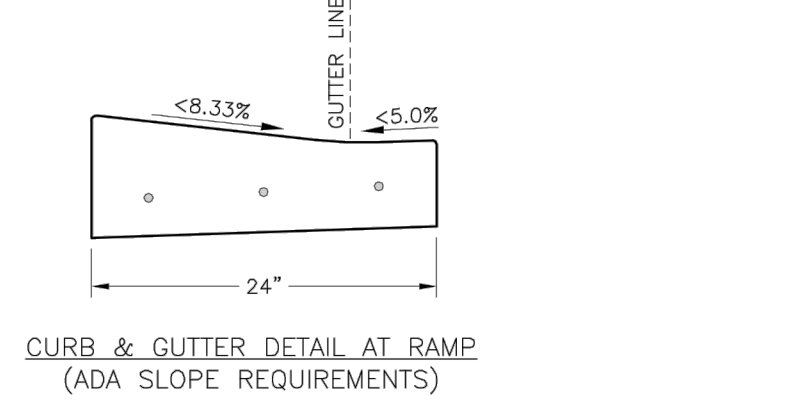
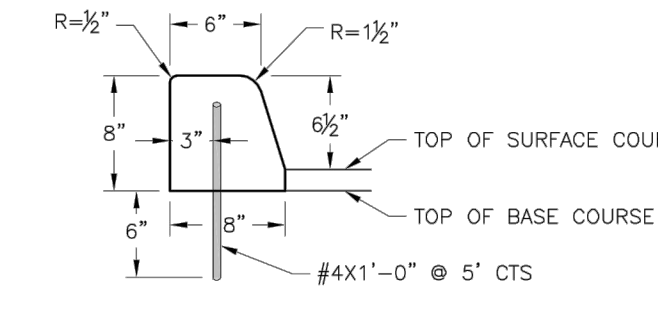
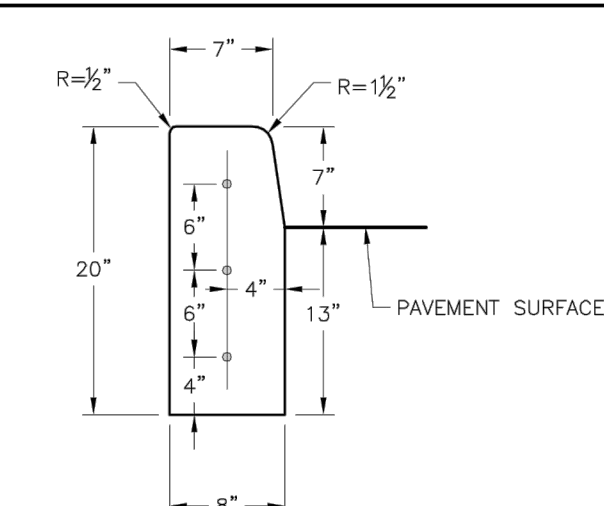
PREPARED BY:  
  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
02/03/2022	PER CITY COMMENTS DATED 01/10/2022
04/20/2022	PER CITY COMMENTS DATED 02/28/2022

DRAWN BY: JRJ  
 CHECKED BY: JLL  
 DATE PREPARED: 1/22/2021  
 PROJ. NUMBER: 21-138

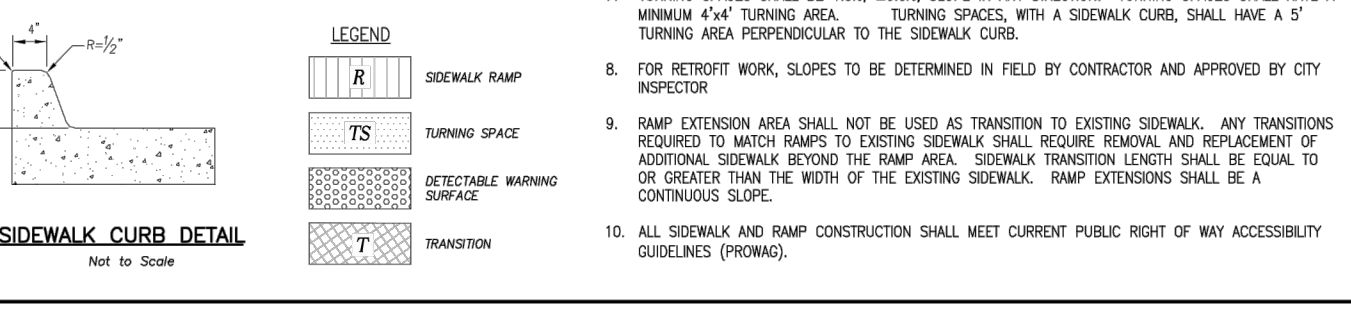
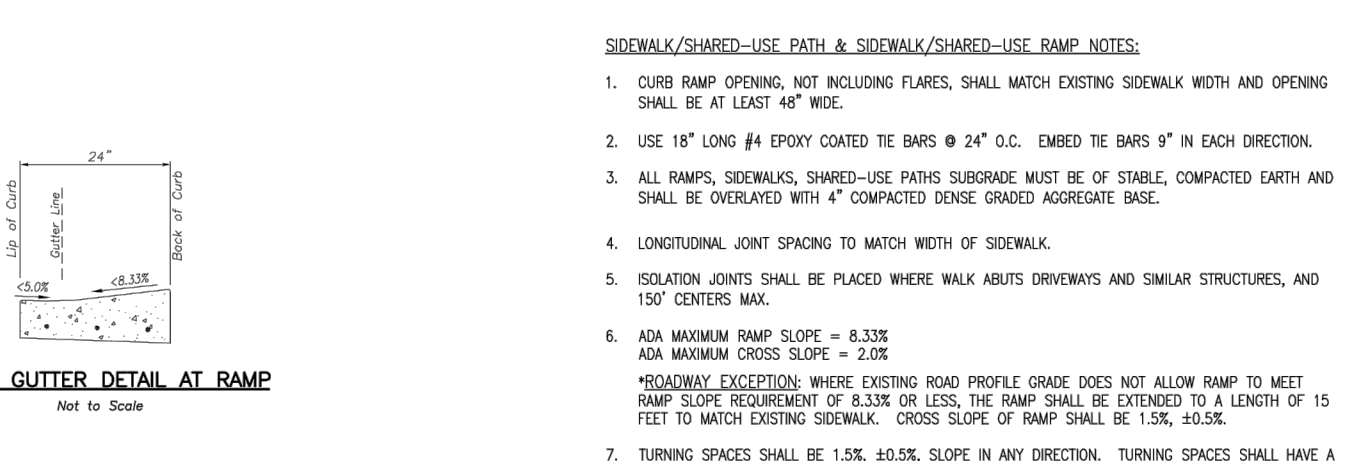
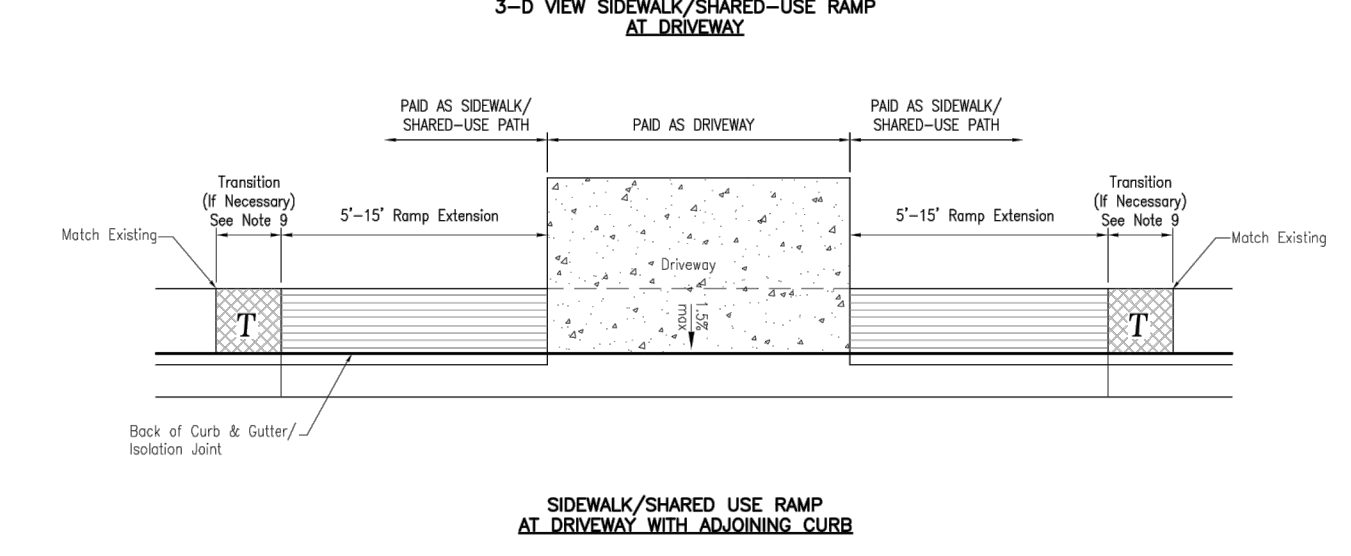
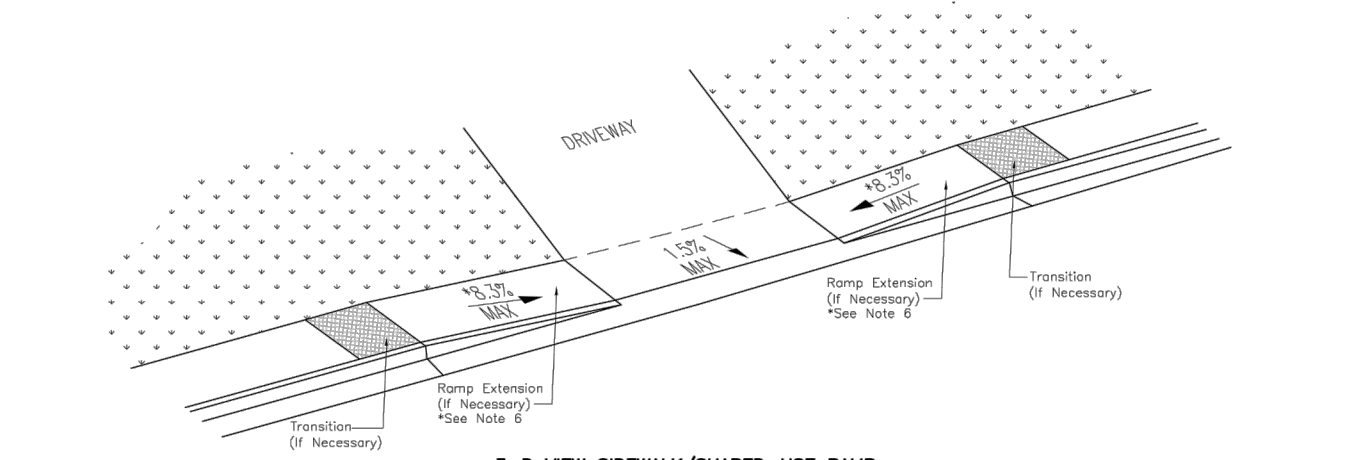
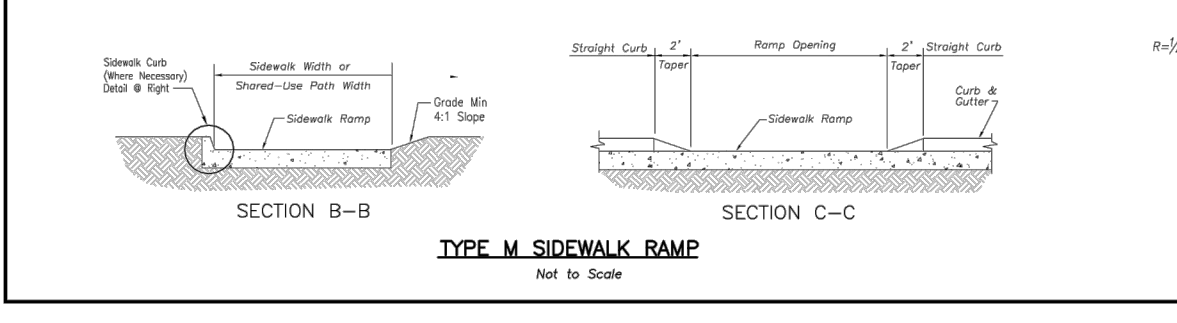
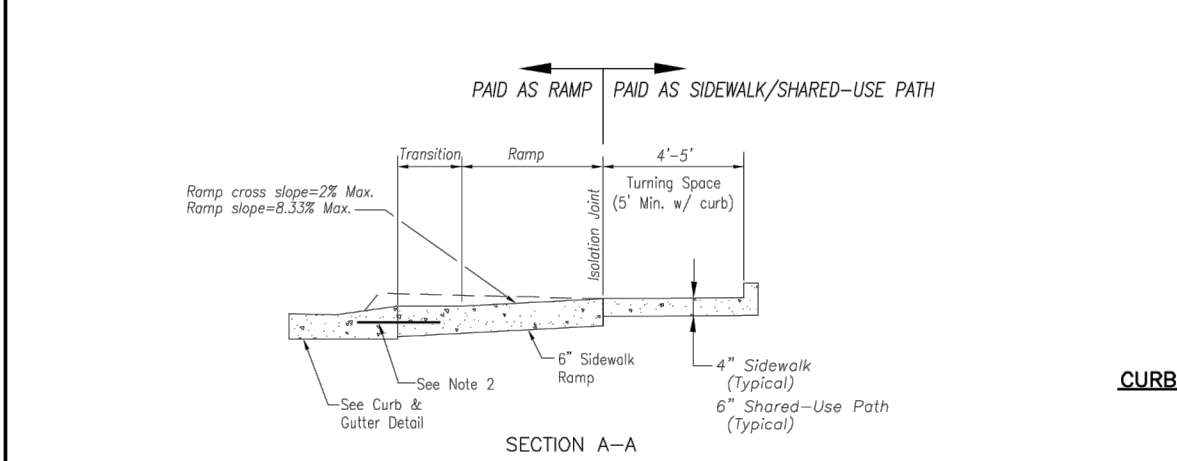
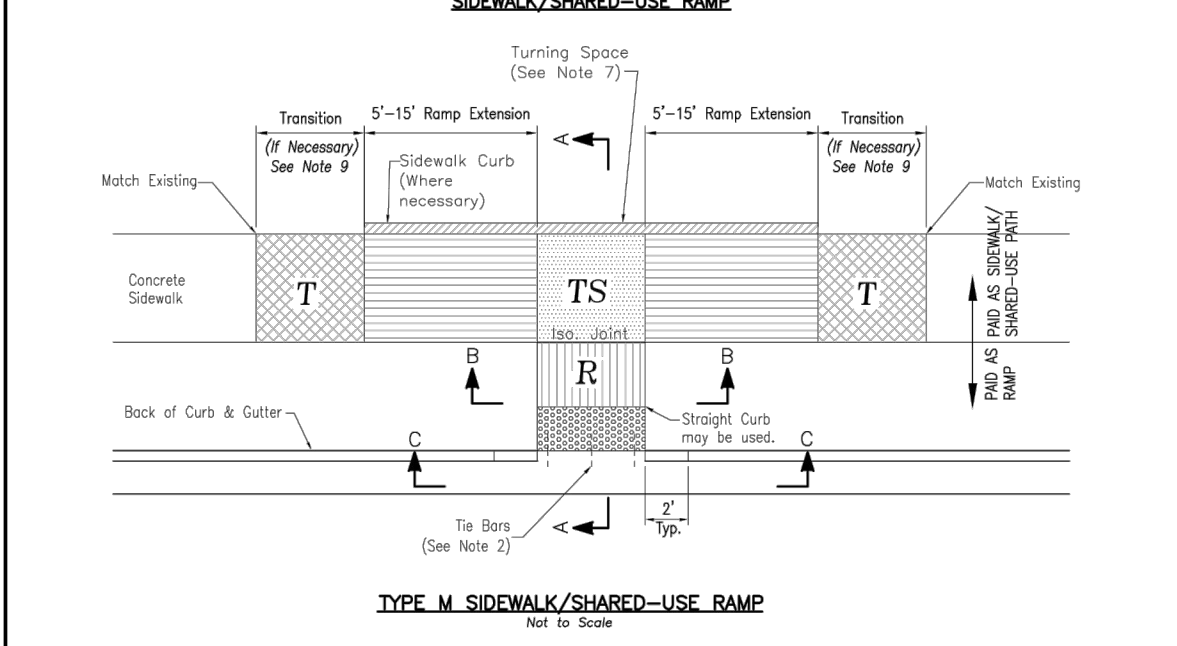
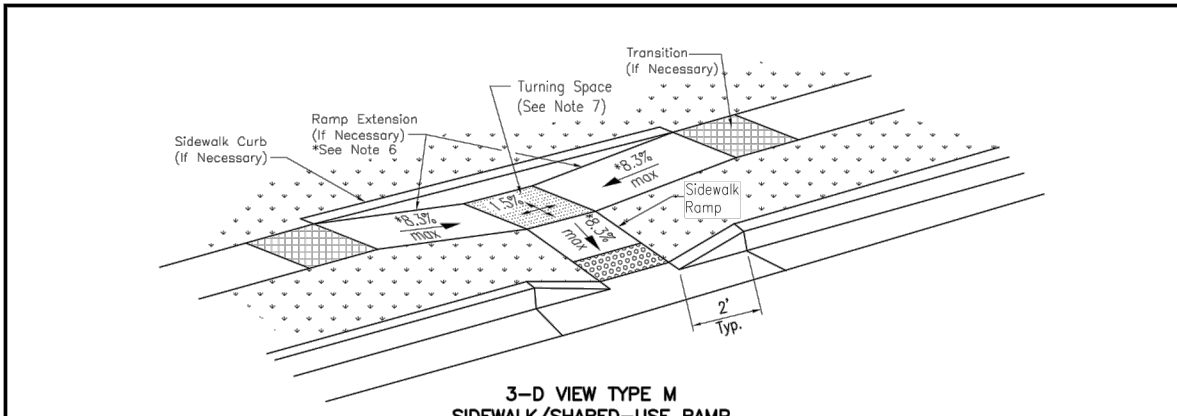
STREET DETAILS  
 2  
 SHEET  
 16



- GENERAL NOTES**
- 3/4\"/>
  - 3\"/>
  - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
  - KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURB.
  - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
  - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 CURB & GUTTER DETAIL

GEN-4

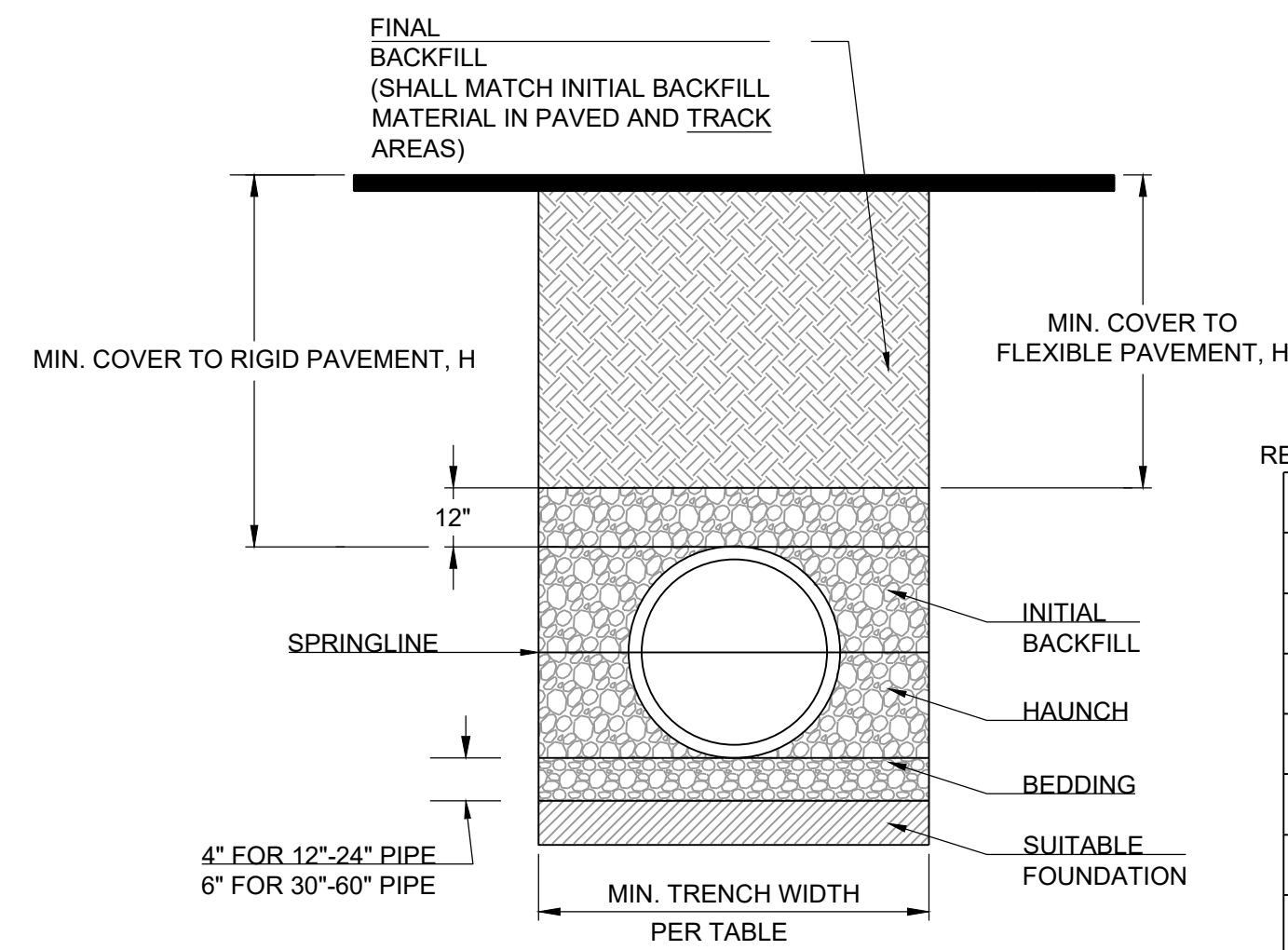


- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES**
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48\"/>
  - USE 18\"/>
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  - ADA MAXIMUM RAMP SLOPE = 0.33%  
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**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 ADA RAMP RETROFIT DETAIL

GEN-3B





RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

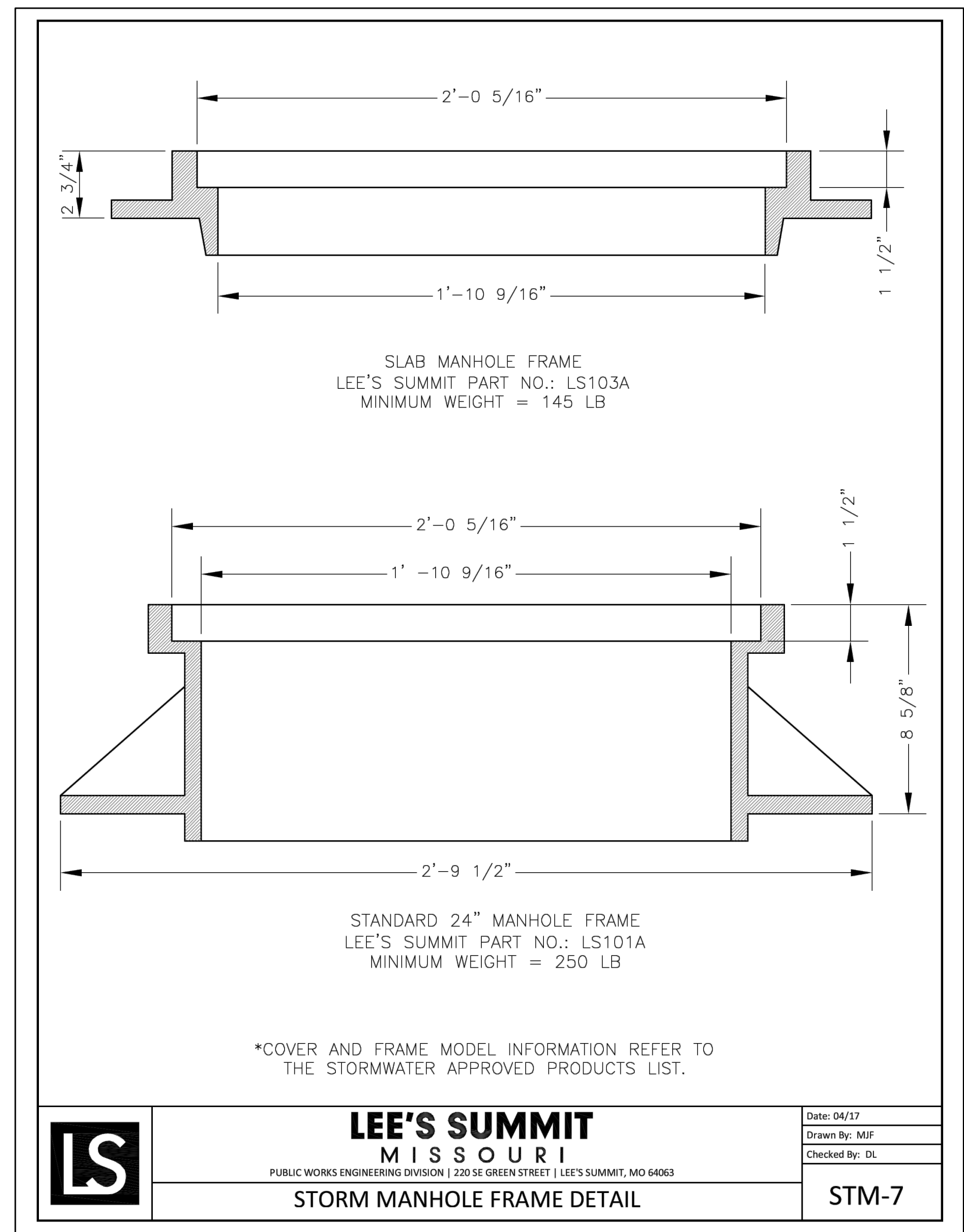
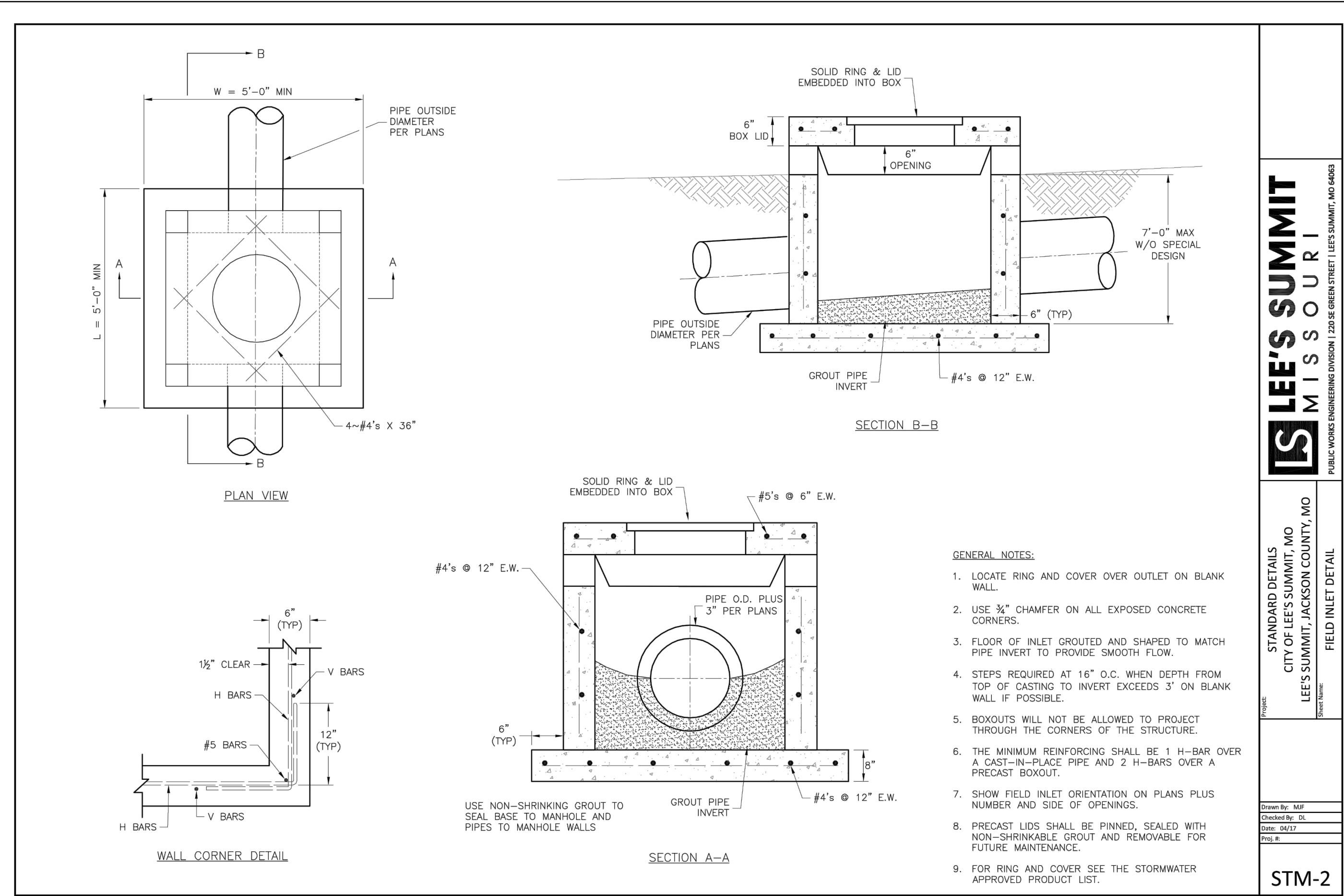
MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64068

Drawn By: MIF  
Checked By: DL

DATE: 04/17

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64068

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

FIELD INLET DETAIL

STM-2

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#E2002003860CF #LAC201005237 #LS200200889F

PREPARED BY:

**JAMES L. LONG**  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER

4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

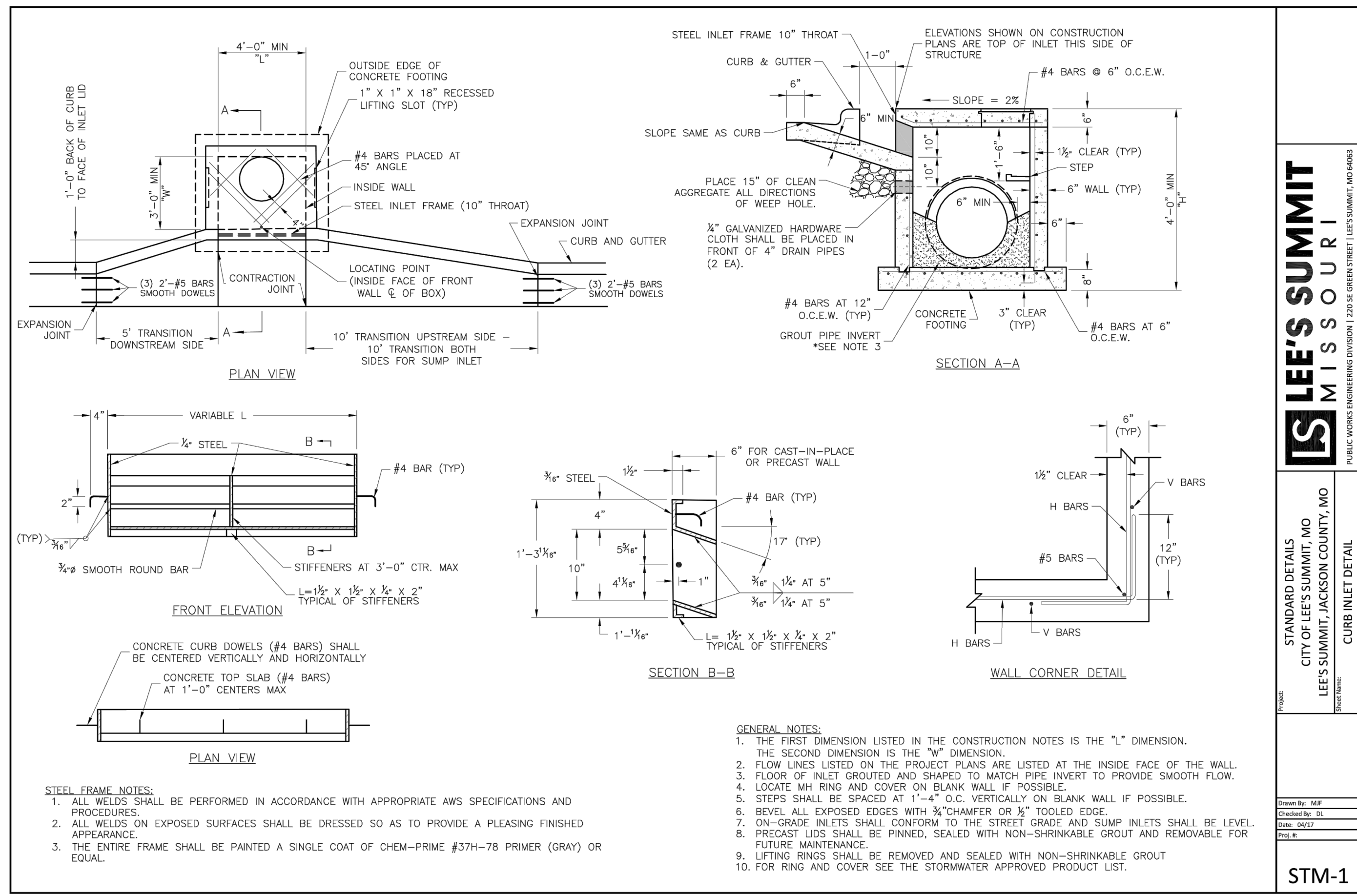
CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
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LEE'S SUMMIT, MISSOURI

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PROJ. NUMBER: 21-138

STORM DETAILS

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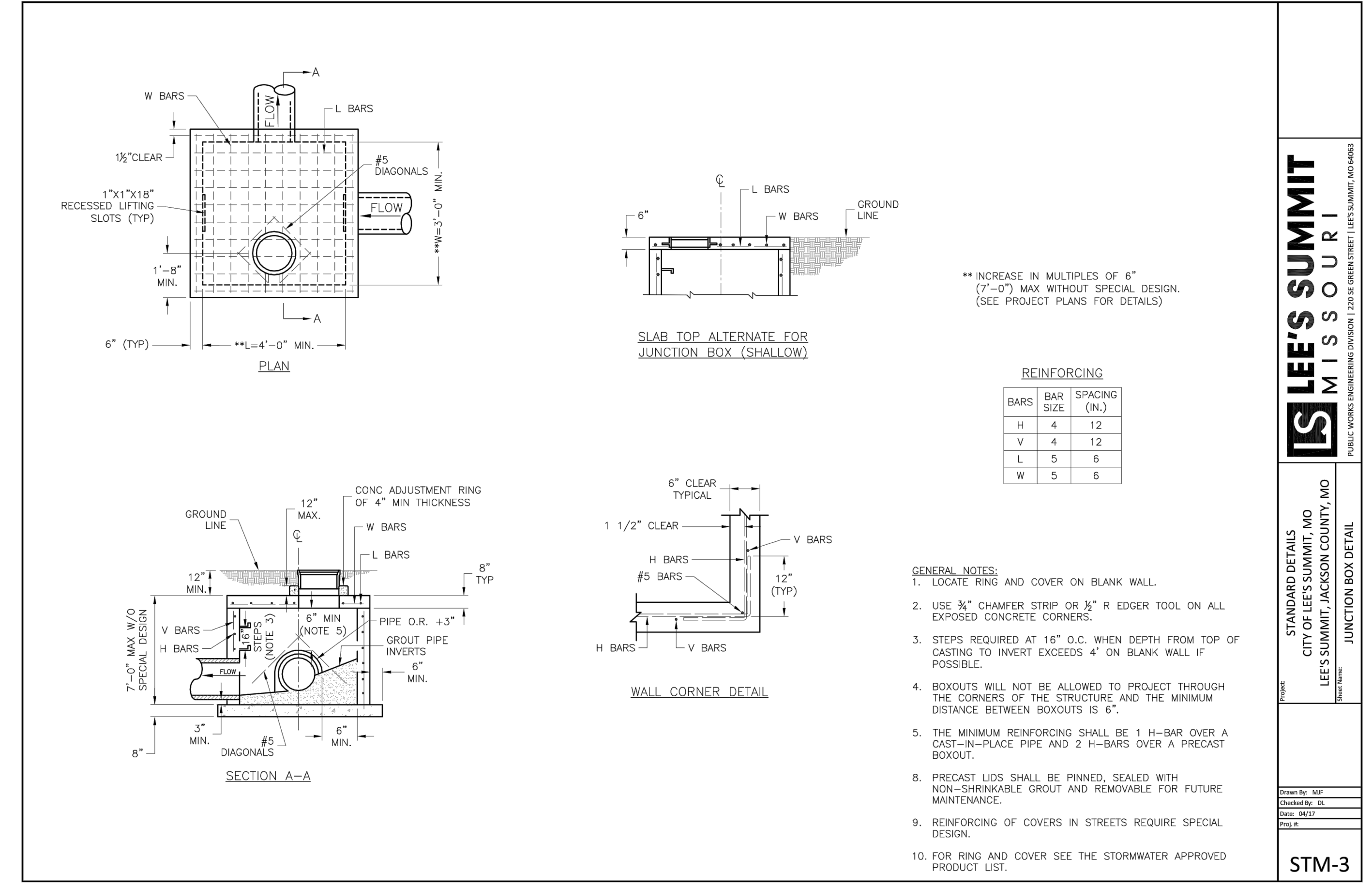


**LEE'S SUMMIT MISSOURI**  
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**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

**LEE'S SUMMIT MISSOURI**

Drawn By: MJP  
Checked By: DL  
Date: 04/17  
Proj. #: STM-1

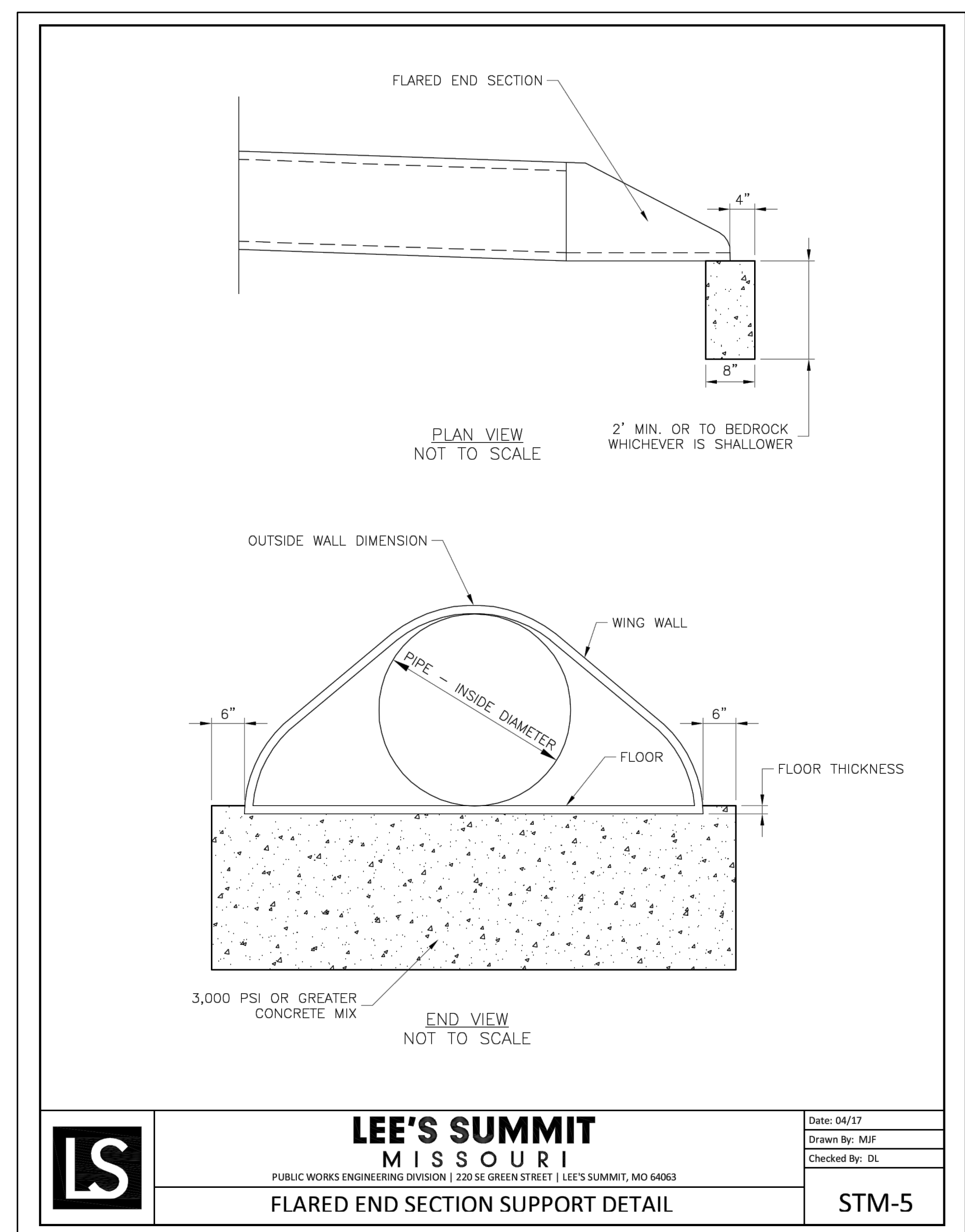


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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

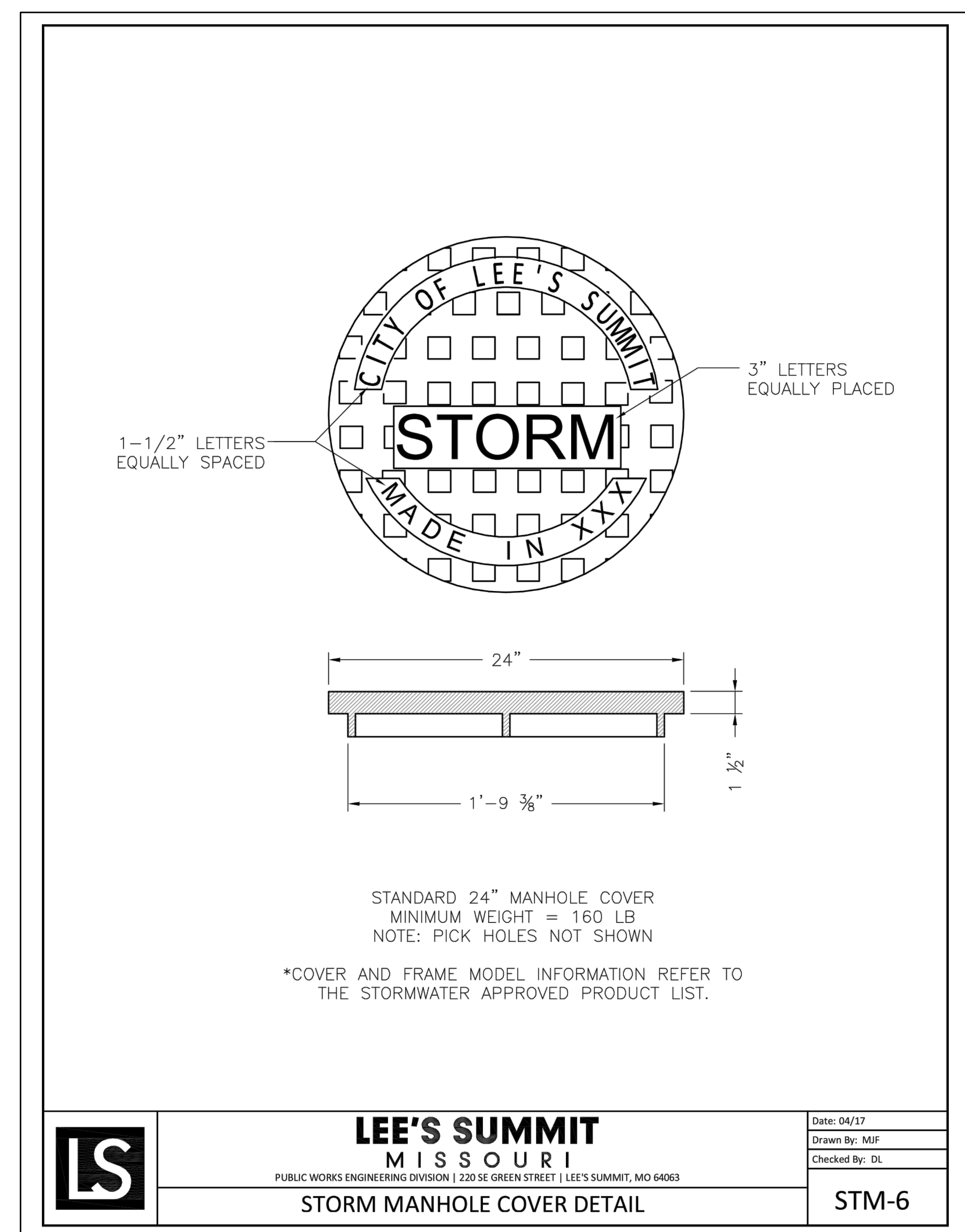
**LEE'S SUMMIT MISSOURI**

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Checked By: DL  
Date: 04/17  
Proj. #: STM-3



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**STM-5**



**LEE'S SUMMIT MISSOURI**  
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**STM-6**

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PREPARED BY:  
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PROFESSIONAL ENGINEER  
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4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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04/20/2022	PER CITY COMMENTS DATED 02/28/2022
04/17/2022	DATE PREPARED
21-139	PROJ. NUMBER

STORM DETAILS  
2

SHEET  
**18**

I:\PROJECTS\2021\121-138\3.0 Design\3.0 DWG Plans\6.0 SS\21-138-SS-SIGN PLAN.dwg



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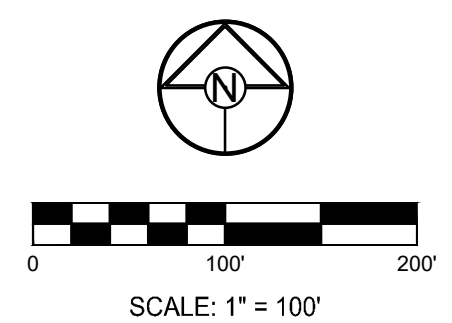
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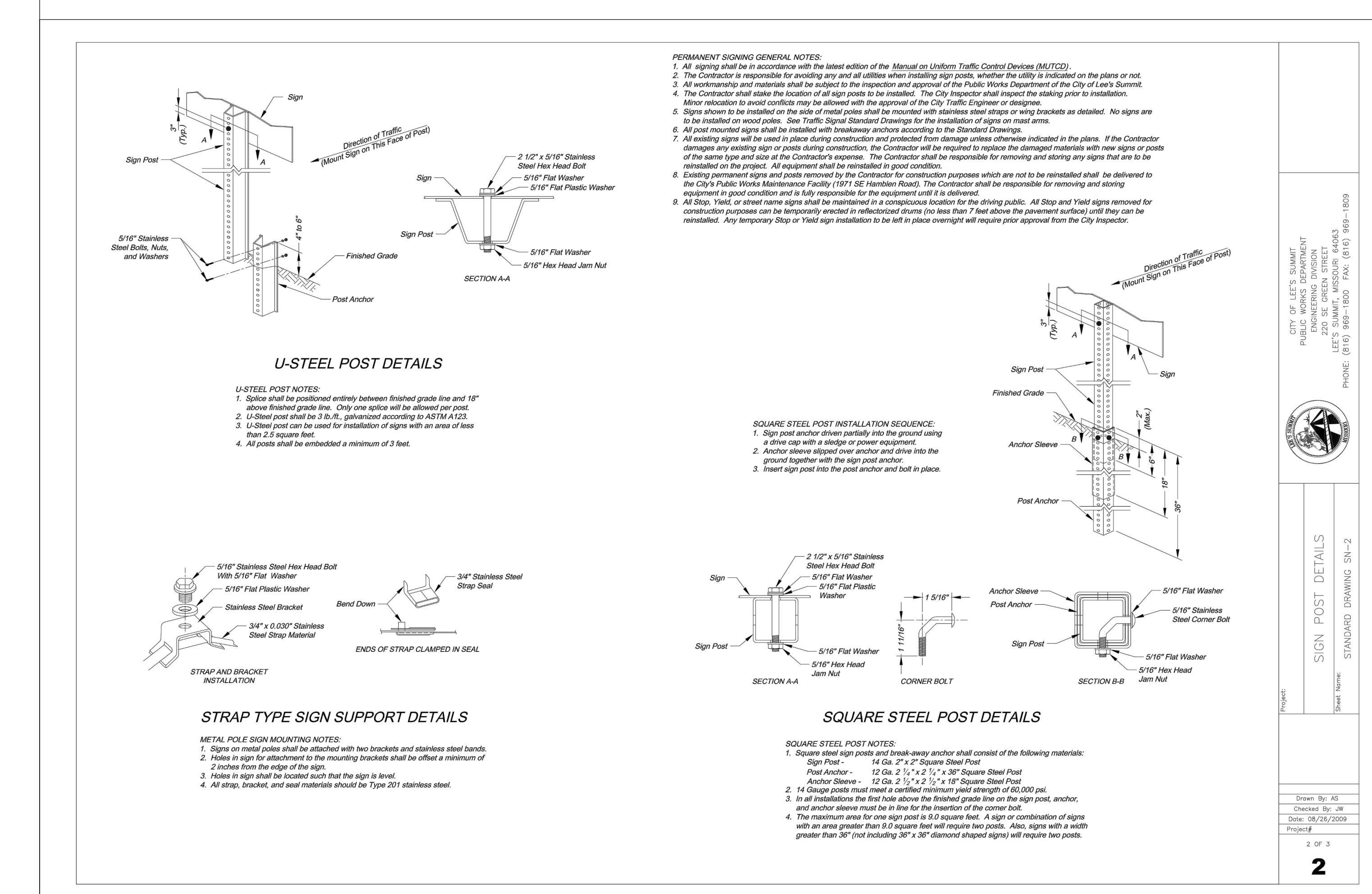
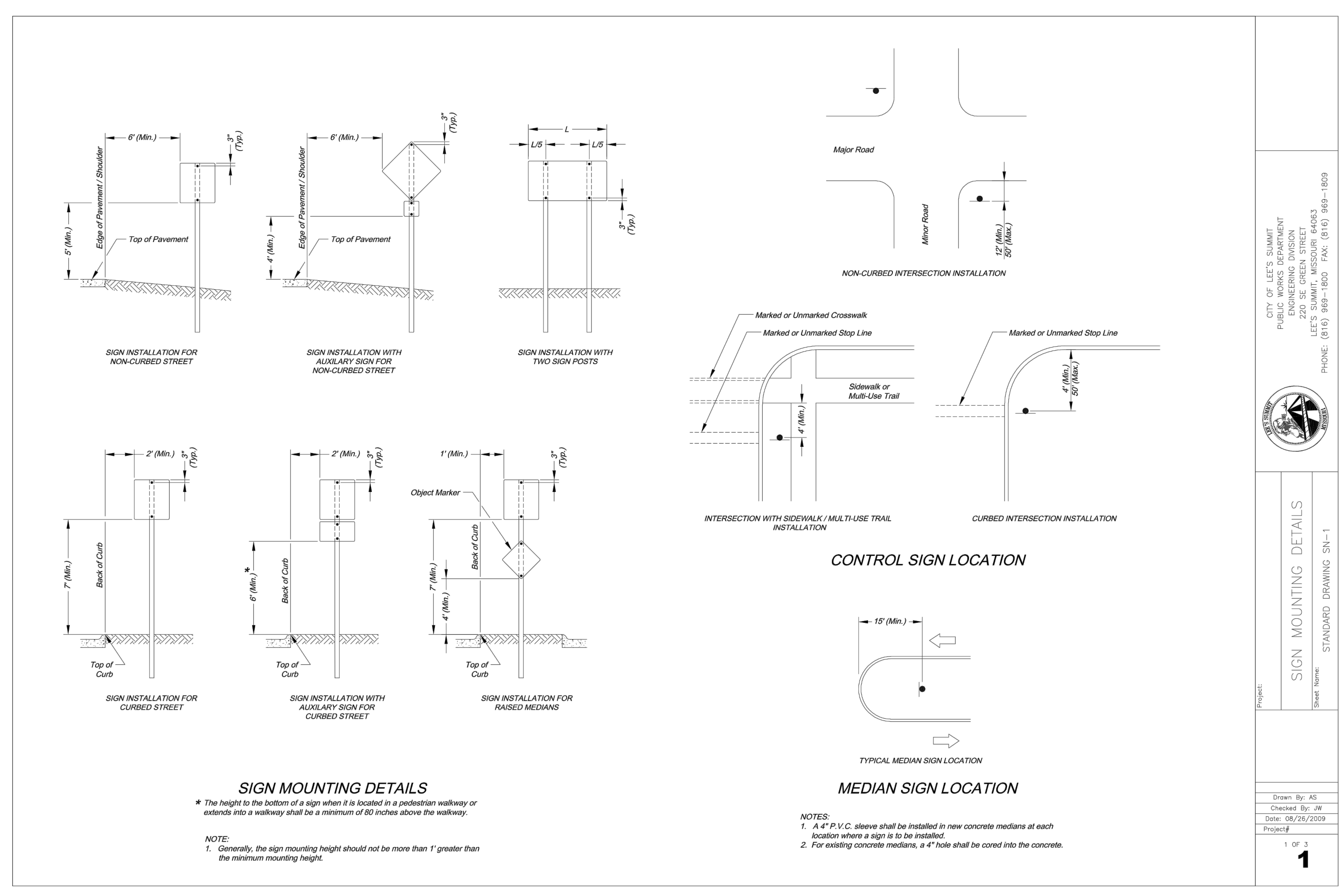
CORNERSTONE AT BAYLEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER DRAINAGE  
 PLAN  
 SE BAYLEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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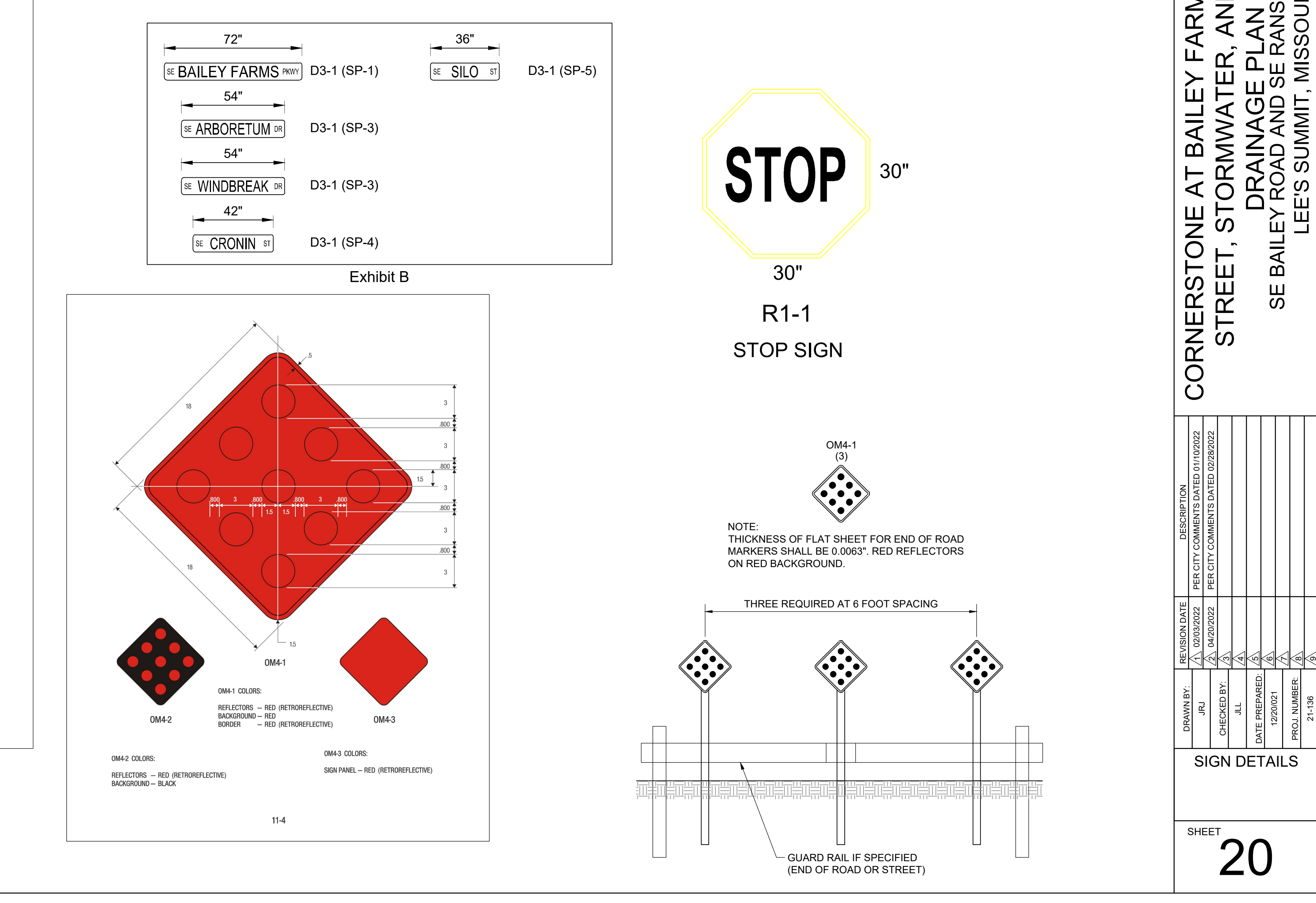
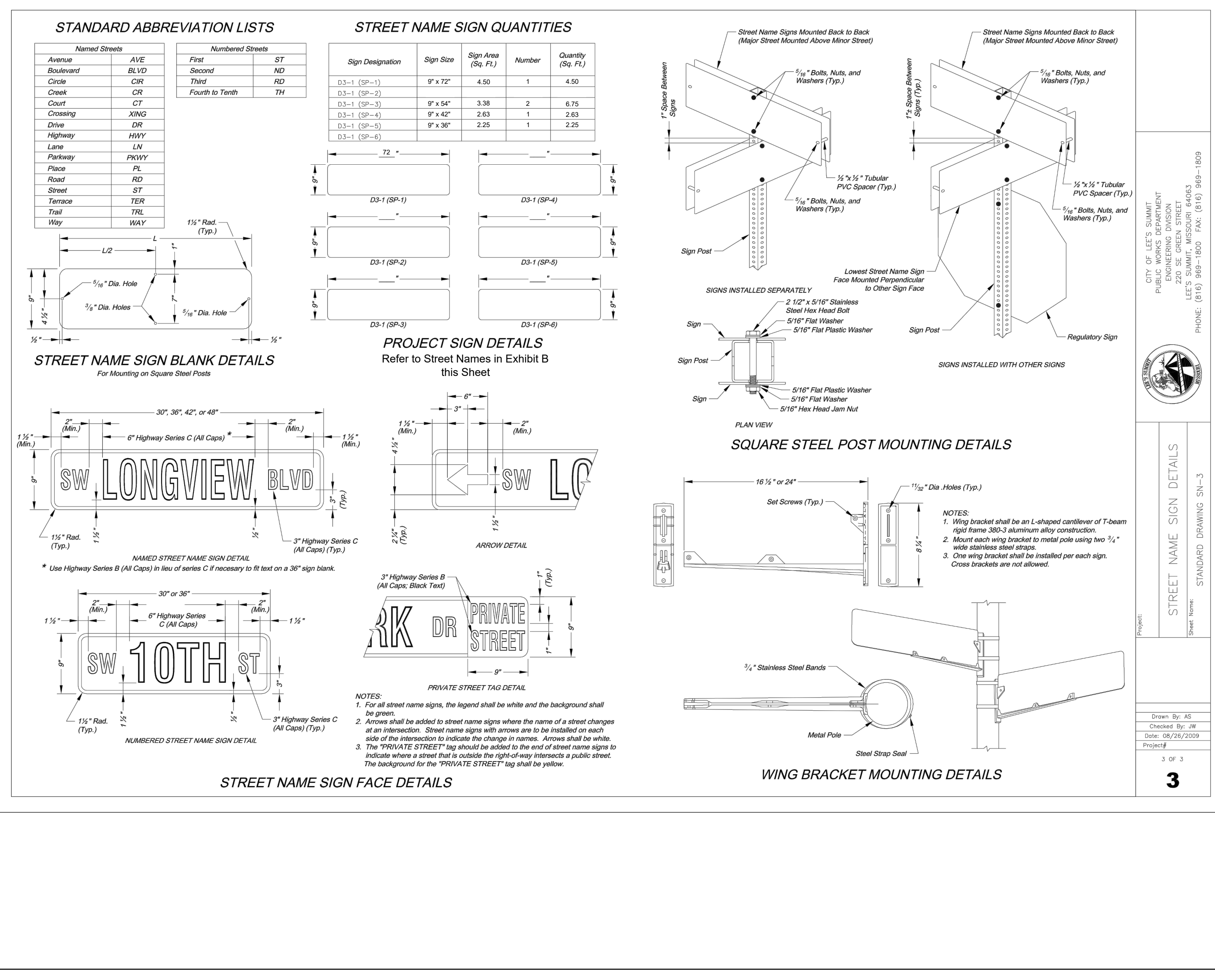
STREET SIGN  
 PLAN  
 SHEET  
**19**





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4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.



**CORNERSTONE AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE: 02/03/2022, 02/04/2022, 02/05/2022, 02/06/2022, 02/07/2022, 02/08/2022, 02/09/2022, 02/10/2022, 02/11/2022, 02/12/2022, 02/13/2022, 02/14/2022, 02/15/2022, 02/16/2022, 02/17/2022, 02/18/2022, 02/19/2022, 02/20/2022, 02/21/2022, 02/22/2022, 02/23/2022, 02/24/2022, 02/25/2022, 02/26/2022, 02/27/2022, 02/28/2022, 02/29/2022, 03/01/2022, 03/02/2022, 03/03/2022, 03/04/2022, 03/05/2022, 03/06/2022, 03/07/2022, 03/08/2022, 03/09/2022, 03/10/2022, 03/11/2022, 03/12/2022, 03/13/2022, 03/14/2022, 03/15/2022, 03/16/2022, 03/17/2022, 03/18/2022, 03/19/2022, 03/20/2022, 03/21/2022, 03/22/2022, 03/23/2022, 03/24/2022, 03/25/2022, 03/26/2022, 03/27/2022, 03/28/2022, 03/29/2022, 03/30/2022, 03/31/2022, 04/01/2022, 04/02/2022, 04/03/2022, 04/04/2022, 04/05/2022, 04/06/2022, 04/07/2022, 04/08/2022, 04/09/2022, 04/10/2022, 04/11/2022, 04/12/2022, 04/13/2022, 04/14/2022, 04/15/2022, 04/16/2022, 04/17/2022, 04/18/2022, 04/19/2022, 04/20/2022, 04/21/2022, 04/22/2022, 04/23/2022, 04/24/2022, 04/25/2022, 04/26/2022, 04/27/2022, 04/28/2022, 04/29/2022, 04/30/2022, 05/01/2022, 05/02/2022, 05/03/2022, 05/04/2022, 05/05/2022, 05/06/2022, 05/07/2022, 05/08/2022, 05/09/2022, 05/10/2022, 05/11/2022, 05/12/2022, 05/13/2022, 05/14/2022, 05/15/2022, 05/16/2022, 05/17/2022, 05/18/2022, 05/19/2022, 05/20/2022, 05/21/2022, 05/22/2022, 05/23/2022, 05/24/2022, 05/25/2022, 05/26/2022, 05/27/2022, 05/28/2022, 05/29/2022, 05/30/2022, 05/31/2022, 06/01/2022, 06/02/2022, 06/03/2022, 06/04/2022, 06/05/2022, 06/06/2022, 06/07/2022, 06/08/2022, 06/09/2022, 06/10/2022, 06/11/2022, 06/12/2022, 06/13/2022, 06/14/2022, 06/15/2022, 06/16/2022, 06/17/2022, 06/18/2022, 06/19/2022, 06/20/2022, 06/21/2022, 06/22/2022, 06/23/2022, 06/24/2022, 06/25/2022, 06/26/2022, 06/27/2022, 06/28/2022, 06/29/2022, 06/30/2022, 07/01/2022, 07/02/2022, 07/03/2022, 07/04/2022, 07/05/2022, 07/06/2022, 07/07/2022, 07/08/2022, 07/09/2022, 07/10/2022, 07/11/2022, 07/12/2022, 07/13/2022, 07/14/2022, 07/15/2022, 07/16/2022, 07/17/2022, 07/18/2022, 07/19/2022, 07/20/2022, 07/21/2022, 07/22/2022, 07/23/2022, 07/24/2022, 07/25/2022, 07/26/2022, 07/27/2022, 07/28/2022, 07/29/2022, 07/30/2022, 07/31/2022, 08/01/2022, 08/02/2022, 08/03/2022, 08/04/2022, 08/05/2022, 08/06/2022, 08/07/2022, 08/08/2022, 08/09/2022, 08/10/2022, 08/11/2022, 08/12/2022, 08/13/2022, 08/14/2022, 08/15/2022, 08/16/2022, 08/17/2022, 08/18/2022, 08/19/2022, 08/20/2022, 08/21/2022, 08/22/2022, 08/23/2022, 08/24/2022, 08/25/2022, 08/26/2022, 08/27/2022, 08/28/2022, 08/29/2022, 08/30/2022, 08/31/2022, 09/01/2022, 09/02/2022, 09/03/2022, 09/04/2022, 09/05/2022, 09/06/2022, 09/07/2022, 09/08/2022, 09/09/2022, 09/10/2022, 09/11/2022, 09/12/2022, 09/13/2022, 09/14/2022, 09/15/2022, 09/16/2022, 09/17/2022, 09/18/2022, 09/19/2022, 09/20/2022, 09/21/2022, 09/22/2022, 09/23/2022, 09/24/2022, 09/25/2022, 09/26/2022, 09/27/2022, 09/28/2022, 09/29/2022, 09/30/2022, 10/01/2022, 10/02/2022, 10/03/2022, 10/04/2022, 10/05/2022, 10/06/2022, 10/07/2022, 10/08/2022, 10/09/2022, 10/10/2022, 10/11/2022, 10/12/2022, 10/13/2022, 10/14/2022, 10/15/2022, 10/16/2022, 10/17/2022, 10/18/2022, 10/19/2022, 10/20/2022, 10/21/2022, 10/22/2022, 10/23/2022, 10/24/2022, 10/25/2022, 10/26/2022, 10/27/2022, 10/28/2022, 10/29/2022, 10/30/2022, 10/31/2022, 11/01/2022, 11/02/2022, 11/03/2022, 11/04/2022, 11/05/2022, 11/06/2022, 11/07/2022, 11/08/2022, 11/09/2022, 11/10/2022, 11/11/2022, 11/12/2022, 11/13/2022, 11/14/2022, 11/15/2022, 11/16/2022, 11/17/2022, 11/18/2022, 11/19/2022, 11/20/2022, 11/21/2022, 11/22/2022, 11/23/2022, 11/24/2022, 11/25/2022, 11/26/2022, 11/27/2022, 11/28/2022, 11/29/2022, 11/30/2022, 12/01/2022, 12/02/2022, 12/03/2022, 12/04/2022, 12/05/2022, 12/06/2022, 12/07/2022, 12/08/2022, 12/09/2022, 12/10/2022, 12/11/2022, 12/12/2022, 12/13/2022, 12/14/2022, 12/15/2022, 12/16/2022, 12/17/2022, 12/18/2022, 12/19/2022, 12/20/2022, 12/21/2022, 12/22/2022, 12/23/2022, 12/24/2022, 12/25/2022, 12/26/2022, 12/27/2022, 12/28/2022, 12/29/2022, 12/30/2022, 12/31/2022