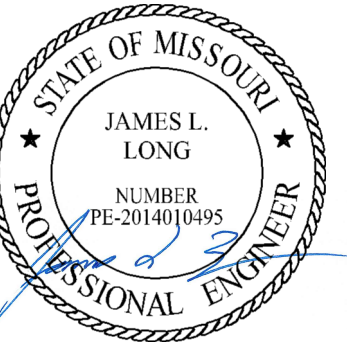




PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER DRAINAGE  
 PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

GENERAL LAYOUT (NORTH)

SHEET

2

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

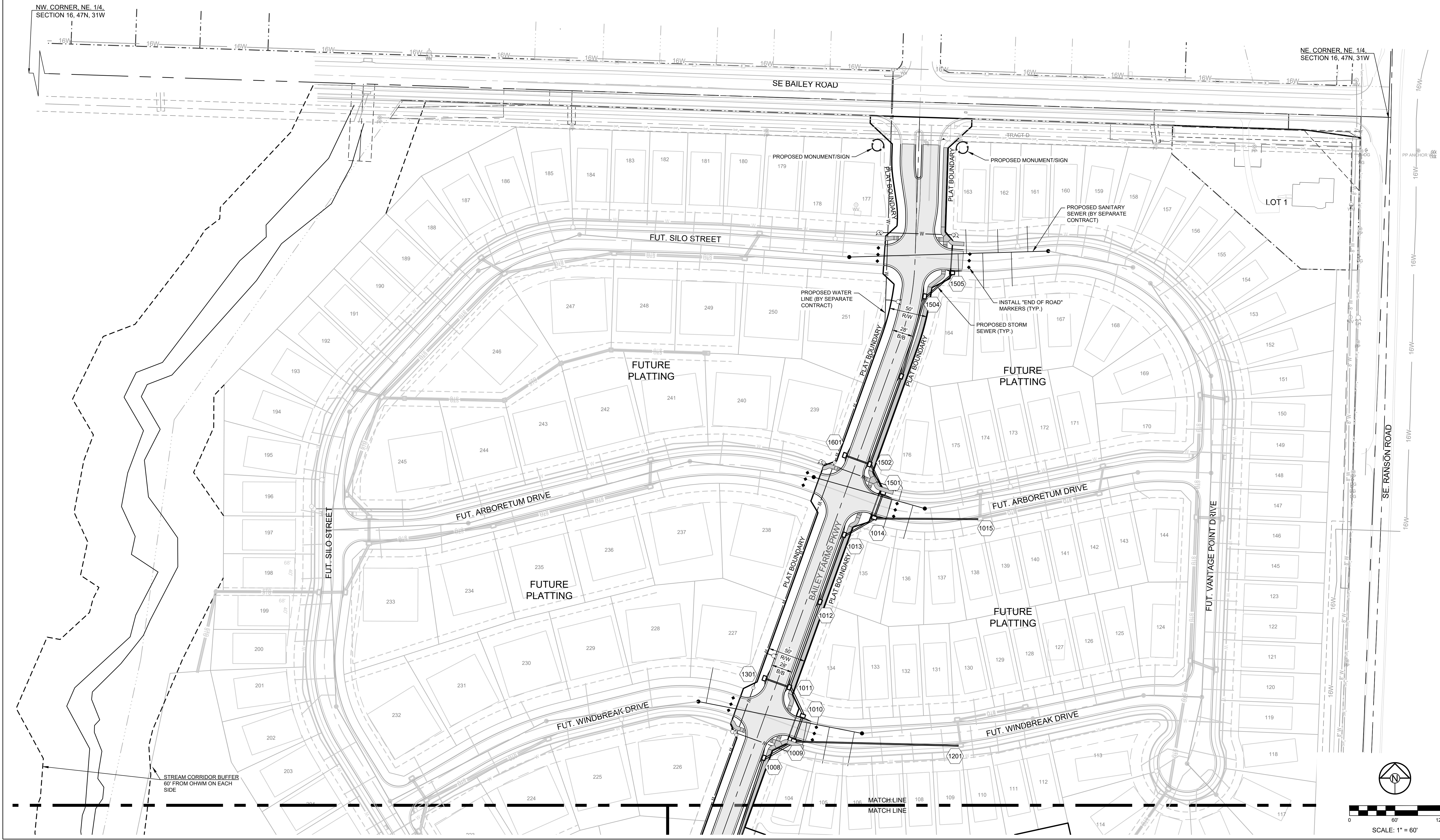
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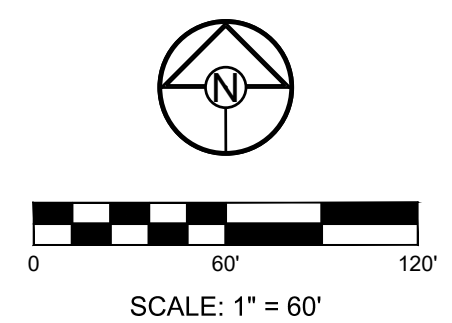
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**STREET LEGEND:**

- RESIDENTIAL LOCAL
- RESIDENTIAL COLLECTOR



I:\PROJECTS\2021\21-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GEN.dwg



NW CORNER, NE. 1/4, SECTION 16, 47N, 31W

NE CORNER, NE. 1/4, SECTION 16, 47N, 31W

STREAM CORRIDOR BUFFER  
 60' FROM OHWM ON EACH SIDE

MATCHLINE  
 MATCHLINE

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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**BASIS OF BEARINGS:**



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PREPARED BY:



4/21/2022

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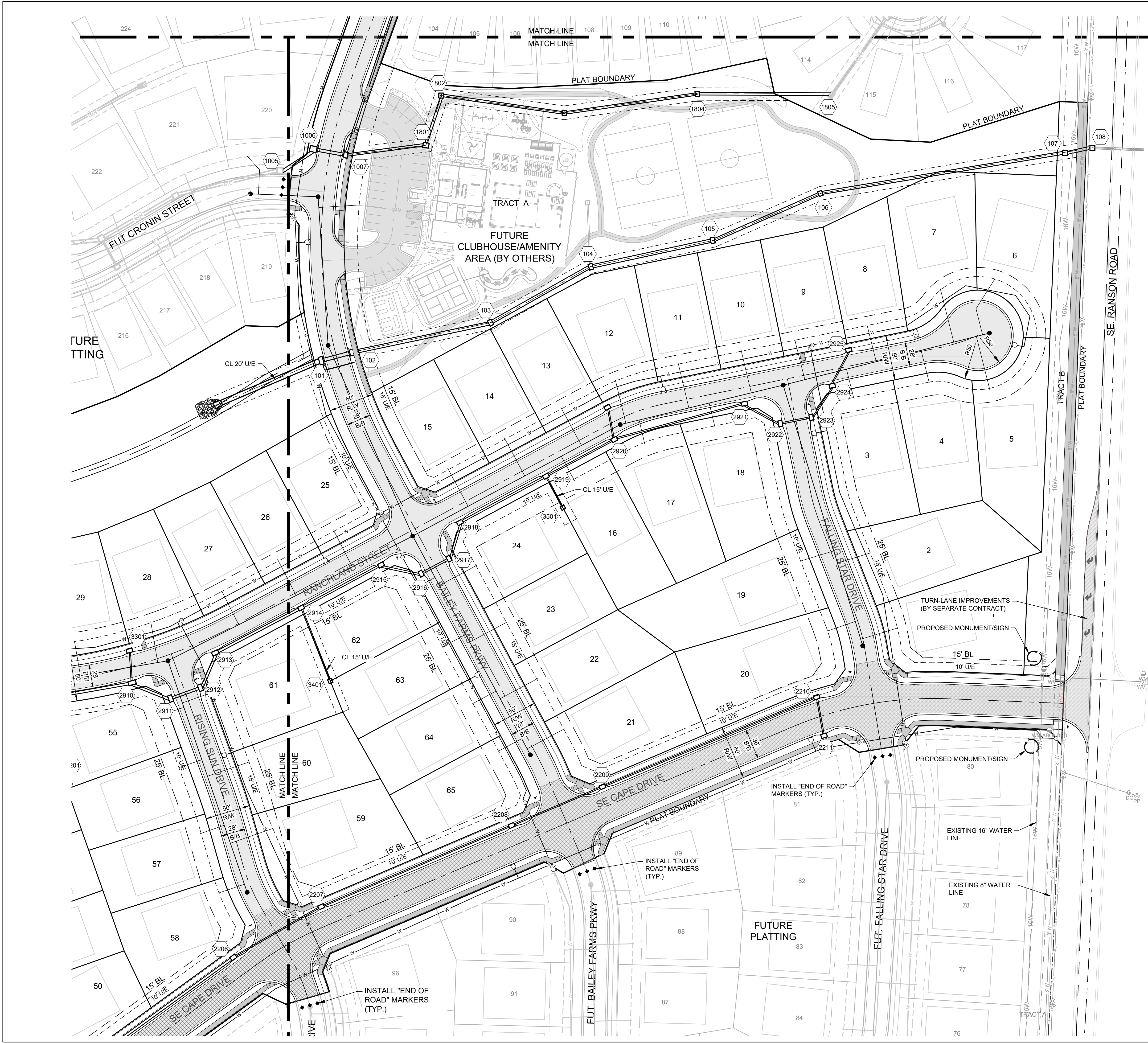
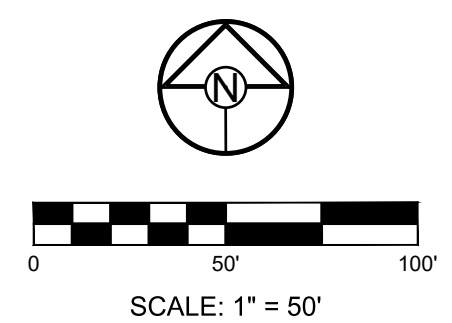
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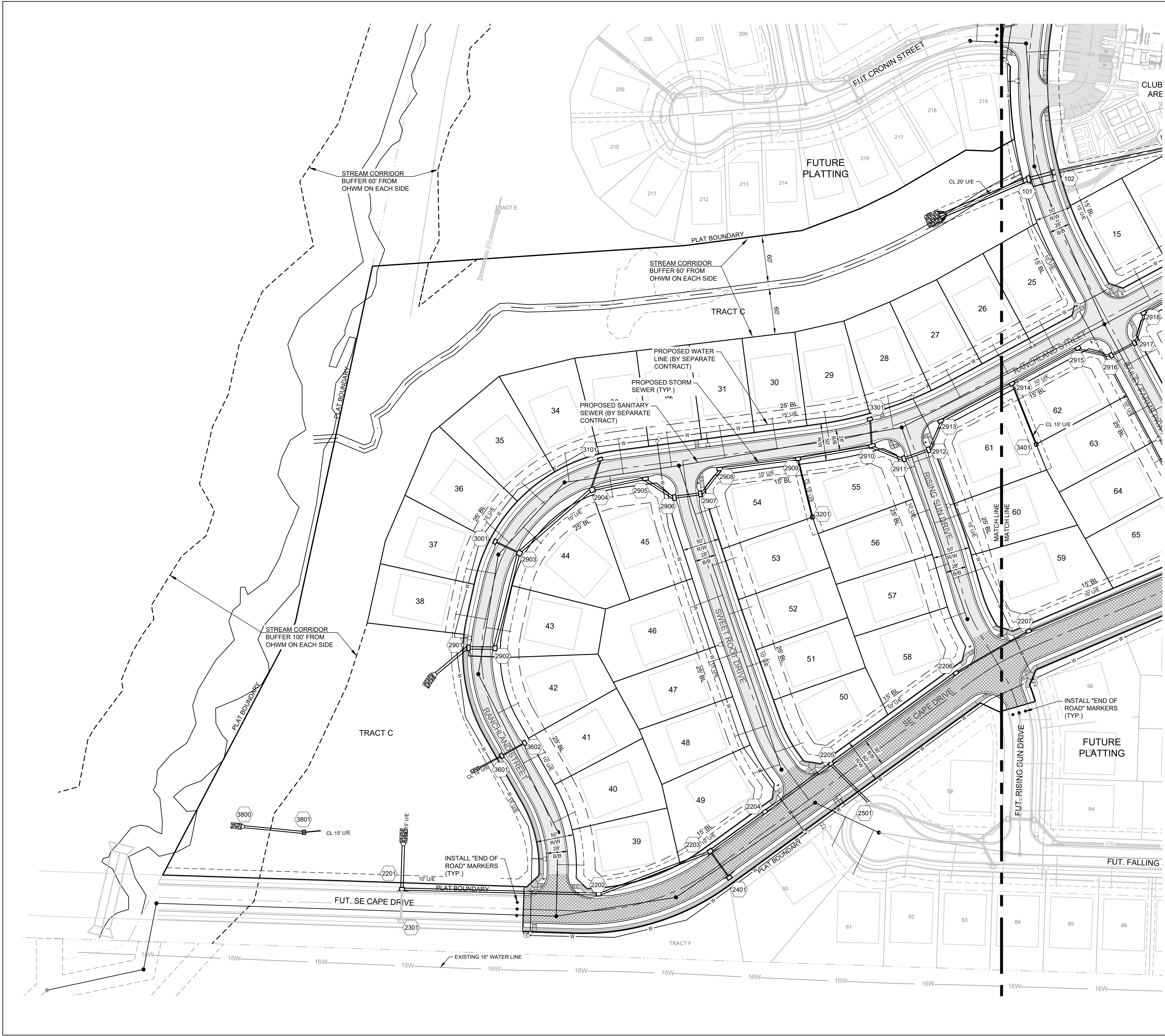
GENERAL LAYOUT (EAST)

SHEET

**3**



I:\PROJECTS\2021\121-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GEN.dwg



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

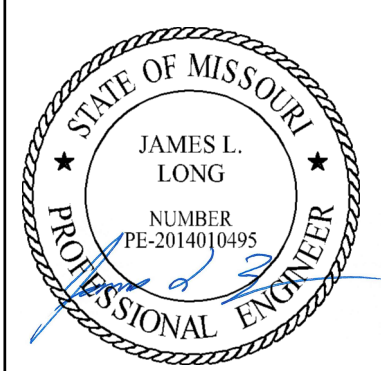
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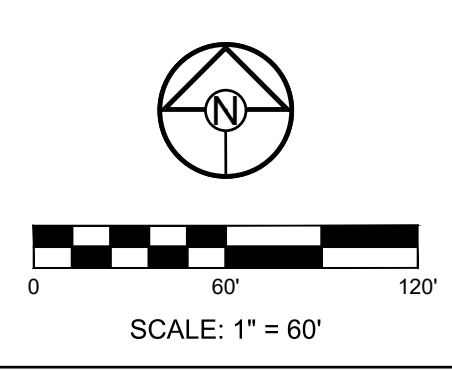


4/21/2022  
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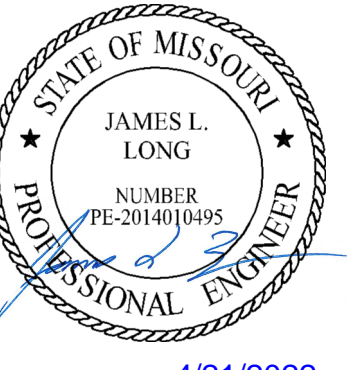
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GENERAL LAYOUT (WEST)  
SHEET  
**4**



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
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 LEE'S SUMMIT, MISSOURI**

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GRADING PLAN (NORTH)  
 SHEET **5**

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MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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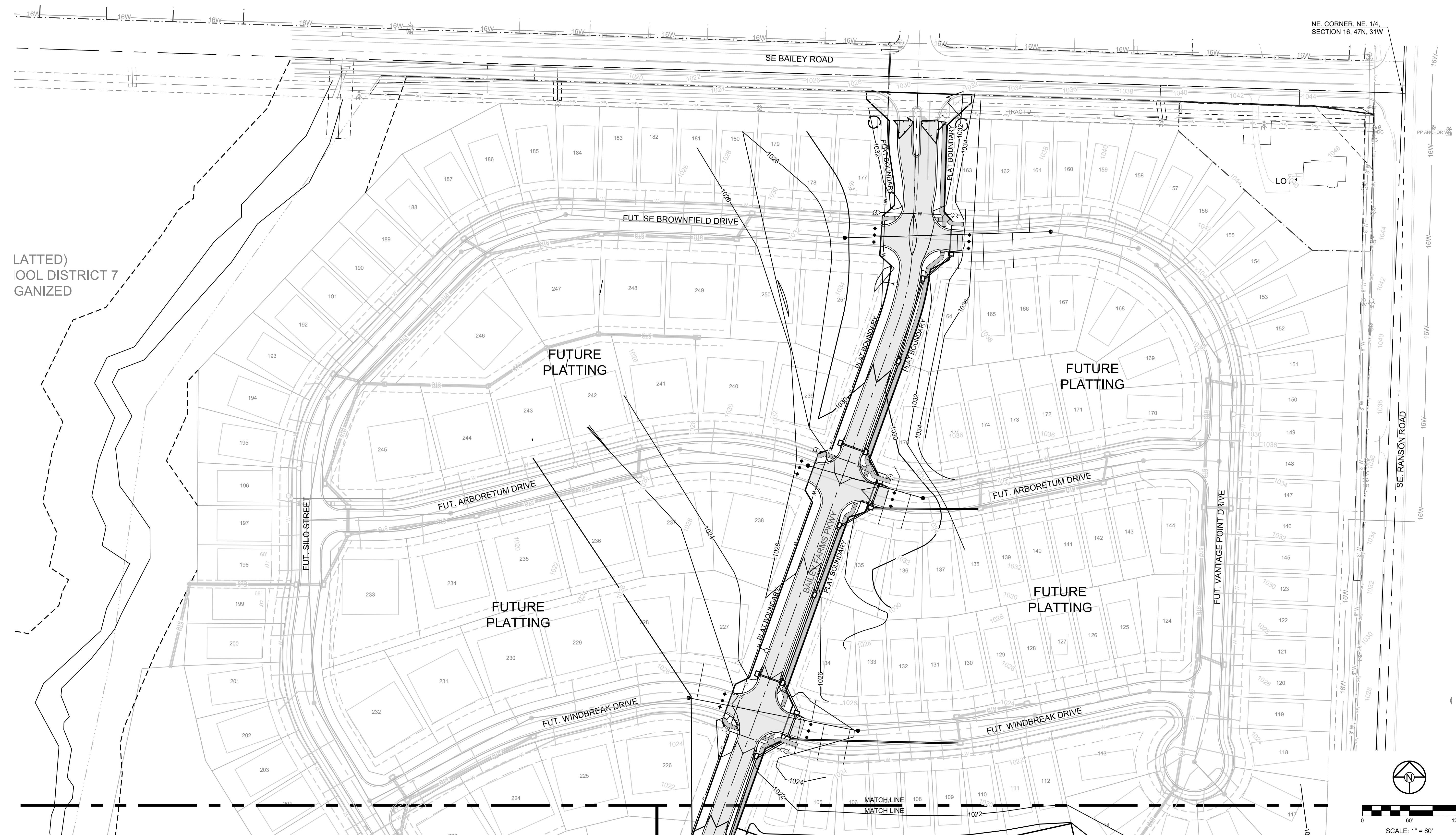
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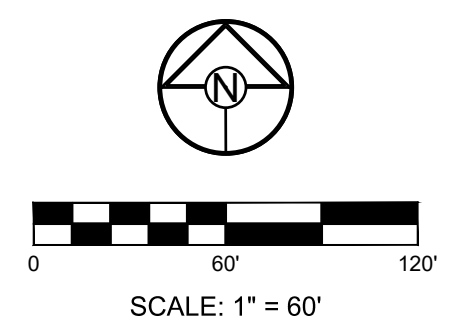
**GRADING LEGEND:**

- 1023 --- EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR
- MWSE ---

- EL.000.00 DENOTES FINISHED GRADE ELEVATION
- EL.000.00 (EX.) DENOTES EXISTING GRADE ELEVATION
- HP 000.00 DENOTES LOT HIGH POINT ELEVATION



LATTED)  
 OOL DISTRICT 7  
 GANIZED



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MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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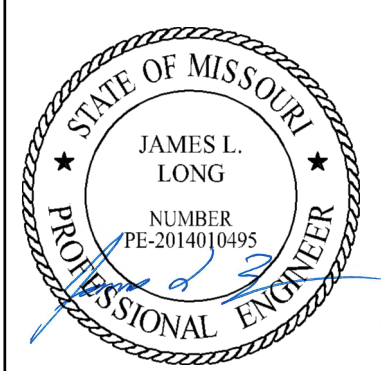
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LOT TYPE TABLE			LOT TYPE TABLE		
LOT #	BASEMENT TYPE	MBOE	LOT #	BASEMENT TYPE	MBOE
1	STANDARD		34	DAYLIGHT	
2	STANDARD		35	DAYLIGHT	
3	STANDARD		36	WALKOUT	
4	STANDARD		37	WALKOUT	
5	STANDARD		38	STANDARD	1002
6	STANDARD	1027	39	STANDARD	
7	STANDARD	1025	40	STANDARD	
8	DAYLIGHT	1022	41	STANDARD	
9	DAYLIGHT	1022	42	STANDARD	
10	STANDARD	1021	43	STANDARD	
11	STANDARD	1021	44	STANDARD	
12	STANDARD	1018	45	STANDARD	
13	STANDARD	1020	46	WALKOUT	
14	STANDARD	1020	47	WALKOUT	
15	STANDARD	1020	48	DAYLIGHT	
16	STANDARD	49	DAYLIGHT		
17	STANDARD	50	STANDARD		
18	STANDARD	51	STANDARD		
19	DAYLIGHT	52	STANDARD		
20	DAYLIGHT	53	STANDARD		
21	STANDARD	54	STANDARD	1014	
22	STANDARD	55	STANDARD	1014	
23	STANDARD	56	STANDARD		
24	STANDARD	57	STANDARD		
25	DAYLIGHT	58	STANDARD		
26	DAYLIGHT	1009	59	STANDARD	
27	DAYLIGHT	1009	60	STANDARD	
28	DAYLIGHT	1008	61	STANDARD	1017
29	DAYLIGHT	1008	62	STANDARD	1017
30	DAYLIGHT	1007	63	STANDARD	
31	DAYLIGHT	1007	64	STANDARD	
32	DAYLIGHT	1005	65	STANDARD	
33	DAYLIGHT	1005			

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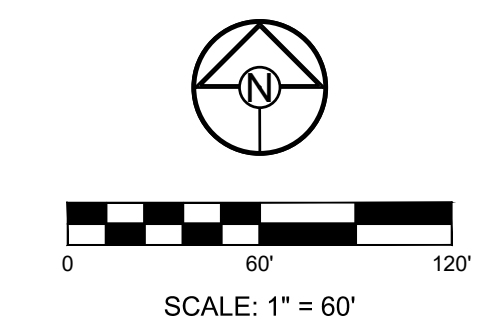
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GRADING PLAN (EAST)

SHEET

6



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MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

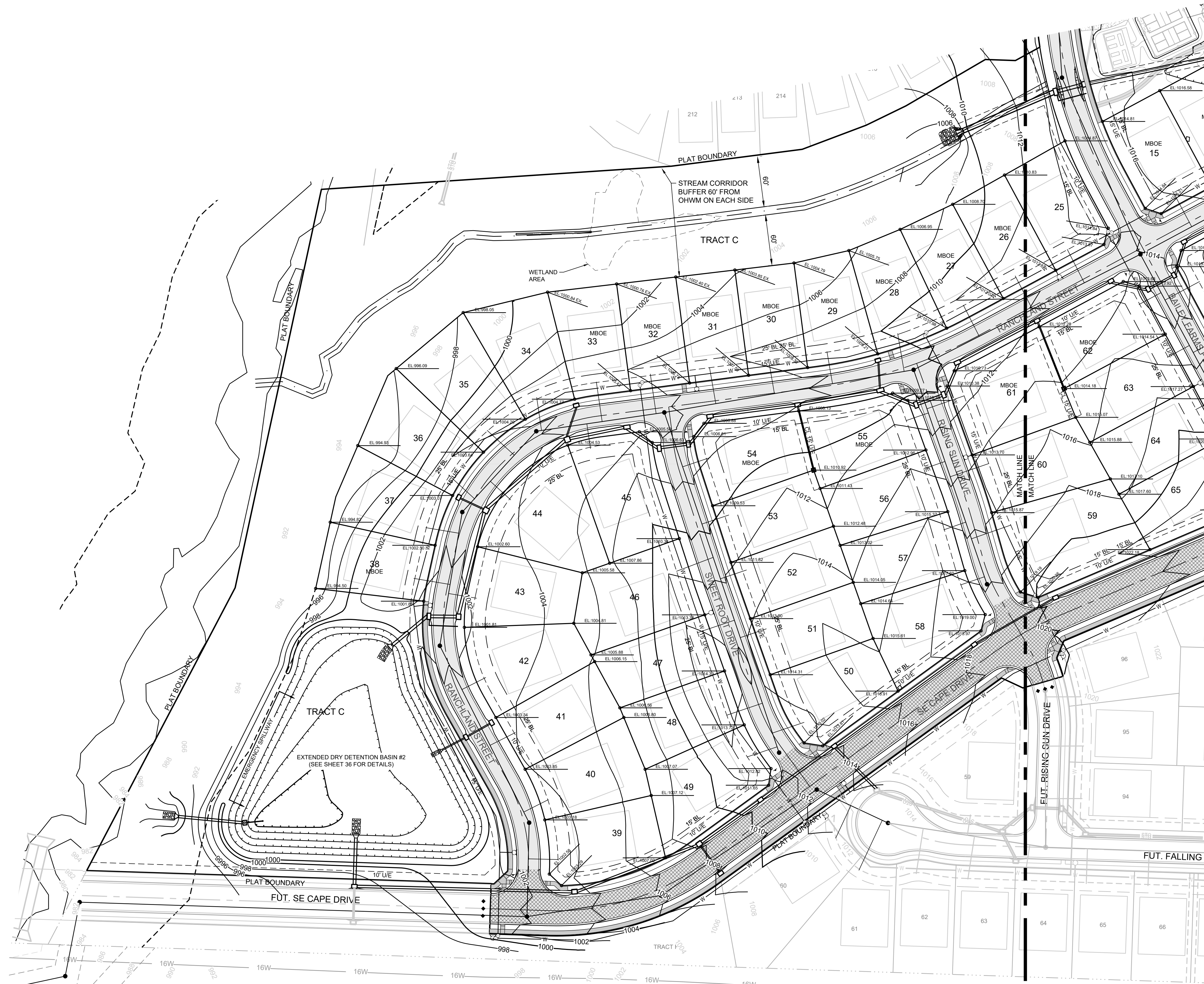
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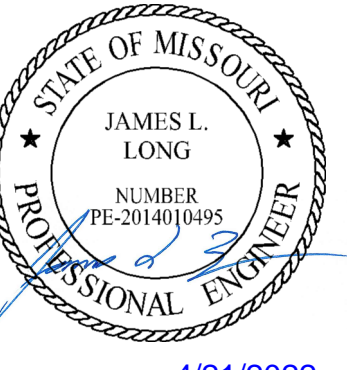
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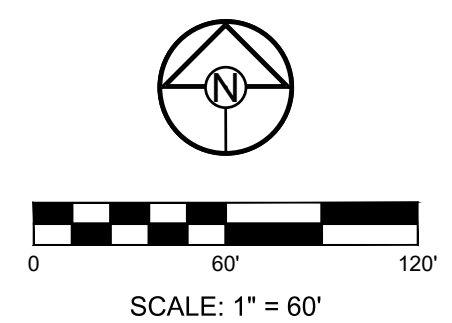
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GRADING PLAN (WEST)

SHEET



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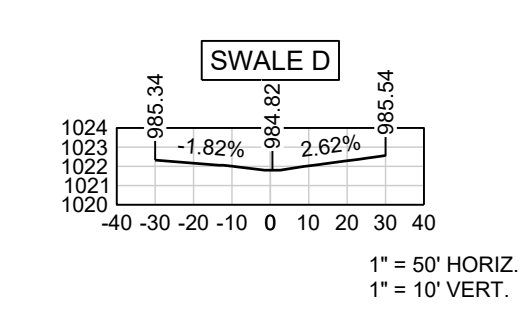
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**WEIR CALCULATIONS (Q = CLH<sup>3/2</sup>)**

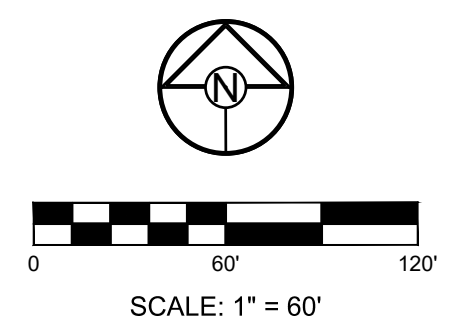
SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	DESIGN OVERFLOW (CFS)	WEIR ELEVATION	WEIR COEFFICIENT	LENGTH	HEAD REQ'D	WSE
1	6.45	67.40	67.40	1016.56	3.33	10'-0"	1.60	1018.20
2	5.50	57.47	57.47	1016.63	3.33	10'-0"	1.44	1018.10
3	4.95	51.72	51.72	1017.89	3.33	10'-0"	1.34	1019.30
4	4.30	44.93	44.93	1018.84	3.33	10'-0"	1.22	1020.10

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot i \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / h_{100} = 10.32")$   
 DESIGN OVERFLOW =  $Q_{\text{OVERFLOW}} = Q_{100} - Q_{10}$   
 MANNINGS "n" = 0.030 FOR SWALES



**100 YEAR OVERFLOW SWALES**

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
D-D	4.30	28.29	16.12	12.17	2.00	5	50:1	35.00	0.30	2.03	0.06	0.36



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PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

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SWALE GRADING PLAN (EAST)  
 SHEET  
**8**





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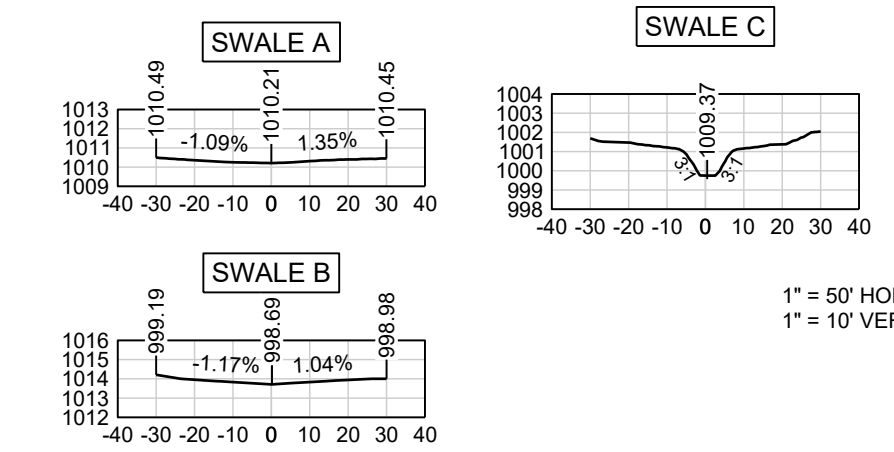
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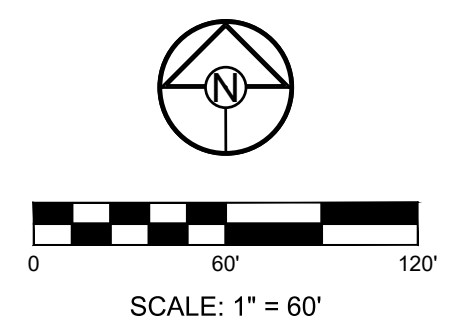
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2. EGL = ENERGY GRADE LINE (100 YR)
3. WSE = WATER SURFACE ELEVATION (100 YR)
4. ENGINEERED SWALES TO BE GRADED TO NORMAL DEPTH OF FLOW (WATER SURFACE ELEVATION) OR 1.0 FT, WHICHEVER IS GREATER. MINIMUM SLOPE OF ENGINEERED SWALES SHALL BE AS NOTED.
5. MBOE'S ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM



100 YEAR OVERFLOW SWALES												
SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
A-A	1.10	7.24	4.12	3.12	2.6	--	100:1	30.00	0.15	1.39	0.03	0.18
B-B	0.90	5.92	3.38	2.54	3.5	--	100:1	28.00	0.14	1.30	0.03	0.17
C-C	14.80	97.37	55.48	41.89	2.4	5	3:1	10.58	0.93	5.78	0.52	1.45

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot i \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / i_{100} = 10.32")$   
 $\text{DESIGN OVERFLOW} = Q_{\text{OVERFLOW}} = Q_{100} \cdot Q_{10}$   
**MANNINGS "n" = 0.030 FOR SWALES**



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 WWW.SCHLAGELASSOCIATES.COM  
 Missouri State Certificates of Authority  
 #E2002003690-F #LAC2001005237 #LS200200869-F

PREPARED BY:  
  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEES SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

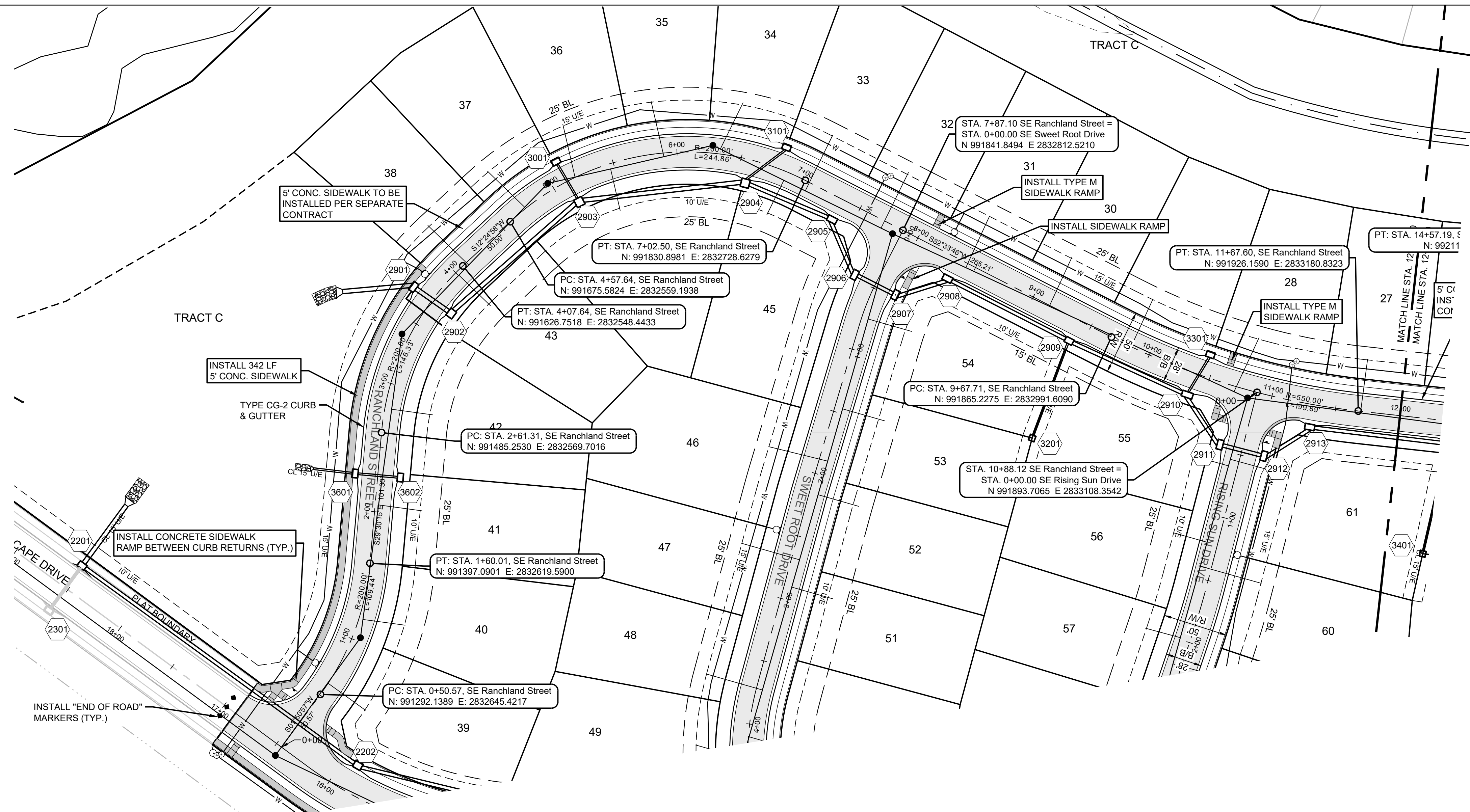
SWALE GRADING PLAN (WEST)

SHEET  
**9**



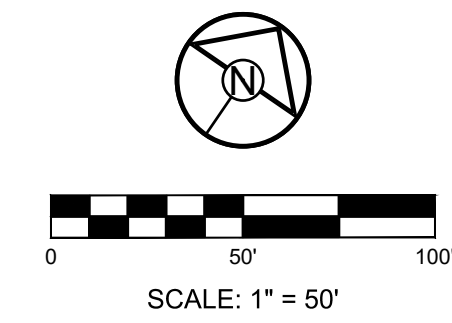






**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
 BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.  
 ELEV. = 1046.25

**NOTES:**  
 ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.  
 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

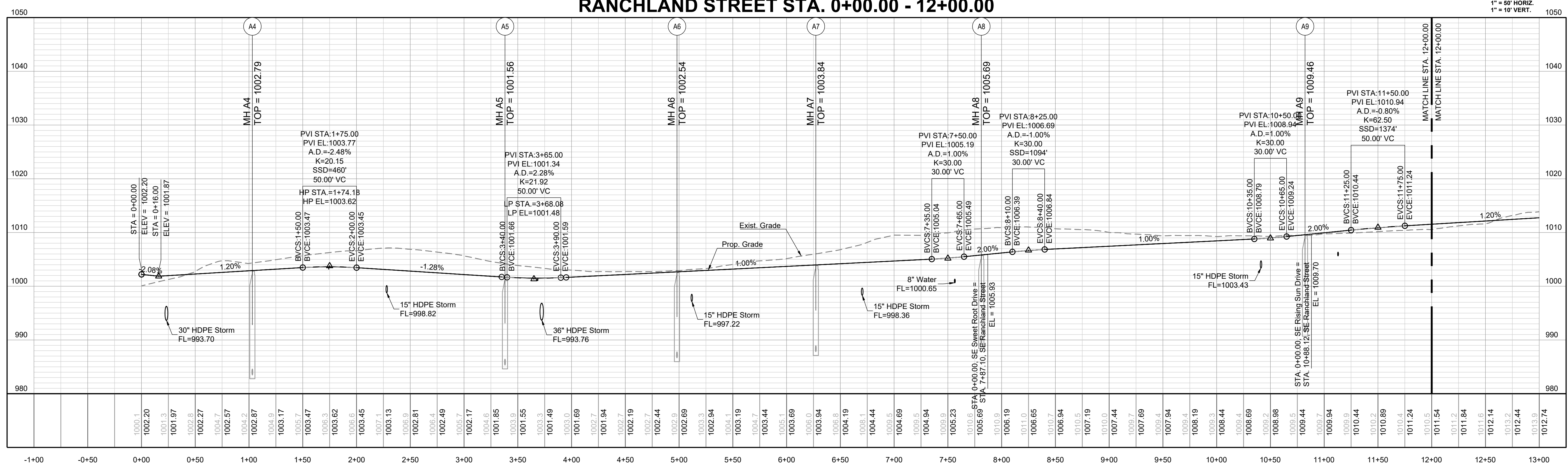


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 Missouri State Certificate of Authority  
 #E200200360P #LAC200100237 #LS200200869F

PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEES SUMMIT, MISSOURI

**RANGLAND STREET STA. 0+00.00 - 12+00.00**



REVISION DATE	DESCRIPTION
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04/20/2022	City Comments dated 02/14/2022

DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 11/05/2021	PROJ. NUMBER: 21-130
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**RANGLAND ST WEST PLAN & PROFILE**

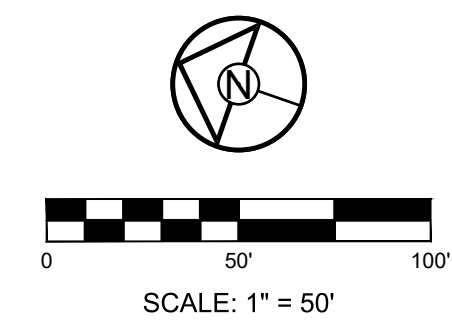
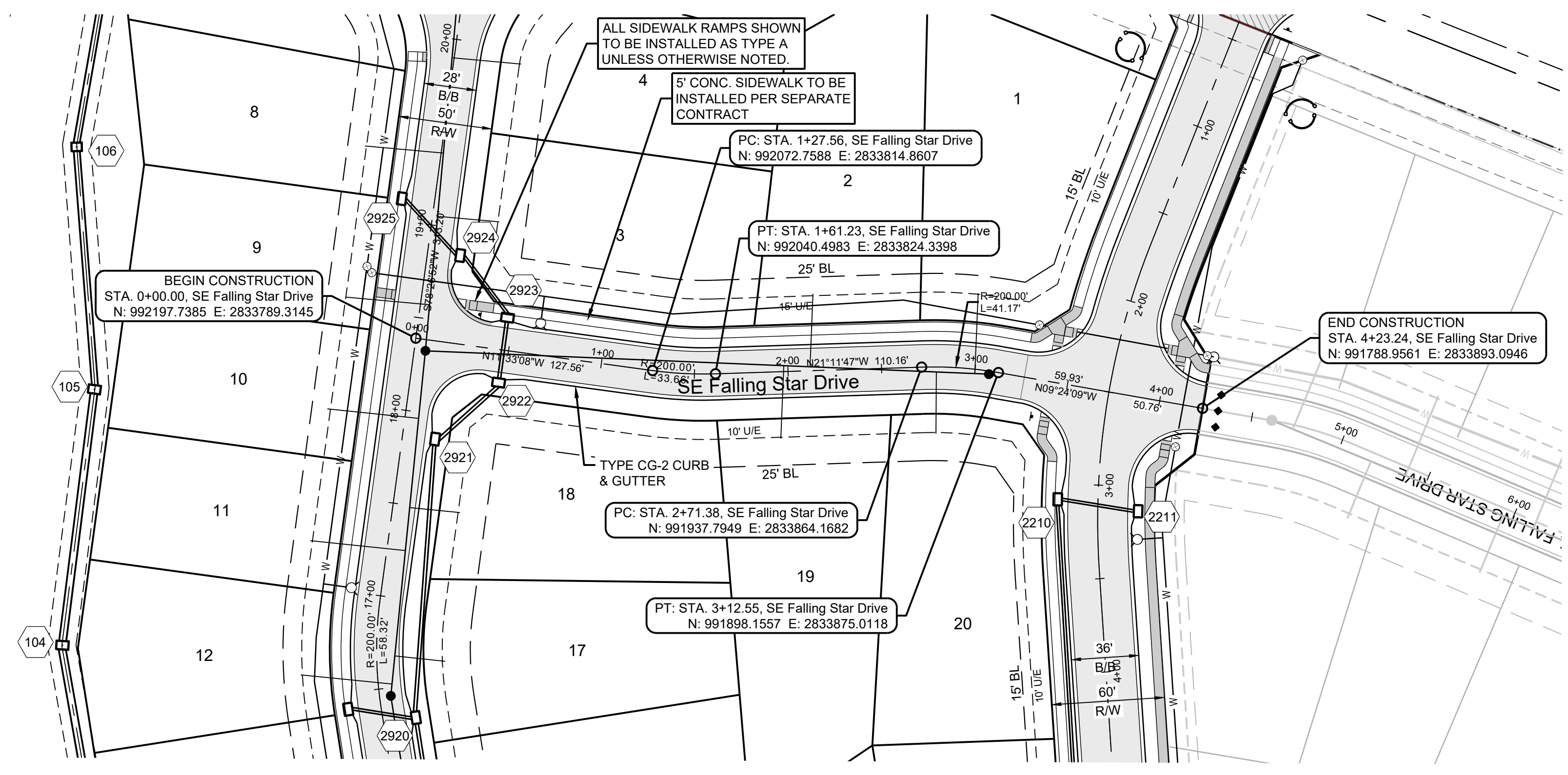
SHEET  
**13**











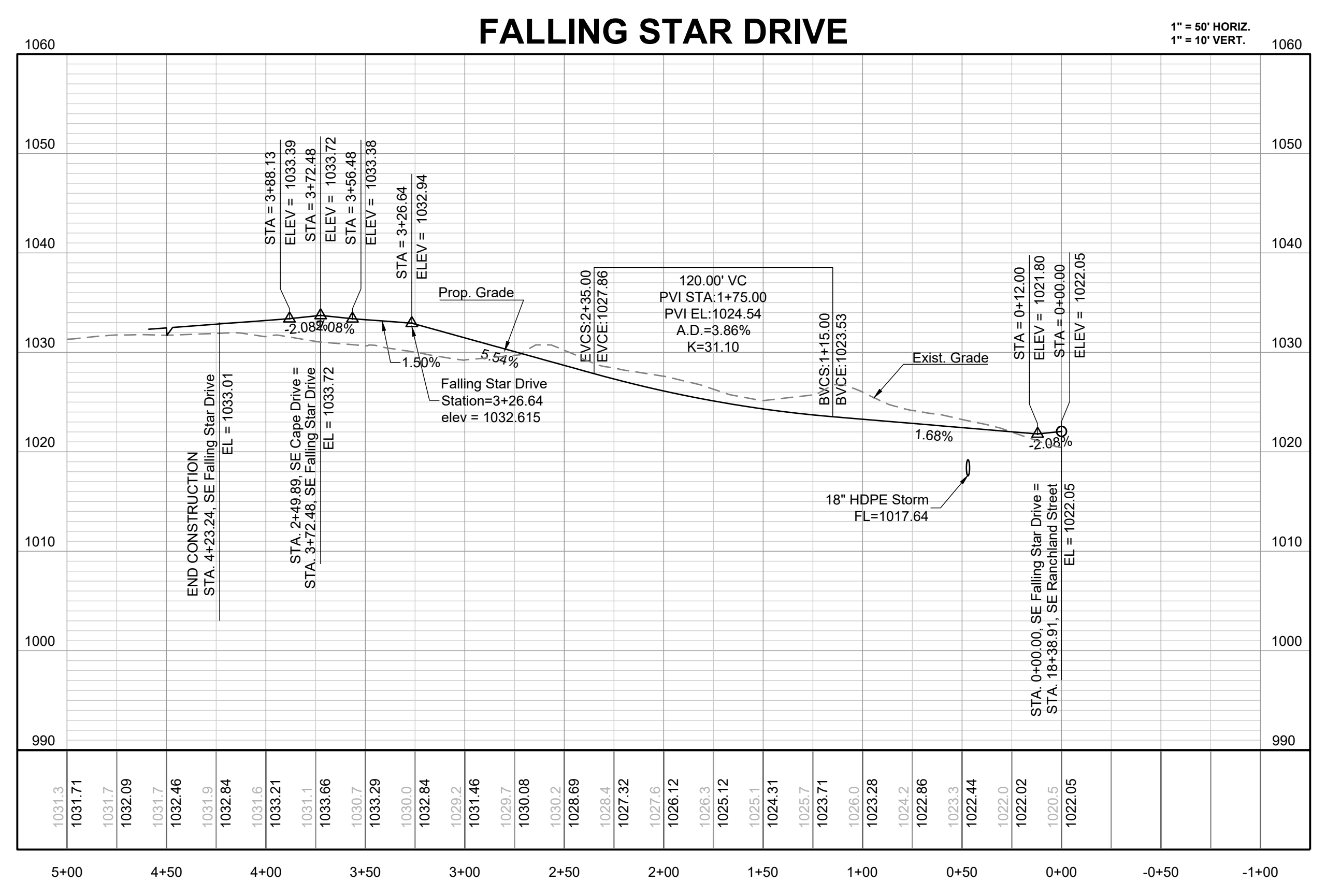
**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
 BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.  
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PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

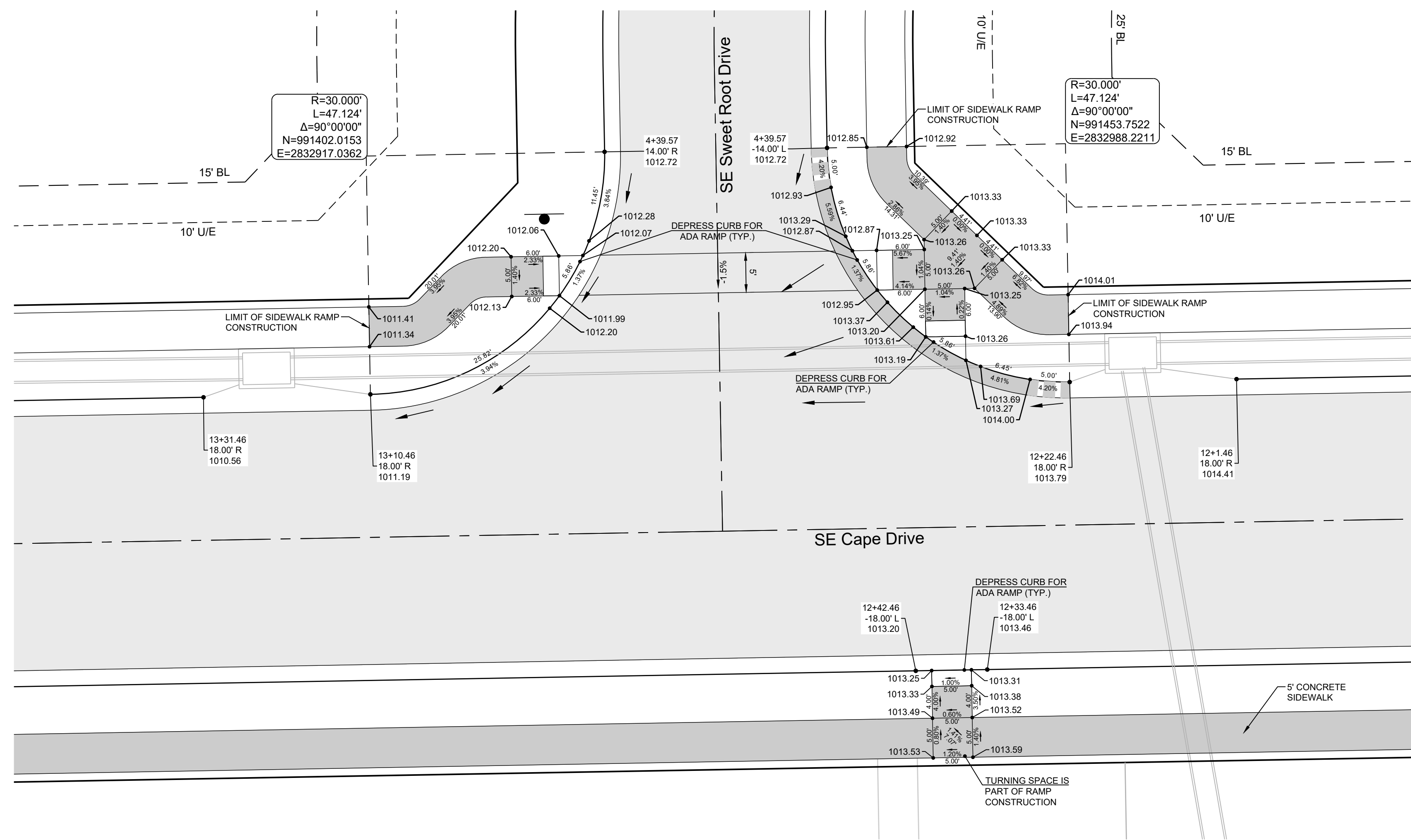
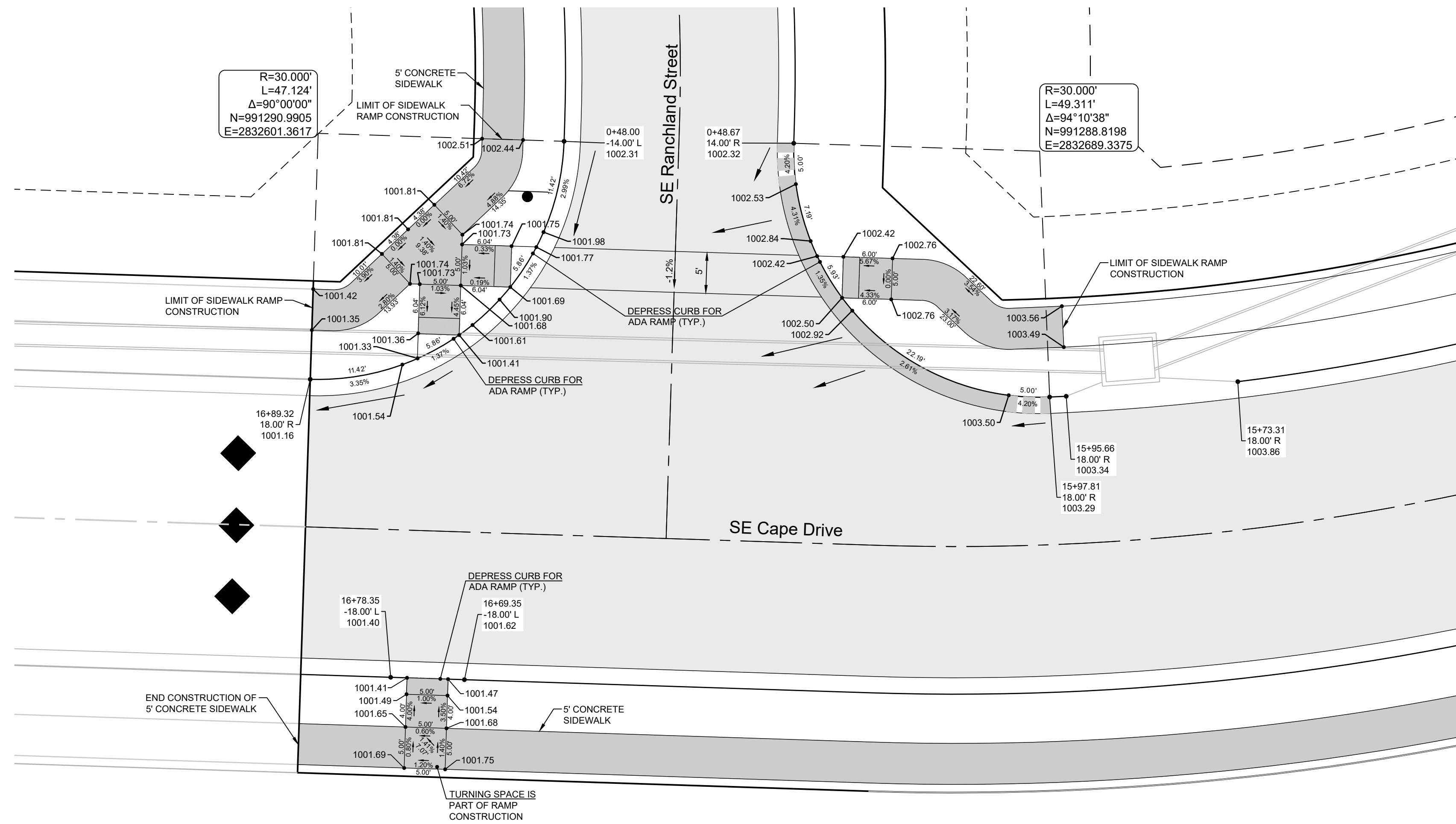
MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI



REVISION DATE	DESCRIPTION
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04/20/2022	City Comments dated 02/14/2022

FALLING STAR  
 DR PLAN &  
 PROFILE

SHEET  
**17**



**CURB LEGEND**

	CURB & GUTTER - EXISTING
	TYPE "CG-2" CURB & GUTTER
	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

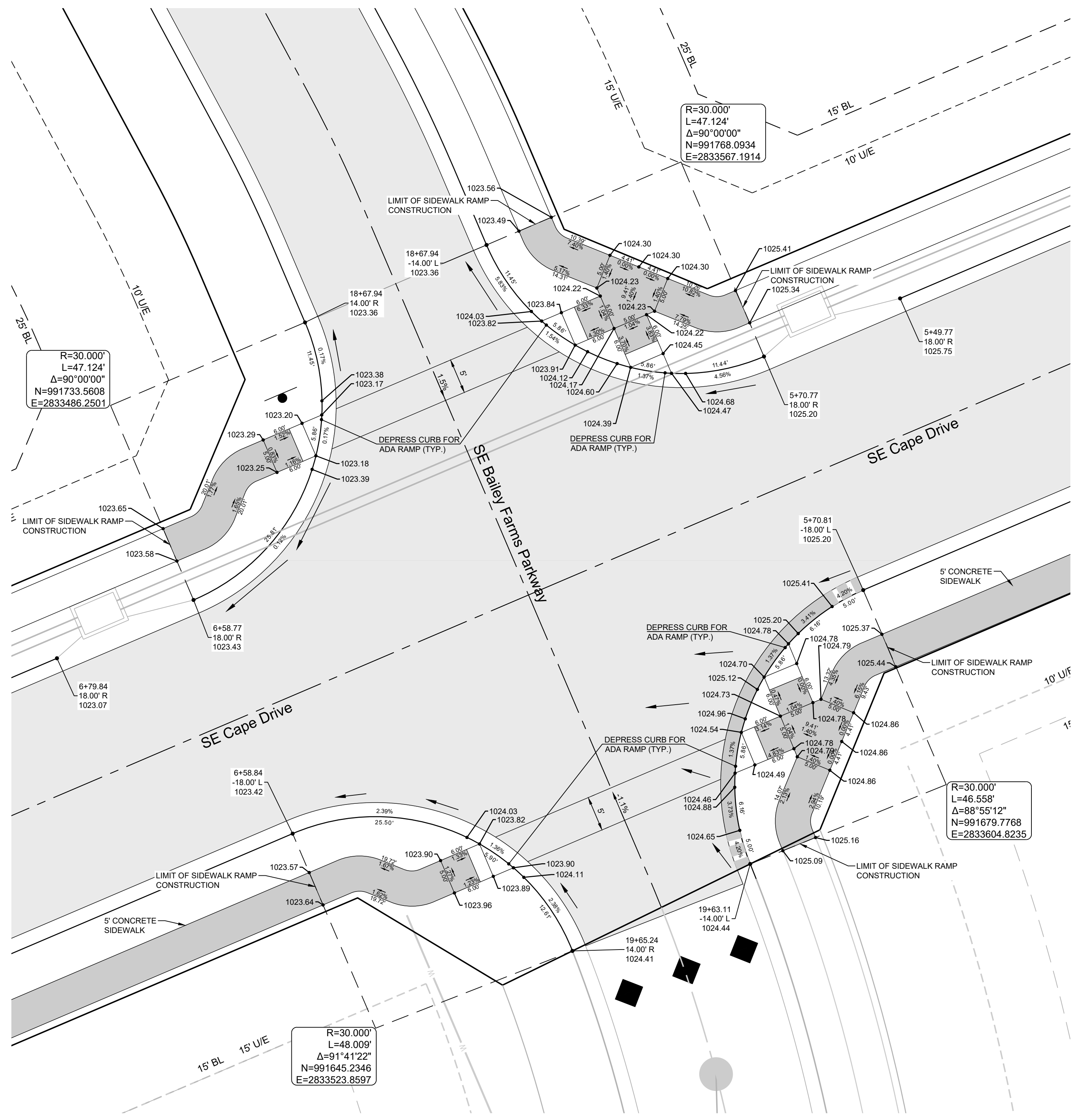
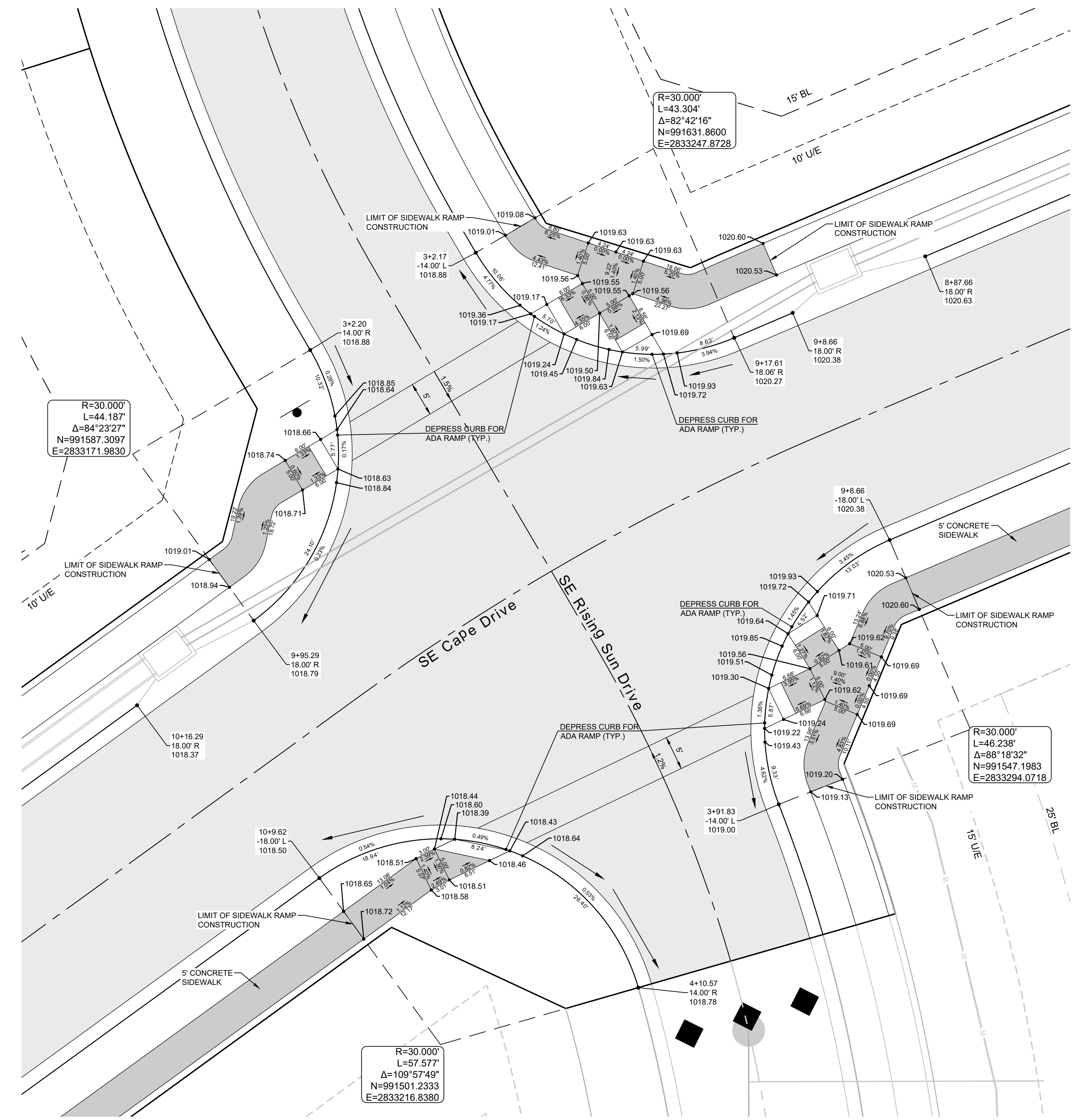
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DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

INTERSECTION  
 DETAILS 1 OF 8

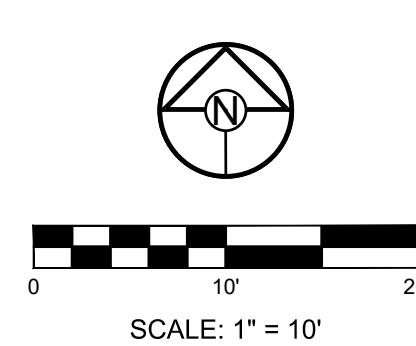
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**CURB LEGEND**

	CURB & GUTTER - EXISTING
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	TRANSITION "CG-2" TO "CG-2 DRY"



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Missouri State Certificate of Authority #E20200203609F #LAC2001005237 #LS2002008859F

PREPARED BY:  
**JAMES L. LONG**  
NUMBER PE-2014010495  
**PROFESSIONAL ENGINEER**  
4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER DRAINAGE  
PLAN

SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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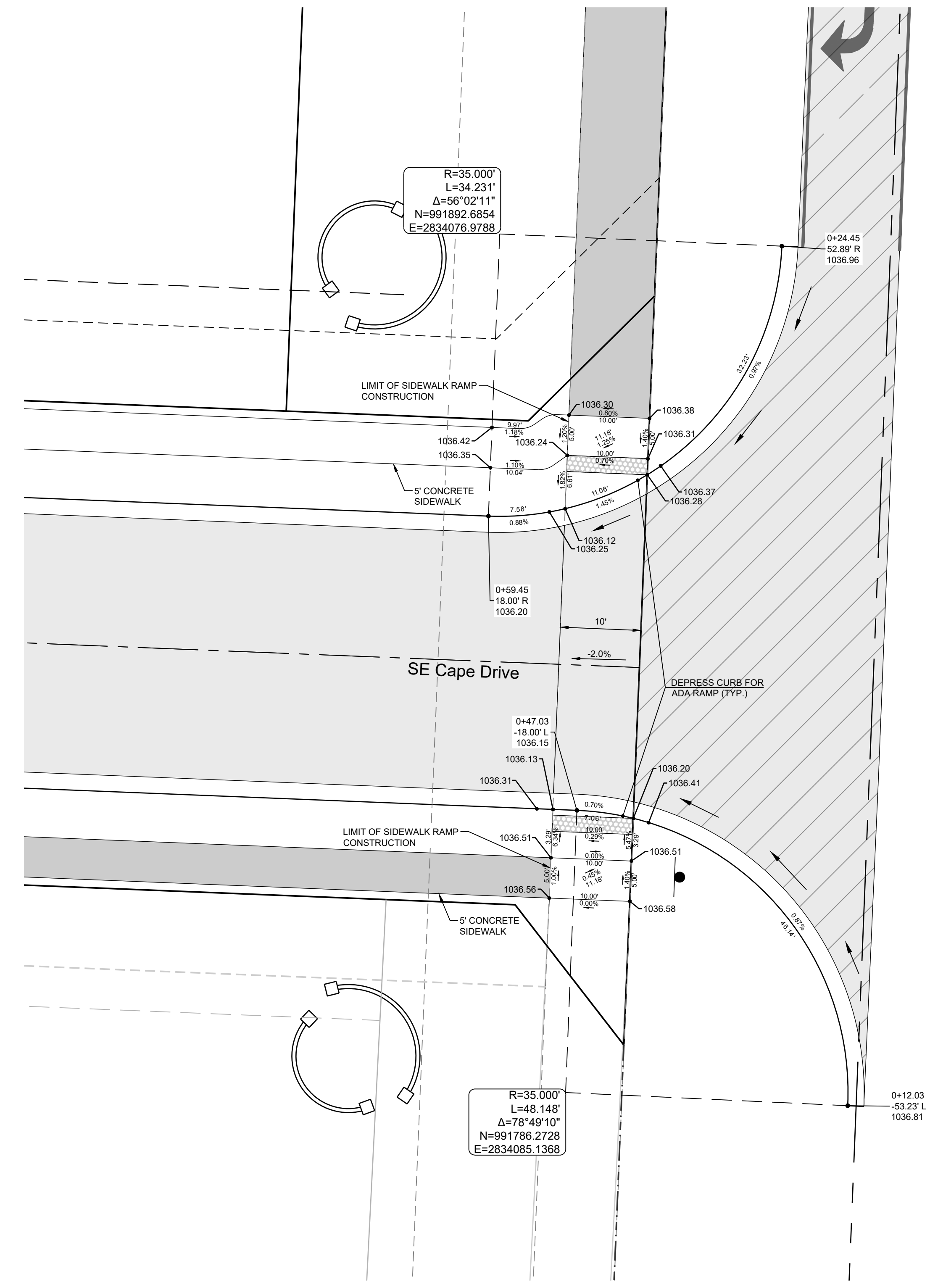
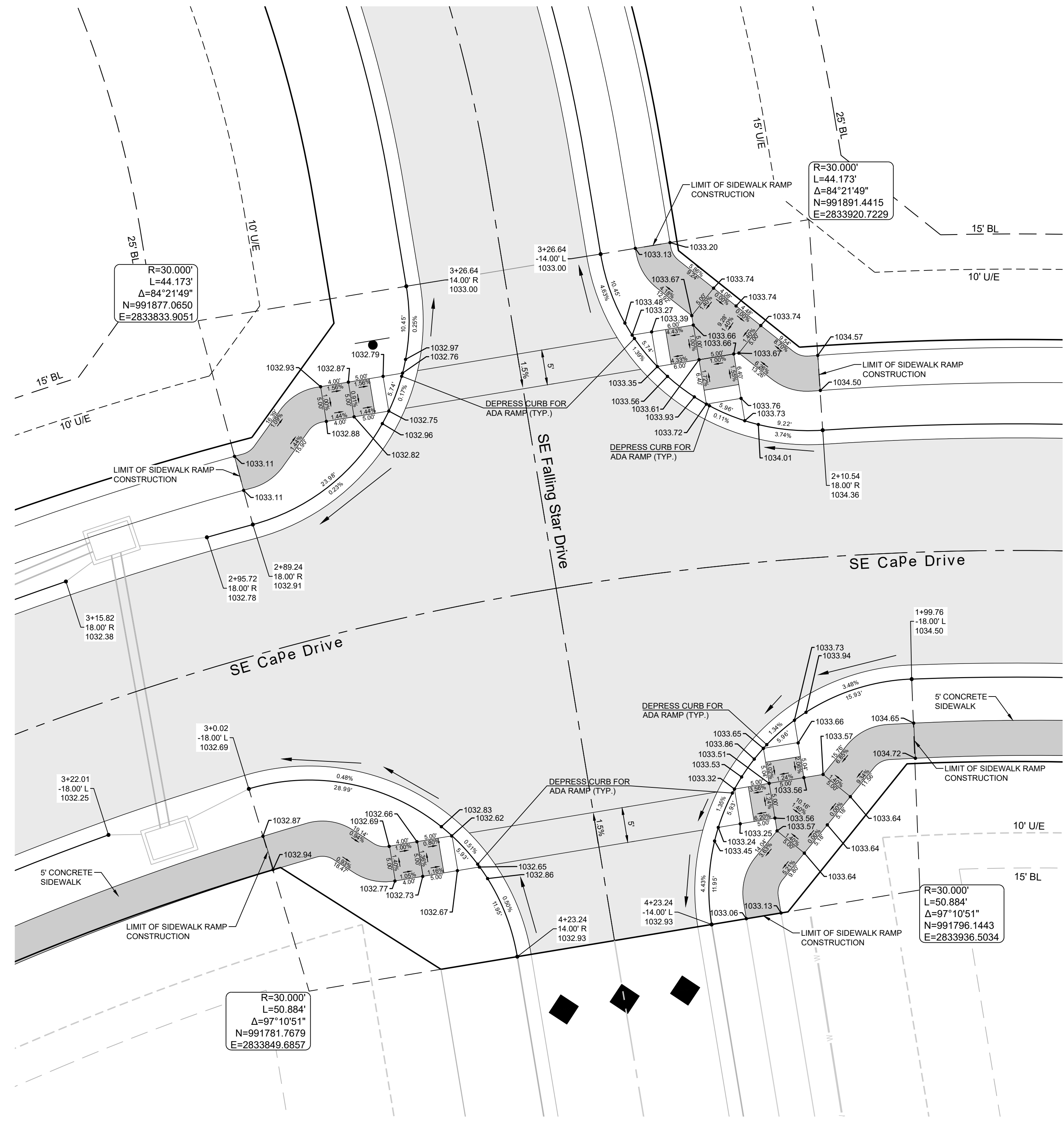
DATE PREPARED: 11/05/2021

PROJ. NUMBER: 21-130

INTERSECTION  
DETAILS 2 OF 8

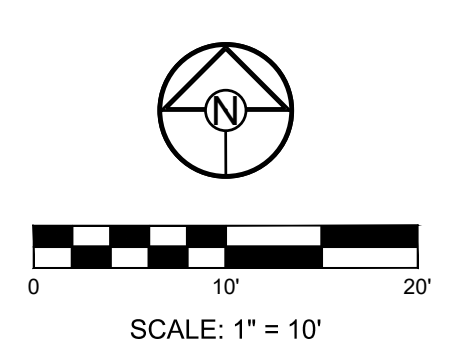
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19

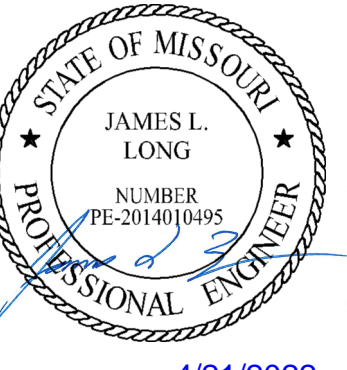


**CURB LEGEND**

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PREPARED BY:



4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.

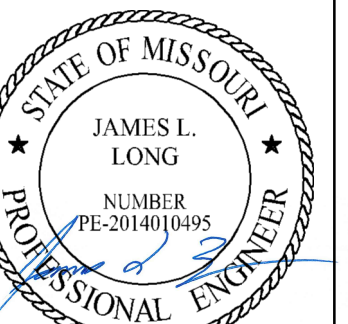
MANOR AT BAILEY FARMS, FIRST PLAT  
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 DRAINAGE PLAN  
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 LEE'S SUMMIT, MISSOURI

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CHECKED BY:	JLL
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PROJ. NUMBER:	21-130

INTERSECTION  
DETAILS 3 OF 8

PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

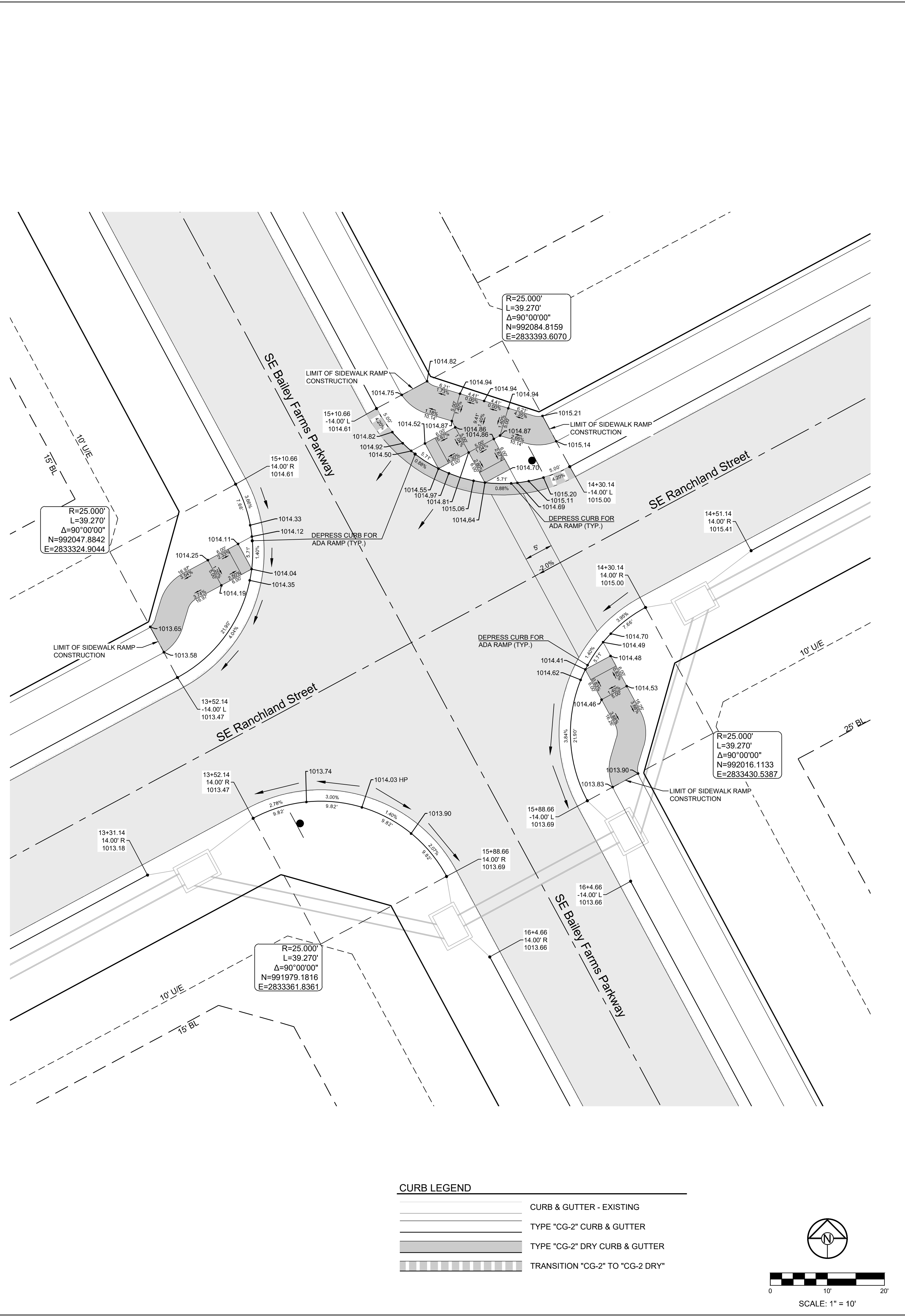
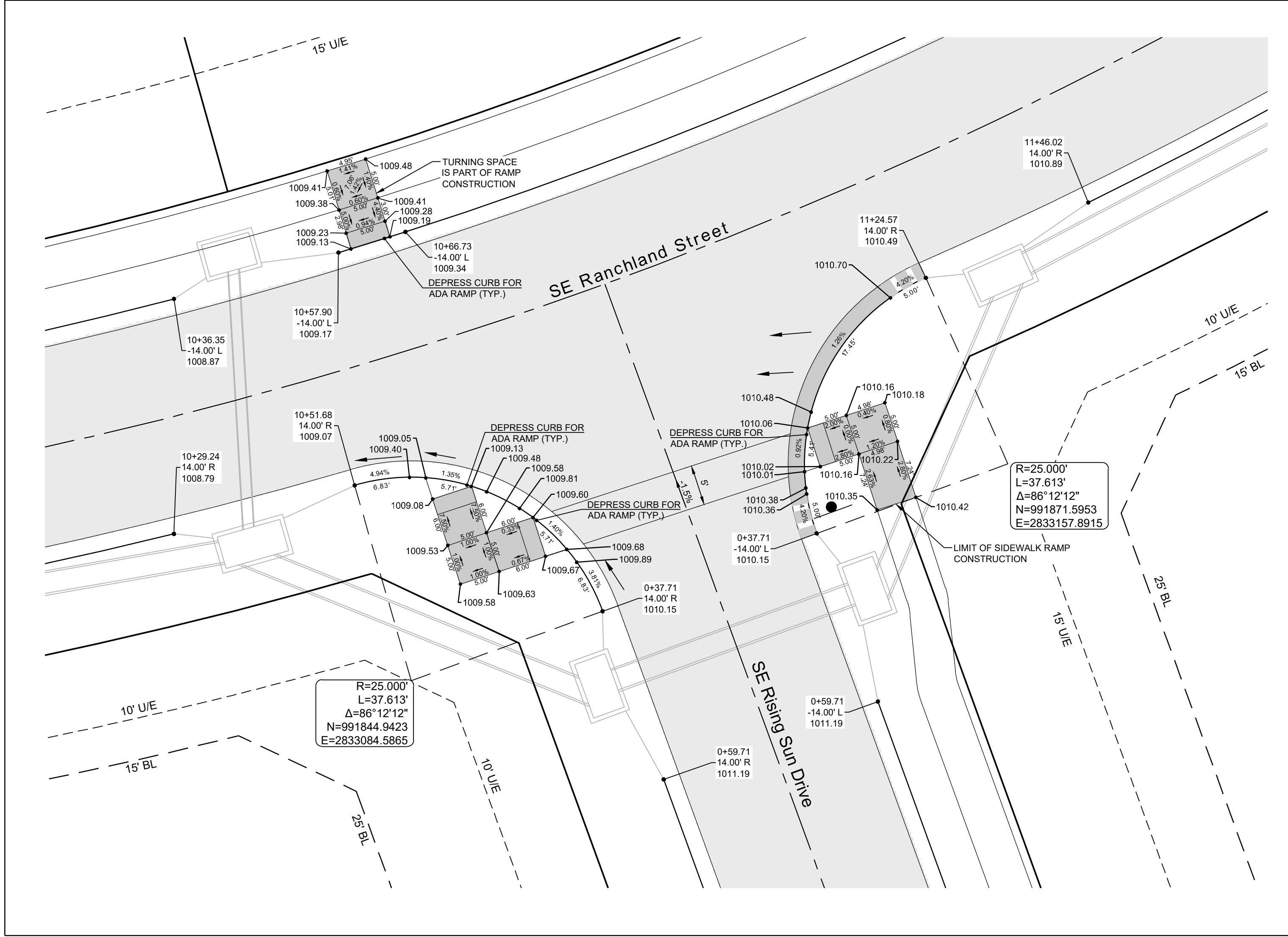
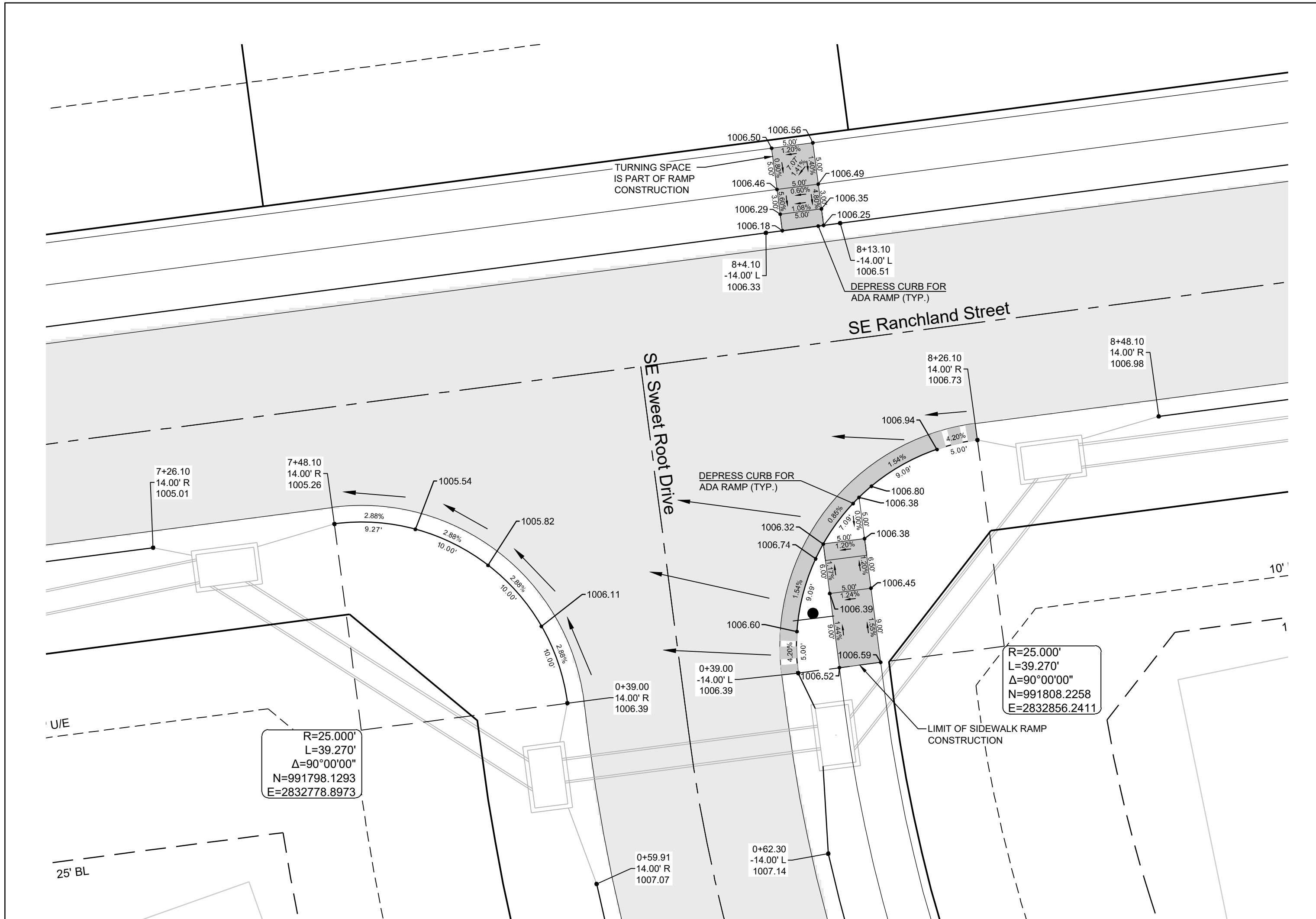
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DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

INTERSECTION  
 DETAILS 4 OF 8

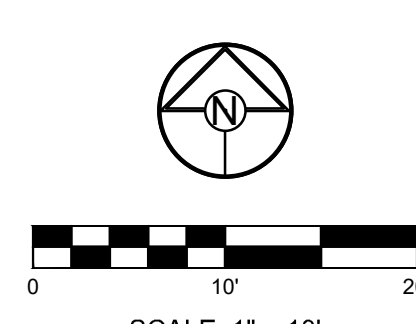
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21

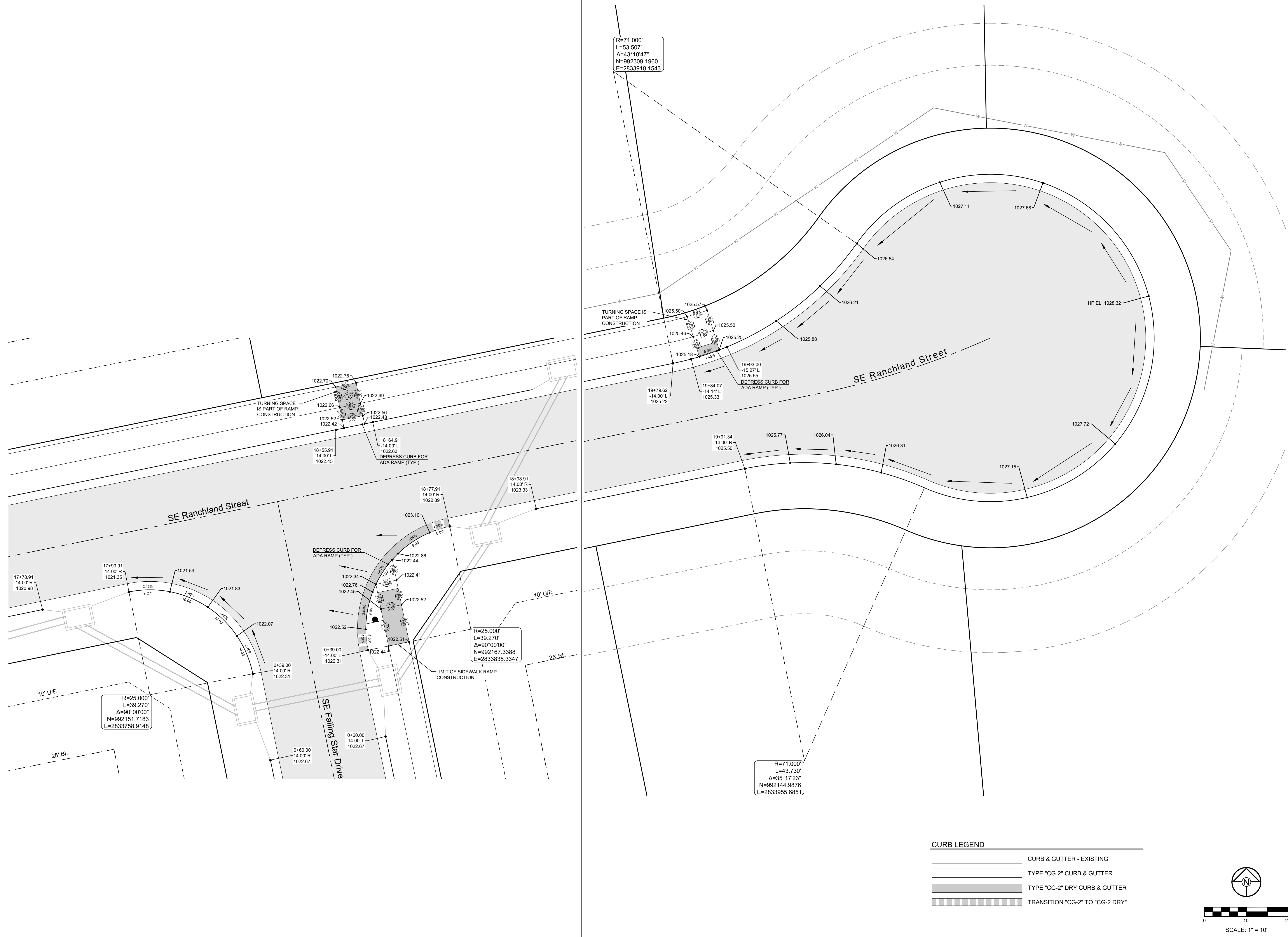


**CURB LEGEND**

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	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



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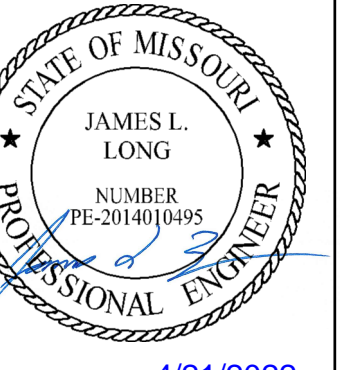
MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

INTERSECTIONS  
DETAILS 5 OF 8

PREPARED BY:



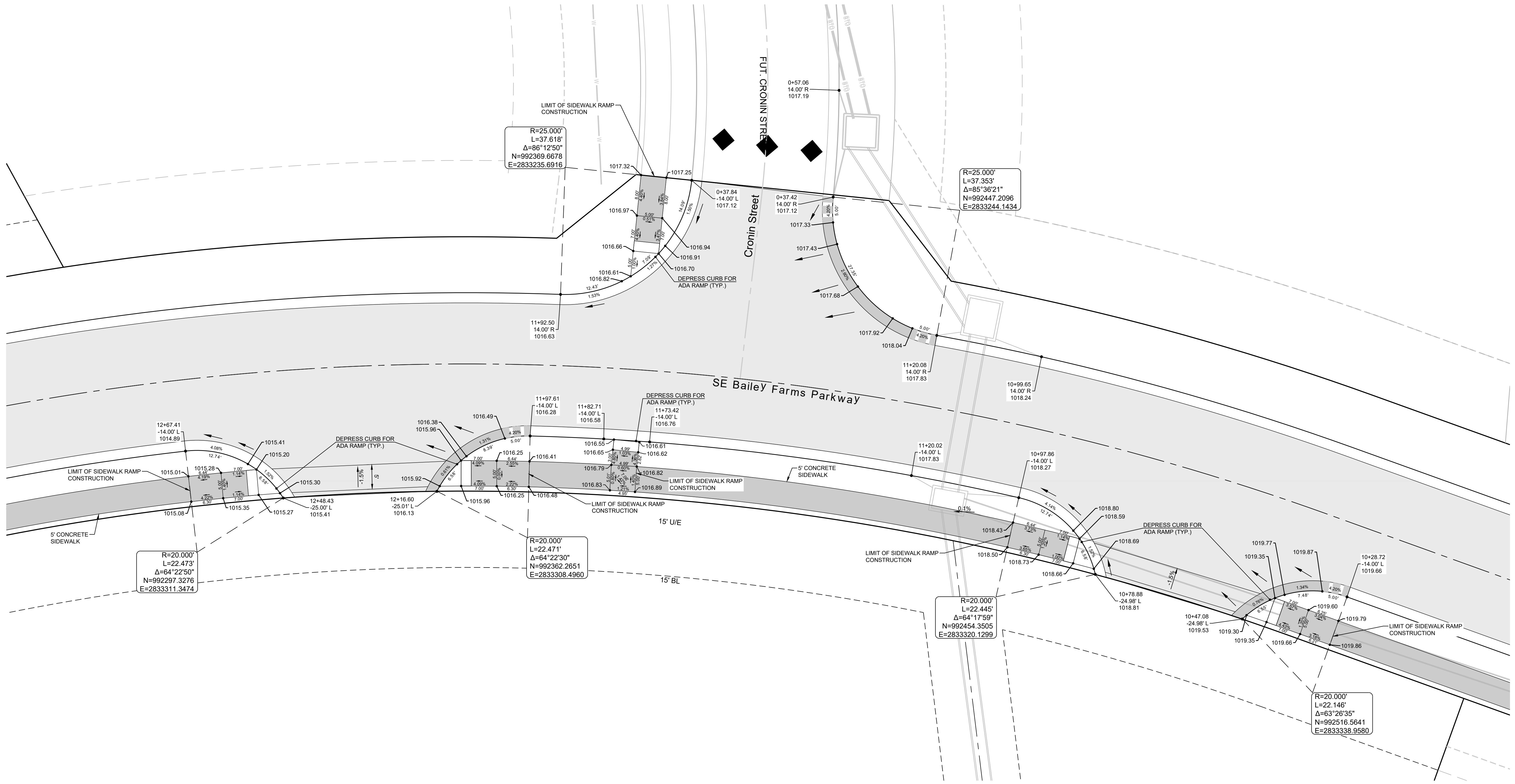
SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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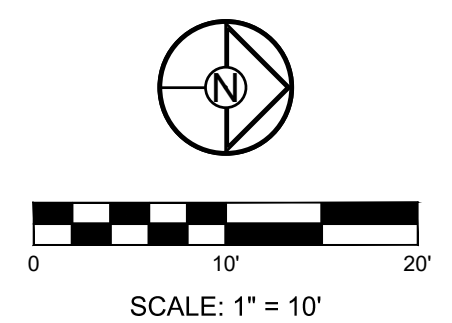
INTERSECTION DETAILS 6 OF 8

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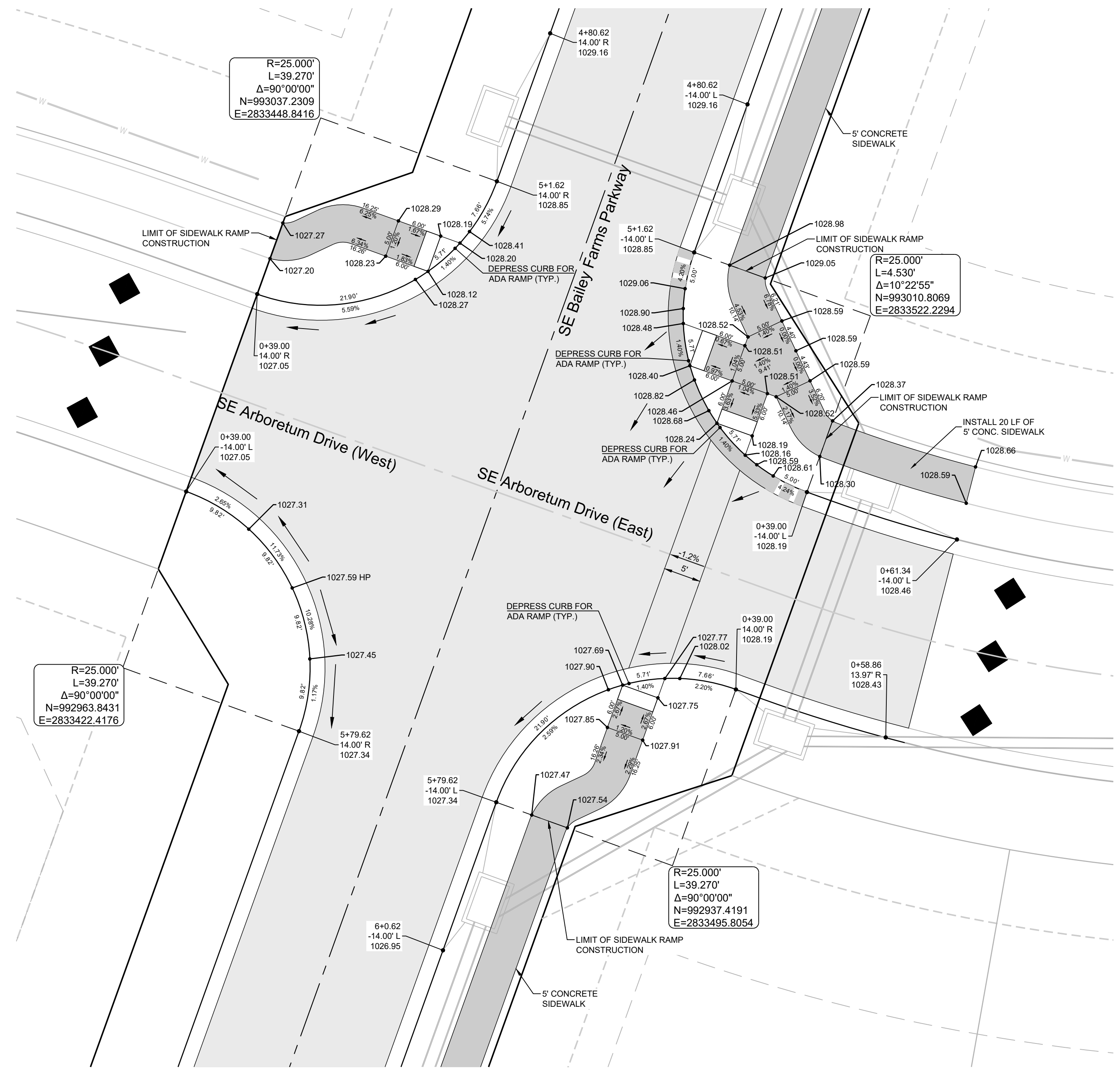
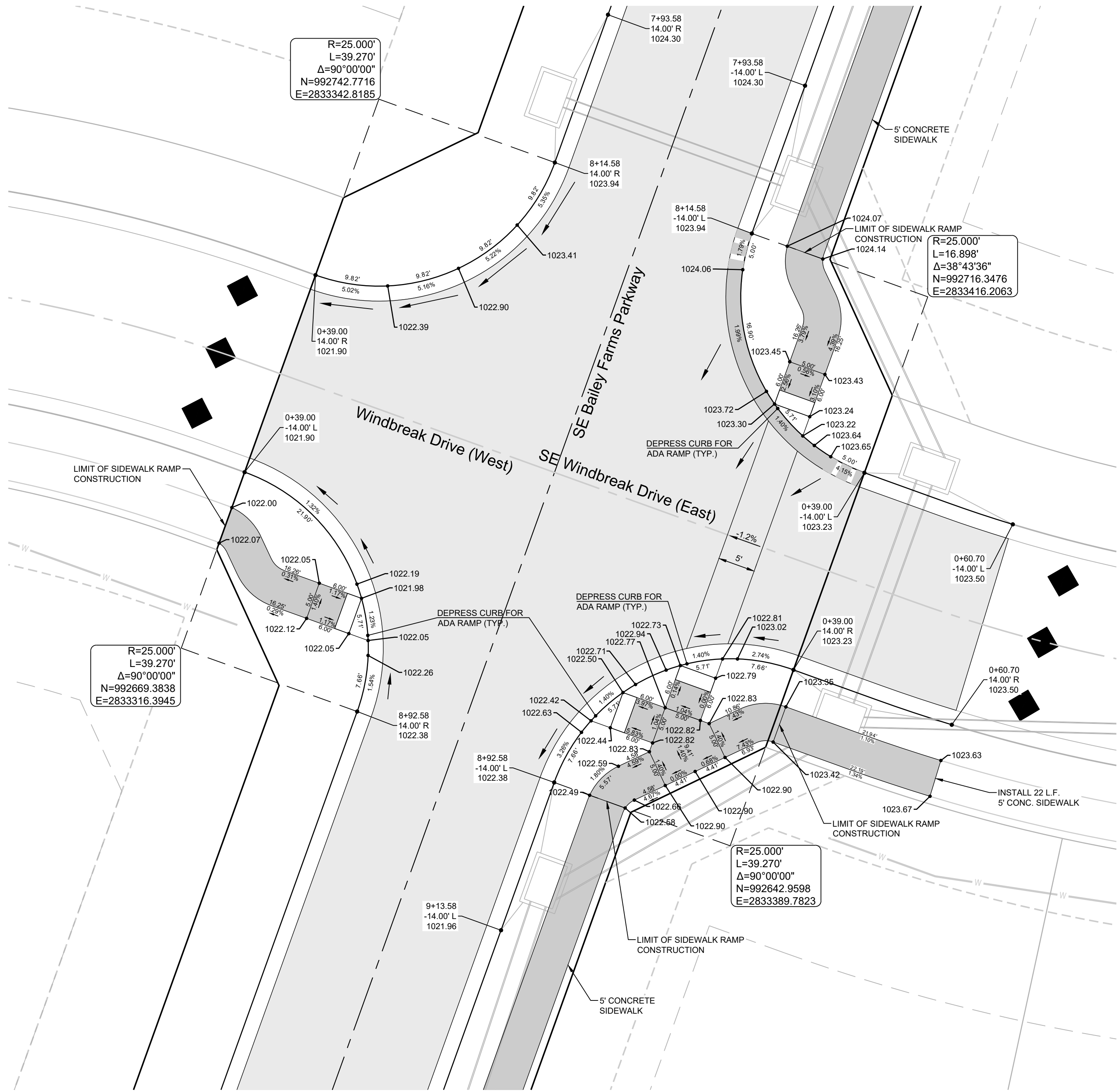


**CURB LEGEND**

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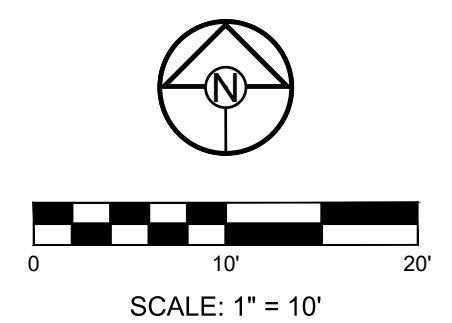


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**CURB LEGEND**

	CURB & GUTTER - EXISTING
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	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



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PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
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MANOR AT BAILEY FARMS, FIRST PLAT  
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 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

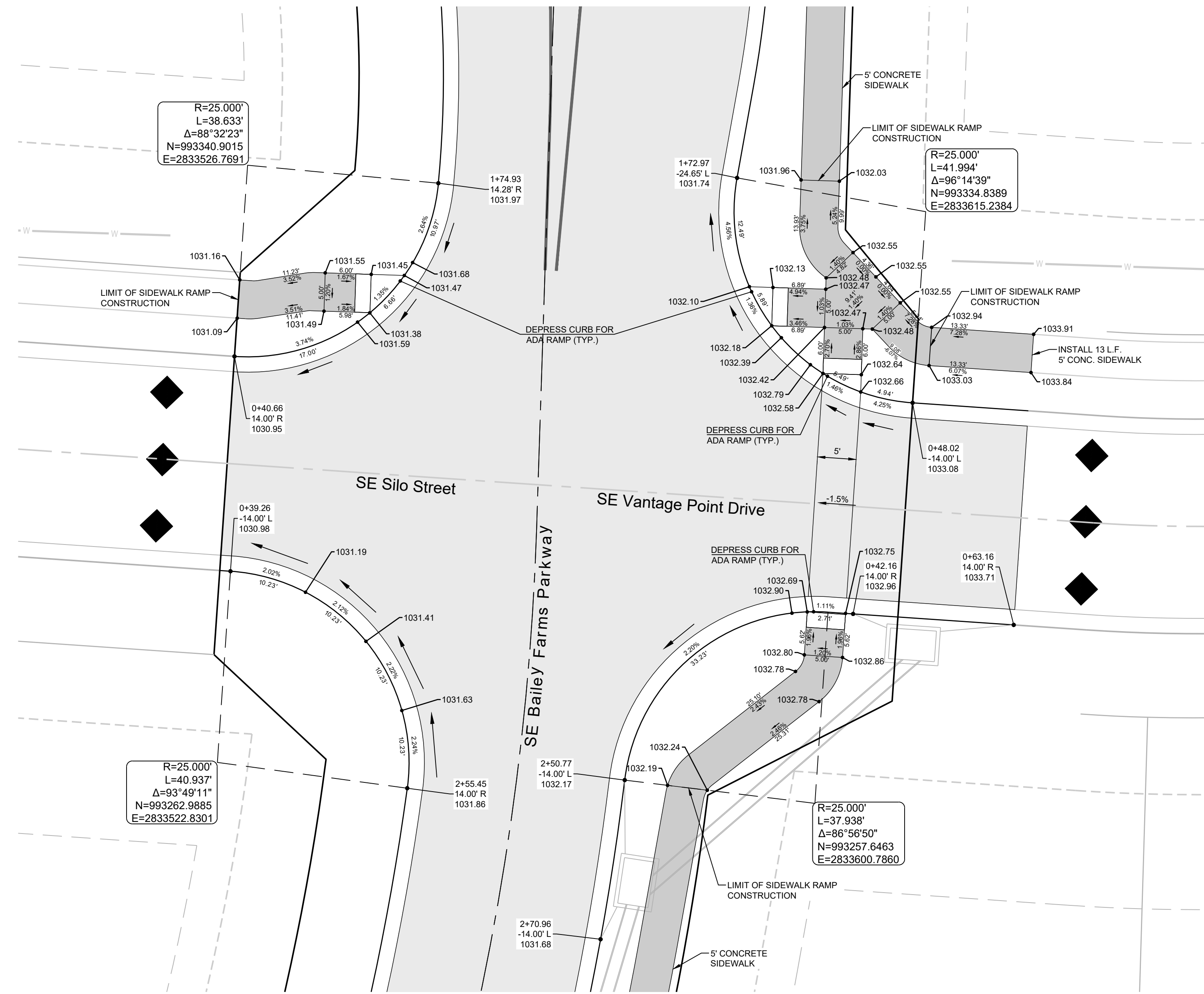
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INTERSECTION  
 DETAILS 7 OF 8

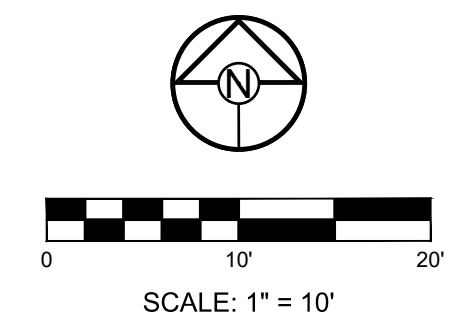
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**24**





**CURB LEGEND**

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[Symbol]	TRANSITION "CG-2" TO "CG-2 DRY"



MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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 CHECKED BY: JLL  
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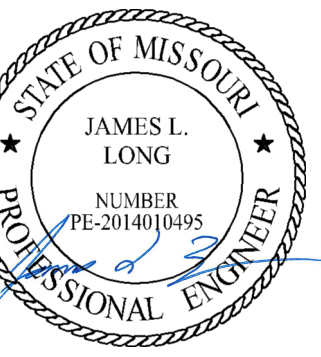
(LINE ATTEN)  
 1720 SE RANSON ROAD  
 OWNER: WHITNAGE DAVID & B  
 NANCY L

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
 BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

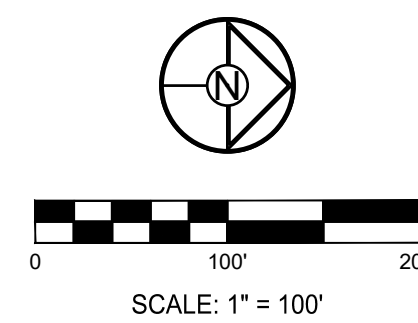
MANOR AT BAILEY FARMS, FIRST PLAT  
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 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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DRAWN BY: NCA  
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 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

**MASTER  
 DRAINAGE  
 PLAN-DRAINAGE  
 MAP**

SHEET  
**26**



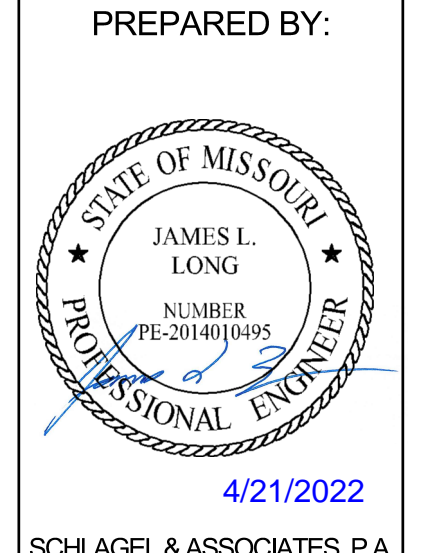
10-YEAR RUNOFF CALCULATIONS

Table with columns: Design Storm, K Value, F Factor, Runoff Calculations (Inlet #, Area, C, Cumul. Area, Cumul. Cx, Intensity), Runoff (To Inlet, Cumul. Runoff), Pipe Properties (Pipe Cap, Vel, Up Inlet, Up Piped Inlet, Up Area, Up Cx), and Pipe Properties (Up Inlet, Down Inlet, Pipe Type, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top).

100-YEAR RUNOFF CALCULATIONS

Table with columns: Design Storm, K Value, F Factor, Runoff Calculations (Inlet #, Area, C, Cumul. Area, Cumul. Cx, Intensity), Runoff (To Inlet, Cumul. Runoff), Pipe Properties (Pipe Cap, Vel, Up Inlet, Up Piped Inlet, Up Area, Up Cx), and Pipe Properties (Up Inlet, Down Inlet, Pipe Type, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top).

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4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN SE BAILEY ROAD AND SE RANSON ROAD LEE'S SUMMIT, MISSOURI

Table with columns: REVISION DATE, DESCRIPTION, City Comments dated 12/19/2021, City Comments dated 02/14/2022.

Project metadata including: DRAWN BY: NCA, CHECKED BY: JLL, DATE PREPARED: 1/05/2021, PROJ. NUMBER: 21-130, MASTER DRAINAGE PLAN-DRAINAGE CALCS, SHEET 27.





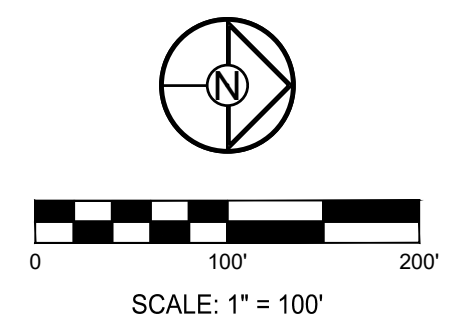
**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

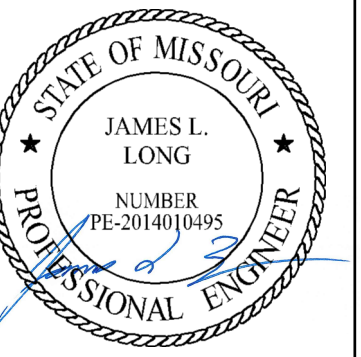
ELEV. = 1046.25

(LINE ATTEN)  
1720 SE RANSON ROAD  
OWNER: WHITNAGE DAVID E &  
NANCY L.

CE  
RA  
L-T  
COM



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN**

**SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

**STORM LAYOUT  
SHEET**

Storm Sewer Construction Notes table with columns: Structure, Notes. Rows include STA 0+00.00, 1+19.84, 1+54.84, 3+11.71, 4+38.54, 5+76.30, 7+06.19, 9+80.35, 10+11.04, 6+59.91, 6+96.40, 8+99.76, 9+45.15, 9+80.13, 10+21.84, 11+41.59, 12+35.81, 12+81.30, 0+35.00, 0+34.99.

Storm Sewer Construction Notes table with columns: Structure, Notes. Rows include STA 0+76.62, 1+99.99, 3+10.05, 3+57.59, 0+35.00, 0+89.25, 1+46.77, 4+32.41, 0+00.00, 0+57.66, 3+20.33, 4+79.63, 5+69.63, 6+78.63, 8+84.80, 9+96.91, 12+25.74, 13+34.81, 15+91.33, 16+34.73.

Storm Sewer Construction Notes table with columns: Structure, Notes. Rows include STA 0+43.50, 0+00.00, 0+54.81, 0+90.32, 2+21.35, 3+50.07, 4+22.69, 4+68.79, 5+03.79, 5+45.86, 6+51.24, 7+51.50, 7+97.54, 8+32.54, 8+74.38, 9+81.62, 10+81.78, 11+27.18, 11+62.18, 12+03.90.

Storm Sewer Construction Notes table with columns: Structure, Notes. Rows include STA 13+11.90, 13+97.63, 15+46.81, 15+92.20, 16+27.20, 16+68.92, 17+12.42, 0+36.04, 0+42.21, 0+80.24, 0+35.68, 0+87.07, 0+39.37, 0+00.00, 0+74.38, 0+32.25, 0+67.25, 0+36.41, 0+00.00.

Outlet Properties table with columns: Structure, Pipe Size (ft), Q(25) (cfs), V (ft/s), Tw (ft), Outlet Pipe Froude # (V/gD^0.5), Outlet Protection Required?, Downstream Channel/Swale Section, Slope (%), Side Slope (H:V), Bottom Width (ft), V (ft/s), A (ft^2), P (ft), R (ft), Normal Depth (ft), Top Width (ft), Average Shear Stress (lb/ft^2), Min. Radius (ft).

Outlet/Channel Properties Rip-Rap Dimensions table with columns: Outlet Structure, Pipe Size (ft), Downstream Channel/Swale Section, V Pipe (ft/s), V Swale (ft/s), Average Shear Stress (lb/ft^2), W Calculated (ft), W USED (ft), L Calculated (ft), L (min.) 3'D (ft), L (max.) 10'D (ft), L USED (ft), D50 Calculated (ft), Size (W/L) USED (d50/ft), Critical Shear Stress (lb/ft^2), T (ft).



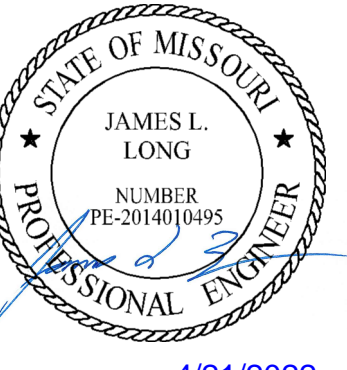
PREPARED BY: JAMES L. LONG, PROFESSIONAL ENGINEER, NUMBER PE-2014010495, DATE 04/21/2022, SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN, SE BAILEY ROAD AND SE RANSON ROAD, LEE'S SUMMIT, MISSOURI

Revision table with columns: REVISION DATE, DRAWN BY, CHECKED BY, DATE PREPARED, PROJ. NUMBER. Includes dates 01/21/2022, 04/20/2022 and names NCA, JLL.

STORM STRUCTURE LIST

PREPARED BY:

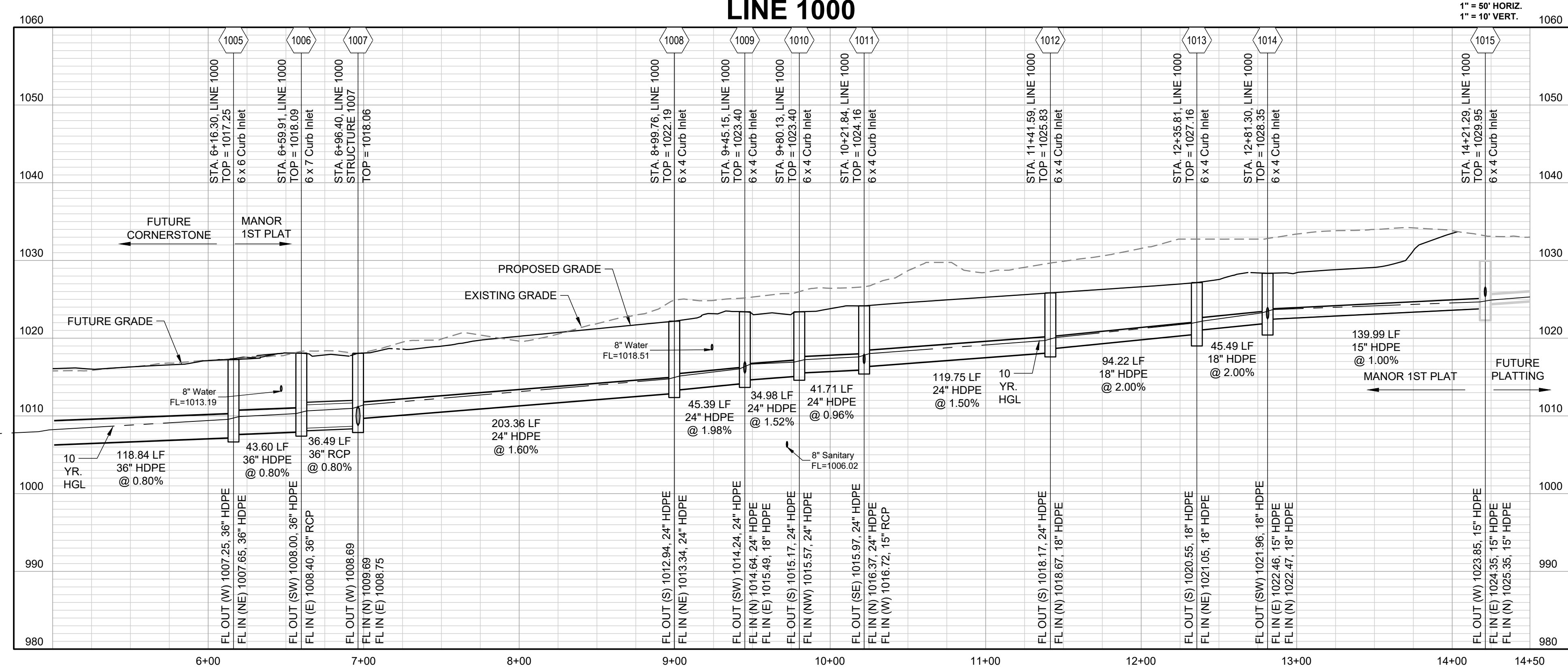
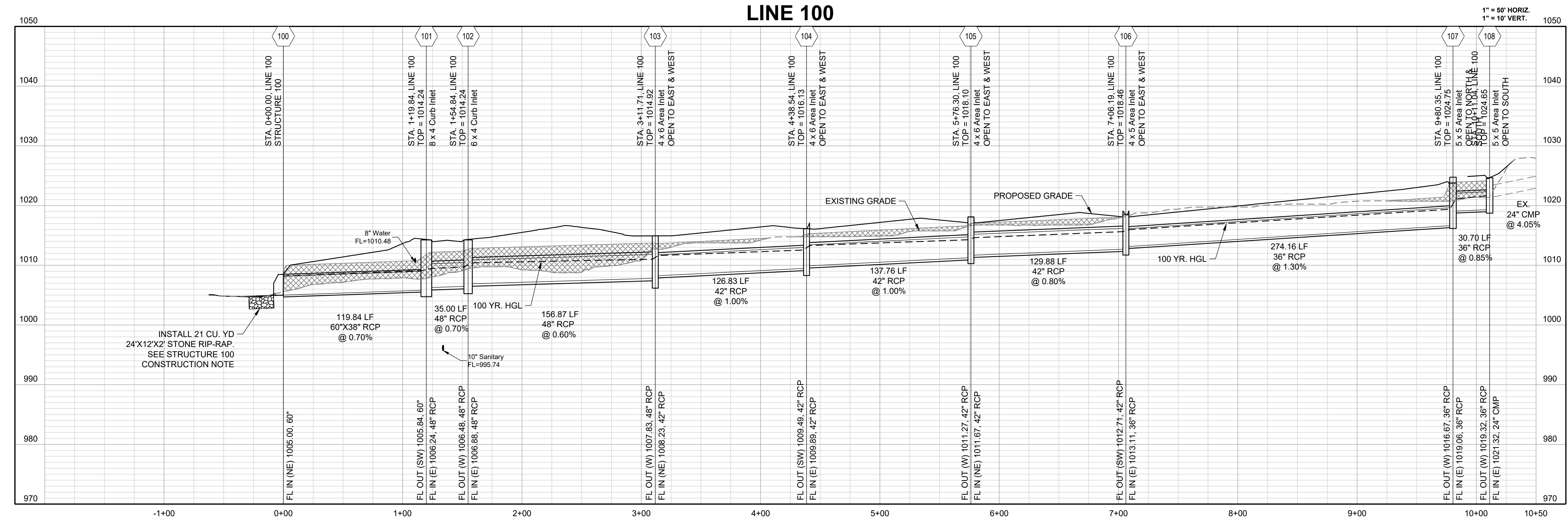


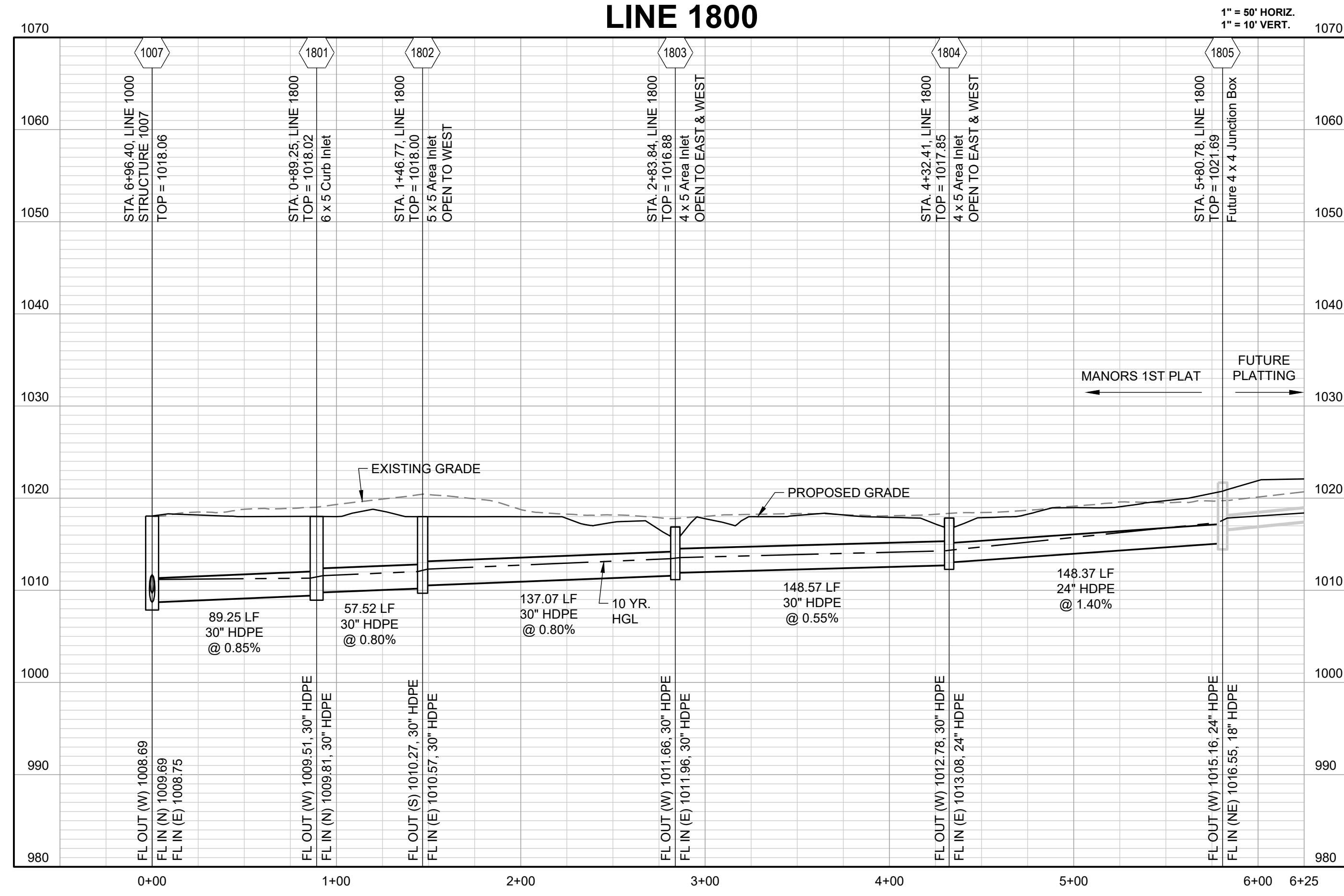
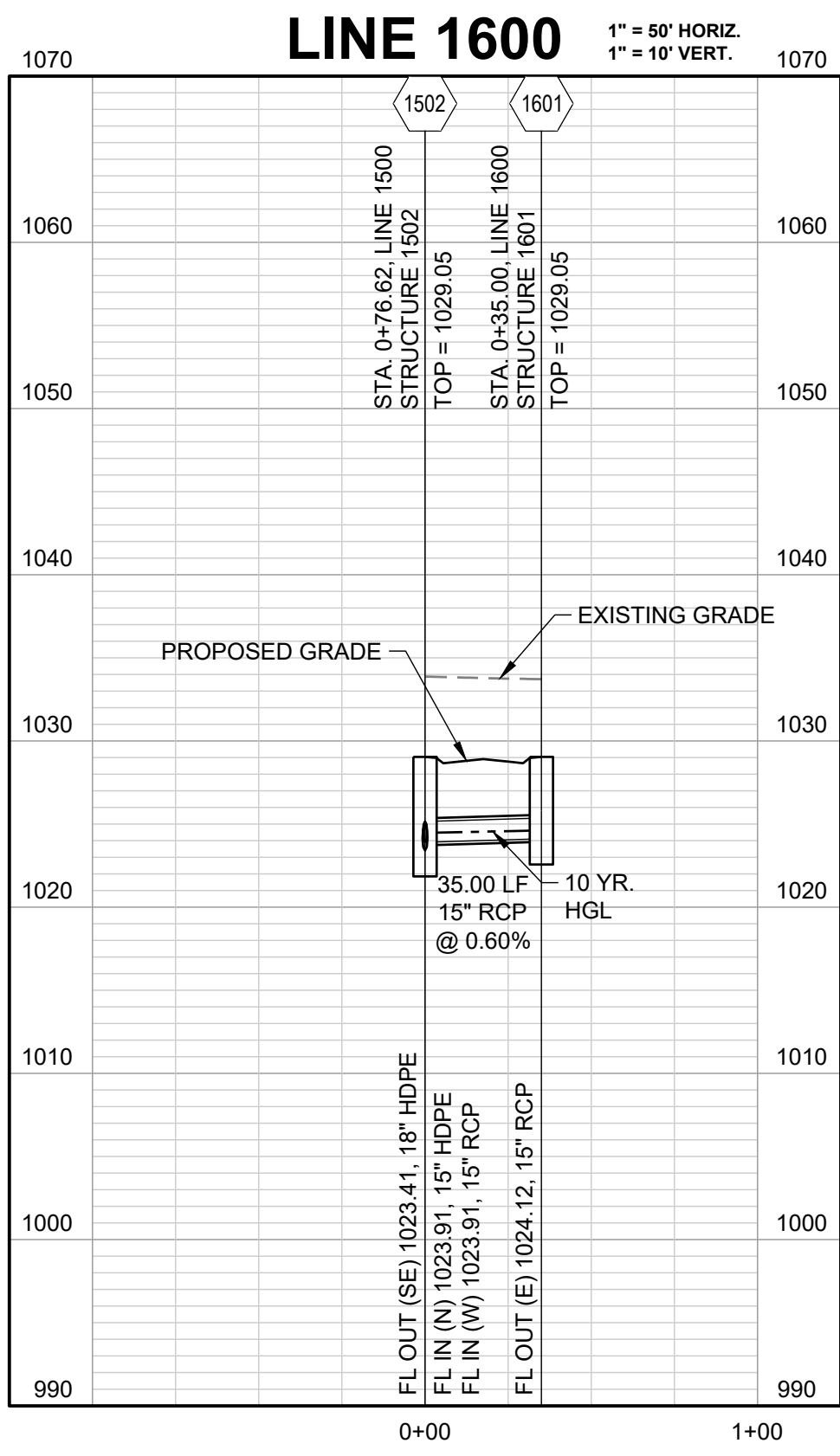
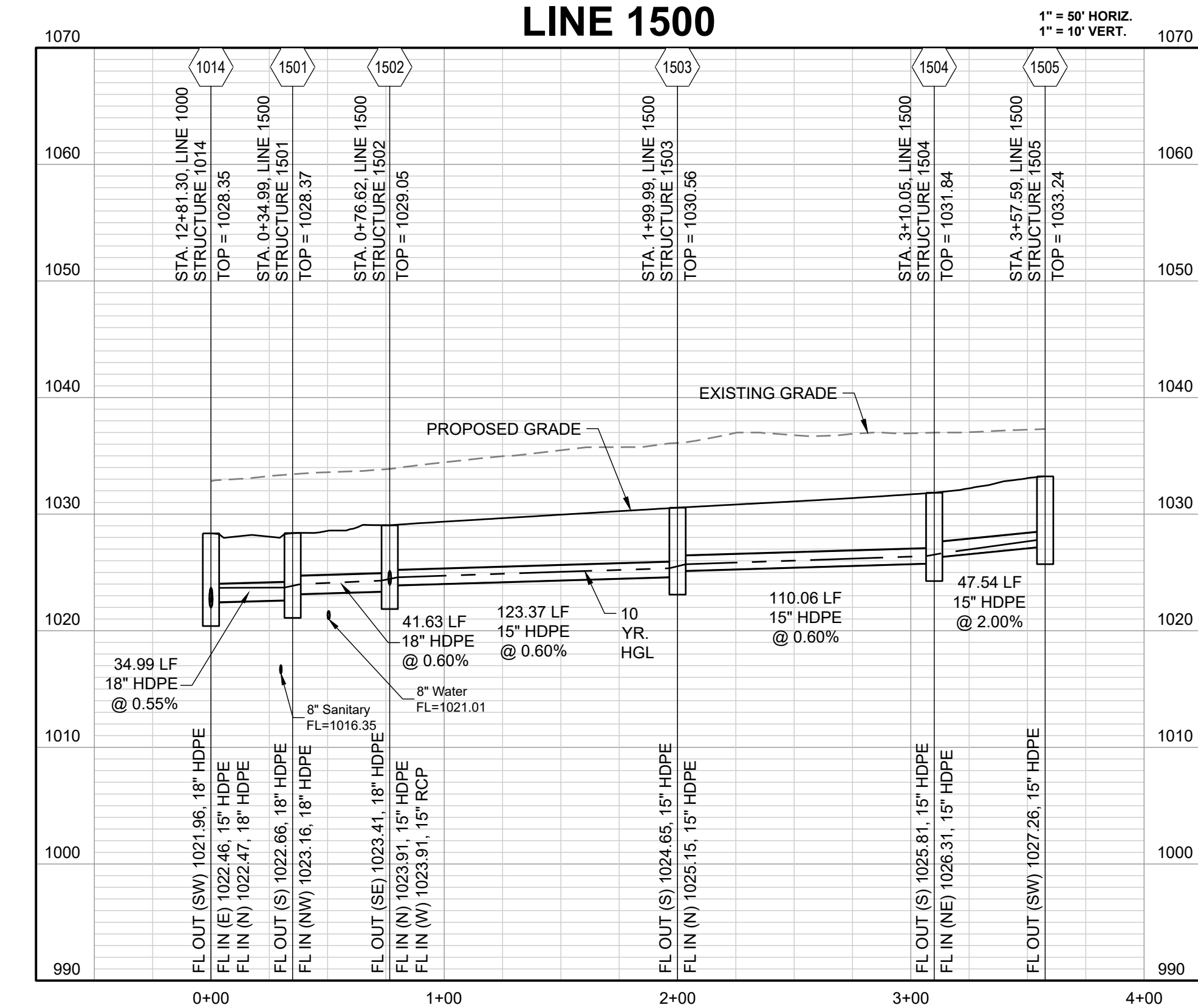
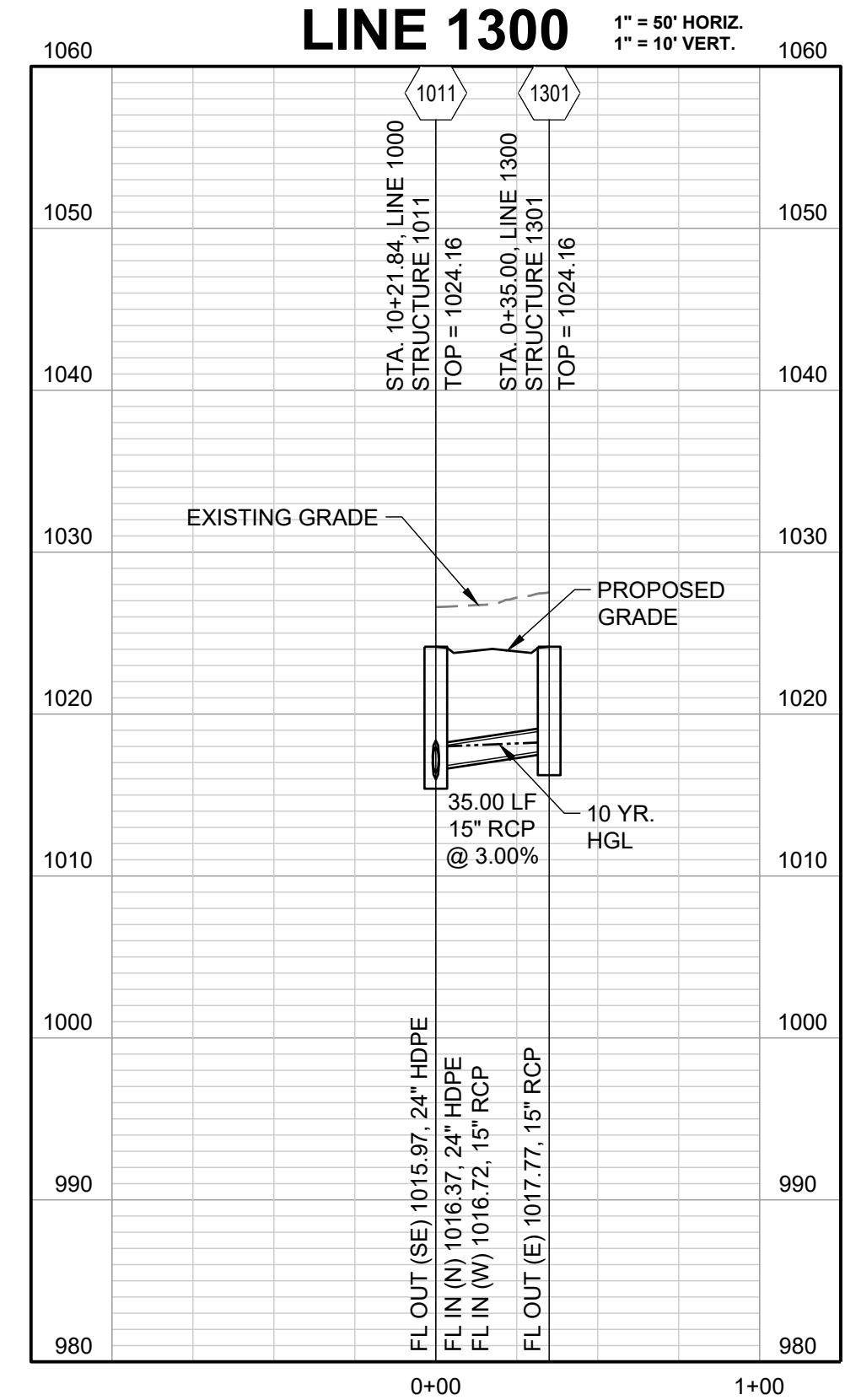
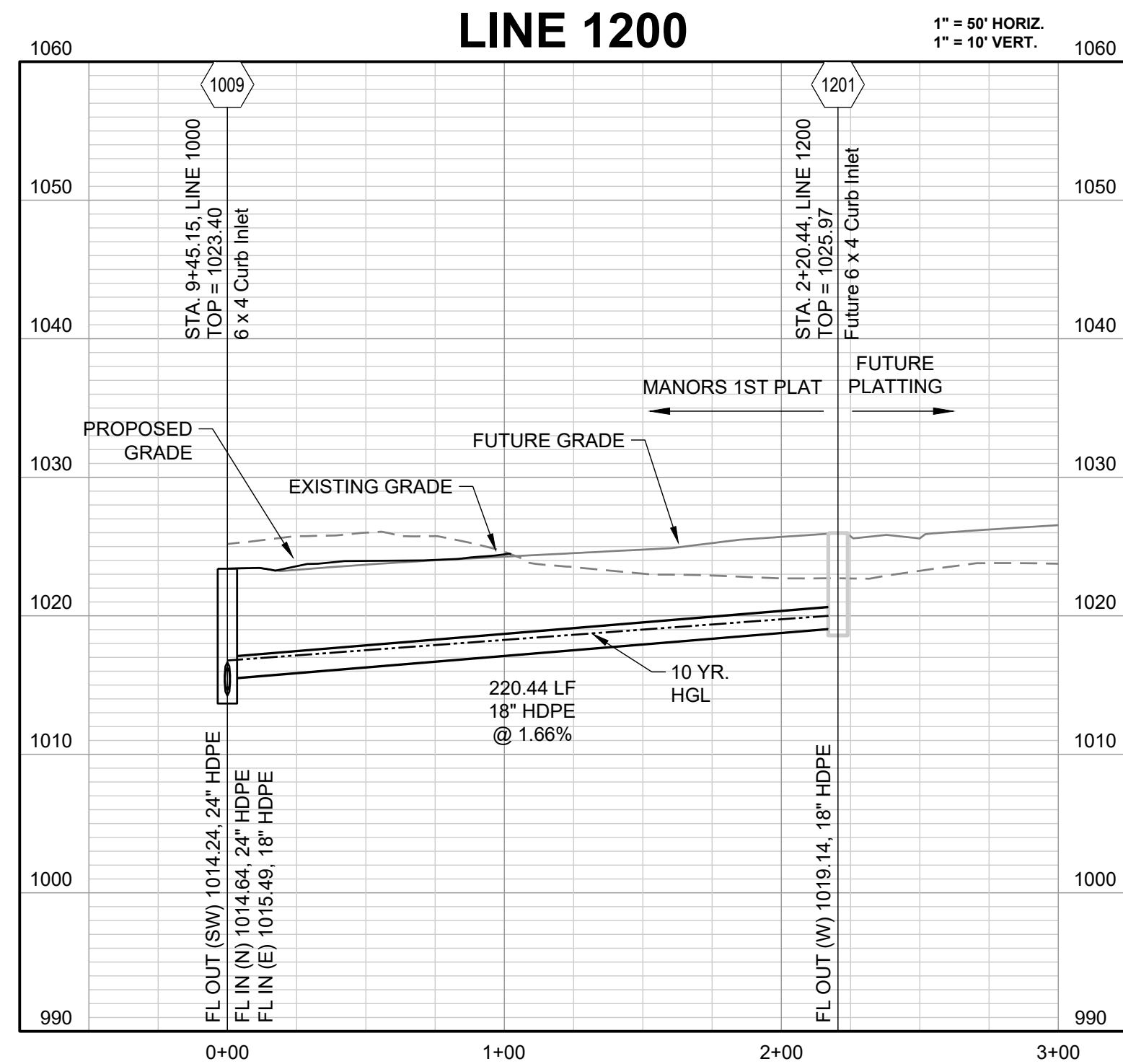
SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

STORM FORMS 1





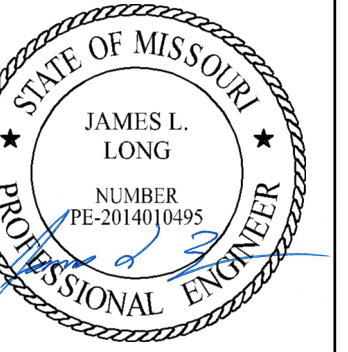
10-YEAR HGL - - - - -

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

STORM  
 PROFILES 2



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

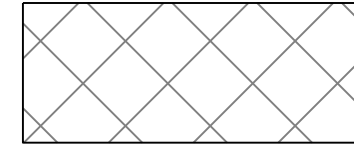
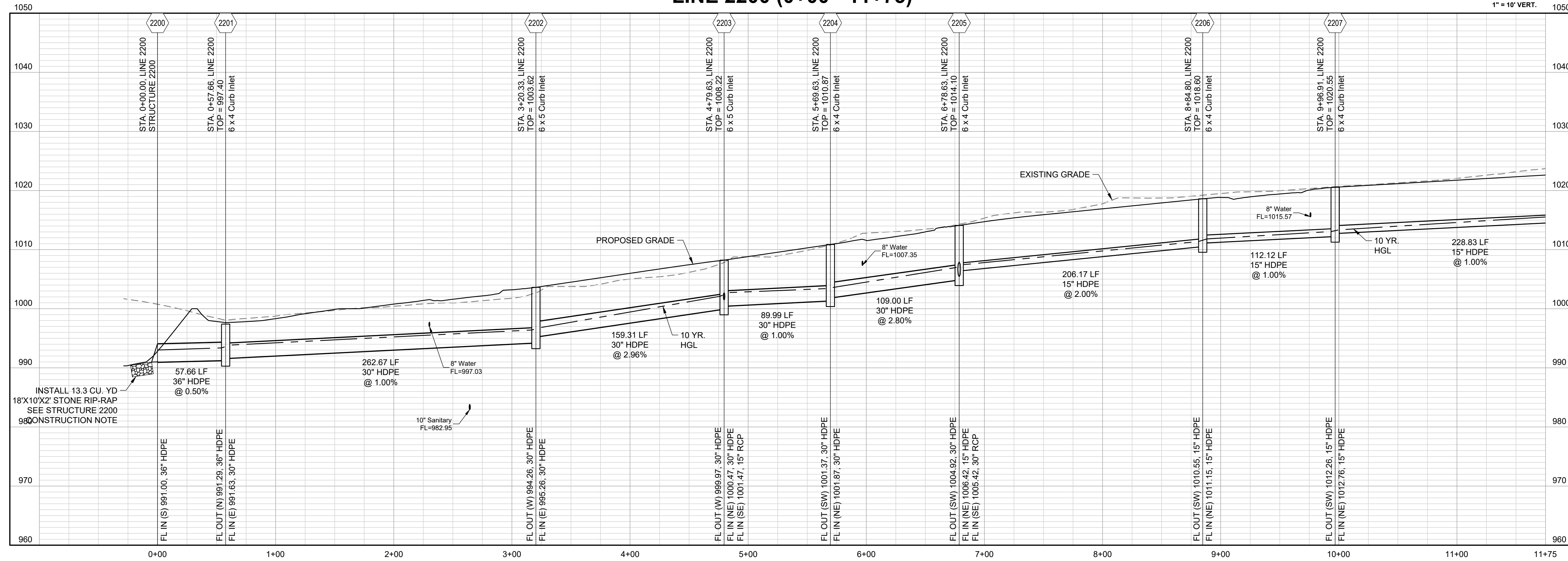
MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

STORM  
 PROFILES 3

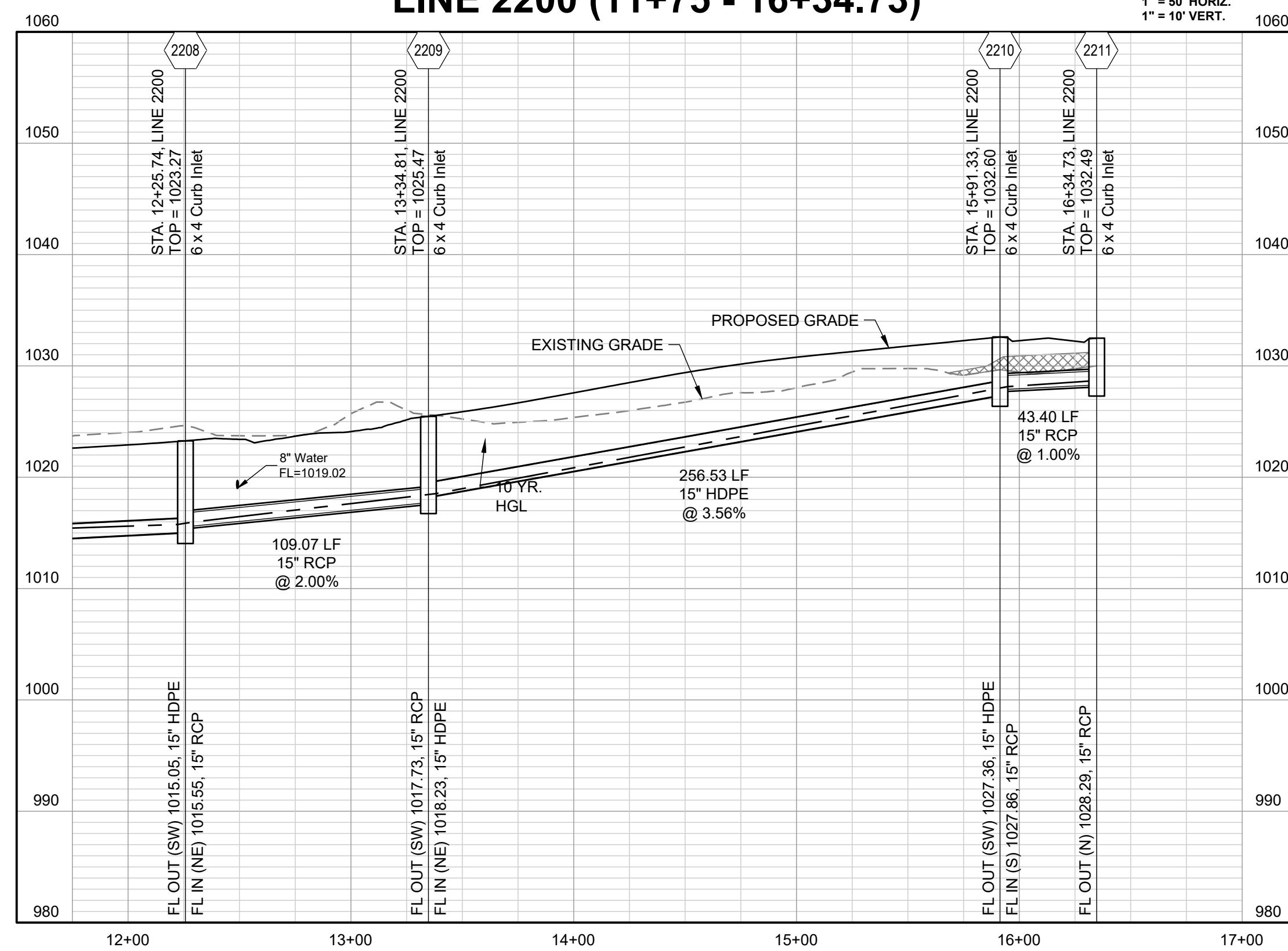
SHEET

**LINE 2200 (0+00 - 11+75)**

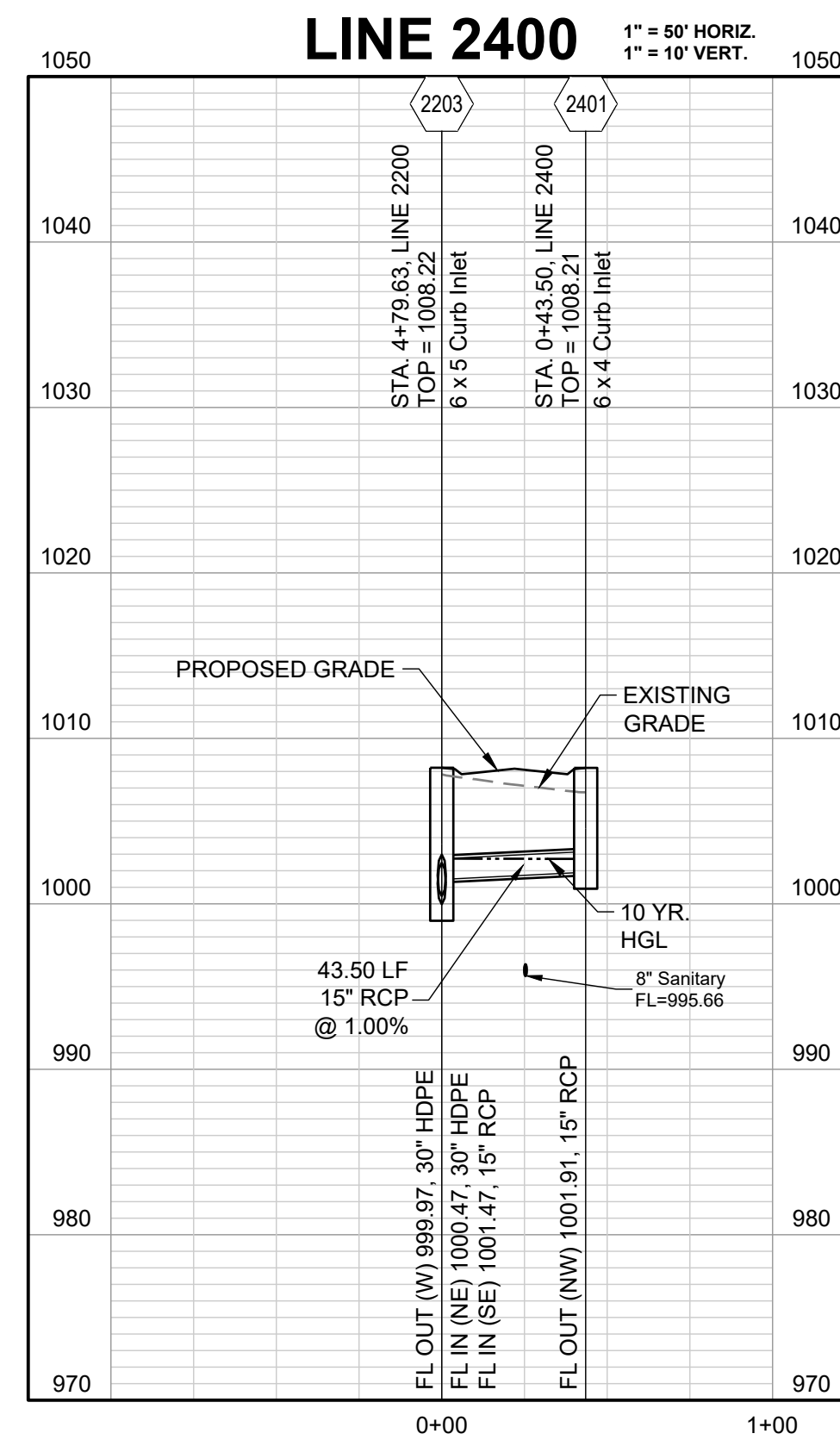


COMPACTED FILL TO BE PLACED A MINIMUM OF 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION

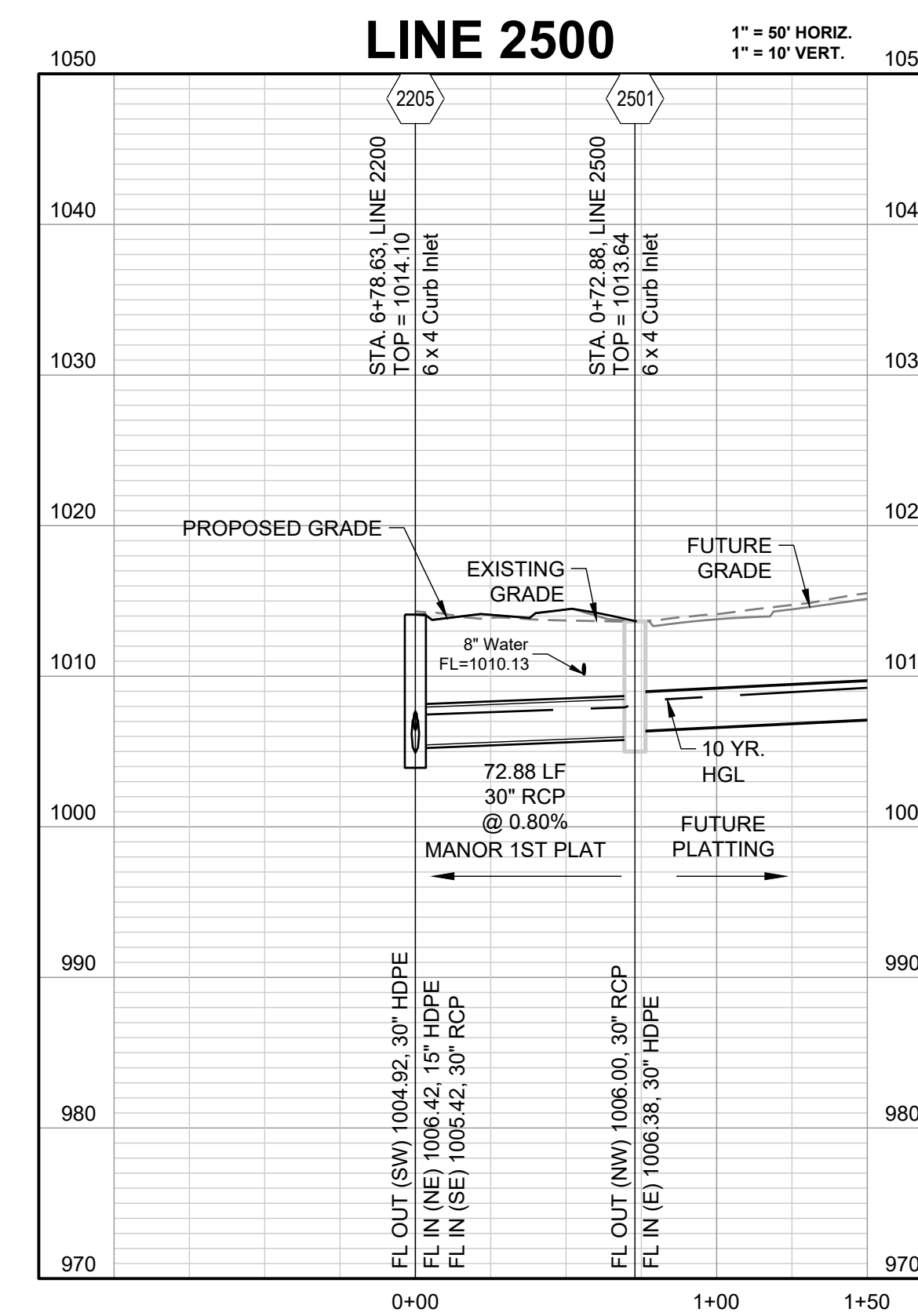
**LINE 2200 (11+75 - 16+34.73)**



**LINE 2400**

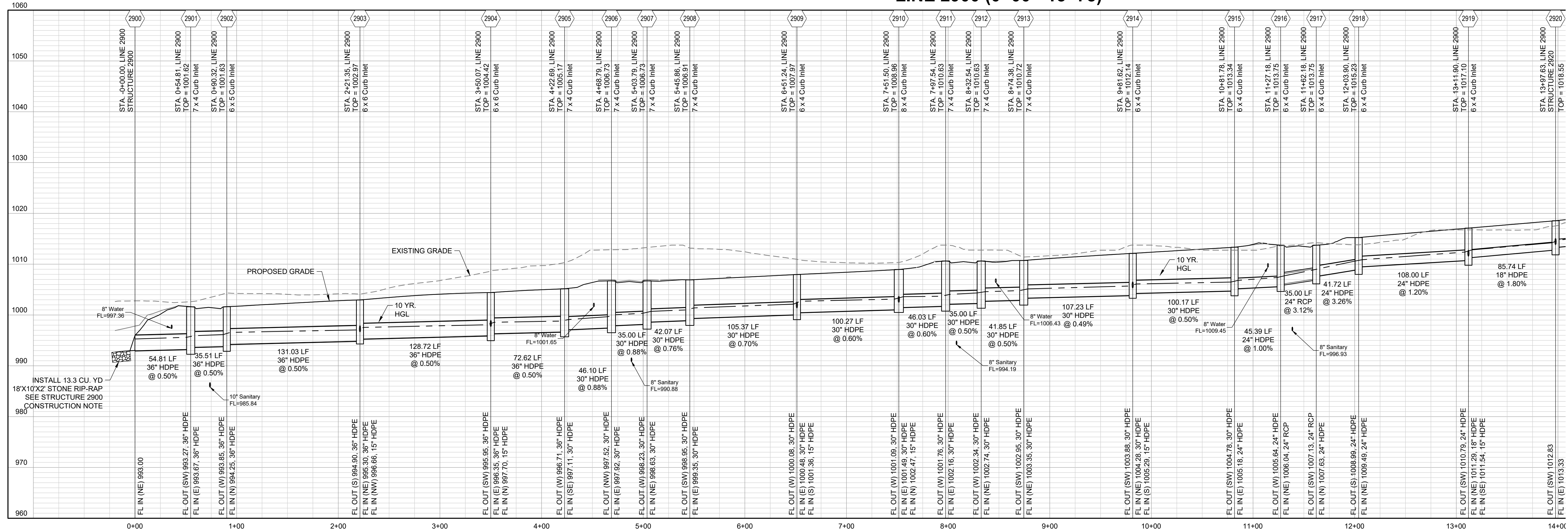


**LINE 2500**



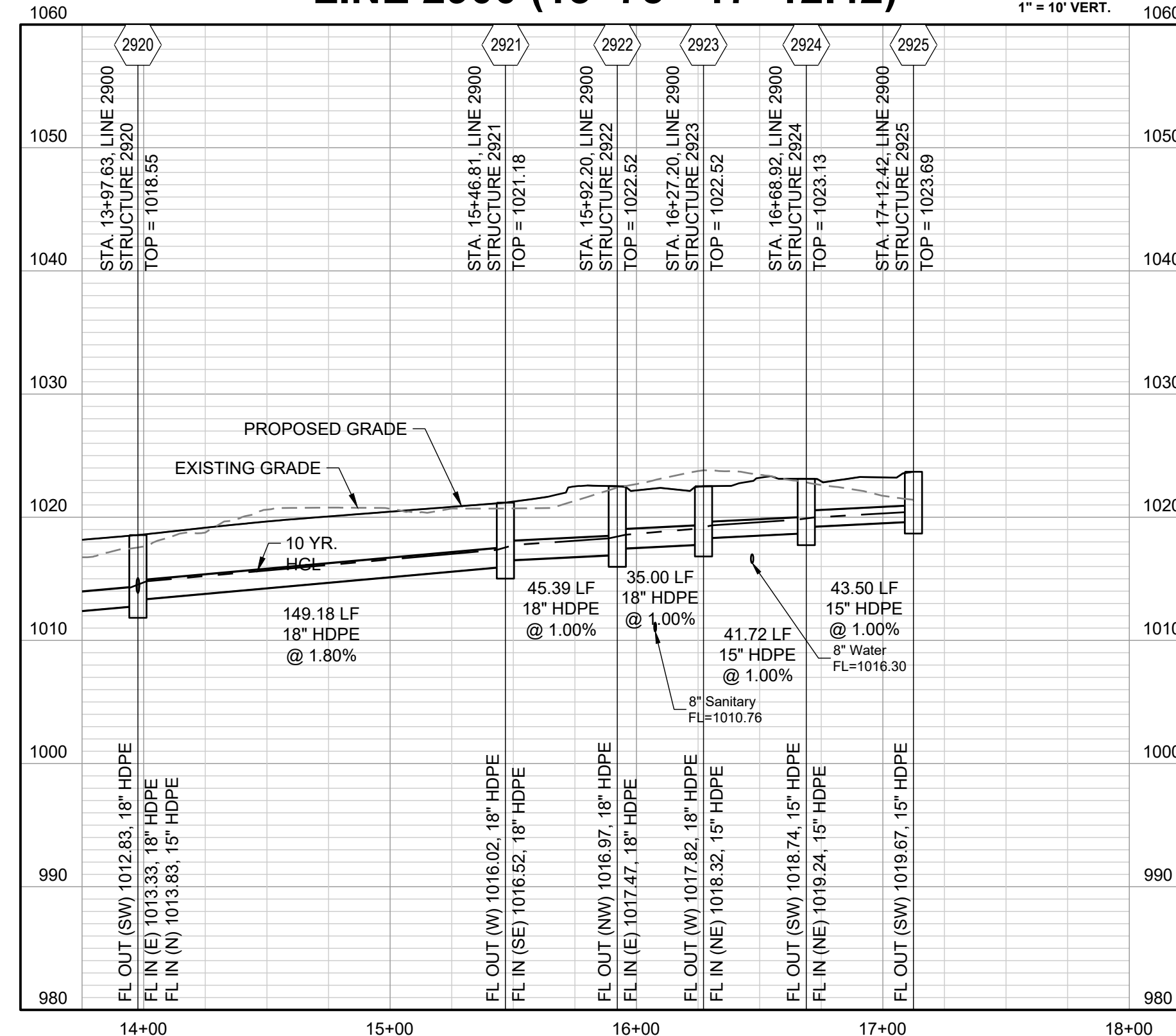
10-YEAR HGL - - - - -

**LINE 2900 (0+00 - 13+75)**

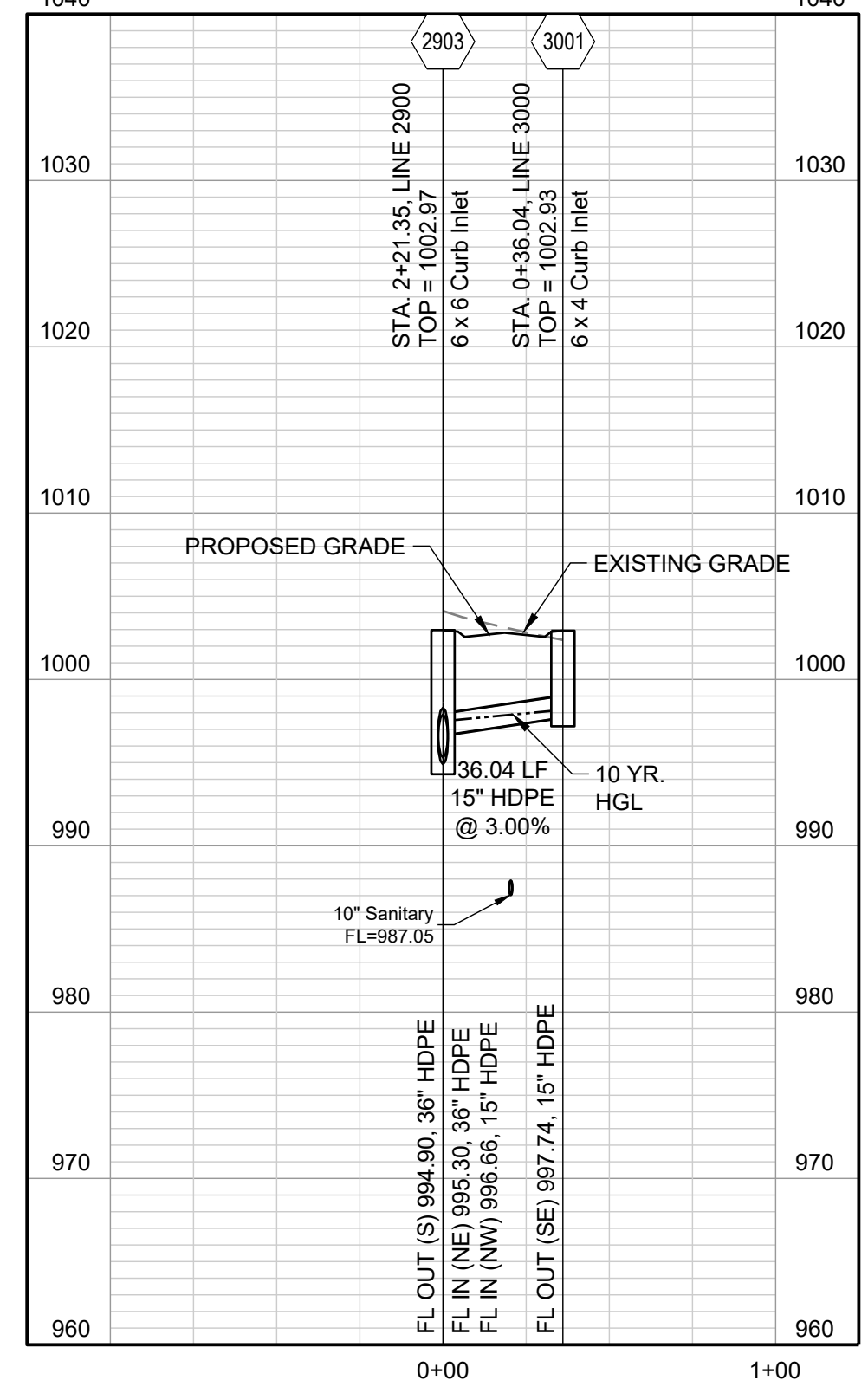


10-YEAR HGL

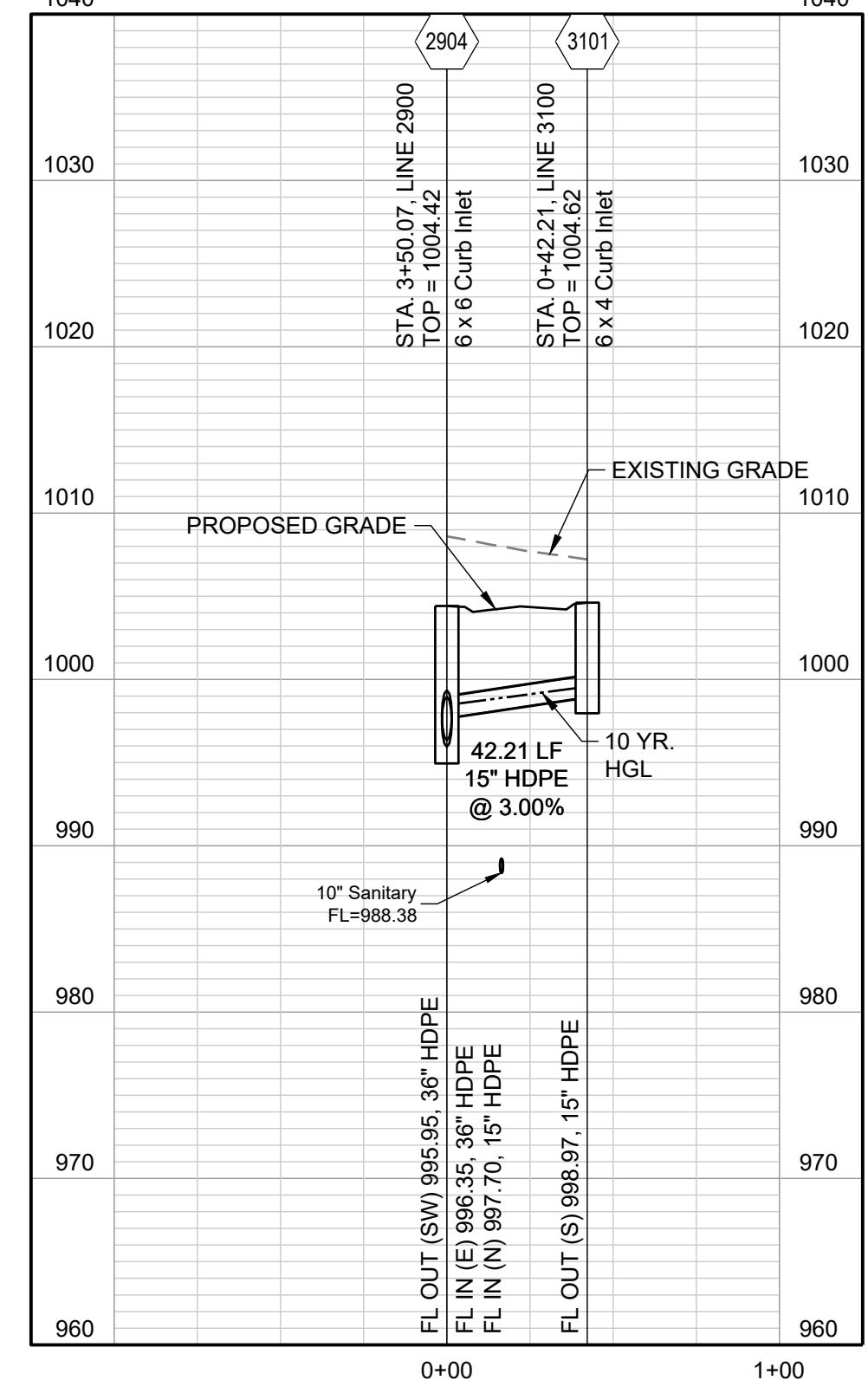
**LINE 2900 (13+75 - 17+12.42)**



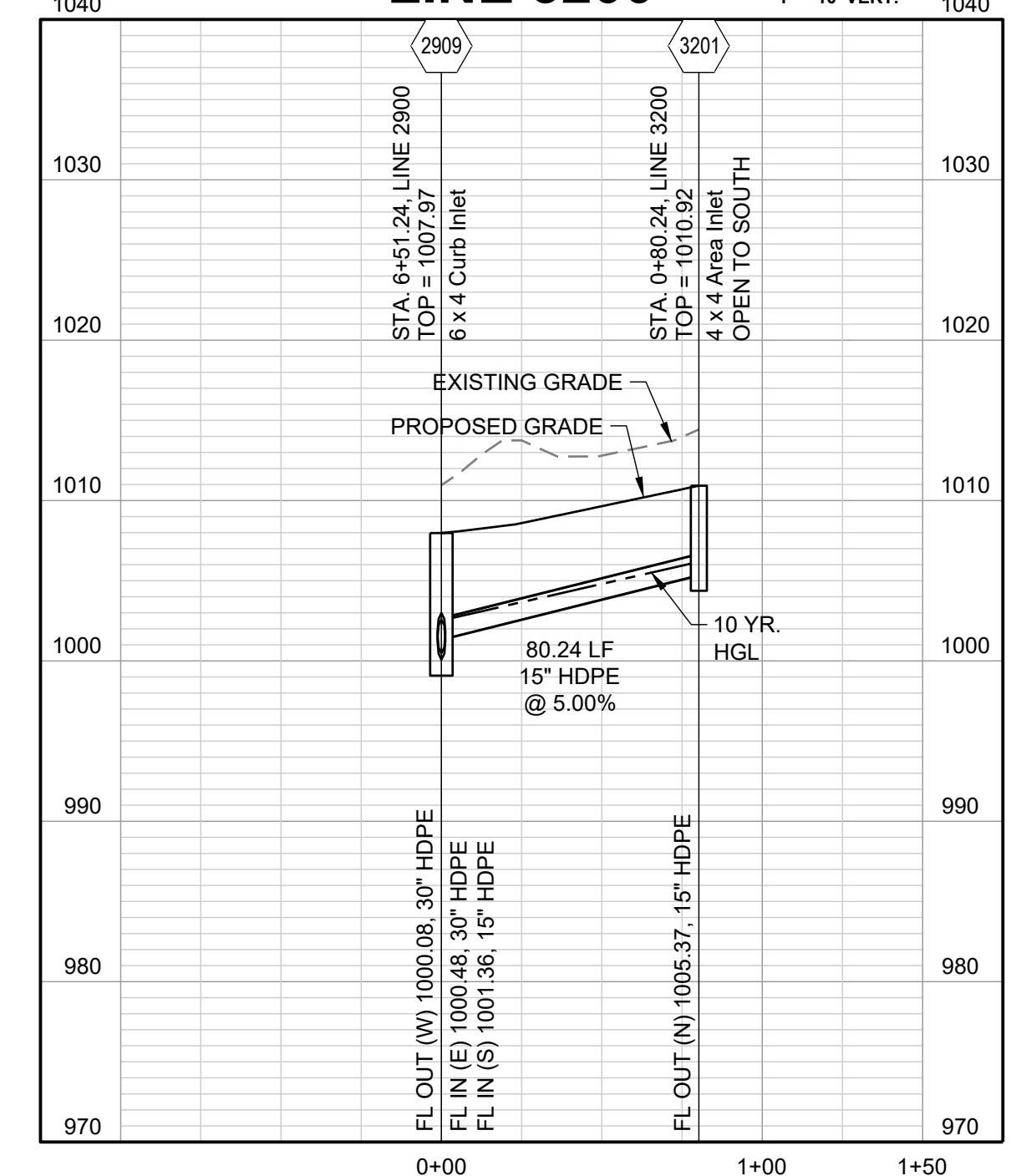
**LINE 3000**



**LINE 3100**



**LINE 3200**

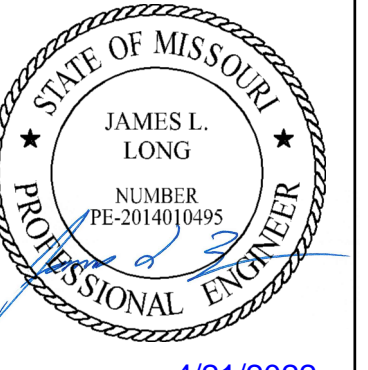


REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022
05/11/2022	05/11/2022

STORM  
PROFILES 4

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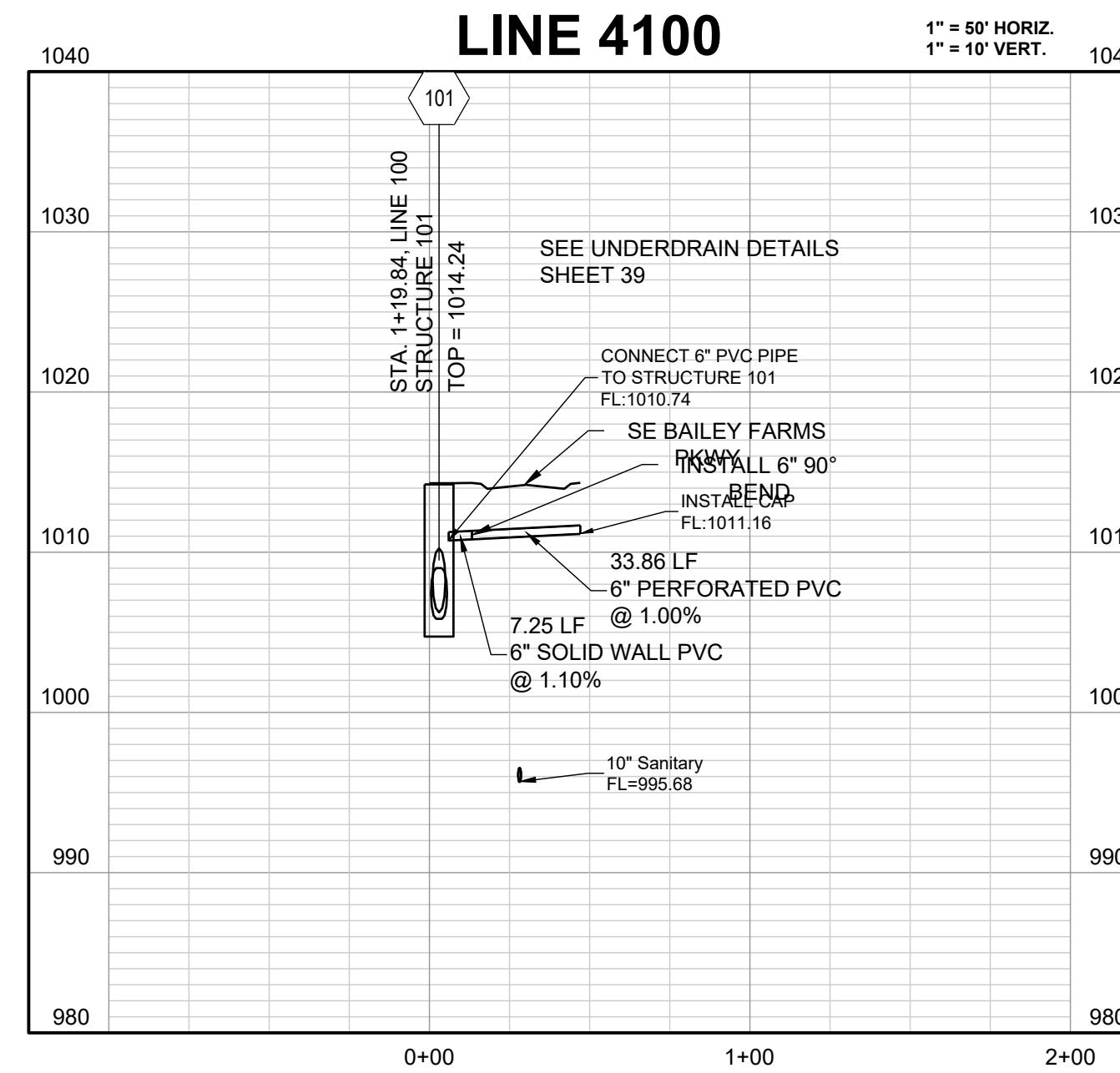
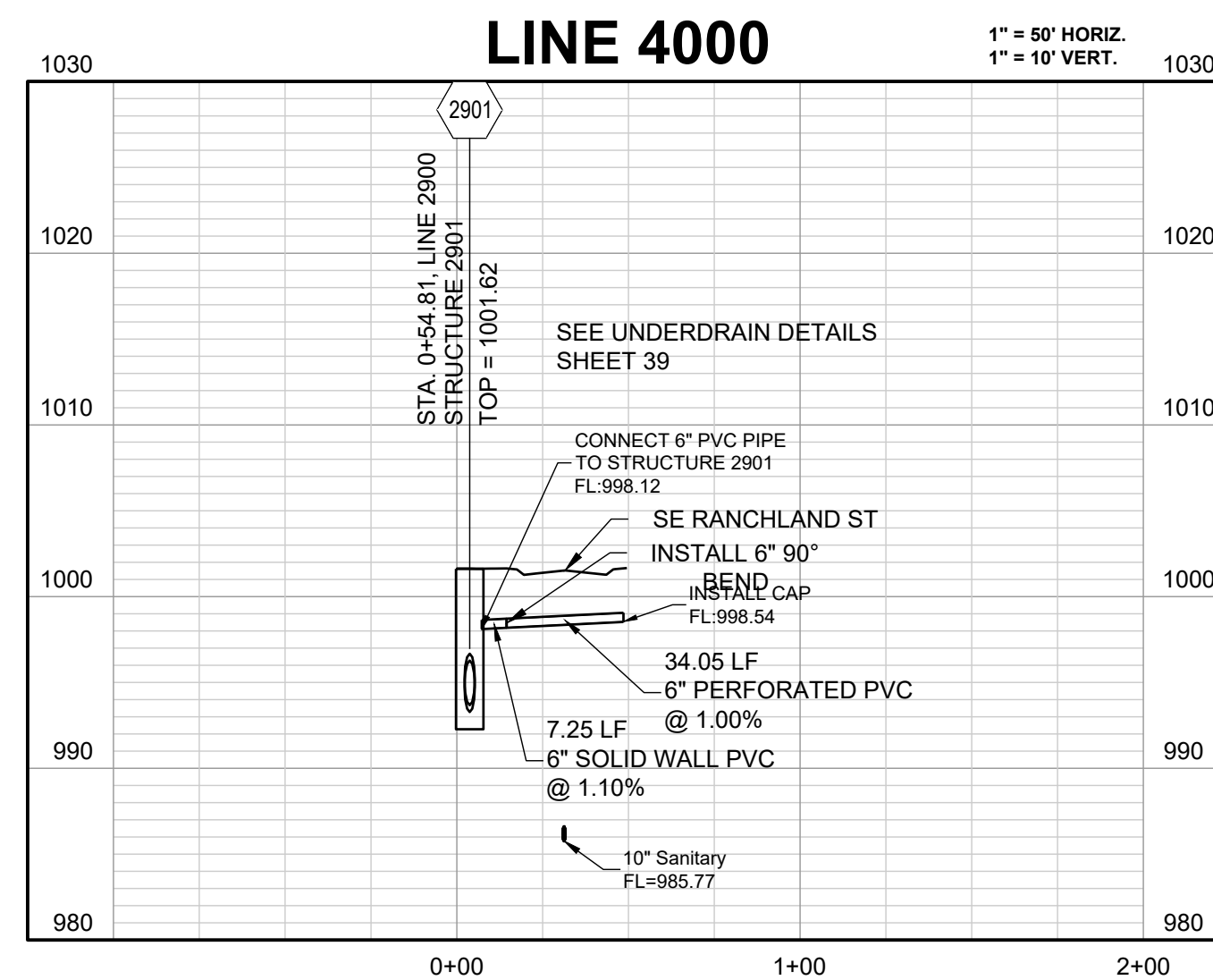
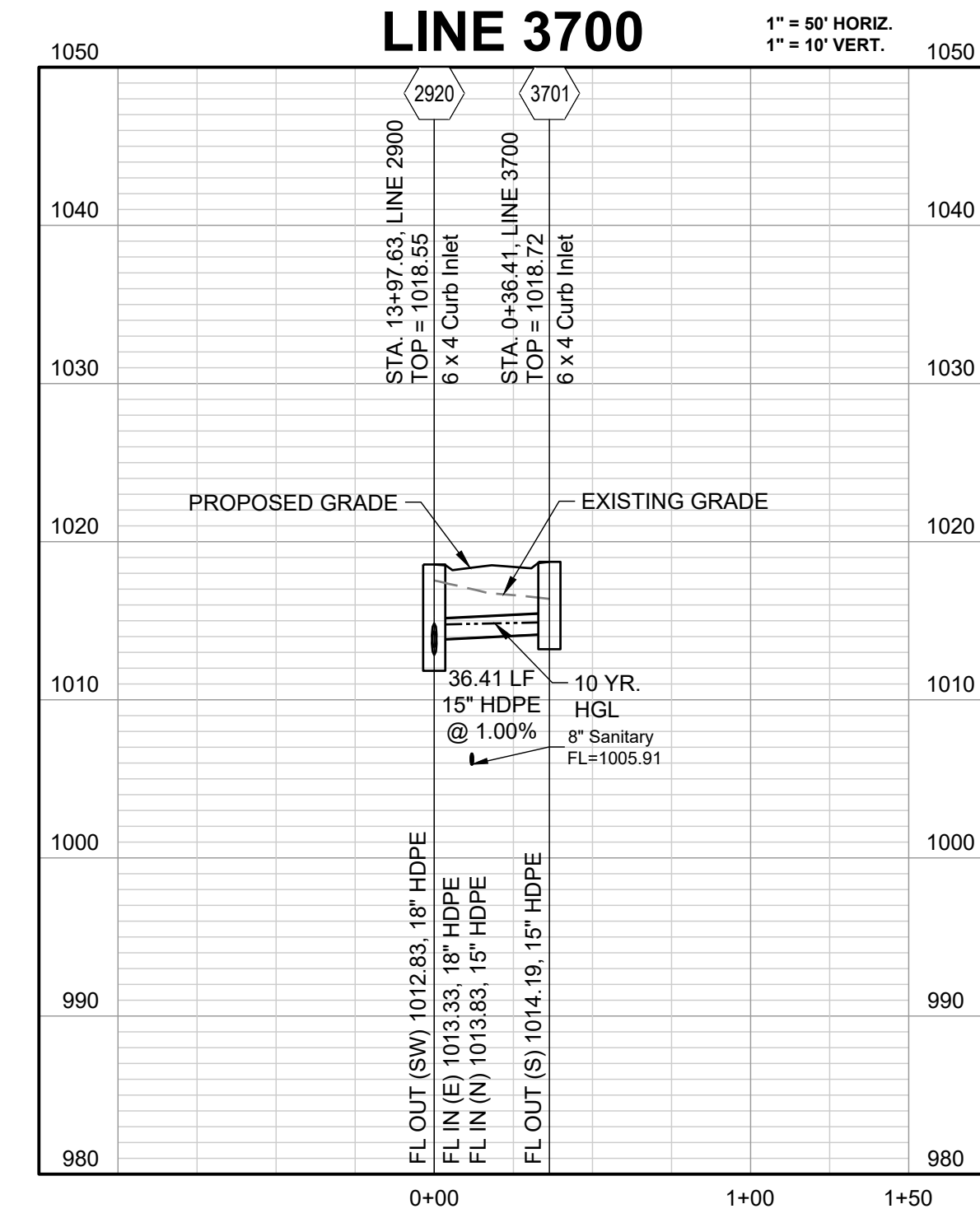
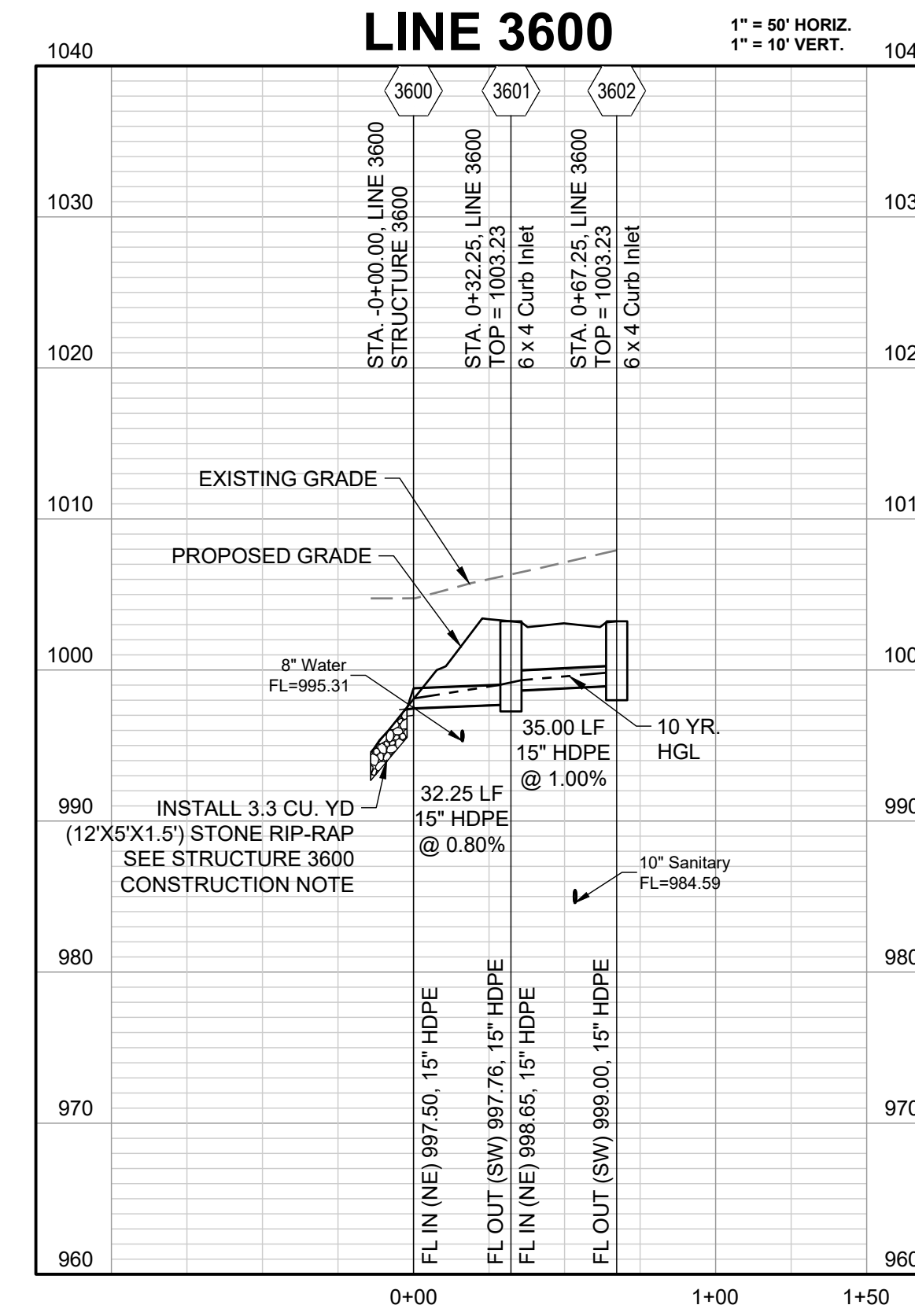
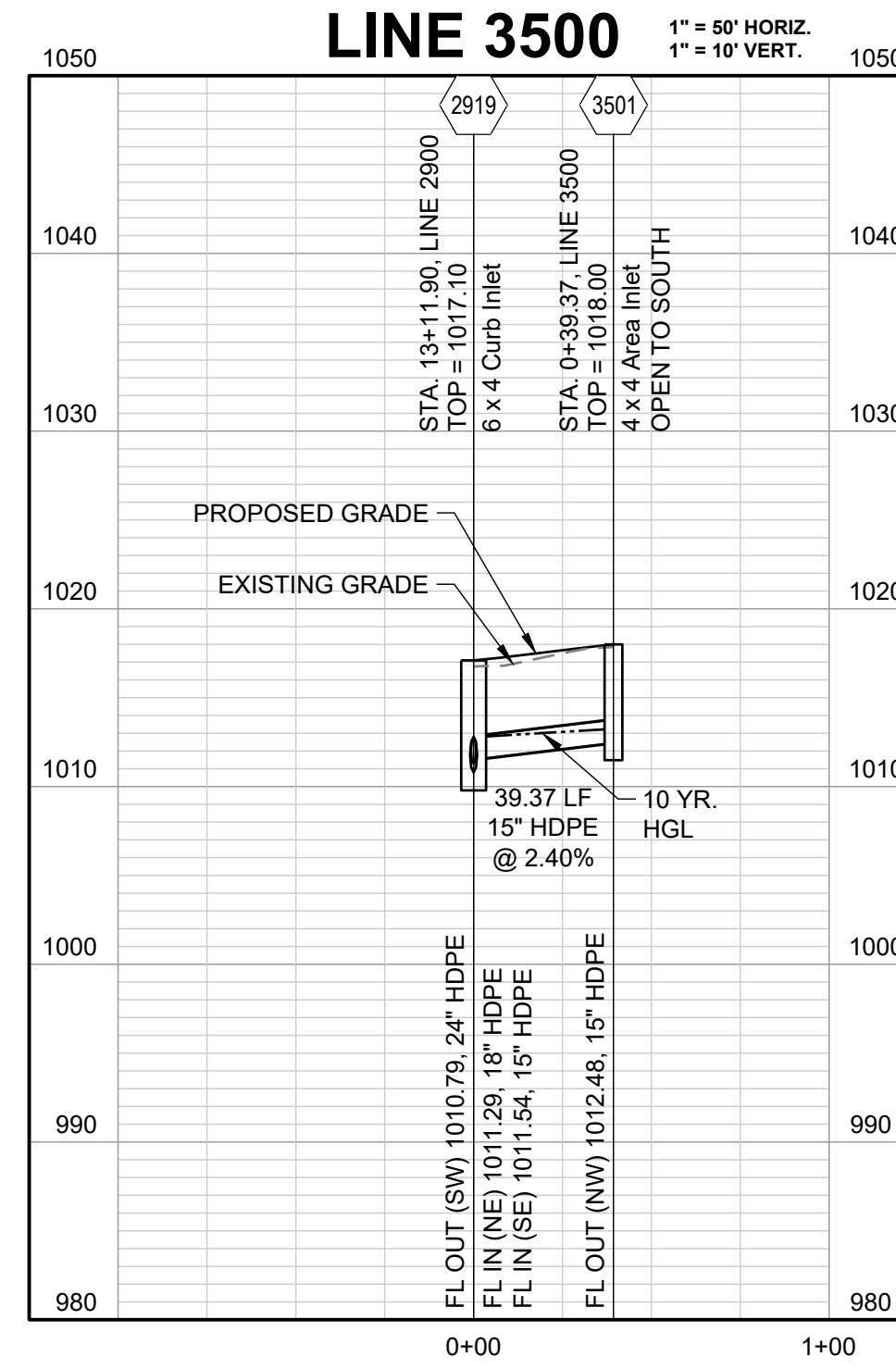
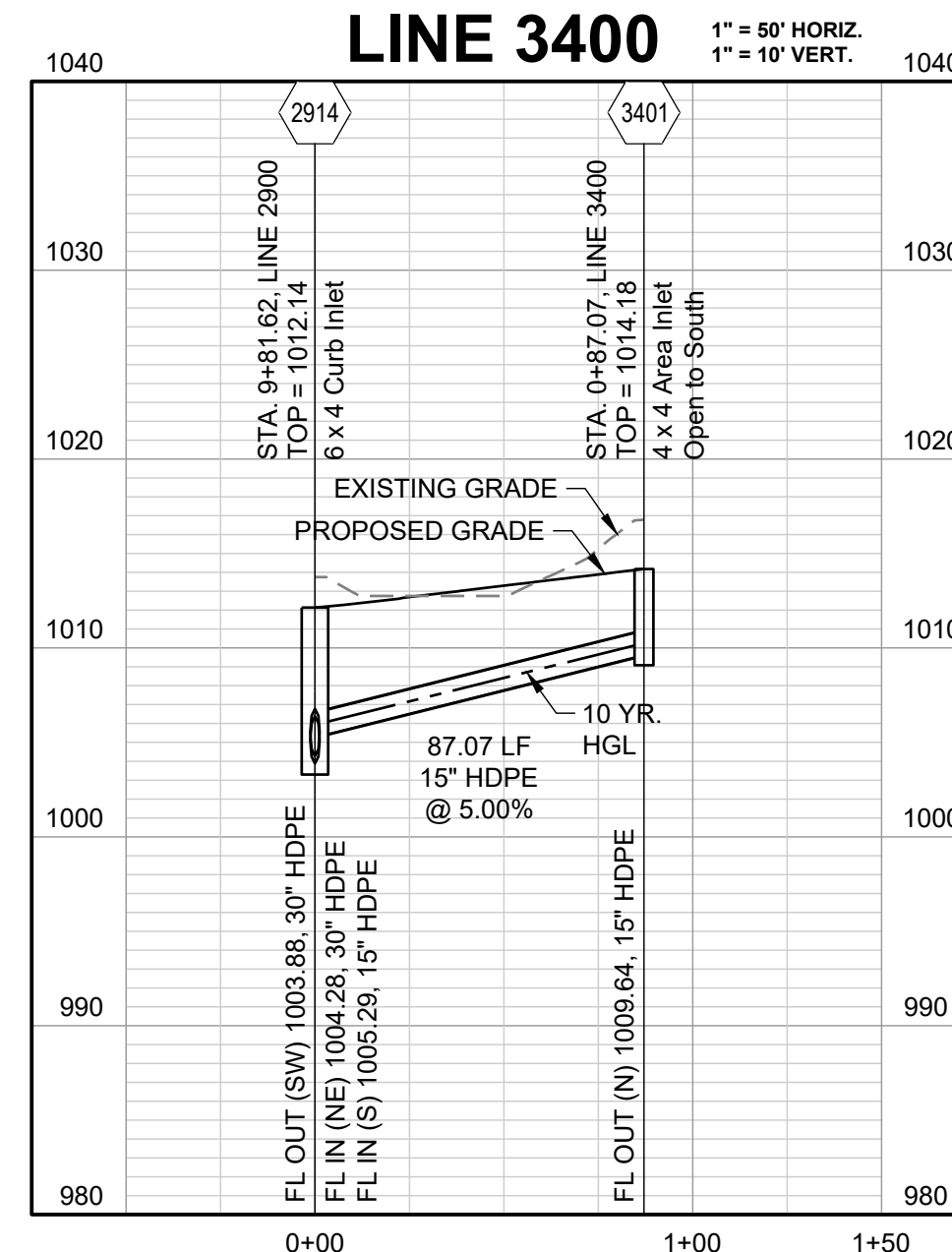
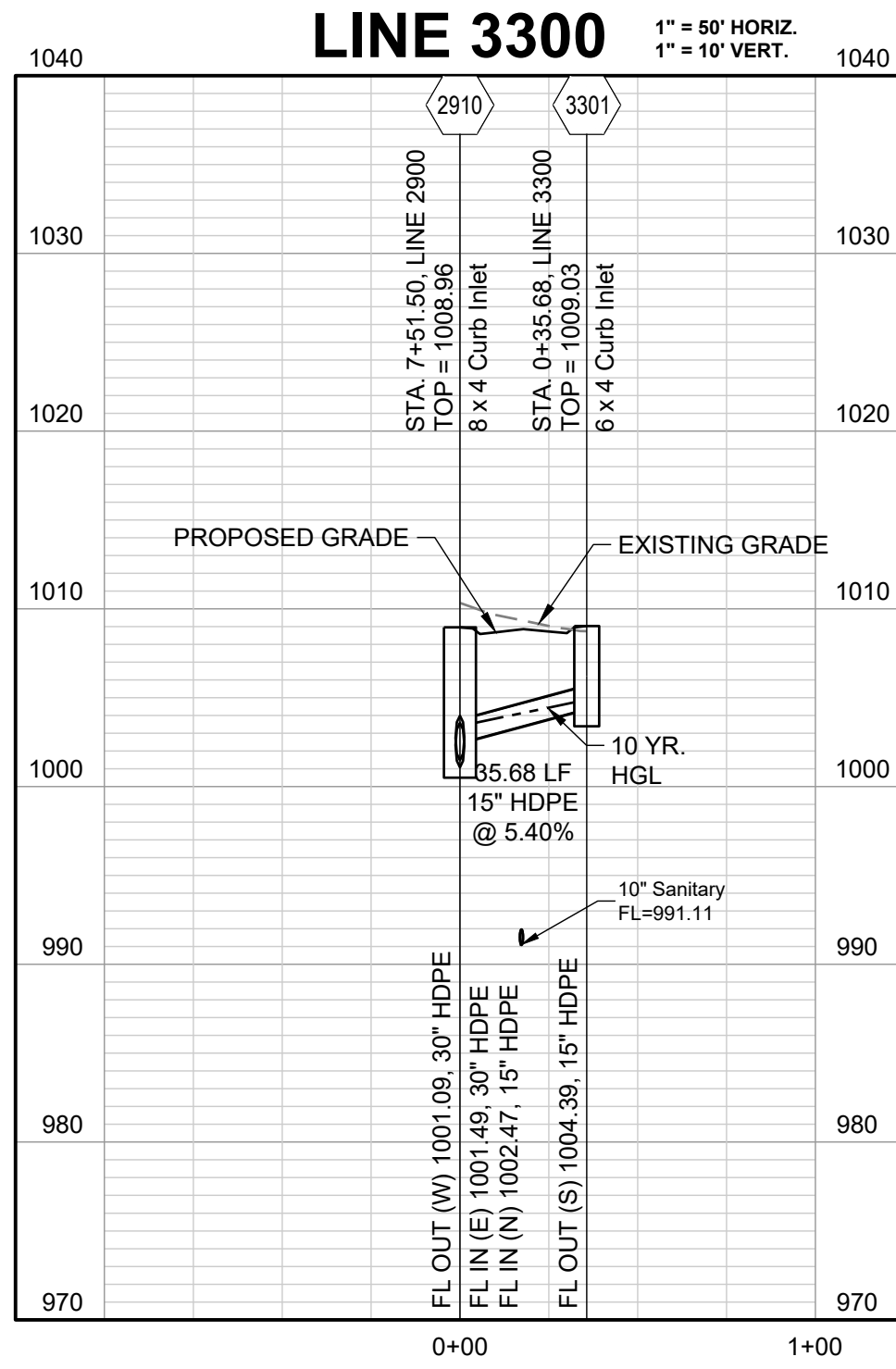
PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT**  
**STREET, STORMWATER, AND MASTER**  
**DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

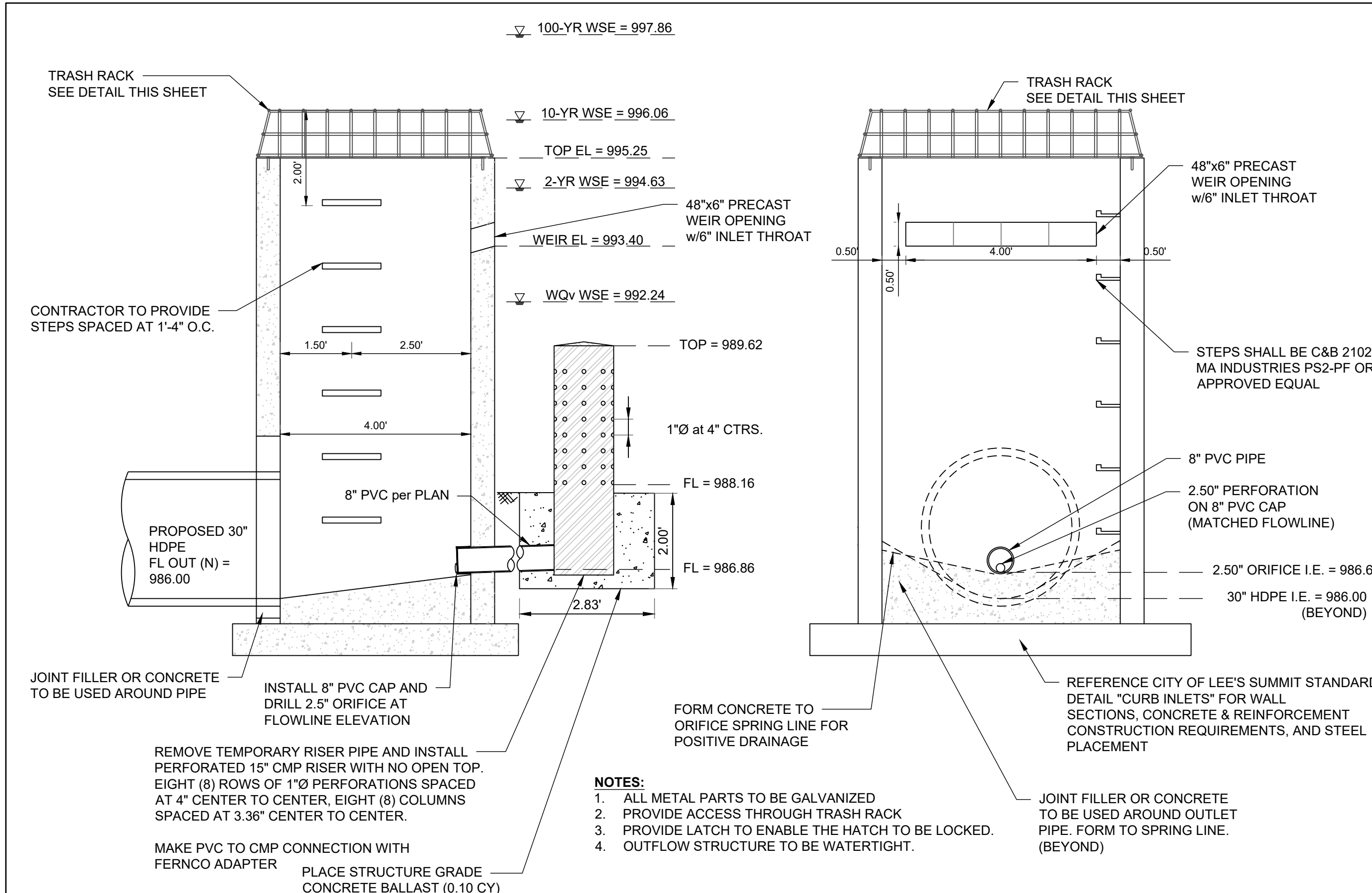


10-YEAR HGL ————

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

STORM  
PROFILES 5



**WATER QUALITY STRUCTURE 3801**  
(NOT TO SCALE)

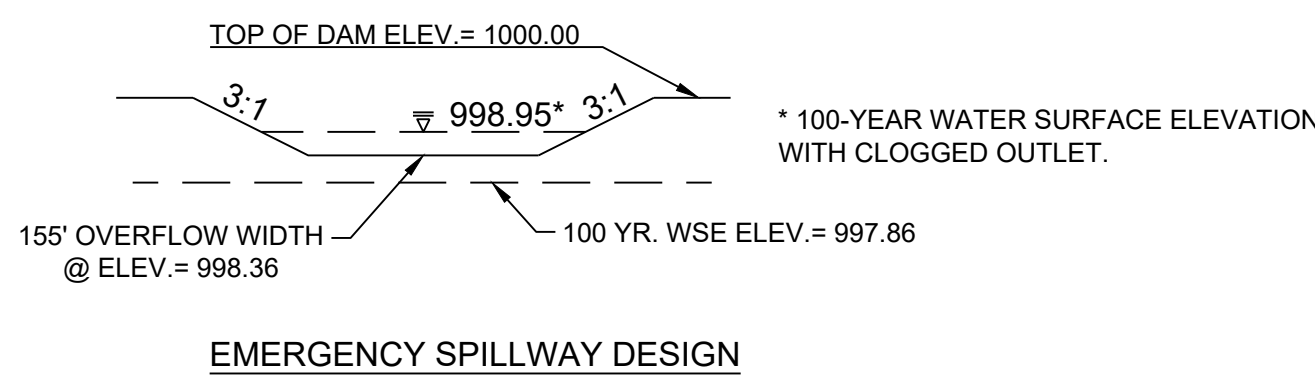
- NOTES:**
1. ALL METAL PARTS TO BE GALVANIZED
  2. PROVIDE ACCESS THROUGH TRASH RACK
  3. PROVIDE LATCH TO ENABLE THE HATCH TO BE LOCKED.
  4. OUTFLOW STRUCTURE TO BE WATERTIGHT.

**DETENTION STORAGE:**  
100 YEAR, 24 HR. RAINFALL - MAXIMUM WSE = 997.86  
(SEE FINAL STORMWATER MGMT. PLAN)

EMERGENCY SPILLWAY FLOWLINE SET AT 0.5 FEET ABOVE MAX. WSE, SPILLWAY ELEV. = 998.36

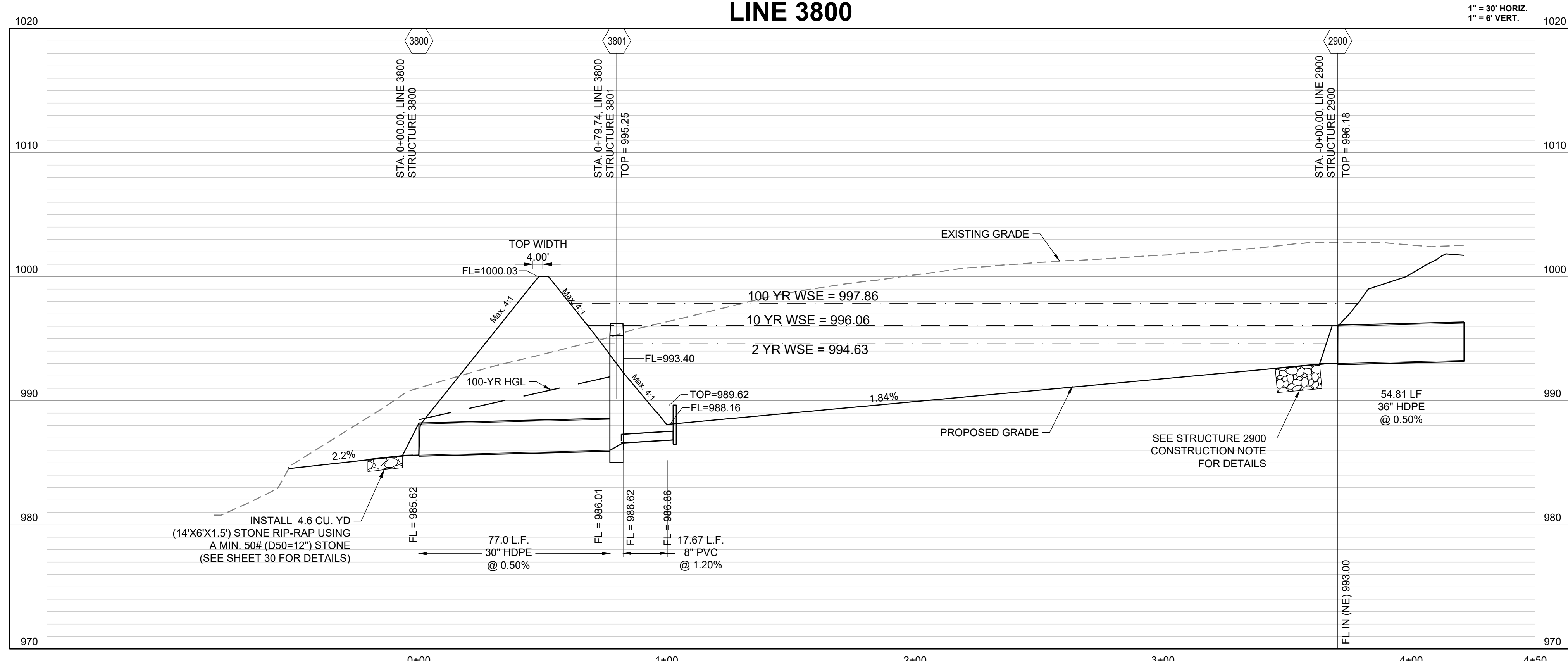
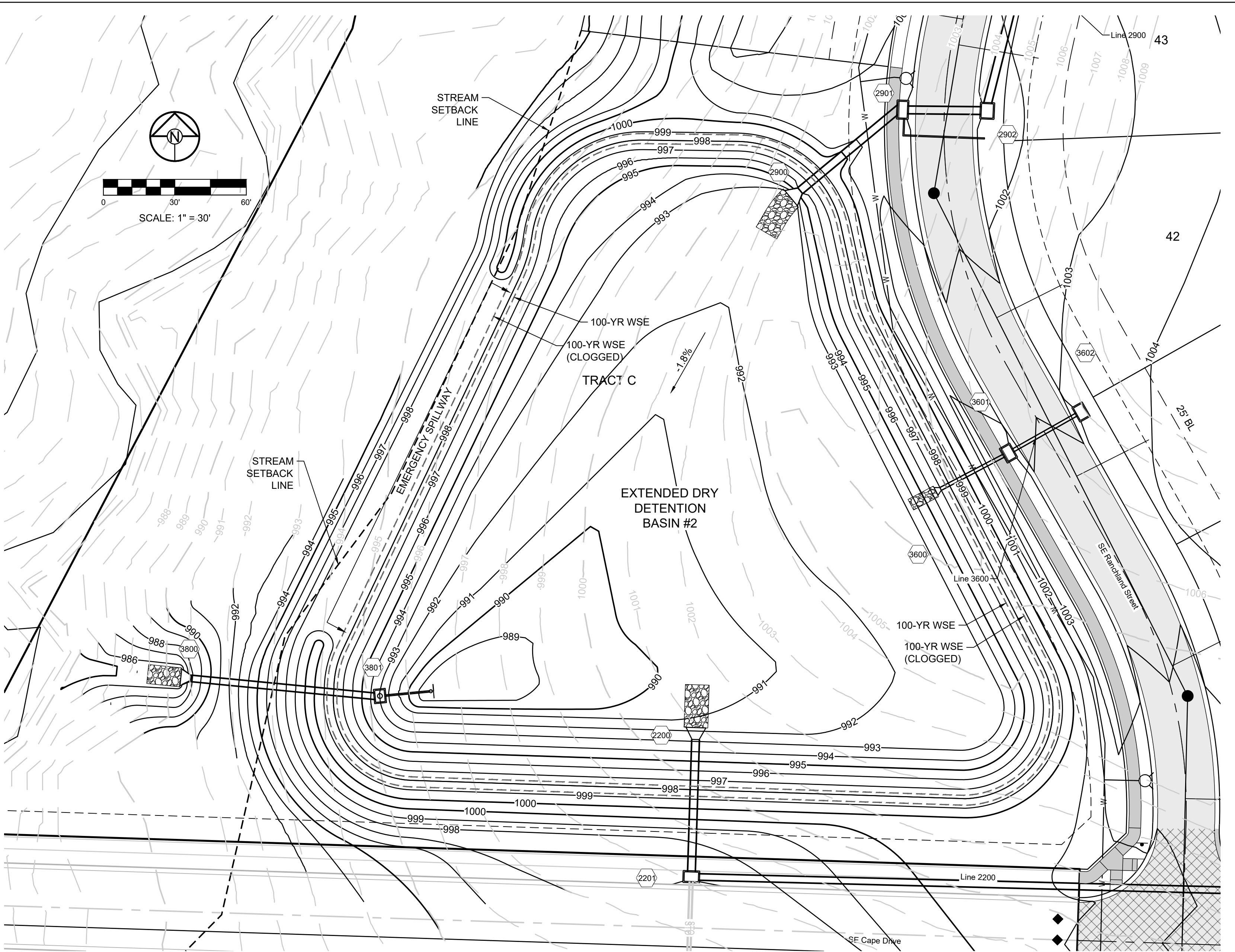
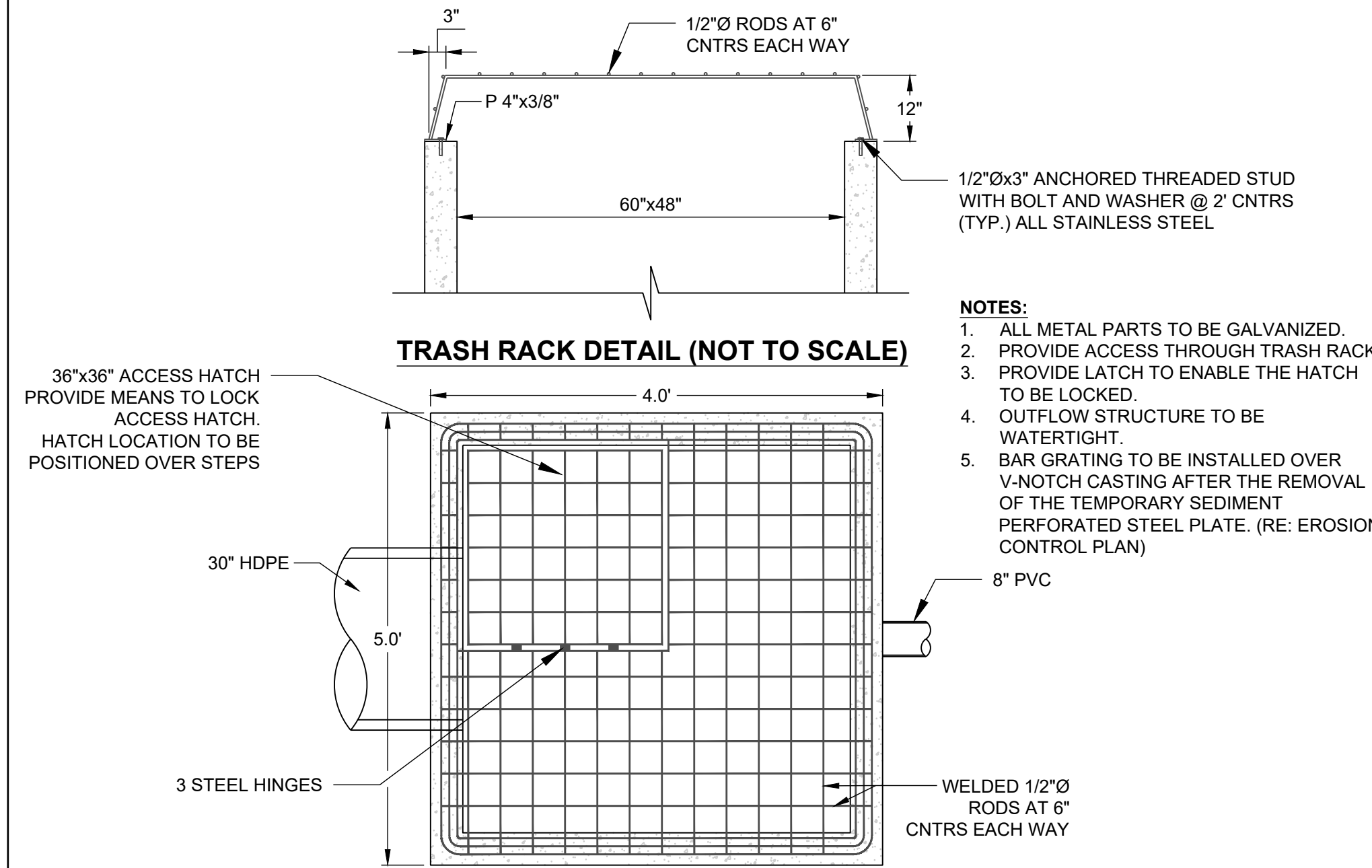
EMERGENCY SPILLWAY DESIGN:  
Q(100) = 232.03 CFS, Q = CLH<sup>1.486</sup>(3/2), C = 3.33,  
L = 155 FT., 232.03 CFS = 3.33 \* 155 FT. \* (H<sup>1.486</sup>(3/2)), H = 0.59 FT

WATER SURFACE ELEVATION THROUGH SPILLWAY = 998.95  
+ ONE (1) FOOT OF FREEBOARD = 999.95  
SET BASIN TOP AT 1000.00



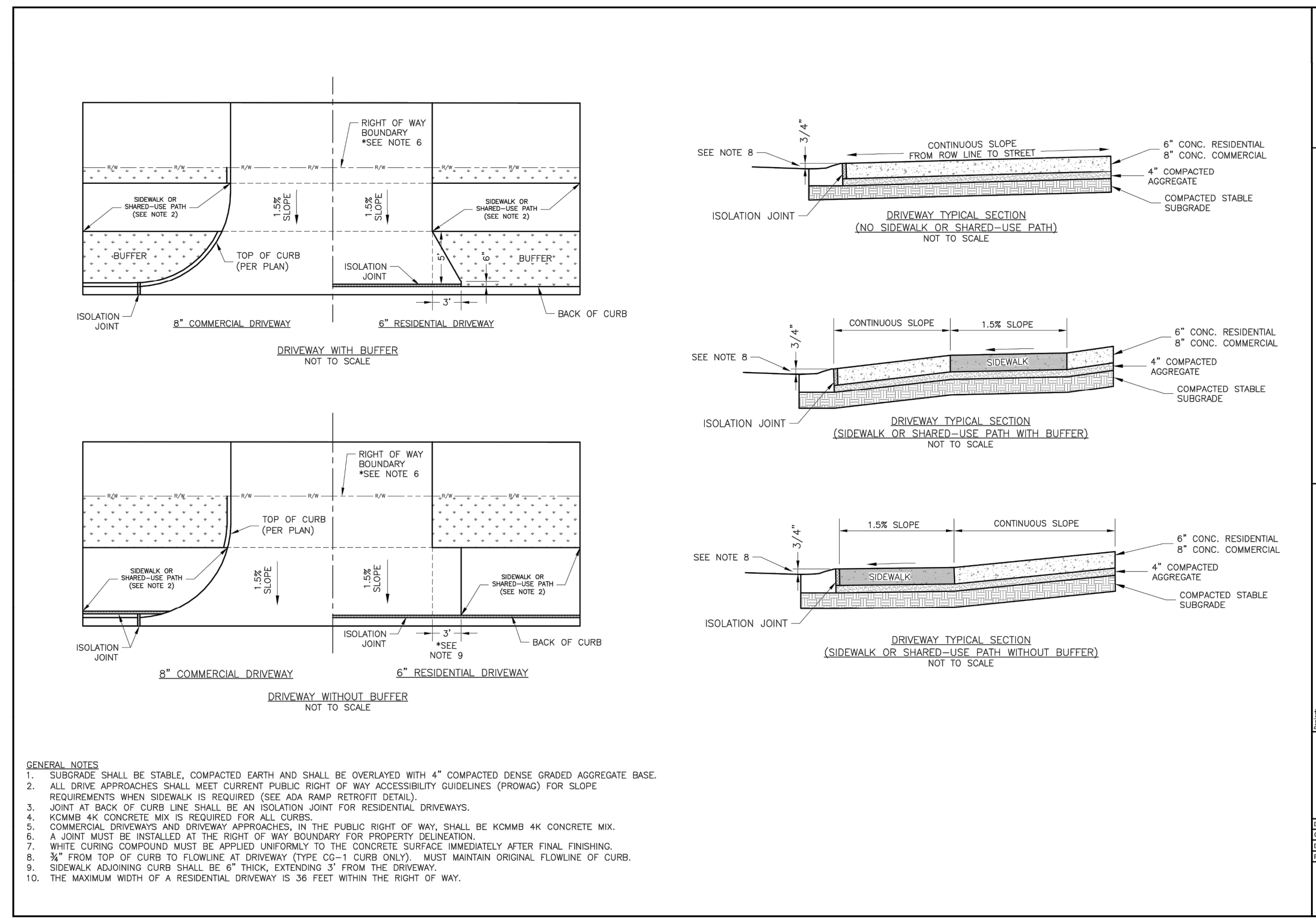
**NOTE:**  
DETENTION / SEDIMENT BASIN SHALL BE CONSTRUCTED ALONG WITH ALL OTHER EROSION CONTROL AND SEDIMENT CONTROL DEVICES AND PRIOR TO ANY INFRASTRUCTURE BEING CONSTRUCTED.

DETENTION BASIN STORAGE VOLUME	
DESIGN STORM	VOLUME (CUBIC FEET)
2-YEAR	122,558
10-YEAR	189,935
100-YEAR	285,540

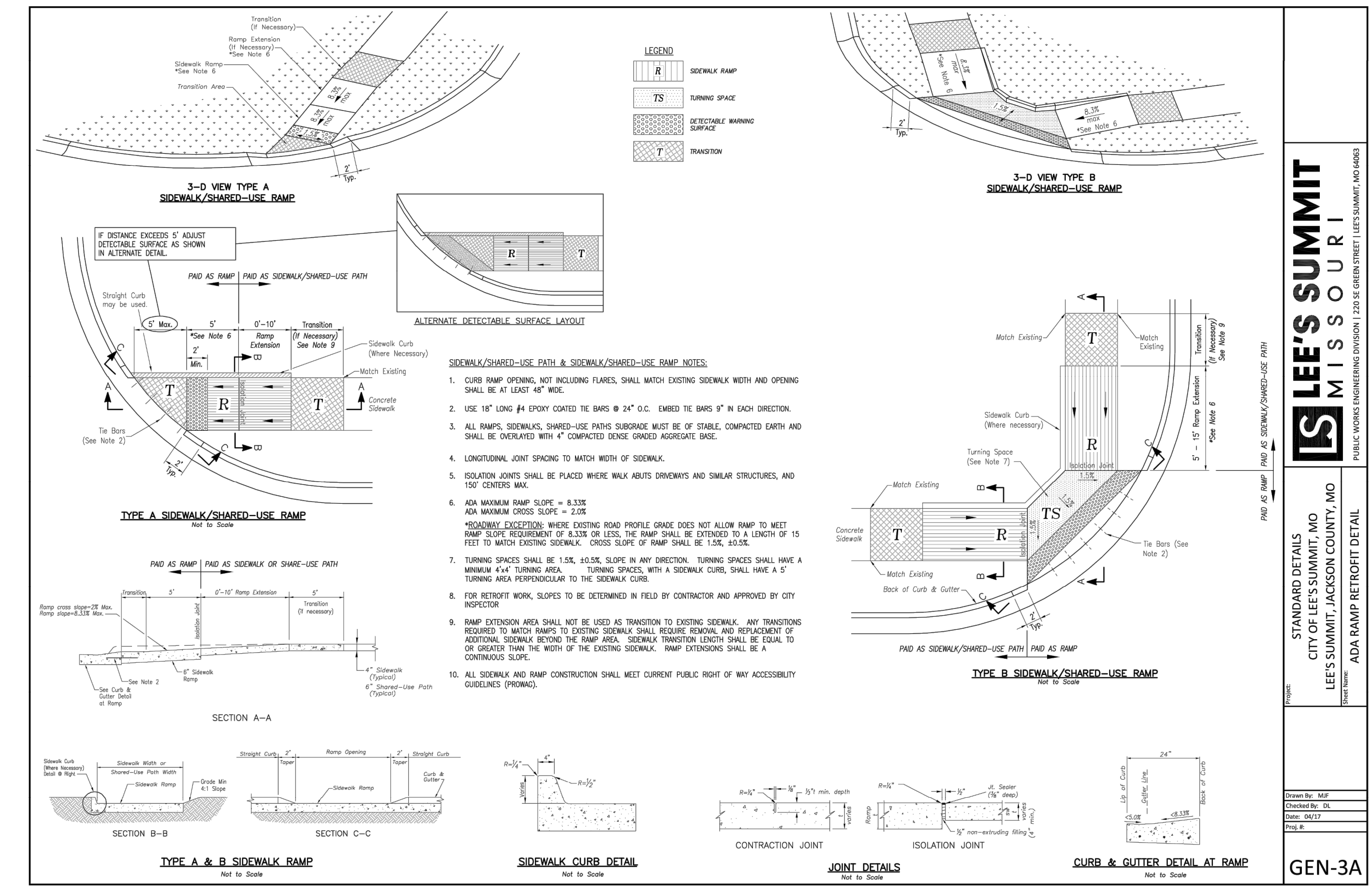


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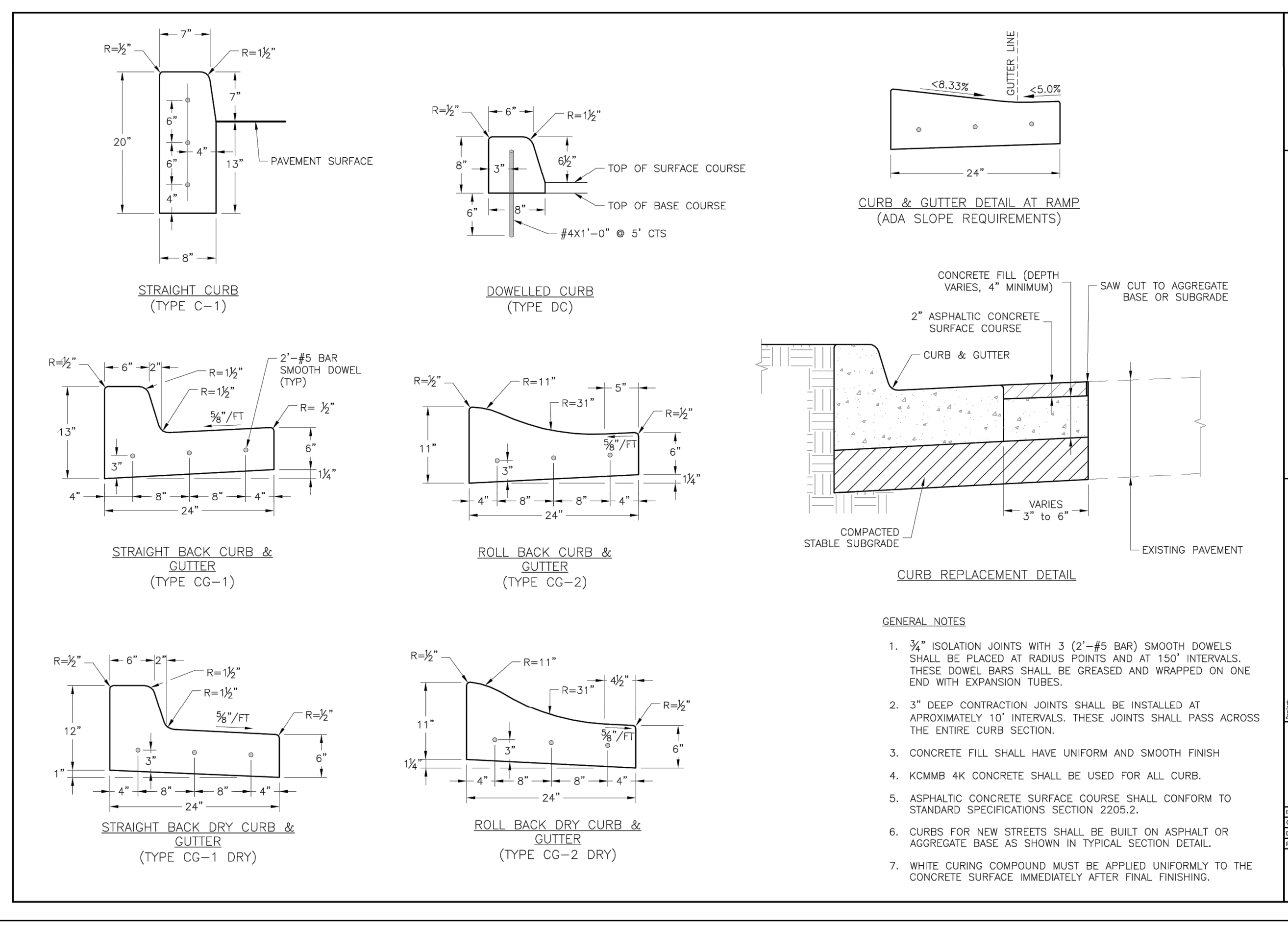
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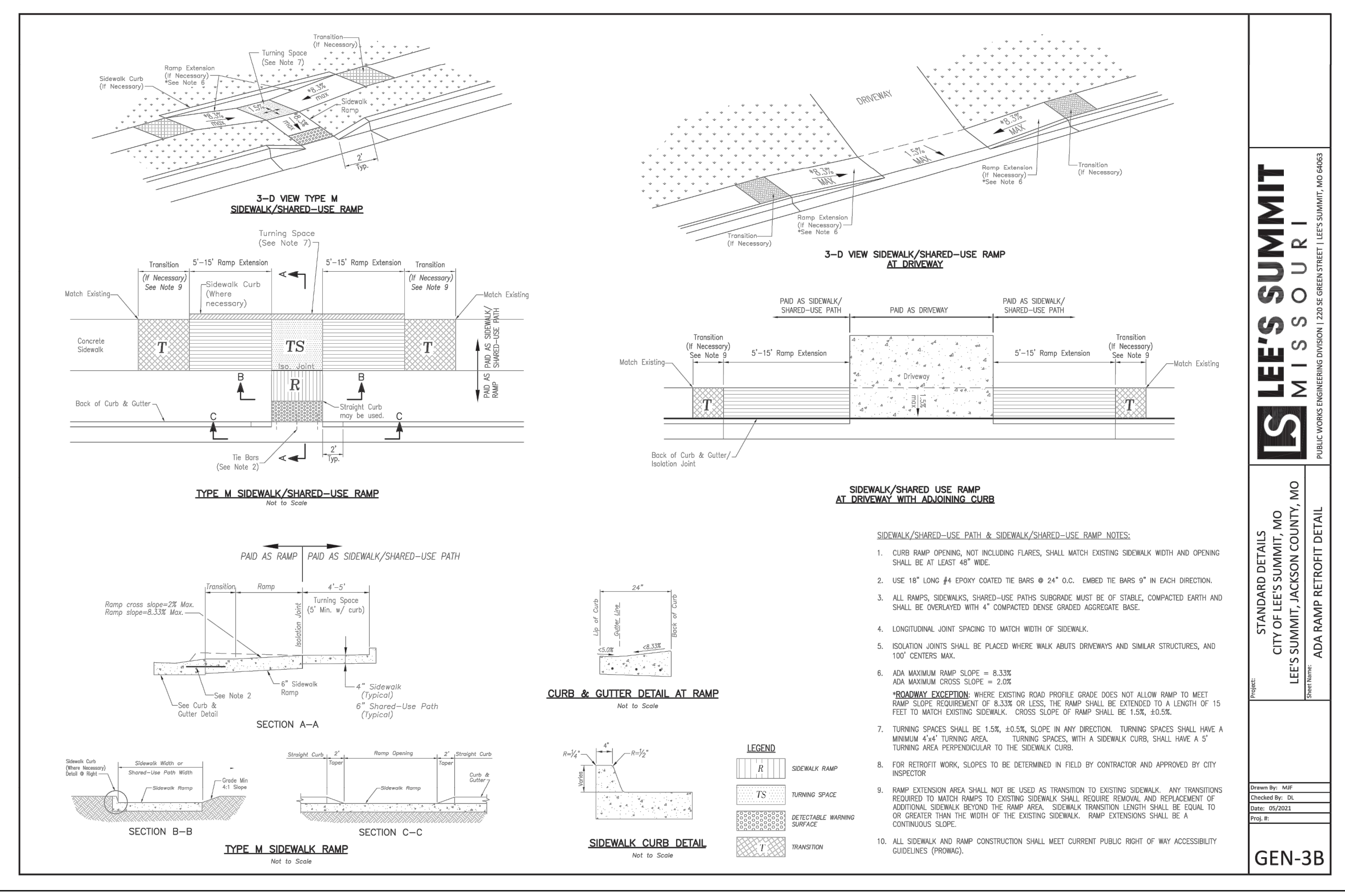
**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 JACSON COUNTY, MO  
 DRIVEWAY DETAIL  
 GEN-1



**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 JACSON COUNTY, MO  
 ADA RAMP RETROFIT DETAIL  
 GEN-3A



**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 JACSON COUNTY, MO  
 CURB & GUTTER DETAIL  
 GEN-4



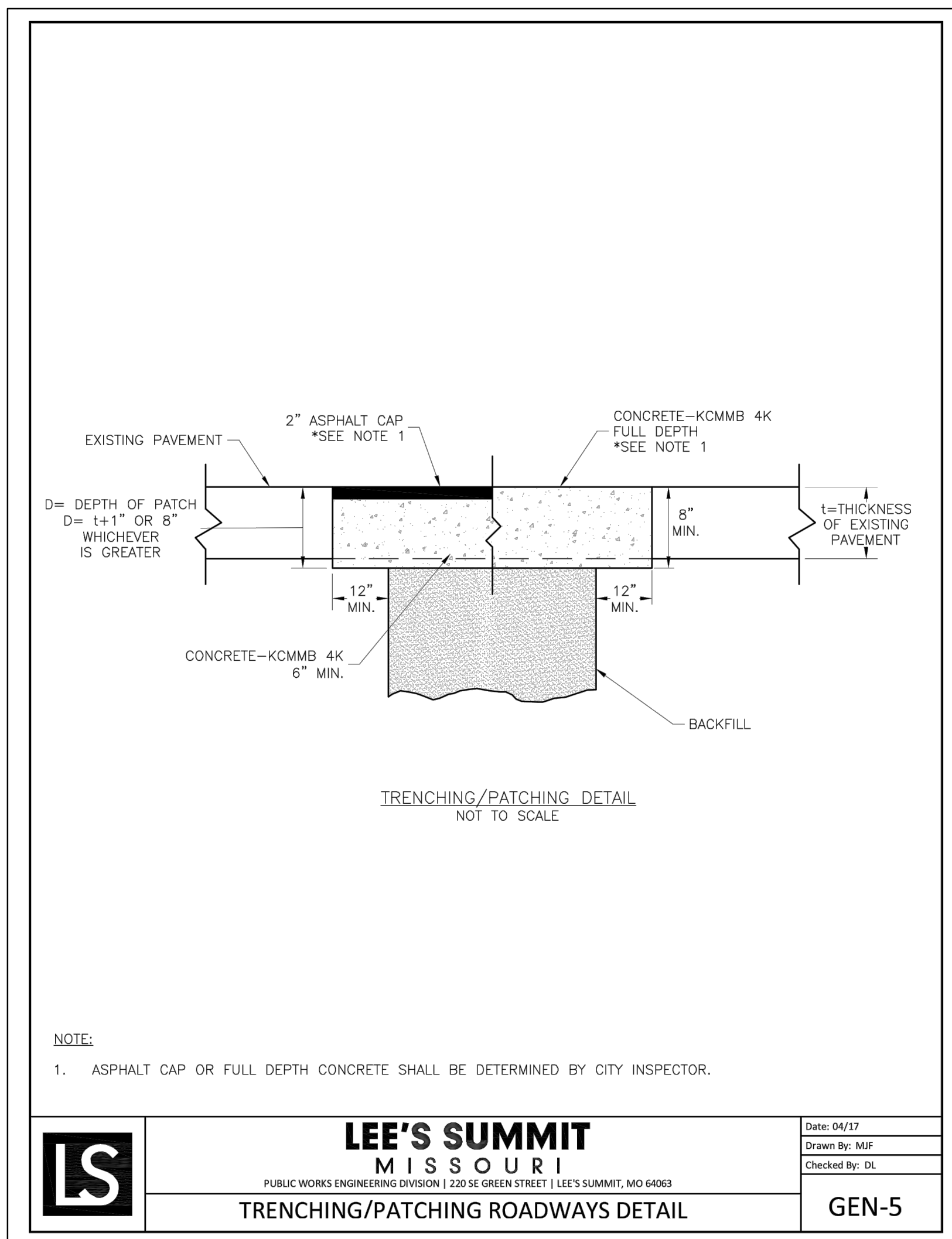
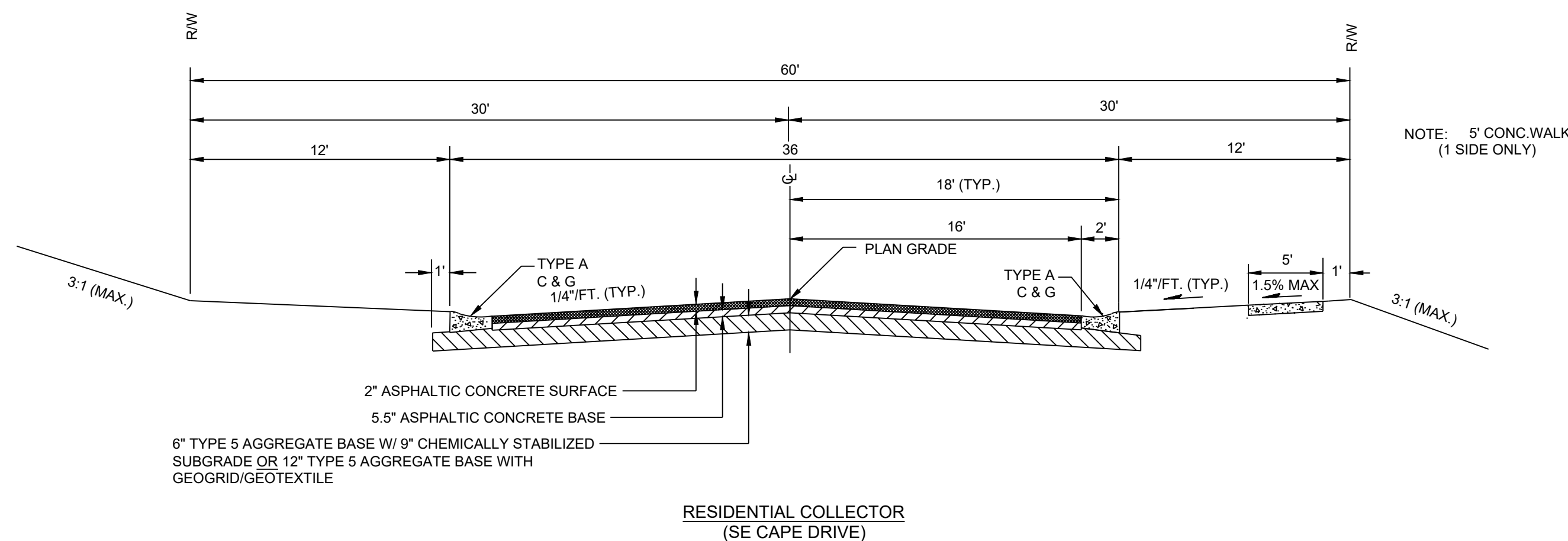
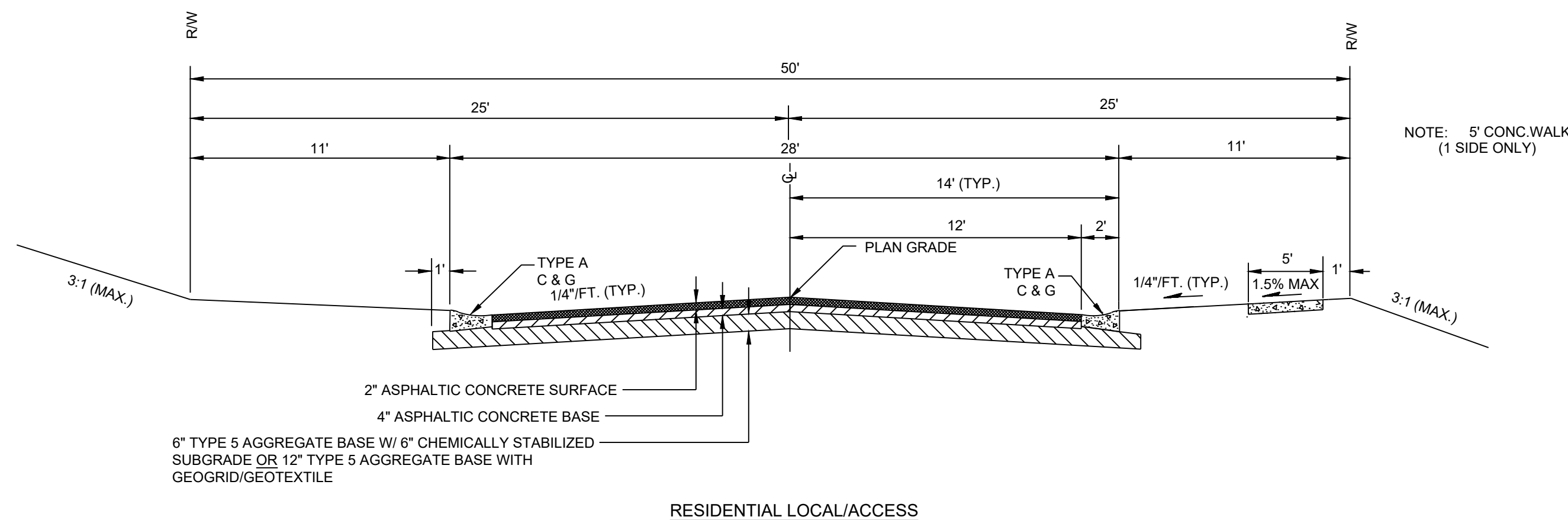
**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 JACSON COUNTY, MO  
 ADA RAMP RETROFIT DETAIL  
 GEN-3B

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

**TABLE LS-2: MINIMUM ASPHALT PAVEMENT THICKNESSES**

Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	Aggregate Base (in.)	Chemical Subgrade Stabilization (in.)	Geogrid / Geotextile <sup>(1)</sup>
Residential Local/Access	A	2	4	6	6	--
	B	2	4	12	--	Geogrid / Geotextile
Residential Collector	A	2	5.5	6	9	--
	B	2	5.5	12	--	Geogrid / Geotextile
Commercial Industrial Local/Collector	A	2	7.5	6	9	--
	B	2	7.5	12	--	Geogrid / Geotextile

Notes:  
(1) Geogrid shall be polypropylene material and Geotextile shall be woven, polypropylene as shown in the City's Approved Products List



REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/9/2021
04/20/2022	City Comments dated 02/14/2022
04/20/2022	City Comments dated 02/14/2022
04/20/2022	City Comments dated 02/14/2022
04/20/2022	City Comments dated 02/14/2022
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04/20/2022	City Comments dated 02/14/2022
04/20/2022	City Comments dated 02/14/2022
04/20/2022	City Comments dated 02/14/2022

DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF  
Checked By: DL  
Date: 04/17  
Proj. #: STM-1

**STM-1**

**GENERAL NOTES:**  
1. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.  
2. FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.  
3. FLOOR OF INLET GROUDED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.  
4. LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.  
5. STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.  
6. BEVEL ALL EXPOSED EDGES WITH 3/8" CHAMFER OR 1/2" TOOLED EDGE.  
7. ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.  
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.  
9. LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT.  
10. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF  
Checked By: DL  
Date: 04/17  
Proj. #: STM-3

**STM-3**

**GENERAL NOTES:**  
1. LOCATE RING AND COVER ON BLANK WALL.  
2. USE 3/8" CHAMFER STRIP OR 1/2" R EDGER TOOL ON ALL EXPOSED CONCRETE CORNERS.  
3. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 4' ON BLANK WALL IF POSSIBLE.  
4. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE AND THE MINIMUM DISTANCE BETWEEN BOXOUTS IS 6".  
5. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.  
6. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.  
7. REINFORCING OF COVERS IN STREETS REQUIRE SPECIAL DESIGN.  
8. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

**REINFORCING**

BAR SIZE	BAR SPACING (IN.)
H	4 12
V	4 12
L	5 6
W	5 6

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF  
Checked By: DL  
Date: 04/17  
Proj. #: STM-5

**STM-5**

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF  
Checked By: DL  
Date: 04/17  
Proj. #: STM-6

**STM-6**

STANDARD 24" MANHOLE COVER  
MINIMUM WEIGHT = 160 LB  
NOTE: PICK HOLES NOT SHOWN  
\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

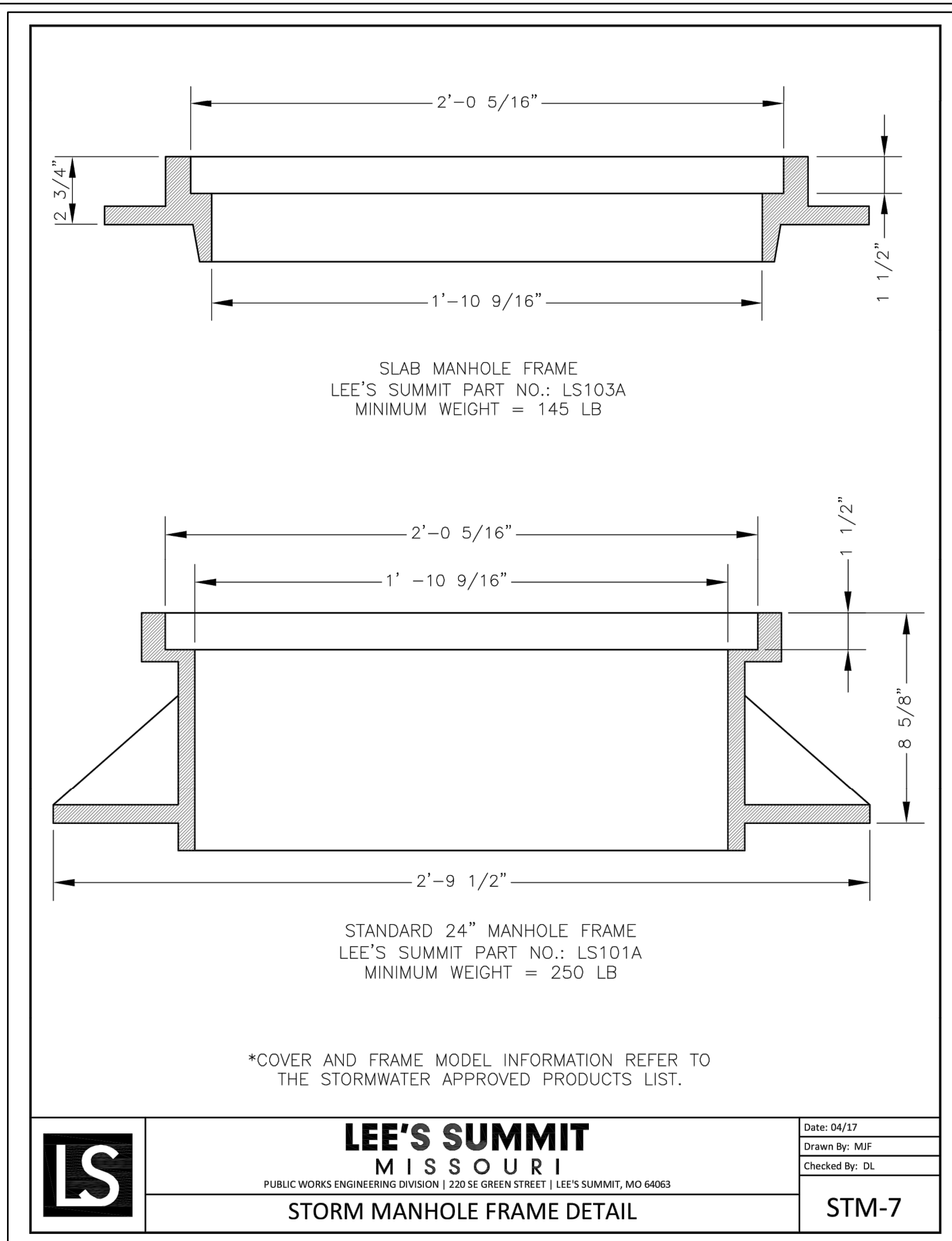
**SCHLAGEL ENGINEERS, PLANNERS, SURVEYORS, LANDSCAPE ARCHITECTS**  
14920 West 107th Street • Lenexa, Kansas 66215  
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WWW.SCHLAGELASOCIATES.COM  
Missouri State Certificate of Authority #E20020036037 #LA2001005237 #LS2002008659F

PREPARED BY:  
STATE OF MISSOURI  
JAMES L. LONG  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER  
4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022

DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:
NCA	JLL	11/05/2021	21-130

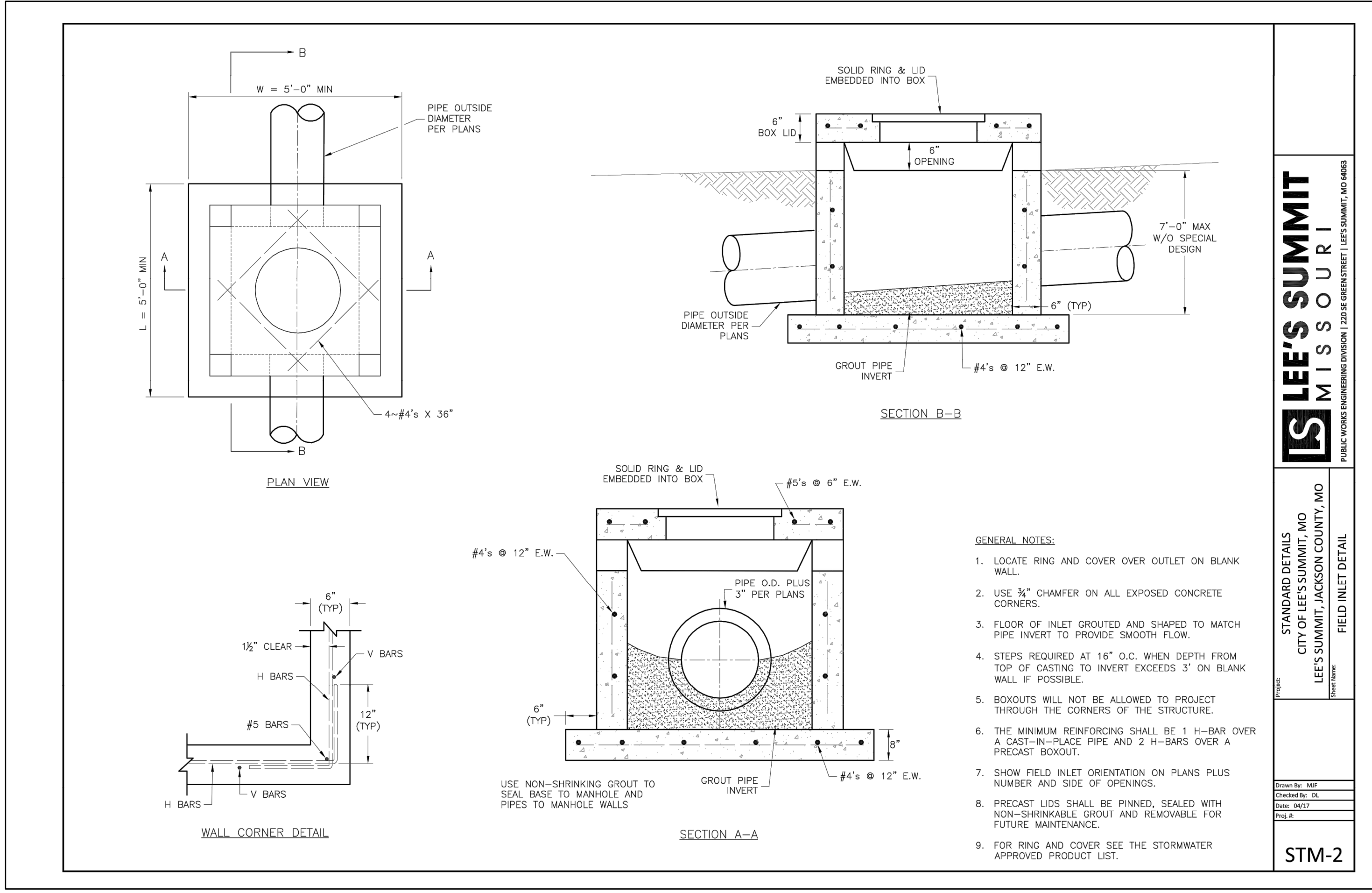
**STORM DETAILS**  
1



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Drawn By: MJF  
Checked By: DL

**STM-7**



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

FIELD INLET DETAIL

Drawn By: NJP  
Checked By: DL  
Date: 04/17  
Proj. #: STM-7

**STM-2**

**SCHLAGEL**  
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WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003690-F #LA2001005237 #LS200200869-F

PREPARED BY:

**JAMES L. LONG**  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER  
4/21/2022

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

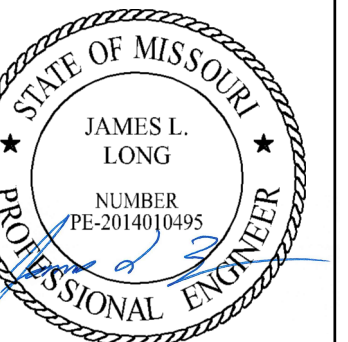
REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
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DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

STORM DETAILS  
2

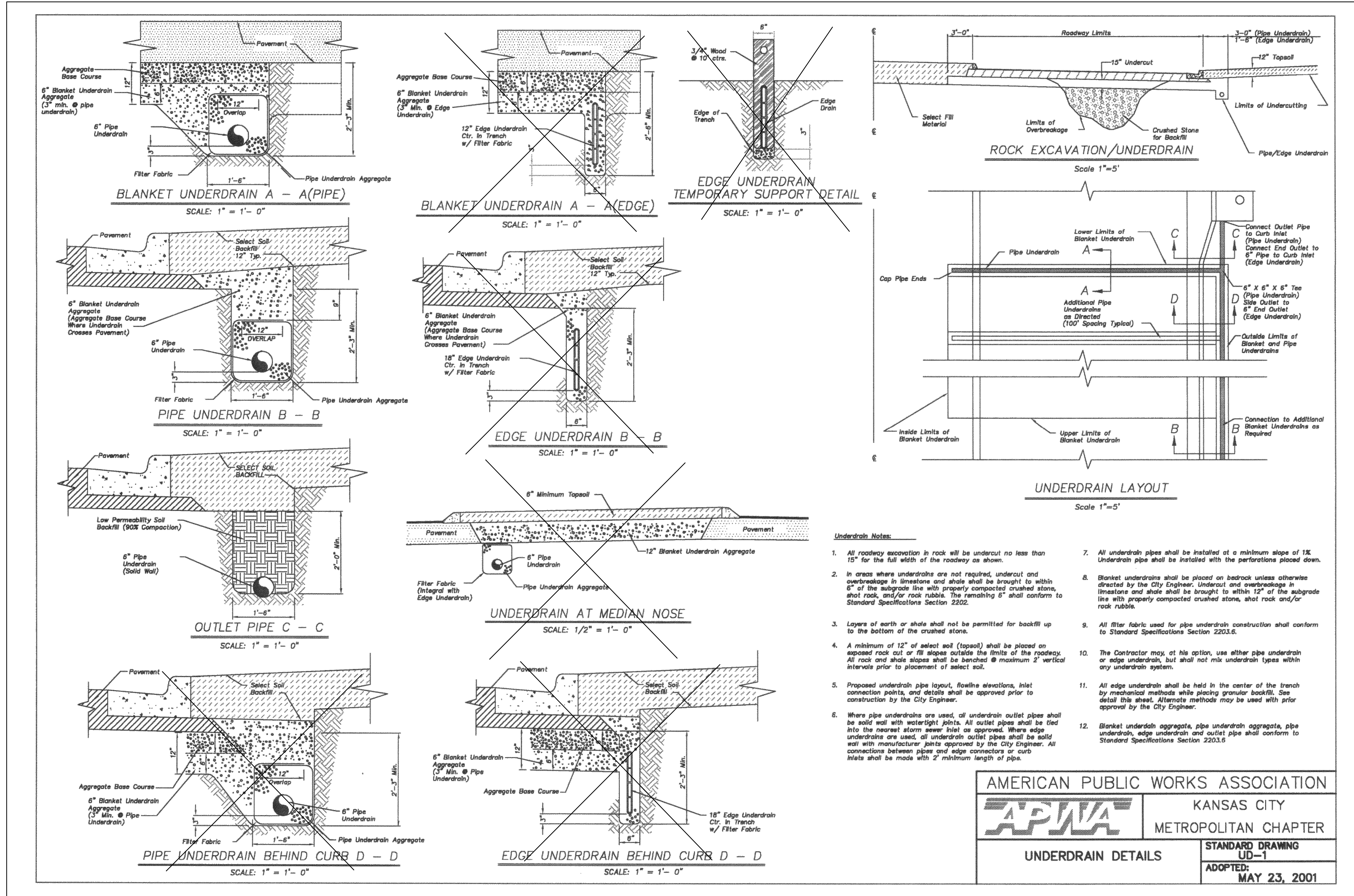


PREPARED BY:



4/21/2022

SCHLAGEL & ASSOCIATES, P.A.



MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

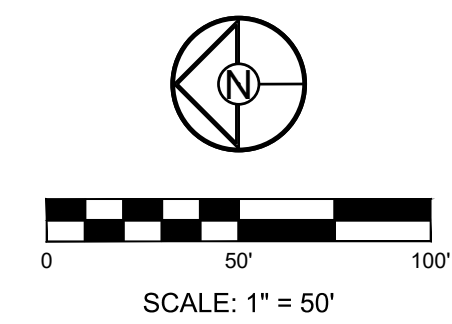
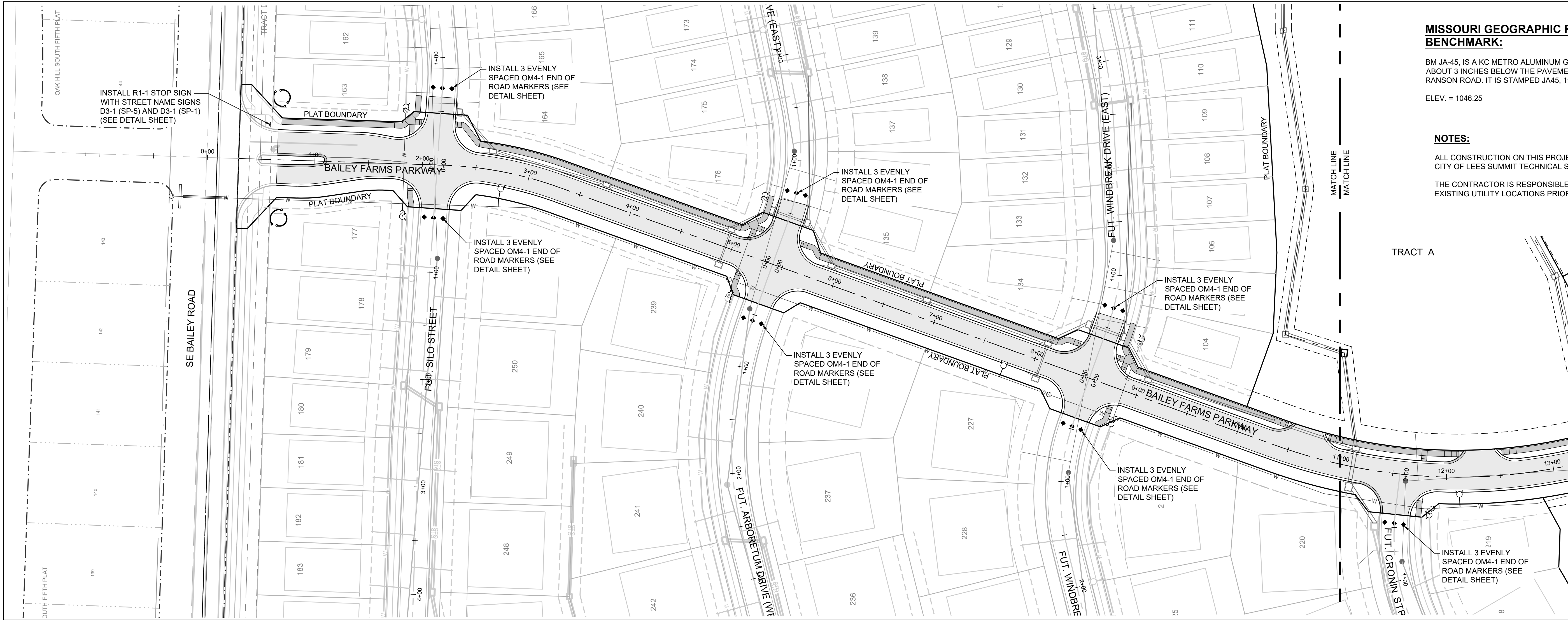
AMERICAN PUBLIC WORKS ASSOCIATION  
**APWA** KANSAS CITY METROPOLITAN CHAPTER  
 UNDERDRAIN DETAILS  
 STANDARD DRAWING UD-1  
 ADOPTED: MAY 23, 2001

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
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DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 11/05/2021	PROJ. NUMBER: 21-130
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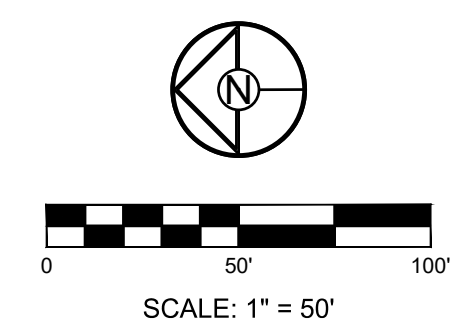
STORM UNDERDRAIN DETAILS

SHEET



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
 BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.  
 ELEV. = 1046.25

**NOTES:**  
 ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.  
 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.



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 Missouri State Certificate of Authority  
 #E2002003600F #LAC201005237 #LS2002008695F

PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEES SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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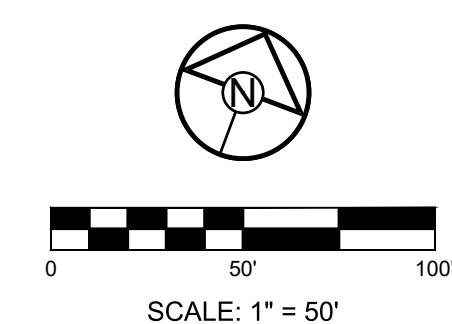
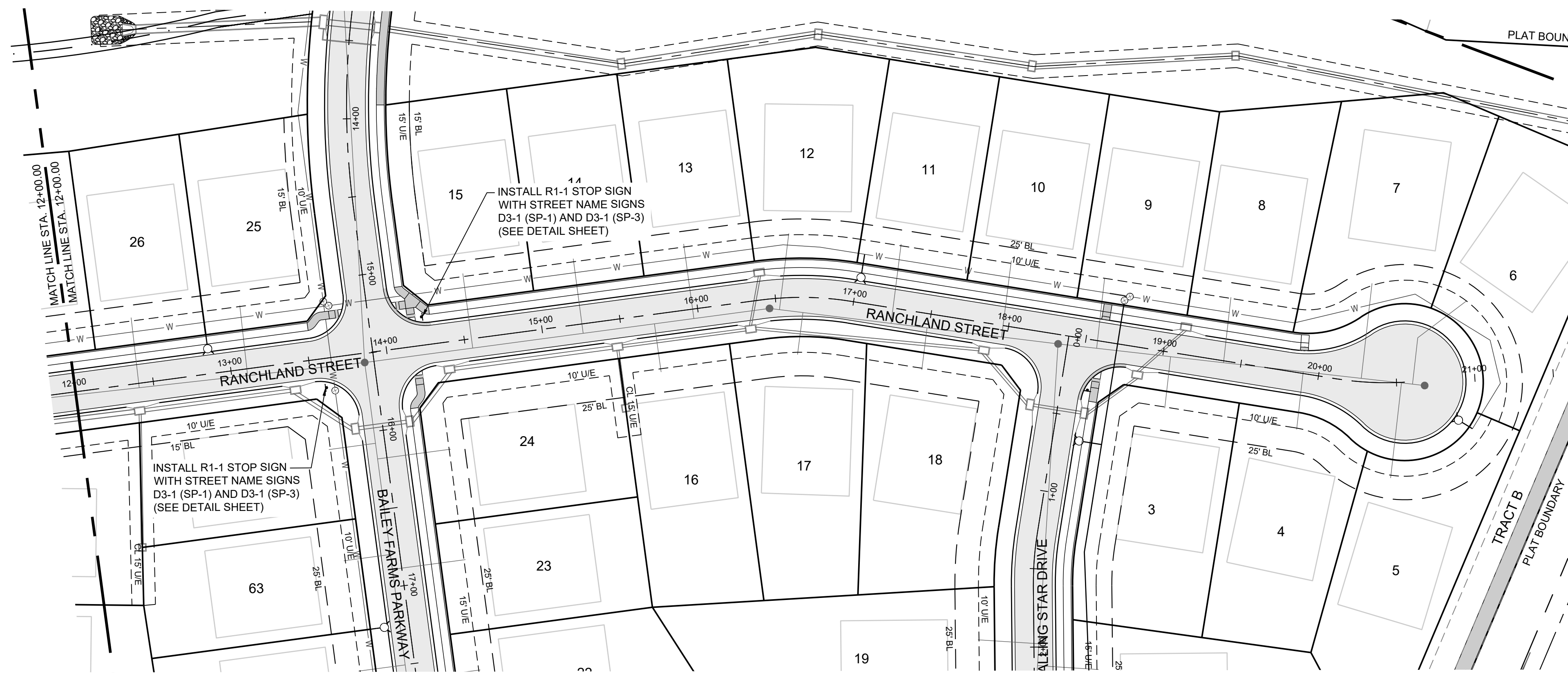
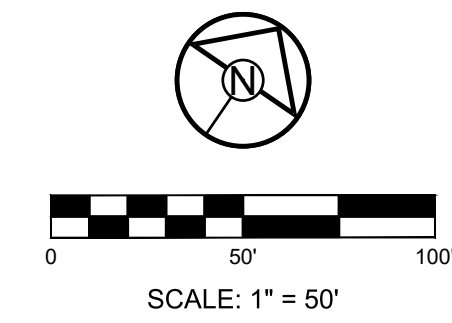
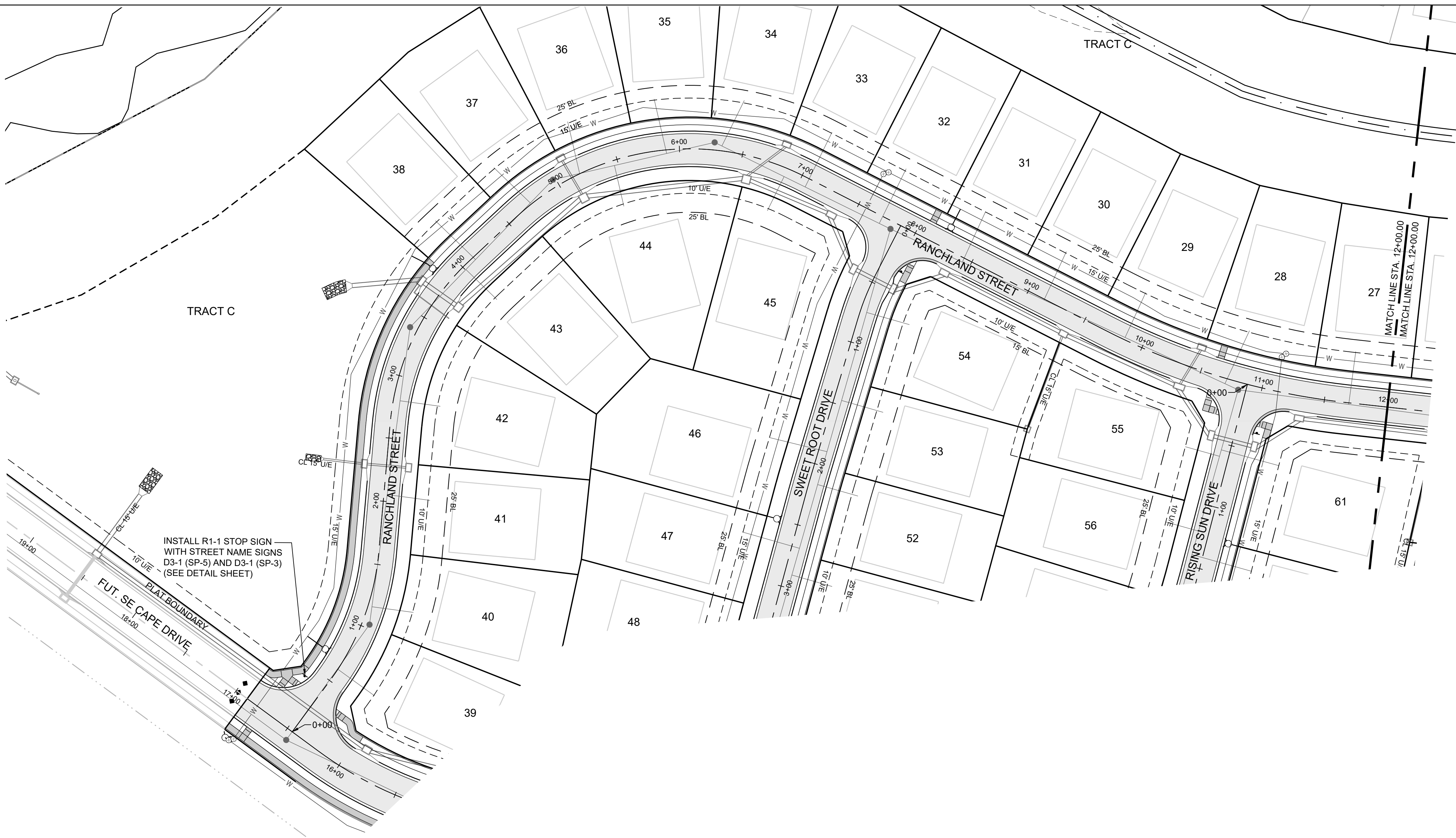
  

DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

**BAILEY FARMS PKWY SIGNAGE PLAN**

SHEET

**42**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
 BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.  
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 #E2002003690-F #LAC2001005237 #LS2002008695-F

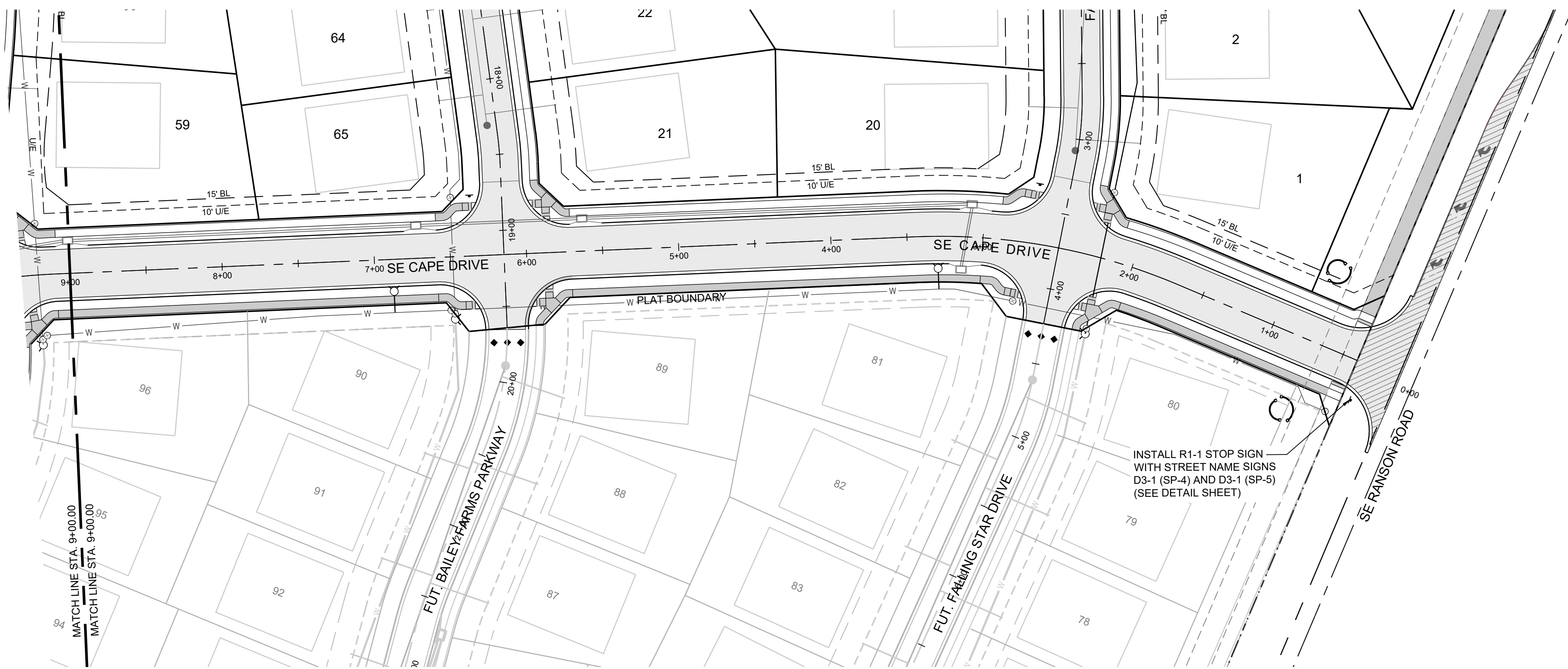
PREPARED BY:  
  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

RANCHLAND ST  
 SIGNAGE PLAN  
 SHEET  
**43**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

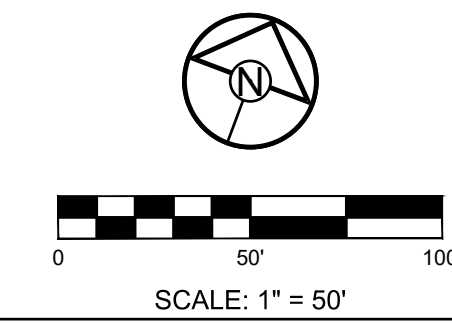
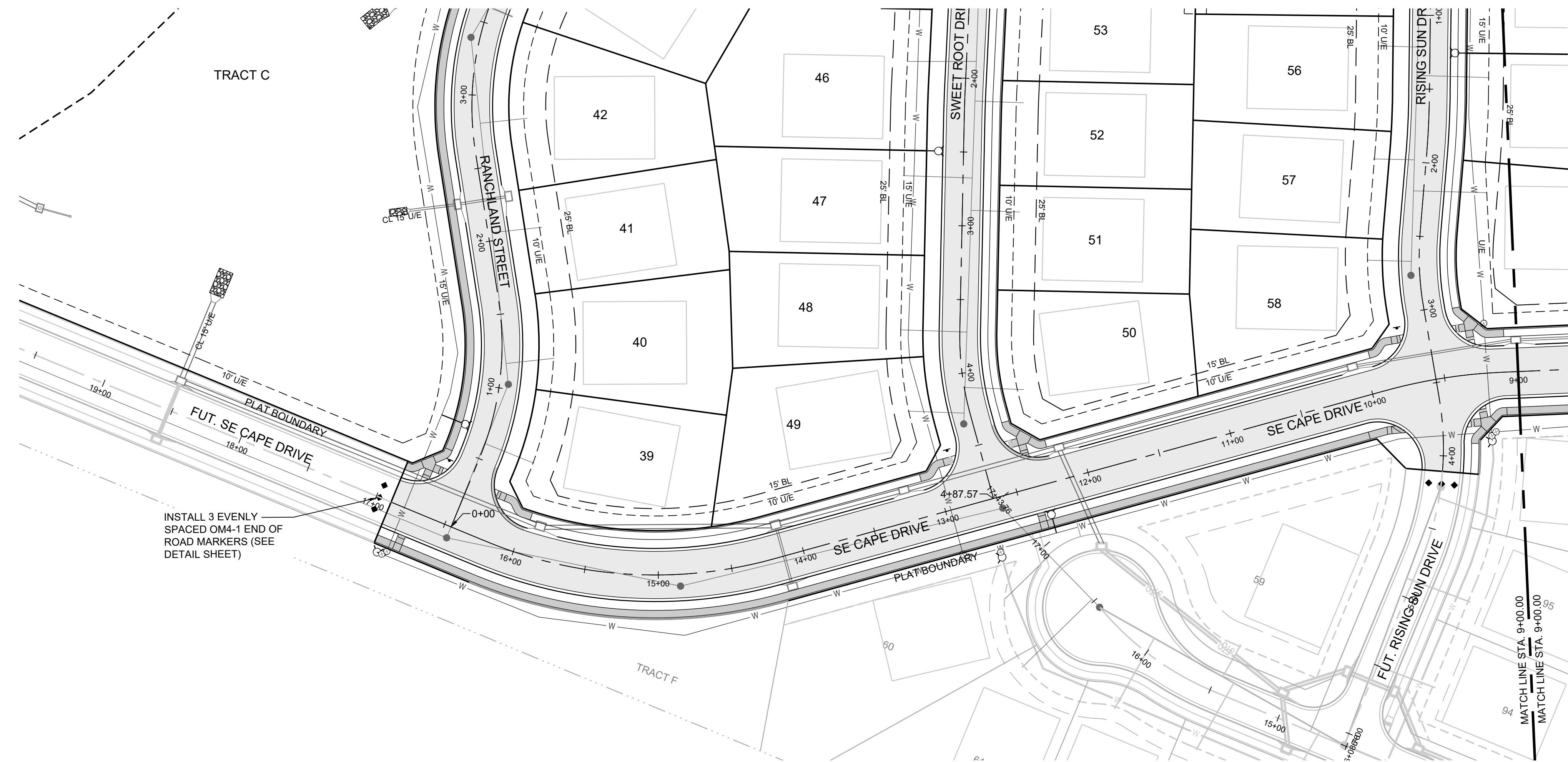
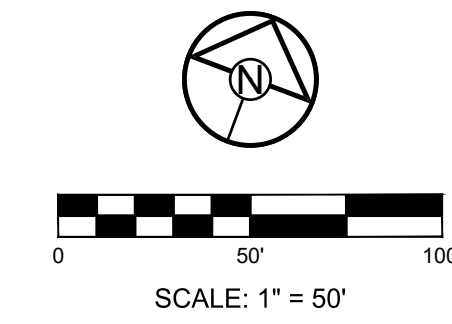
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

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 #E2200203690F #LAC201005237 #LS2002008695F

PREPARED BY:  
  
 JAMES L. LONG  
 NUMBER PE-2014010495  
 PROFESSIONAL ENGINEER  
 4/21/2022  
 SCHLAGEL & ASSOCIATES, P.A.

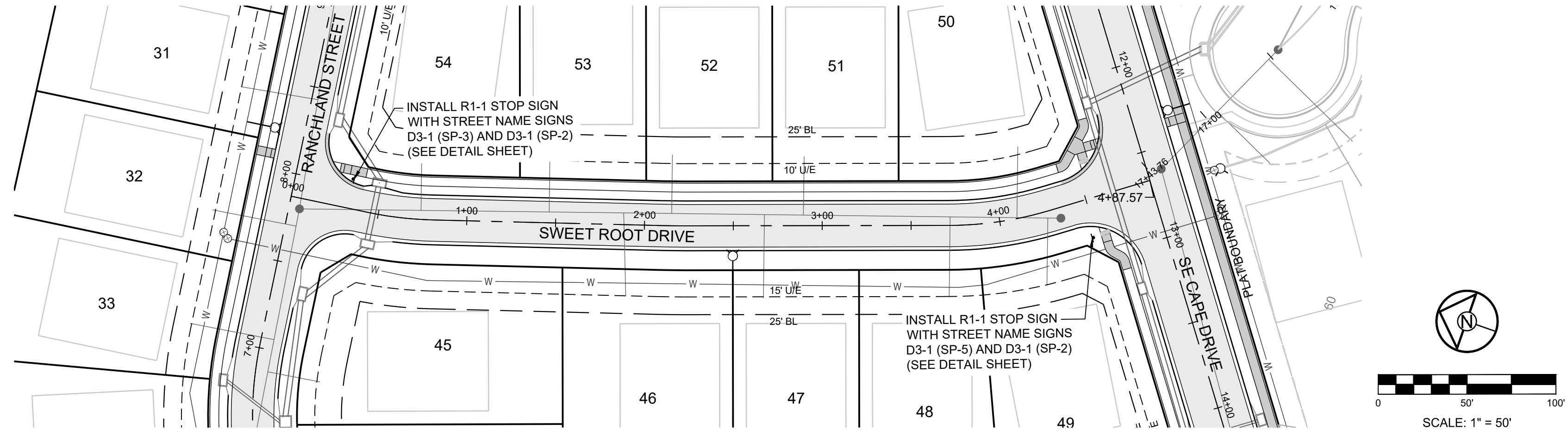
MANOR AT BAILEY FARMS, FIRST PLAT  
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 PROJ. NUMBER: 21-130

SE CAPE DR  
 SIGNAGE PLAN

SHEET  
**44**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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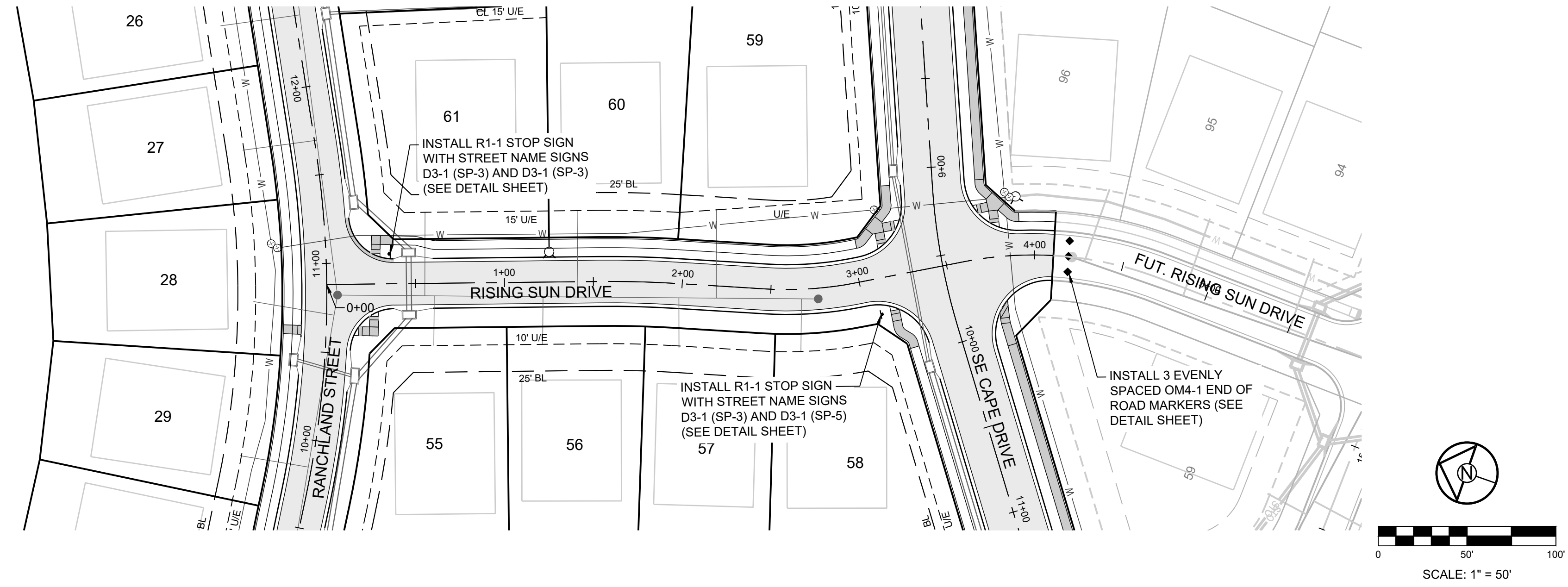
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PREPARED BY:

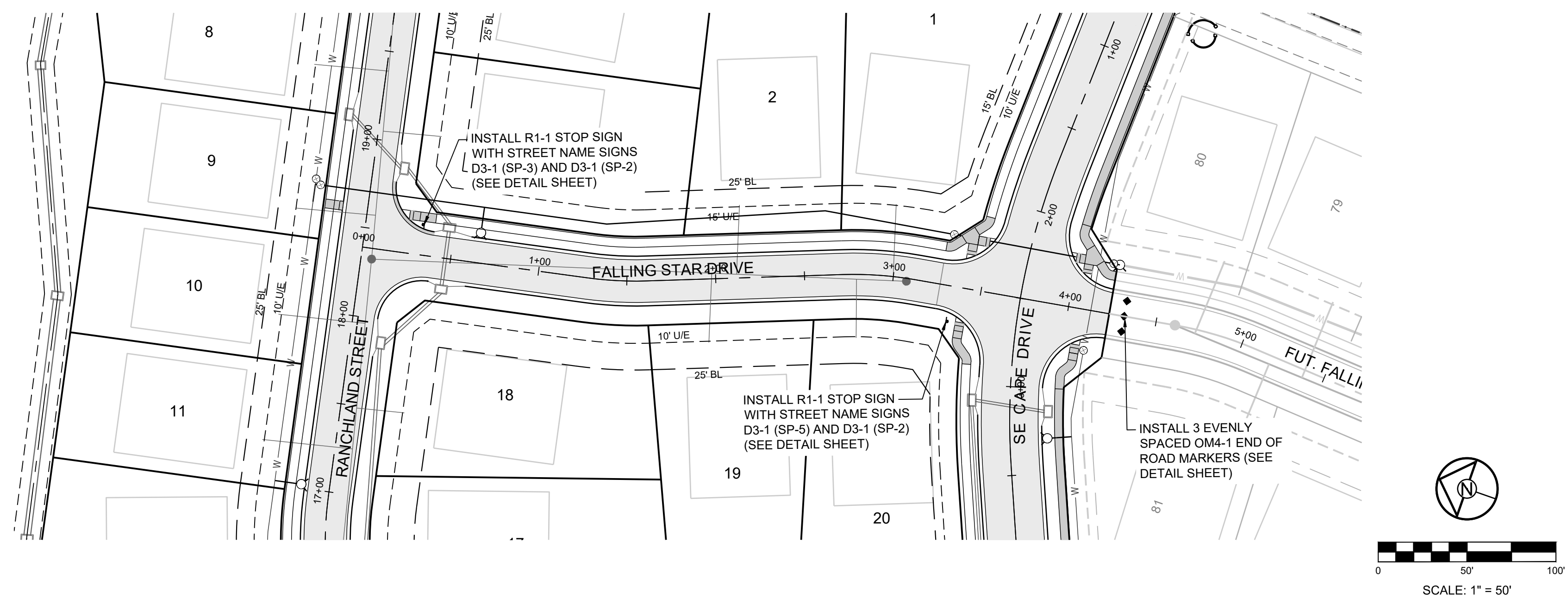
JAMES L. LONG  
 NUMBER PE-2014010495  
 PROFESSIONAL ENGINEER

4/21/2022

SCHLAGEL & ASSOCIATES, P.A.



MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

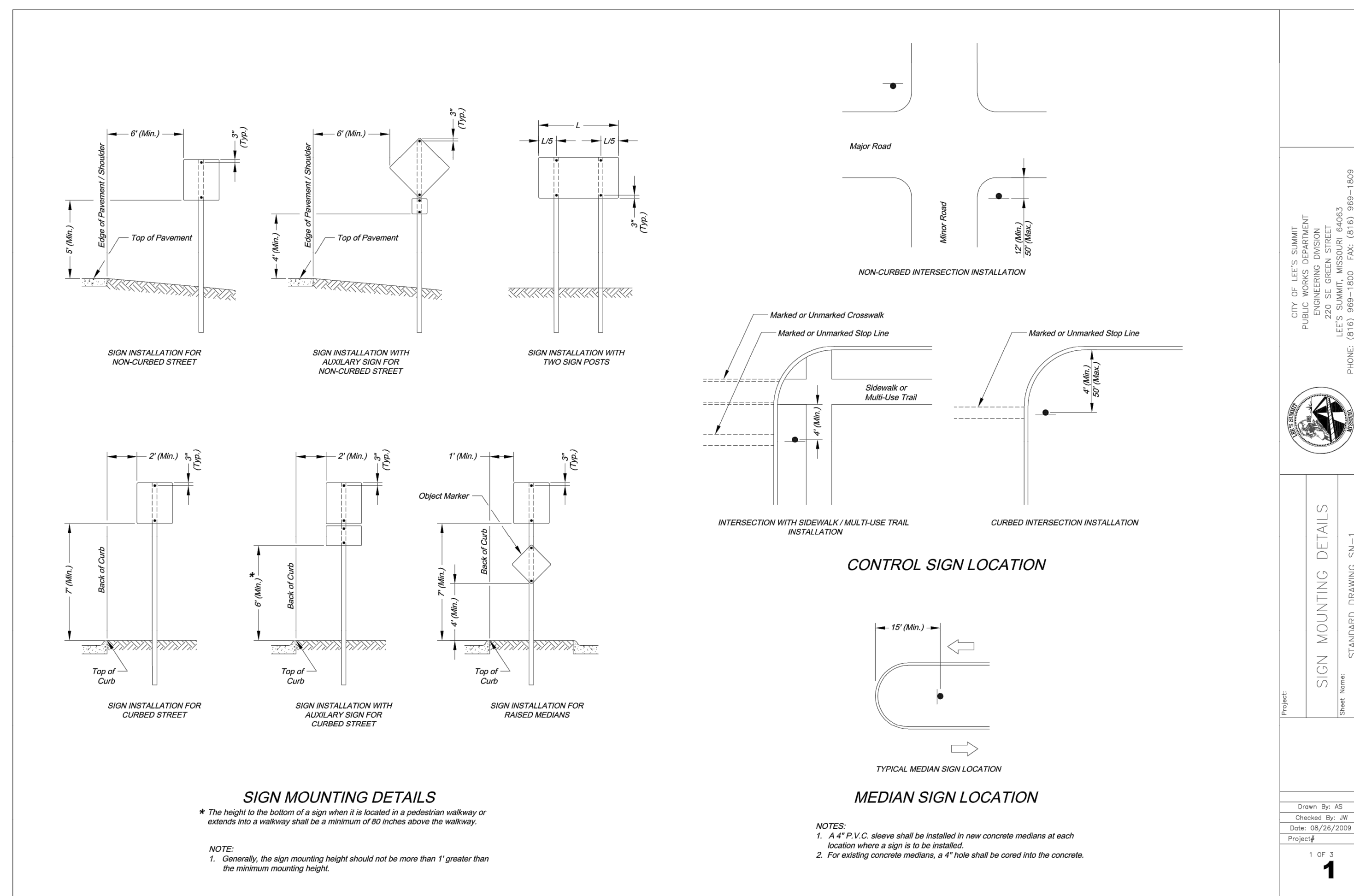


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SWEET ROOT DR  
 RISING SUN DR  
 FALLING STAR DR  
 DR SIGNAGE  
 SHEET PLAN

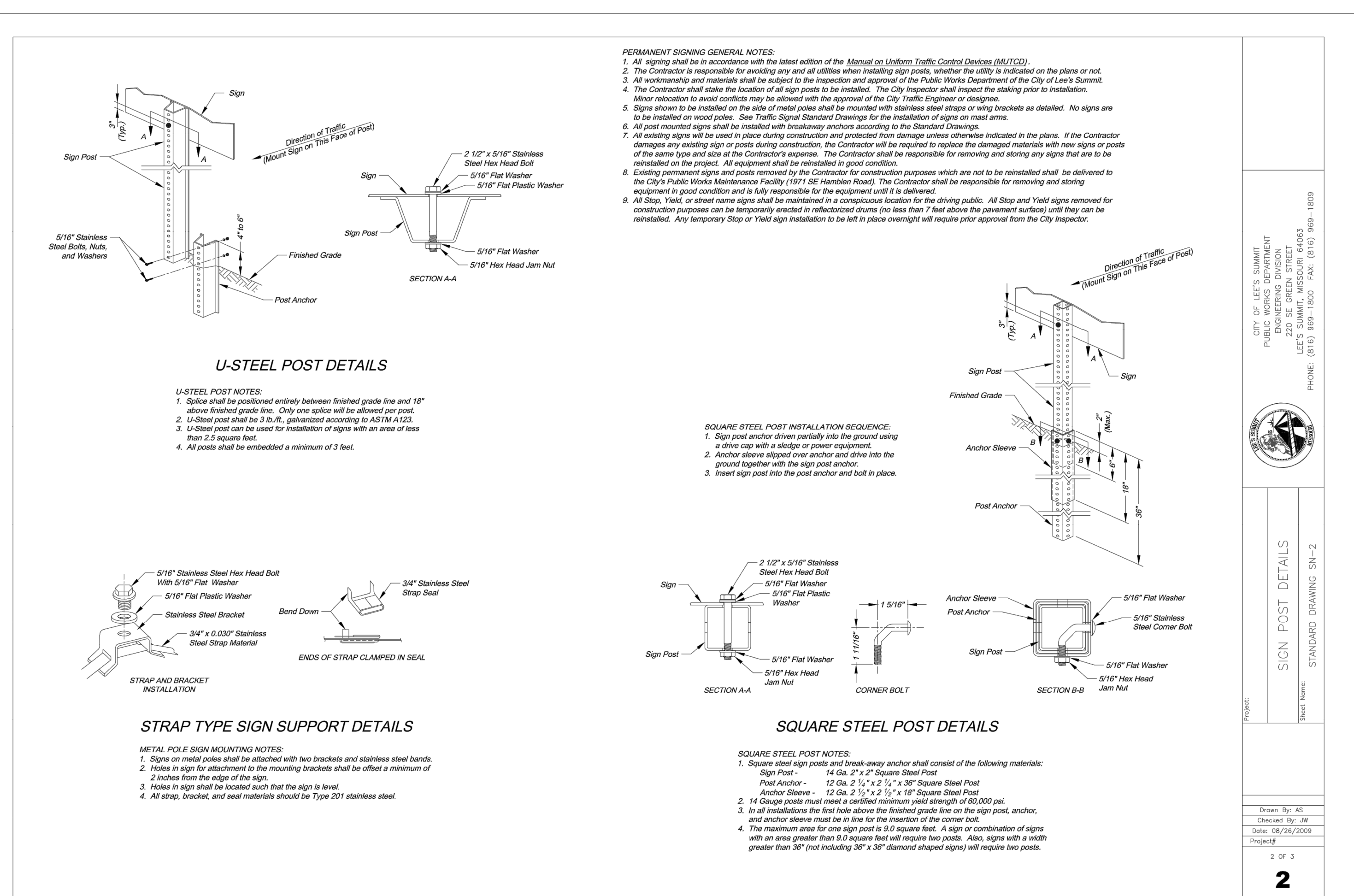
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CITY OF LEE'S SUMMIT  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION  
14200 WEST 107TH STREET • LENEXA, KANSAS 66215  
LEES SUMMIT, MISSOURI 64063  
PHONE: (816) 999-1800 FAX: (816) 999-1809

Project: **SIGN MOUNTING DETAILS**  
Sheet Name: STANDARD DRAWING SN-1

Drawn By: AS  
Checked By: AS  
Date: 08/26/2009  
Project#: 1 OF 3



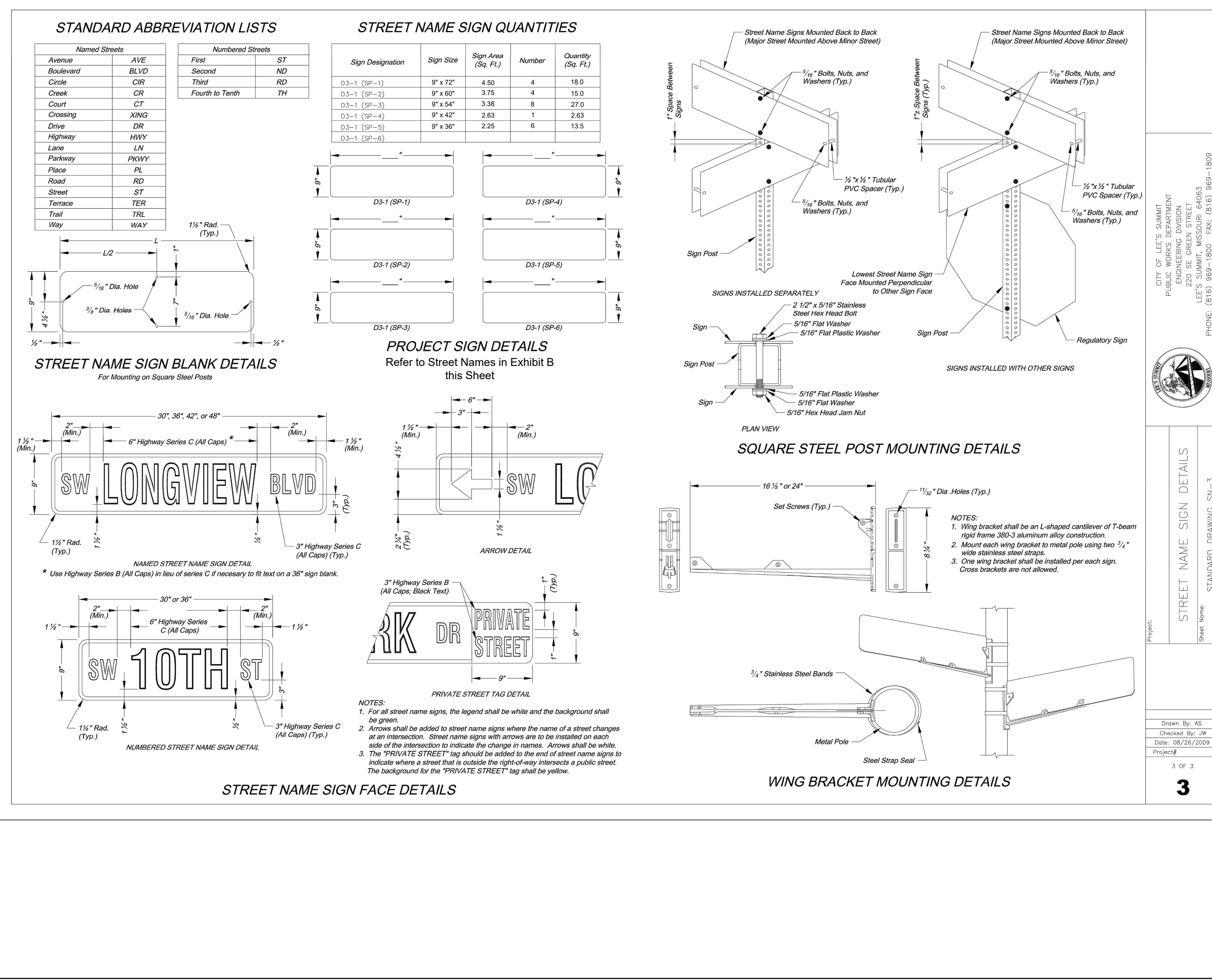
CITY OF LEE'S SUMMIT  
PUBLIC WORKS DEPARTMENT  
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LEES SUMMIT, MISSOURI 64063  
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Project: **SIGN POST DETAILS**  
Sheet Name: STANDARD DRAWING SN-2

Drawn By: AS  
Checked By: AS  
Date: 08/26/2009  
Project#: 2 OF 3

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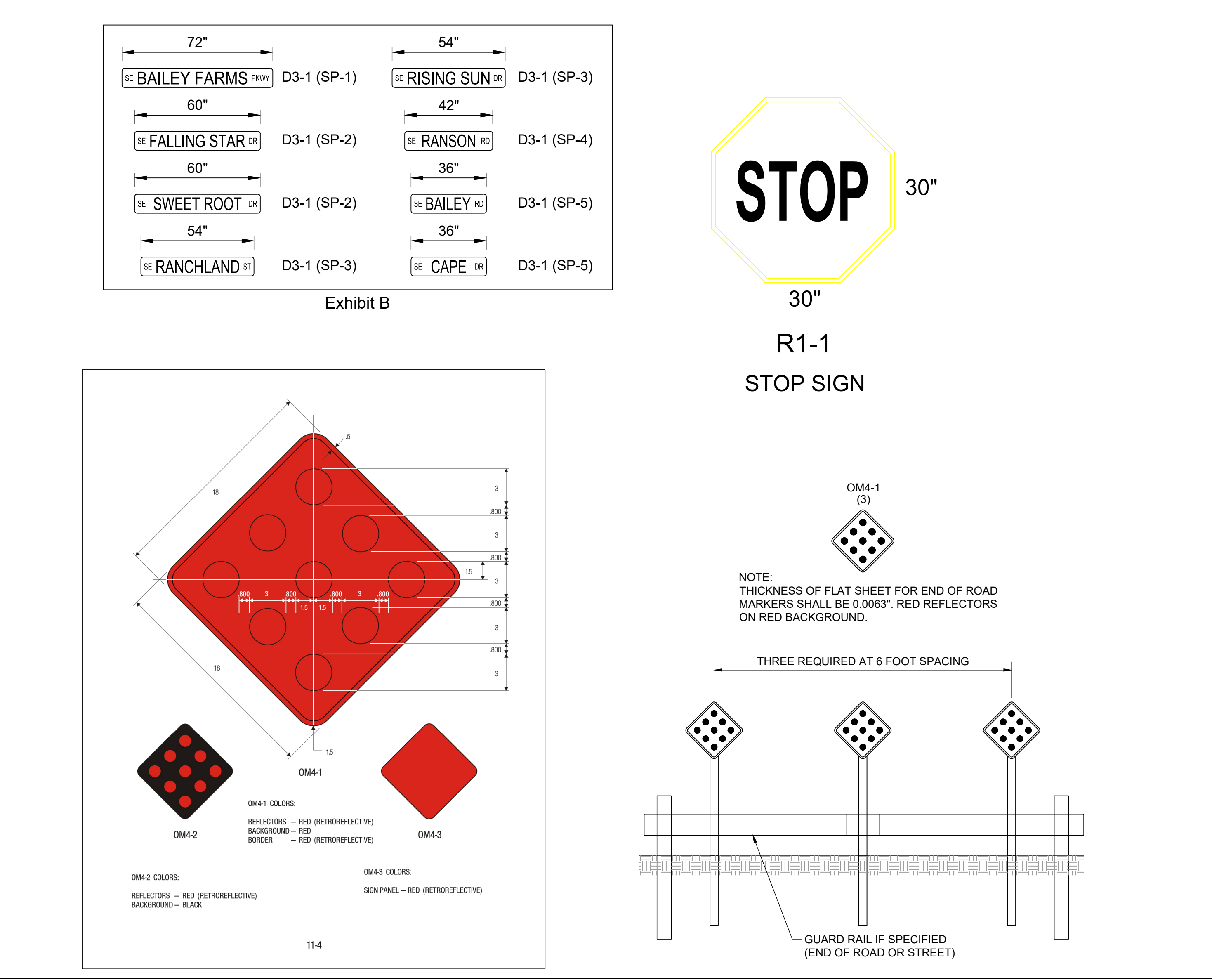
PREPARED BY:  
JAMES L. LONG  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER  
4/21/2022  
SCHLAGEL & ASSOCIATES, P.A.



CITY OF LEE'S SUMMIT  
PUBLIC WORKS DEPARTMENT  
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14200 WEST 107TH STREET • LENEXA, KANSAS 66215  
LEES SUMMIT, MISSOURI 64063  
PHONE: (816) 999-1800 FAX: (816) 999-1809

Project: **STREET NAME SIGN DETAILS**  
Sheet Name: STANDARD DRAWING SN-3

Drawn By: AS  
Checked By: AS  
Date: 08/26/2009  
Project#: 3 OF 3



**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

**SIGNAGE DETAILS**

SHEET **46**