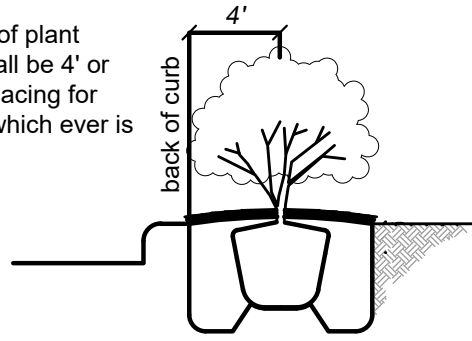


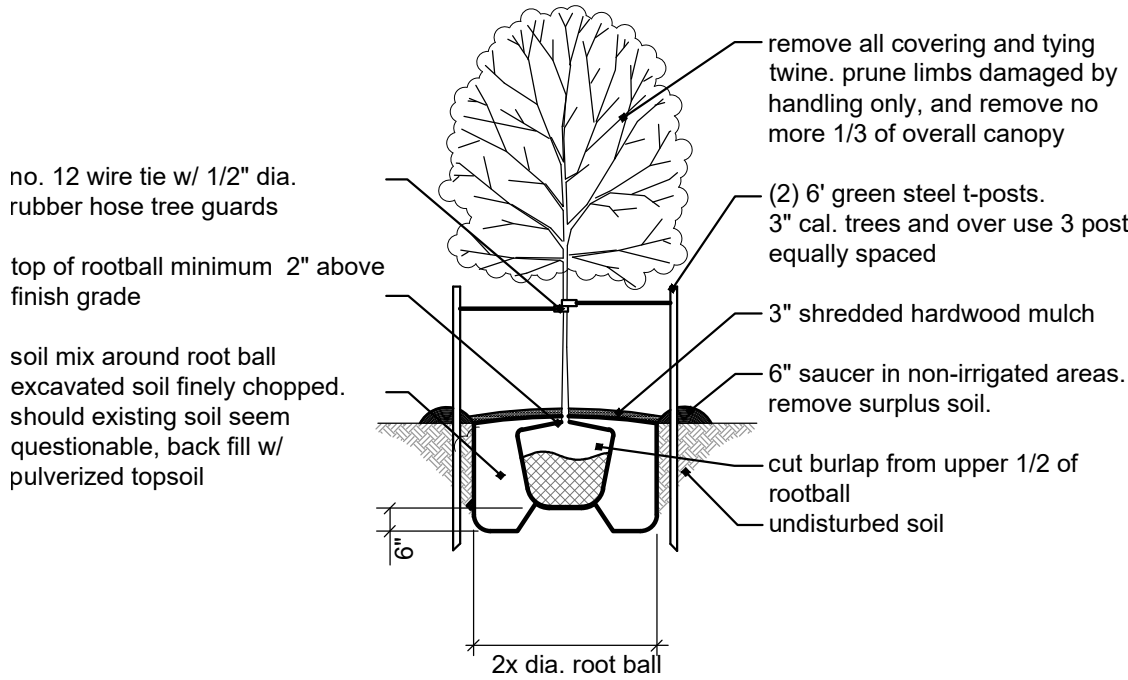
general landscaping notes

- A. Acceptable Plant Material:
- A.1. The following are the minimum plant sizes and conditions to be used in satisfying the requirements of this division. Acceptable plant materials for landscaping, buffers and tree replacement shall be as approved by the City of Lee's Summit:
- A.1.1. Medium shrubs, 18- to 24-inch balled and burlapped or two-gallon container.
- A.1.2. Large shrubs, 24- to 30-inch balled and burlapped or 5-gallon container.
- A.1.3. Ground cover, two and one-half-inch peat pot.
- A.1.4. Deciduous trees shall be a minimum of three-inch caliper, measured at a point 6 inches above the ground or top of the root ball, at planting.
- A.1.5. Evergreen trees shall be a minimum height of eight feet at planting.
- A.2. The American Standard for Nursery Stock, published by the American Association for Nurserymen, shall be the standard reference for the determination of plant standards.
- B. Installation of Plant Materials:
- B.1. The City of Lee's Summit allows one planting season in a 12-month period in which the installation of plant materials shall be completed.
- B.2. Buffers, if required, shall be installed before a certificate of occupancy permit is granted; except where the weather is not suitable for planting and escrow provisions are made in accordance with guidelines of the City of Lee's Summit.
- C. Maintenance of Required Plants:
- C.1. The owner, tenant and their agent, if any, shall be jointly responsible for the maintenance in good condition of the plant materials used to meet the minimum requirements of this Lee's Summit Development Ordinance for landscaping, buffer or tree replanting. The plant materials shall be kept free from refuse and debris.
- C.2. Plants that are not in sound growing condition or are dead shall be removed and replaced with a plant of a species or variety as determined by the City of Lee's Summit.
- C.3. Other landscape materials shall be maintained in proper repair and shall be kept clear of refuse and debris.
- D. Landscaping Minimum Requirements:
- D.1. Street frontage.
- D.1.1. A minimum 20-foot-wide landscape strip shall be provided along the full length of street frontage.
- D.1.2. Shrubs may be clustered or arranged within the setback.
- D.2. Open yard areas.
- D.2.1. All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope.
- E. Landscaping Along Street Frontages:
- E.1. Frontage landscape strips shall contain no structures, parking areas, patios, storm water detention facilities unless included in the landscape plan as an amenity or any other accessory uses except for the following:
- E.1.1. Retaining walls or earthen berms constructed as part of an overall landscape design;
- E.1.2. Pedestrian-oriented facilities such as sidewalks and bus stops;
- E.1.3. Underground utilities;
- E.1.4. Driveways required for access to the property; or
- E.1.5. Signs otherwise permitted by the development ordinance.
- E.2. All portions of a frontage landscape strip shall be planted in trees, shrubs, grass or ground cover, except for those ground areas that are mulched or covered by permitted structures.
- E.3. Plant materials in the frontage landscape strip are not to extend into the street right-of-way.
- F. Parking Lot Landscaping and Trees:
- F.1. Deciduous shade trees shall be provided in parking lots as indicated below.
- F.1.1. Landscape islands, strips as a minimum, shall be no less than nine feet wide for at least one-half the length of the adjacent parking space. The island shall be planted in trees, shrubs, grass, or ground cover, except for those areas that are mulched.
- F.1.2. Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb. All parking lot landscape islands, strips or other planting areas shall be curbed with minimum six-inch high curbs of the type required by this chapter or other regulations for parking areas.
- G. Parking Lot Screening:
- G.1. Screening to a height of two and one-half feet must be provided along the edge of the parking lot or loading area closest to and parallel to the street. A driveway to the parking lot or loading area may interrupt the screening.
- G.2. Screening shall be decorative and 100 percent opaque to a height of two and one-half feet above the elevation of the parking/loading area or the street, whichever is highest.
- G.3. Screening may be provided in the following way:
- G.3.1. A hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.
- G.4. The street-side screening treatment may be located within the required landscape buffer along the front yard of the property.
- G.5. Berming and/or screening shall not encroach into the required sight triangle of streets or access drives.
- H. Buffers:
- H.1. Buffer areas shall contain no driveways, parking areas, patios, storm water detention facilities, or any other structures or accessory uses except for a fence, wall, or earthen berm constructed to provide the visual screening required to meet the standards of this chapter. Underground utilities may be permitted to cross a buffer if the screening requirement can be achieved. Required vehicular access through a buffer may be allowed as a condition of preliminary development plan approval.
- H.2. Natural buffers shall contain evergreen shrubs and trees suitable to local growing conditions that will provide an opaque visual screen during all seasons of the year.
- H.3. Planted materials (trees and shrubs) shall meet the expected opacity within two growing seasons.
- H.4. Every buffer required by the city shall be maintained by the owner of the property where the buffer is located, in order to provide the visual screen at the opacity identified, on a year-round basis.
- H.5. Buffer modifications.
- H.5.0.1. The Director may waive a buffer requirement or reduce its extent to a temporarily appropriate level of screening if the Comprehensive Plan anticipates future development on the adjoining property in a land use category such that a buffer would not be required by this chapter once the adjoining property is rezoned or developed.
- H.6. Medium impact screening - A 70 percent semi-opaque screen between land uses which are dissimilar in character. Semi-opaque screening should partially block views from adjoining land uses and create a separation between the adjoining land uses.
- I. Additional Specifications:
- I.1. Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- I.2. The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- I.3. Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- I.4. Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- I.5. Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- I.6. Owner shall be responsible for contracting or providing landscape maintenance for watering until plants are well established and can thrive on their own.
- I.7. If property owners elect to provide an irrigation system, irrigation system shall include an automatic rain sensor and be fully concealed below ground.
- I.8. Provide appropriate landscaping drainage from landscape areas directly adjacent to building to prevent ponding along north sides of building and along the foundation.
- I.9. All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- I.10. Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- I.11. Stake and guy all trees per planting details.
- I.12. Install all shrubs and groundcover per planting details.
- I.13. Elevation of top of mulch or rock shall be 1/2" below any adjacent pavement/turf areas.
- I.14. Root stimulator shall be applied to the soil backfill of each plant during installation.
- I.15. Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- I.16. Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- I.17. Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- I.18. All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- I.19. No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- I.20. Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch, color TBD. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- I.21. All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- I.22. All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- I.23. All trees with a 2" caliper or greater shall be double staked, while smaller trees shall be single staked.
- I.24. Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- I.25. Maximum slope shall be not greater than 3 : 1.
- I.26. All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. **Sod shall extend to all disturbed areas and shall include portions of right of way if necessary.**
- I.27. Landscaping areas (including along building perimeter and parking lot islands) equal to or narrower than 3'-0" should utilize river rock in lieu of sod or mulch.

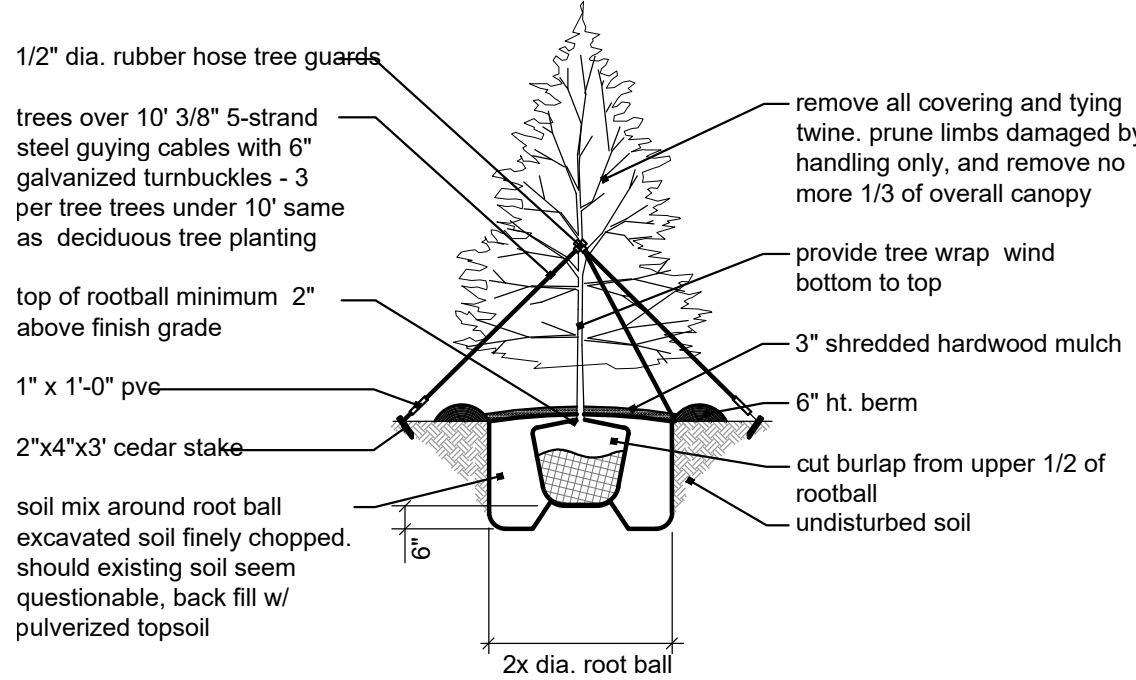
note: distance from center of plant material to back of curb shall be 4' or the suggested minimum spacing for the variety being planted, which ever is greater.



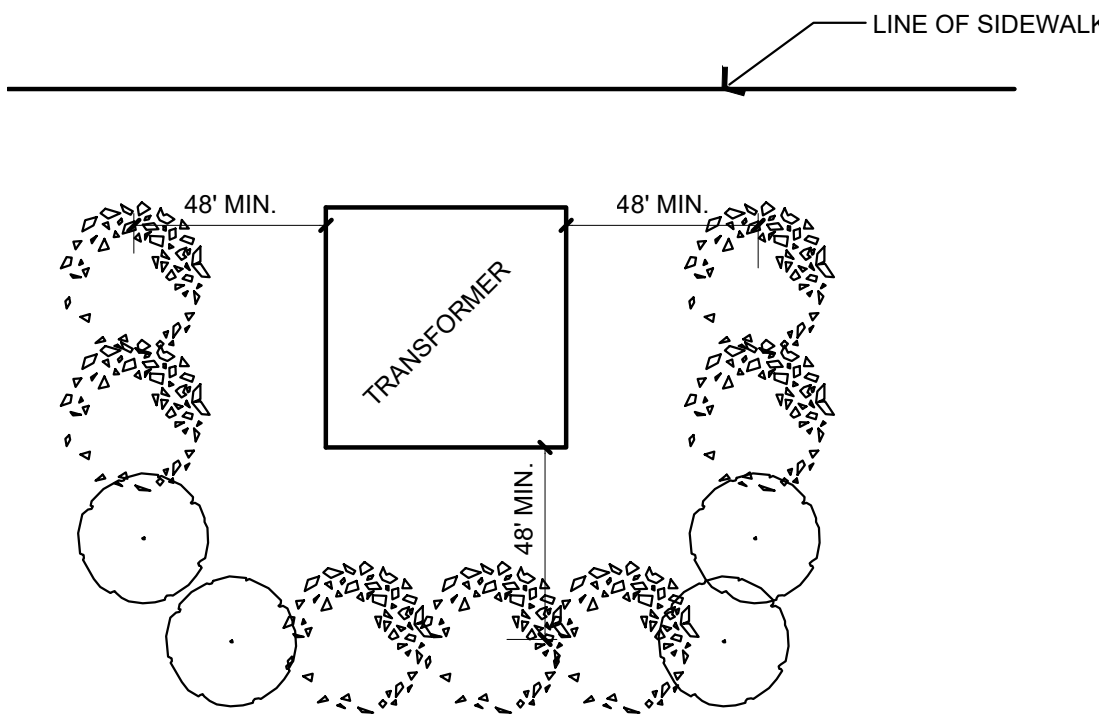
3 | back of curb detail
scale: 1" = 50'-0"



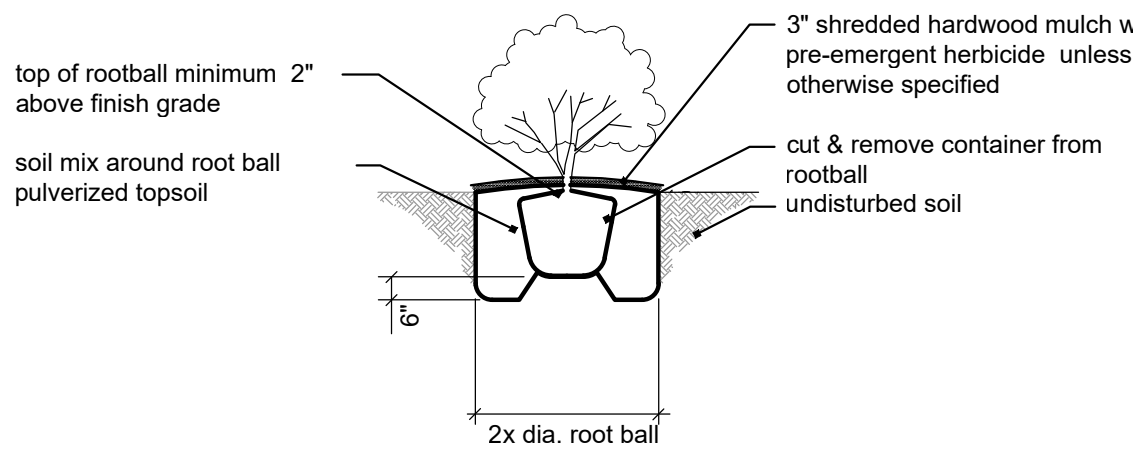
6 | deciduous tree planting detal
scale: 1" = 50'-0"



5 | evergreen tree planting detail
scale: 1" = 50'-0"



1 | typ. utility screening
scale: 1" = 50'-0"



4 | shrub planting detail
scale: 1" = 50'-0"

a new development for

DBAT -Town Centre Lot 1

540 NE Town Centre Drive

Lee's Summit, Missouri

date
02.11.2022
drawn by
DAE
checked by
DAE
revisions

sheet number

L1.2

drawing type
FDP & Permit

project number
20231