






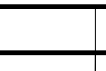







Tree and Shrub Planting List							
		ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDIT.	max growth size
SHADE TREES		SWO	14	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL.	height 50'-60', spread 50'-60'
		RM	8	RED MAPLE	ACER RUBRUM 'RED SUNSET'	3" CAL.	height 40'-50', spread 30'-35'
		SL	11	SKYLINE LOCUST	GLEDITSIA TRICANTHOS INERMIS 'SKYCOLE'	3" CAL.	height 35'-45', spread 25'-35'
EVGN TREES		BC	3	BALD CYPRUS	TAXODIUM DISTICHUM VAR. DISTICHUM	8' tall min.	height 50'-70', spread 20'-45'
		RC	10	RED CEDAR	JUNIPERUS VIRGINIANA	8' tall min.	height 30'-65', spread 8'-25'
		SP	10	SHORTLEAF PINE	PINUS ECHINATA	8' tall min.	height 50'-60', spread 20'-35'
ORN		FD	9	FLOWERING DOGWOOD	CORNUS FLORIDA	3" CAL.	height 15'-30', spread 15'-30'
		ER	8	EASTERN REDBUD	CERCIS CNADENSIS	3" CAL.	height 20'-30', spread 25'-35'
TOTAL		73					
		ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDIT.	max growth size
EG. SHRUB DEC. SHRUB		FS	22	FRAGRANT SUMAC	RHUS AROMATICA	3-5 GALLON	height 2'-6', spread 6'-10'
		WH	33	WILD HYDRANGEA	HYDRANGEA ARBORESCENS	3-5 GALLON	height 2'-4', spread 3'-5'
EG. SHRUB		IH	30	INKBERRY HOLLY	ILEX GLABRA 'COMPACTA'	5 GALLON	height 3'-14', spread 4'-6'
		SB	98	DENSE YEW	TAXUS x MEDIA DENSIFORMIS	5 GALLON	height 3'-4', spread 4'-6'
TOTAL		183					
GROUND COVER	-			SOD - TURF-TYPE FESCUE 2 YO STOCK - 3-WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS (POSPARATENSIS) VARIETIES: NATIVE MIX OF HOUNDG, REBEL, OR FALCON LEAVE TALL FESCUE (FESCUE ARUNDINADEA), AND RYE (LOLIUM JULTIFLORIUM AND PERENE DOMESTIC) 20% KENTUCKY BLUEGRASS, 70% FINELEAFED TALL FESCUE, 10% RYE			
			-	RIVER ROCK AS NEEDED ONLY - PROVIDE SAMPLE FOR APPROVAL - NO GRAVEL SHALL BE USED AS A SUBSTITUTE			
*REFERENCE L1.2 FOR LANDSCAPING SPECIFICATIONS AND DETAILS							

LANDSCAPING NOTES

- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Landscaping contractor shall water plant material as required until fully established. This site is not intended to be irrigated unless otherwise dictated by the city of Lee's Summit.
- Provide appropriate landscaping drainage from landscape areas directly adjacent to building to prevent ponding along north sides of building and along the foundation.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch, color TBD. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary.
- Landscaping areas (including along building perimeter and parking lot islands) equal to or narrower than 3'-0" should utilize river rock in lieu of sod or mulch.

Landscaping Requirements:

Street Frontage:

- 1 tree per 30 feet of street frontage within the landscaped setback
- 1 shrub per 20 feet of street frontage within the

Parking Lot Screening:

- 12 shrubs per 40 linear feet of parking

Open Yard Areas:

- 2 shrubs per 5,000 sq. ft. of total lot area excluding building footprints
- 1 tree per 5,000 sq. ft. of total lot area excluding building

General Buffers:

- Front Lot: 20'
- Side Lot: 20' or as approved by the governing body
- Rear Lot: 20' or as approved by the governing body

Adjacent Property Zoning/Uses:

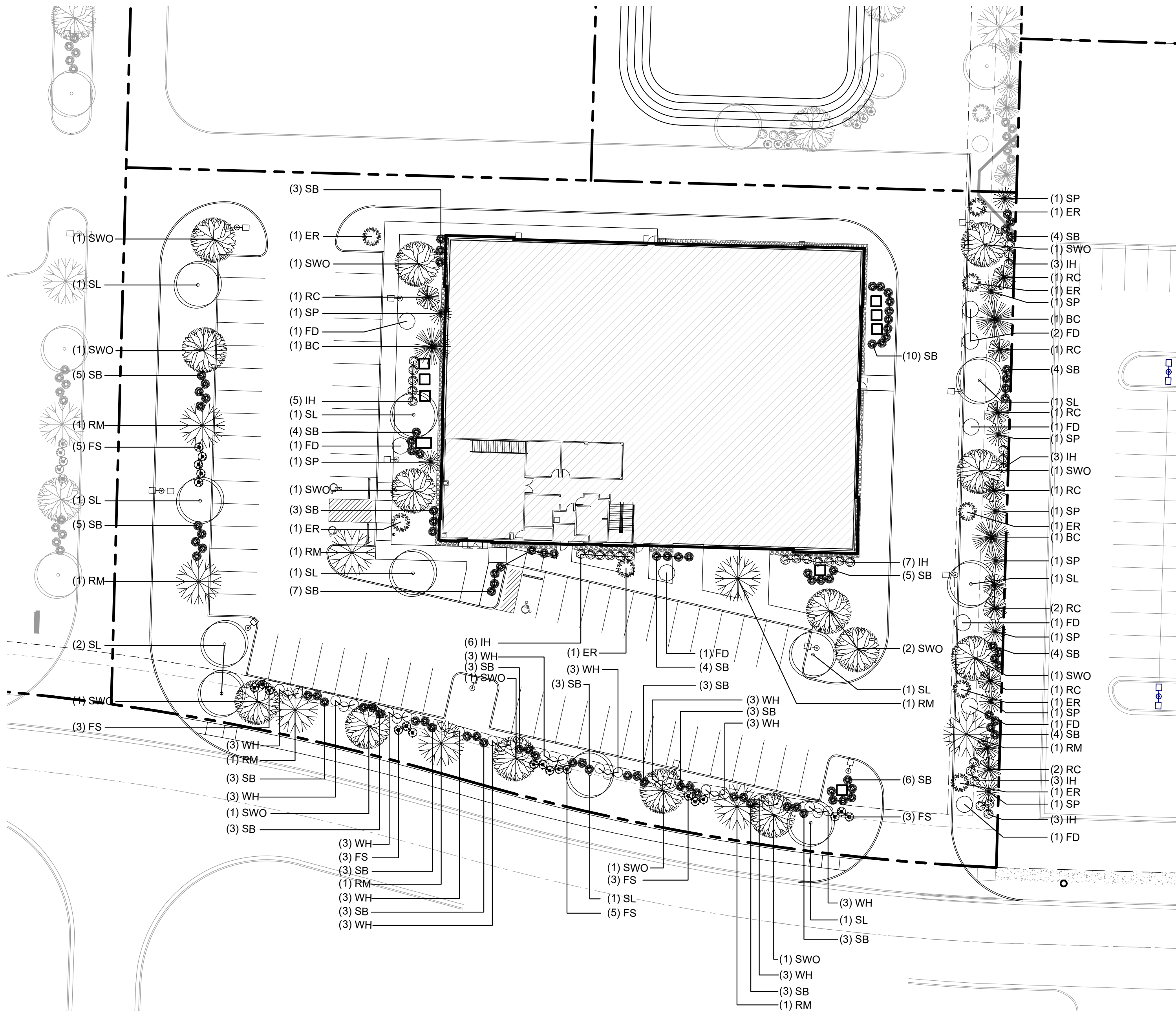
- Lee's Summit Tow Centre LLC: CP-2/Undeveloped with proposed future zoning PI as land develops
- Commercial BFRE LLC: CP-2/Car Detailing
- E J Plesko & Associates Inc.: CP-2/Undeveloped with proposed future zoning PI as land develops

Buffer Requirements:

- P/CP-2: Medium, 70% semi-opaque screening
 - Shade Trees 1 per 1,000 sq. ft.
 - Ornamental Trees 1 per 500 sq. ft.
 - Evergreen Trees 1 per 300 sq. ft.
 - Shrubs 1 per 200 sq. ft.

P/PI: N/A

Pad Site A	Required	Provided
Parking Lot Screening: 207 ft. of parking		
Shrubs: 207/40x12 =	62	62
Street Frontage: 343 ft of frontage		
Trees: 343/30 =	11	11
Shrubs: 343/20=	17	18
Open Yard Areas: 83,267-20,130 = 63,137 sq. ft.		
Trees: 63,137/5000 =	13	32
Shade =		16
Evergreen =		4
Ornamental =		6
Shrubs: 63,137/5000x2=	25	36
Equipment Screening	as required to screen	39
Buffers: P/CP-2 Buffer		
East Lot Line = 269x20=5,380 sq. ft		
Shade 5,380/1000=	5	6
Ornamental 5,380/500=	11	11
Evergreen 5,380/300=	18	19
Shrubs 5,380/200=	27	28
North Lot Line: P/PI - N/A		
West Lot Line: P/PI - N/A		
South Lot Line: Street Frontage - See Above		
Total Shade	29	33
Total Ornamental	11	17
Total Evergreen	18	23
Total Shrubs	131	183



a new development for
DBAT - Town Centre Lot 1
540 NE Town Centre Drive
Lee's Summit, Missouri

date
02.11.2022

drawn by
DAE

checked by
DAE

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1 Site Plan
scale: 1" = 40'-0"



sheet number

L1.1

drawing type
FDP & Permit

project number
20231