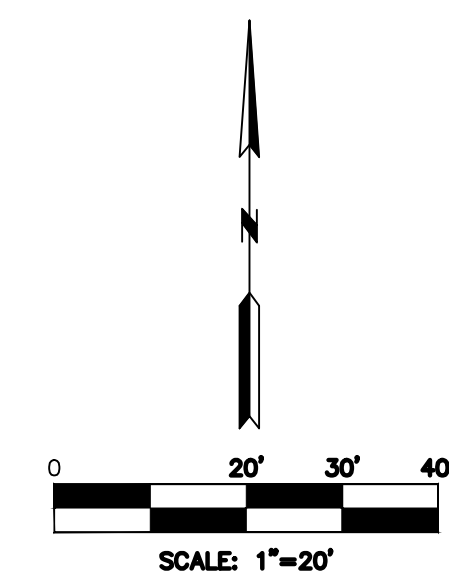
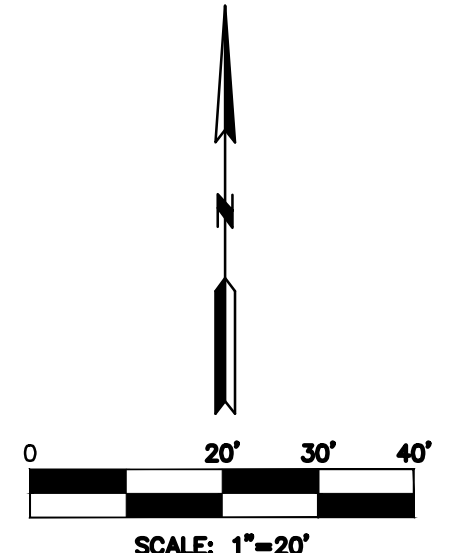
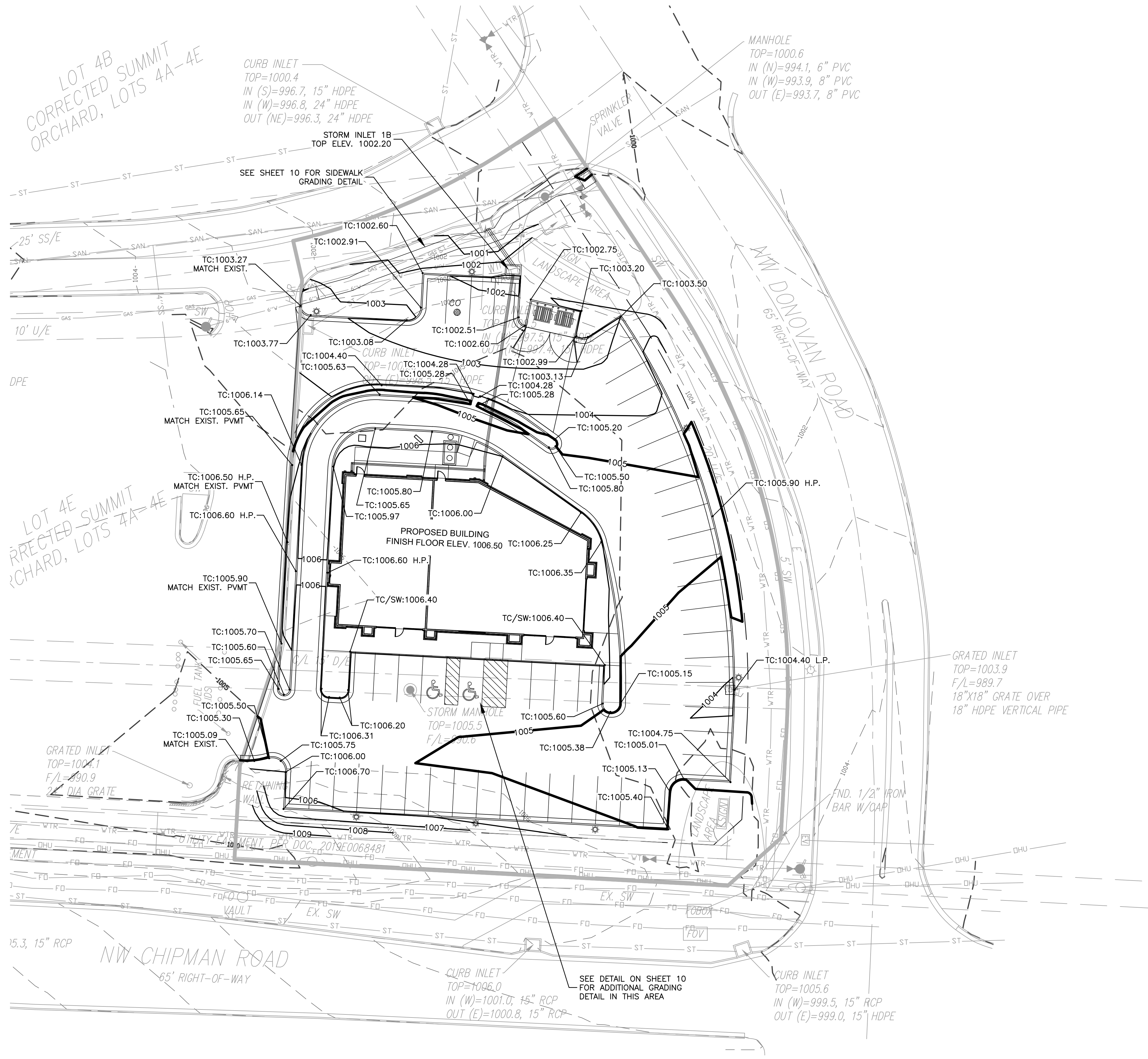


R. KEVIN STERRETT | MO E-26440
April 8, 2022





LEGEND

TC = Top of Curb
GL = Flowline of Gutter
PV = Pavement
SW = Edge of Sidewalk
H.P. = High Point
L.P. = Low Point

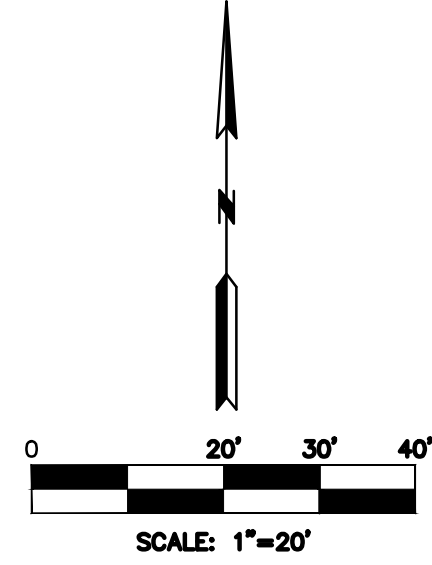
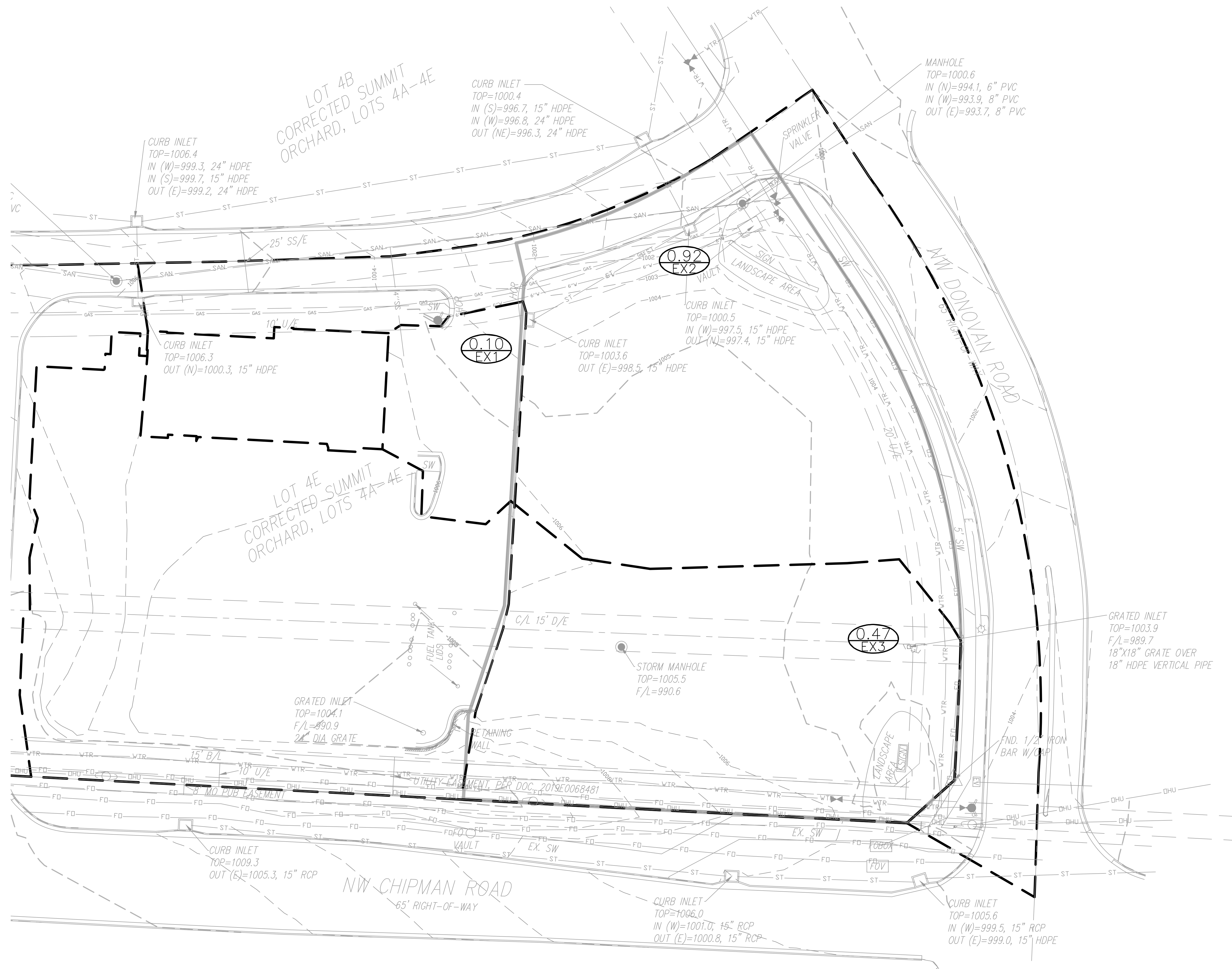
DATE	REVISION	NO.	BY	CORP.
04/08/22				SPW
SUBMITTED TO CITY OF LEE'S SUMMIT				
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Professional Engineer Seal for R. Kevin Sterrett, State of Missouri, License No. E-26440, dated April 8, 2022.

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CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

FINAL DEVELOPMENT PLANS
SITE GRADING PLAN
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base
DRAWING NO. 22-011 FDPs
DATE April 8, 2022
JOB NO. 22-011
4 SHEET OF 11



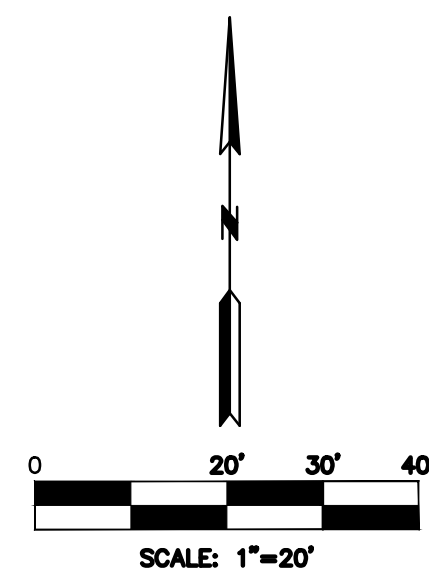
EXISTING CONDITIONS

FINAL DEVELOPMENT PLANS
EC - DRAINAGE AREA MAP
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

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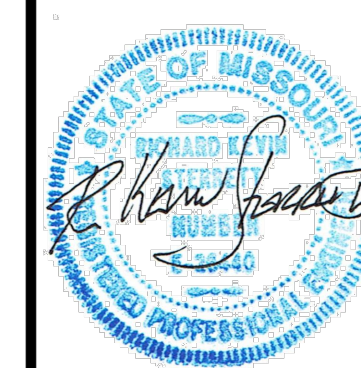
STATE OF MISSOURI
Professional Engineer
R. Kevin Sterrett
April 8, 2022
MO E-2640

DATE	REVISION	NO.	BY	CORP.
04/08/22				SPW
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R. KEVIN STERRETT MO E-26440



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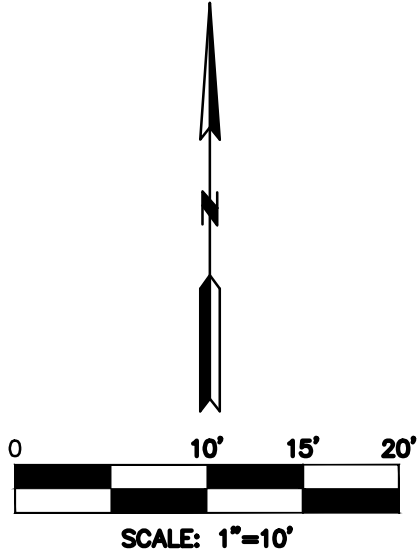
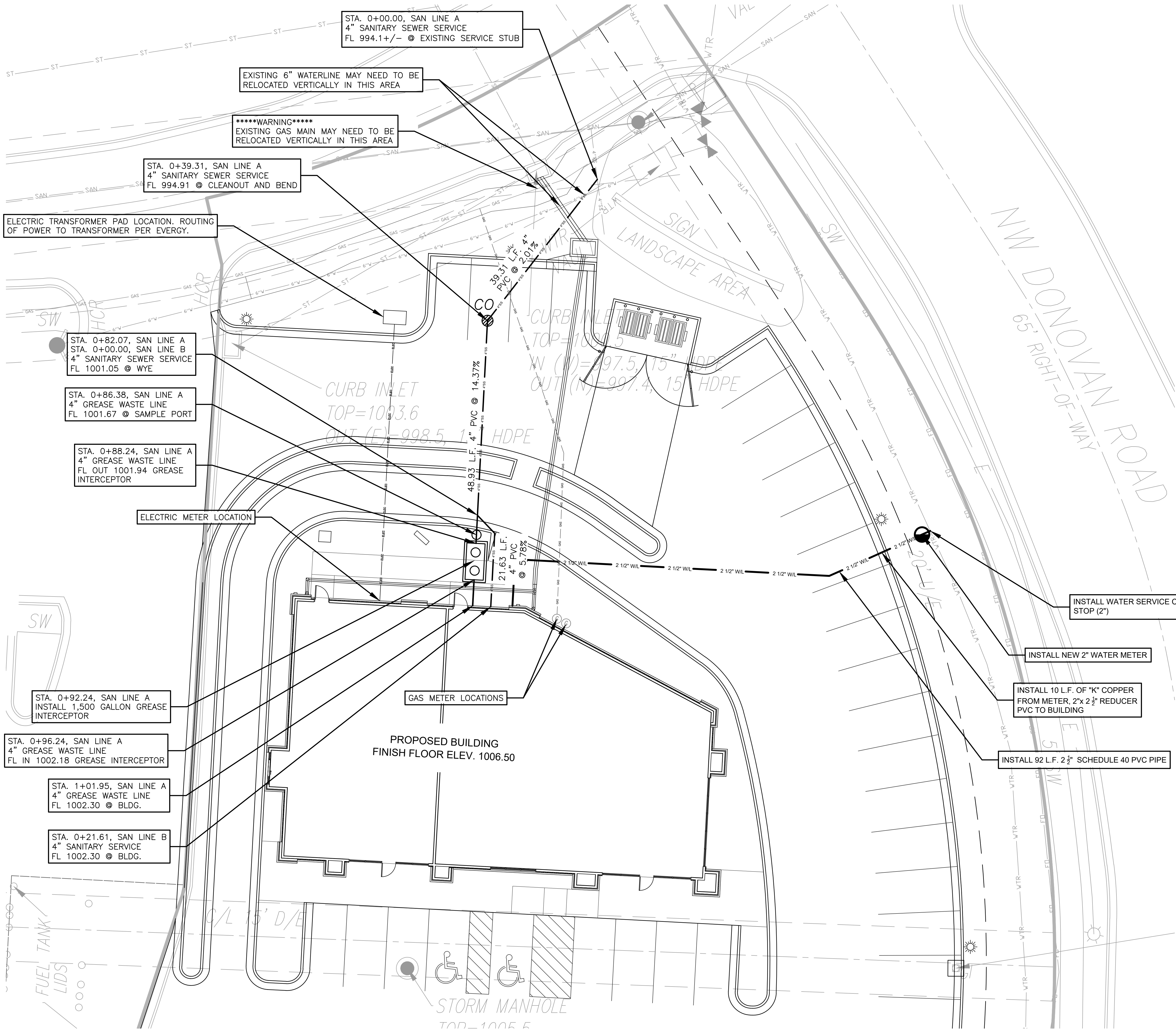
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MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

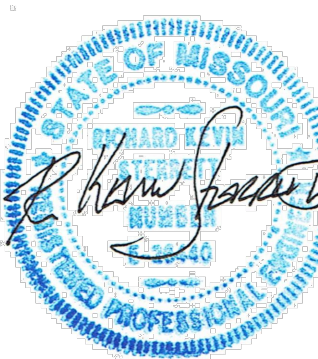
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	<i>DRAWING NO.</i> 22-011 FDPs
	<i>DATE</i> April 8, 2022
	<i>JOB NO.</i> 22-011
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- UTILITY GENERAL NOTES
1. Waterlines to be installed at 42" minimum cover from finish grade.
 2. Sewer lines to be trenched and backfilled per City of Lee's Summit.

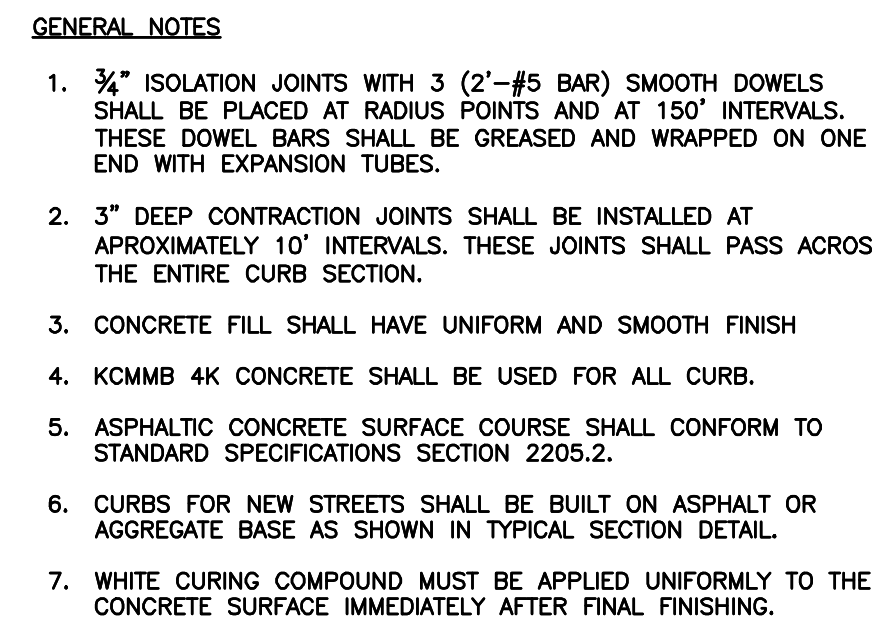
- UTILITY NOTES:
1. All utility installation to be in accordance to Lee's Summit "DESIGN AND CONSTRUCTION MANUAL" per Ordinance 5813. See manual for specifications and standard details.
 2. Sanitary sewer service to be 4" Schedule 40 or SDR-26 PVC at 2% minimum slope.
 3. Storm pipe to be HDPE, corrugated with smooth interior.
 4. Roof drains for canopy to be connected to curb inlet at north side of lot. Roof drains for building to be connected to 8" HDPE pipe on north side of building to public storm sewer system.
 5. Contractor to contact the Water Utilities Department, Operations Division, at (816) 969-7606 to schedule water main taps and cut-ins, 48 hours in advance.
 6. Thrust blocks to be provided at all water line bends and tee locations.
 7. All mechanical units shall be roof mounted.
 8. Domestic water lines to be 2" diameter Type K Copper from main to meter and extend 10 feet beyond meter. 2 1/2" diameter Schedule 40 from 10' from meter to building.
 9. Contractor to coordinate with EVERGY for temporary and permanent electric alignment and connection.
 10. See MEP plans for all utility information inside of the building.
 11. Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.
 12. Contractor to contact phone service provider to coordinate phone conduit routing.





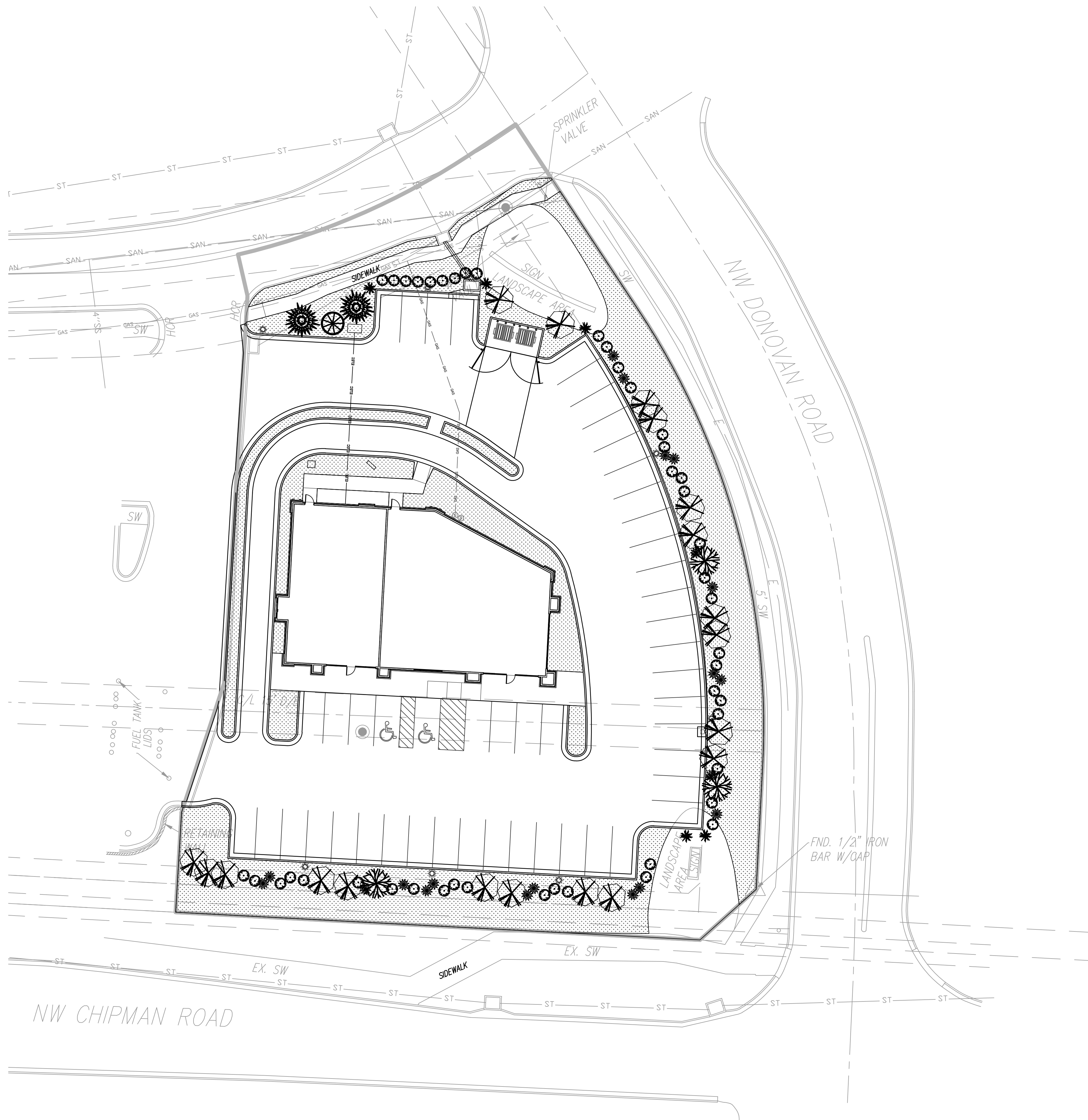
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FINAL DEVELOPMENT PLANS
SITE UTILITY PLAN
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

X-REF NO. 22-011 Base	9	11
DRAWING NO. 22-011 FDPs		
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SHEET OF		



10		SHEET OF		11	
X-REF NO. 22-011 Bose		DRAWING NO. 22-011 FDPs		DATE April 8, 2022	
JOB NO. 22-011					
FINAL DEVELOPMENT PLANS MISC. SITE DETAILS 400 NW. CHIPMAN ROAD MEDICAL BUILDING / RESTAURANT CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI					
<div><div>1533 Locust Street, Kansas City, Missouri 64108 CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 2019005467</div></div>					
<div><div>R. KEVIN STERRETT MO E-26440 April 8, 2022</div></div>					
DATE 04/08/22		SUBMITTED TO CITY OF LEE'S SUMMIT		NO. BY REVISION NO. BY DATE EX/APP	
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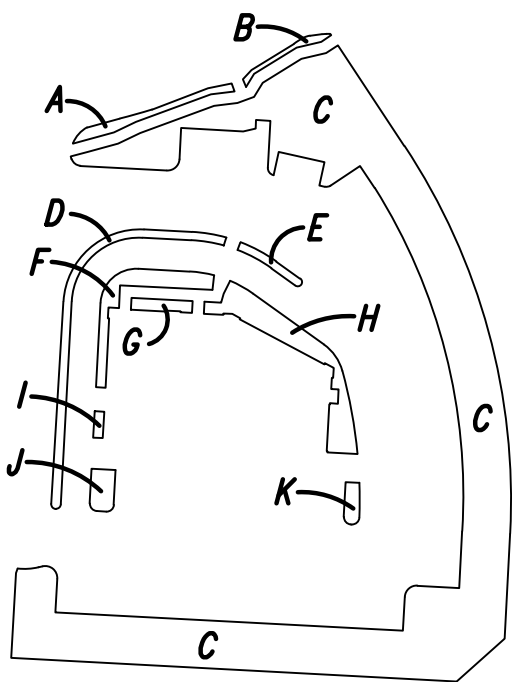
- NOTES:
- Open areas not covered with other landscaping materials shall be covered with sod.
 - All trees/shrubs are shown graphically, not numerically.
 - A 3 foot tall berm may be substituted for screening shrubs.
 - Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
 - The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
 - Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting. All Landscaping to meet Article 14 of the UDO.

Worksheet for Tree and Shrub Requirements:

A - Size of development site	= 45,068 SF
B - Length of street frontage of development site	= 476.63 LF
C - Trees required on street frontage = 1/30 LF	= 16 Trees
D - Trees provided	= 25 Trees
E - Parking lot area	= 18,521 SF
F - Green space required in parking lot (E x 5%)	= 926 SF
G - Green space provided	= 14,532 SF
H - Shrubs required along frontage = 1/20 LF	= 24 Shrubs
359 LF at 12/40 LF	= 9 Shrubs
I - Shrubs Provided	= 70 Shrubs
Shrubs Provided (Parking lot screen)	= 70 Shrubs
Shrubs Provided (Total frontage)	= 70 Shrubs
J - Quantity of additional trees required	= 3 Trees
1 tree per 5000 SF of open area (14,532/5,000)	= 3 Trees
K - Additional Trees Provided	= 9 Trees
L - Quantity of additional shrubs required	= 6 Shrubs
2 shrubs per 5000 SF of open area (14,532/5,000)	= 6 Shrubs
M - Additional Shrubs Provided	= 31 Shrubs

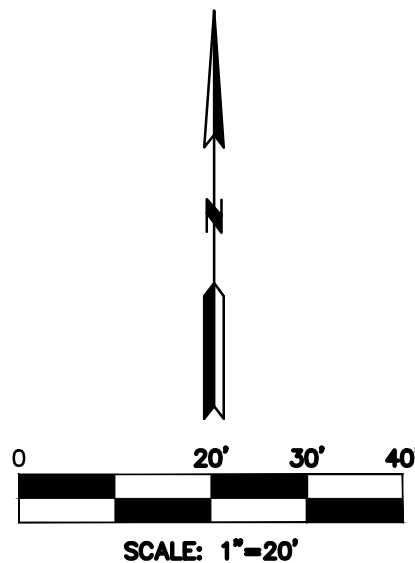
Interior Landscape

Area	Square Feet
A	229
B	98
C	11,707
D	602
E	105
F	489
G	124
H	858
I	44
J	171
K	105
TOTAL	14,532



Sodded area

LANDSCAPE SCHEDULE:	SPECIES	CALIPER/HEIGHT	QUANTITY
	Shademaster Honeylocust (Gleditsia triacanthos var. inermis 'Shademaster')	3" Caliper, measured 6" above the ground	3
	October Glory Red Maple (Acer rubrum)	3" Caliper, measured 6" above the ground	19
	Chinese Fringe Tree (Chionanthus retusus)	3" Caliper, measured 6" above the ground	1
	Cornelian Cherry Dogwood (Cornus mas 'Golden Glory')	3" Caliper, measured 6" above the ground	2
	Winter Gem Boxwood (Buxus microphylla var. japonica)	24" Minimum height at time of planting	20
	Fireball Dwarf Burning Bush, (or equal) (Euonymus alatus 'Compactus')	24" Minimum height at time of planting	45
	Skyrocket Juniper (Juniperus scopulorum 'Skyrocket')	6' Minimum height at time of planting	5



FINAL DEVELOPMENT PLANS
LANDSCAPE PLAN

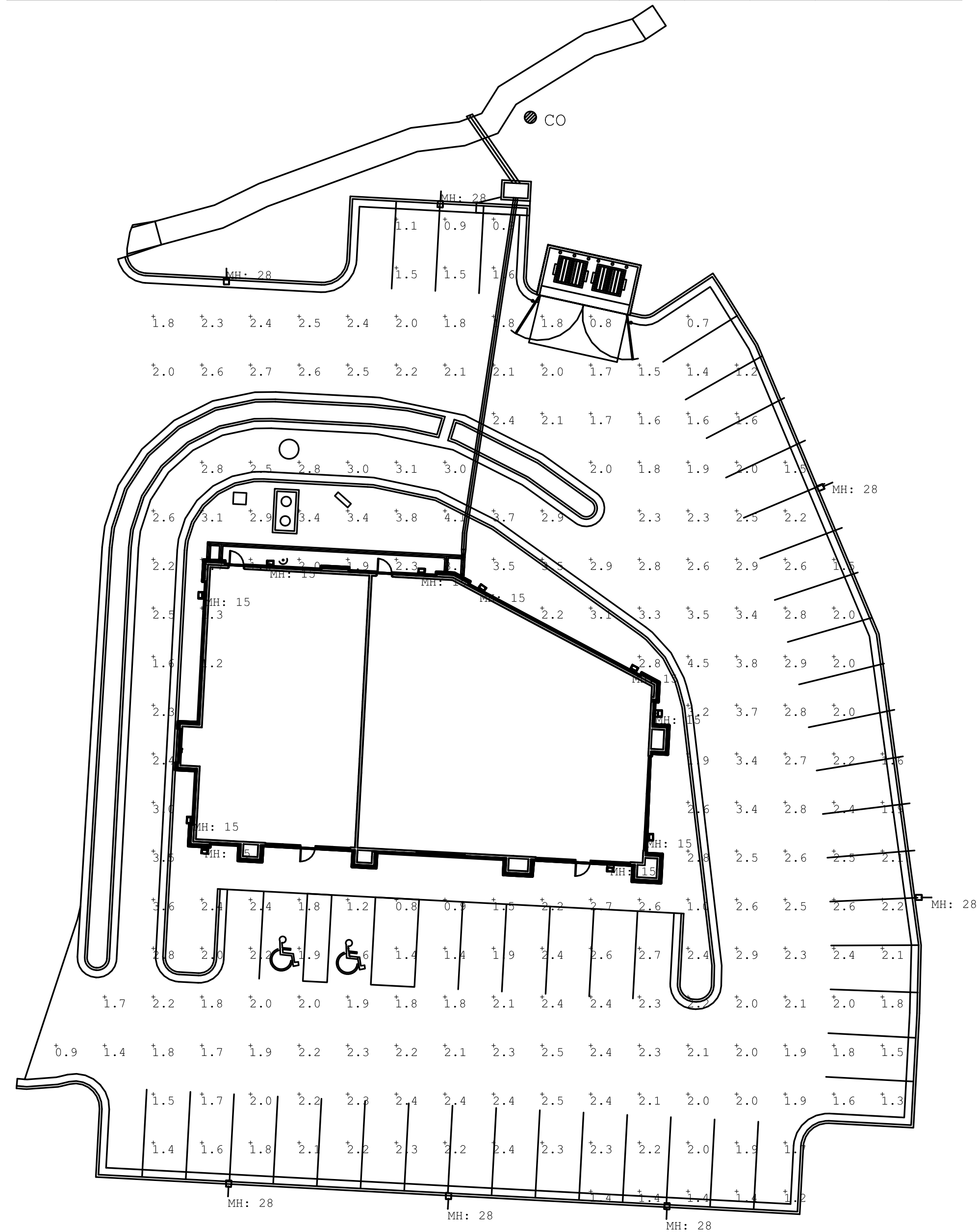
400 NW. CHIPMAN ROAD
MEDICAL BUILDING / RESTAURANT
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PROJECT INFORMATION

Project Name		Date	
Catalog #		Type	

VIENTO SMALL

AREA & SITE LED LUMINAIRE





Viento
AREA-LEAT

APPLICATIONS

- Auto Dealership Sales Lots
- Parking Lots
- Educations/Business Campuses
- Parks & Recreation Areas
- Security Areas
- Mail & Retail Spaces
- Pedestrian Walkways

APPROVALS

- ETL Listed, Complies with UL 1598 and CSA C22.2 No. 250.0-08
- 3G Vibration Rated for Bridge/Overpass Applications per ANSI C85.9-2010, Test Level 2
- Suitable for wet locations
- IP 66 Optics and Housing
- Select models DLC Qualified: For a completed list of DLC Qualified products, please visit: <http://www.xtralight.com/dlc> or www.designlights.org/apl

PRODUCT PERFORMANCE

MODEL	LUMENS	WATTS	EFFICACY
VNT-S 025*	4085	27.5	1490 LPW
VNT-S 052*	7605	52.7	1443 LPW
VNT-S 072*	10775	77.4	1392 LPW
VNT-S 100*	14755	109.1	1350 LPW

*Type V Optics 5000K. For more photometric information see page 5.

FEATURES

- Outstanding photometric performance results in sites with excellent inventory, optimal pole spacing and lower power density.
- Optics are completely sealed against moisture and environmental contaminants (IP66).
- Low profile architectural design offers a contemporary appearance with excellent light output and is night sky friendly.
- Field service compliant utilizing Lumileds LED technology.
- Controls ready luminaire for independent operation or remote management.
- Operating Temperature: -40°C to +40°C (-40°F to +104°F)

CONSTRUCTION

- Housing: One-piece die-cast aluminum has integral heat sink fins to optimize thermal management through conduction and convective cooling.
- The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life.
- Housing and door are protected with a thermoset TGC-polyester powder coat finish using a tightly controlled multi-stage process to ensure uniform 3 mil thickness (min). This finish provides superior protection from corrosion and maximum environmental durability.
- Powder coat finish in bronze, white or custom colors (consult factory).

MOUNTING

- Integral arm with key hole slot facilitates quick and easy installation.
- Nut plate eliminates loose hardware in the pole and reduces installation labor.















VNTLED-SMALL
159605

www.xtralight.com • (800) 678-6960 • customerservice@xtralight.com

All information is believed to be accurate at the time of publication. Please contact customer service or visit www.xtralight.com for the most updated product specifications. XtraLight® reserves the right to change specifications without notice.

1

\\CovenantGroup-BuildingShell\2-Clark\structureTitleBlock2019-551311.jpg

PROJECT INFO

CLIENT:
COVENANT GROUP, LLC

PROJECT:
COVENANT GROUP - BUILDING
SHELL - LEE'S SUMMIT, MO

ADDRESS:
400 NW CHIPMAN RD
LEE'S SUMMIT, MO 64806

PROJECT NO: 267

MAIN CONTACT

CHRISTOPHER CLARK, AIA, NCARB
7701 E KELLOGG DR, STE 630
WICHITA, KS 67207
(316) 302-4472
chris@clarkitecture.net

DEVELOPER

COVENANT
REAL
ESTATE
GROUP

4400 PASO VERDE PKWY SUITE 415

HENDERSON, NV 89074 | 714.445.8500

SHEET INFO

ISSUE DATE: MM/DD/YY

ISSUED FOR: INTERNAL REVIEW

[illegible]**PROFESSIONAL'S SEAL**

**SITE LIGHTING
PHOTOMETRIC PLAN**
E-7