

WHATABURGER
NEQ HIGHWAY 150 AND SW HOLLYWOOD DRIVE
LEE'S SUMMIT, MO 64802
JACKSON COUNTY
PROTOTYPE 20-M
PRELIMINARY DEVELOPMENT PLAN

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CONSTRUCTION LIMITS
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	FENCE
⊠	⊠	LIGHT POLE
---	---	UNDERGROUND ELECTRIC LINE
---	---	ELECTRICAL STRUCTURE
---	---	UNDERGROUND TELECOMMUNICATION LINE
---	---	GAS LINE
⊕	⊕	GAS METER
---	---	WATER LINE
⊕	⊕	WATER STRUCTURE
---	---	FIRE HYDRANT
---	---	SANITARY LINE
⊕	⊕	SANITARY STRUCTURE
---	---	SANITARY GREASE TRAP
---	---	STORM LINE
⊕	⊕	STORM STRUCTURE
---	---	ROOFDRAIN / UNDERDRAIN
950	950	CONTOUR
X 950.00 EX.	X 950.00	TOP OF CURB
X 949.50 EX.	X 949.50	TOP OF PAVEMENT
X 950.00 EX.	X 950.00	FINISHED GRADE SPOT ELEVATION
	1.00%	GRADE SLOPE
	←	MAJOR FLOOD ROUTING
HP	HP	HIGH POINT
		SEEDING/LANDSCAPE AREA
		CONCRETE
		STRUCTURAL CONCRETE
		CONCRETE PAVEMENT
		ROCK AREA
		HEAVY DUTY ASPHALT PAVEMENT



VICINITY MAP
N.T.S.

OWNER

WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TX 78216
PHONE: (210) 476-6842
CONTACT: ALYSSIA LESTER
EMAIL: alester@wbhq.com

ENGINEER

ms consultants, inc.
2221 SCHROCK ROAD
COLUMBUS, OHIO 43229
PHONE: (614) 898-7100
CONTACT: IAN AULTMAN
EMAIL: iaaultman@msconsultants.com

BENCHMARK

TBM 1:
1/2 IRON
NORTHING: 2822704.4825
EASTING: 978325.3390
ELEVATION = 1022.68

TBM 2:
1/2 IRON
NORTHING: 2822484.7625
EASTING: 978065.2866
ELEVATION = 1019.71

BASIS OF BEARINGS:
MO (C) STATE PLANE COORDINATE SYSTEM SPC (2402 MO C)

SURVEYOR

YOUNG - HOBBS AND ASSOCIATES
1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE: (931) 645-2524
CONTACT: DAVE R. HOBBS

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS, INC.
4765 WEST JUNCTION STREET
SPRINGFIELD, MISSOURI 65802
PHONE: (417) 864-5100
CONTACT: TY G. ALEXANDER, P.E.

FLOOD INFORMATION

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 29095C0532G, WITH A MAP EFFECTIVE DATE OF JANUARY 1ST, 2017, IN JACKSON COUNTY, STATE OF MISSOURI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

SHEET INDEX

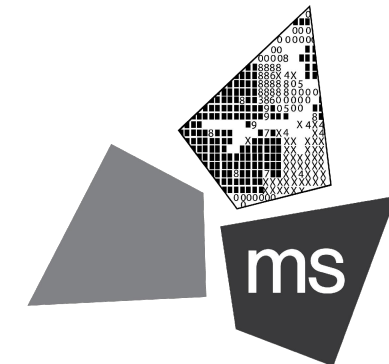
COVER SHEET	C-1.0
SURVEY	1 OF 1
SITE DEMOLITION PLAN	C-2.0
SITE DIMENSION PLAN	C-3.0
SITE ZONING PLAN	C-3.1
CONCRETE JOINTING PLAN	C-4.0
SITE GRADING AND DRAINAGE PLAN	C-5.0
SITE UTILITY PLAN	C-6.0
SITE DETAILS	C-7.0
SITE DETAILS	C-7.1
SITE DETAILS	C-7.2
SITE DETAILS	C-7.3
SITE DETAILS	C-7.4
SITE DETAILS	C-7.5
SITE DETAILS	C-7.6
FIRE PROTECTION PLAN	C-8.0
LANDSCAPE PLAN	L-1.0
IRRIGATION PLAN	I-1.0
PHOTOMETRIC PLAN	PH-1.0

REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M
BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

COVER SHEET

DRAWN BY: TDB

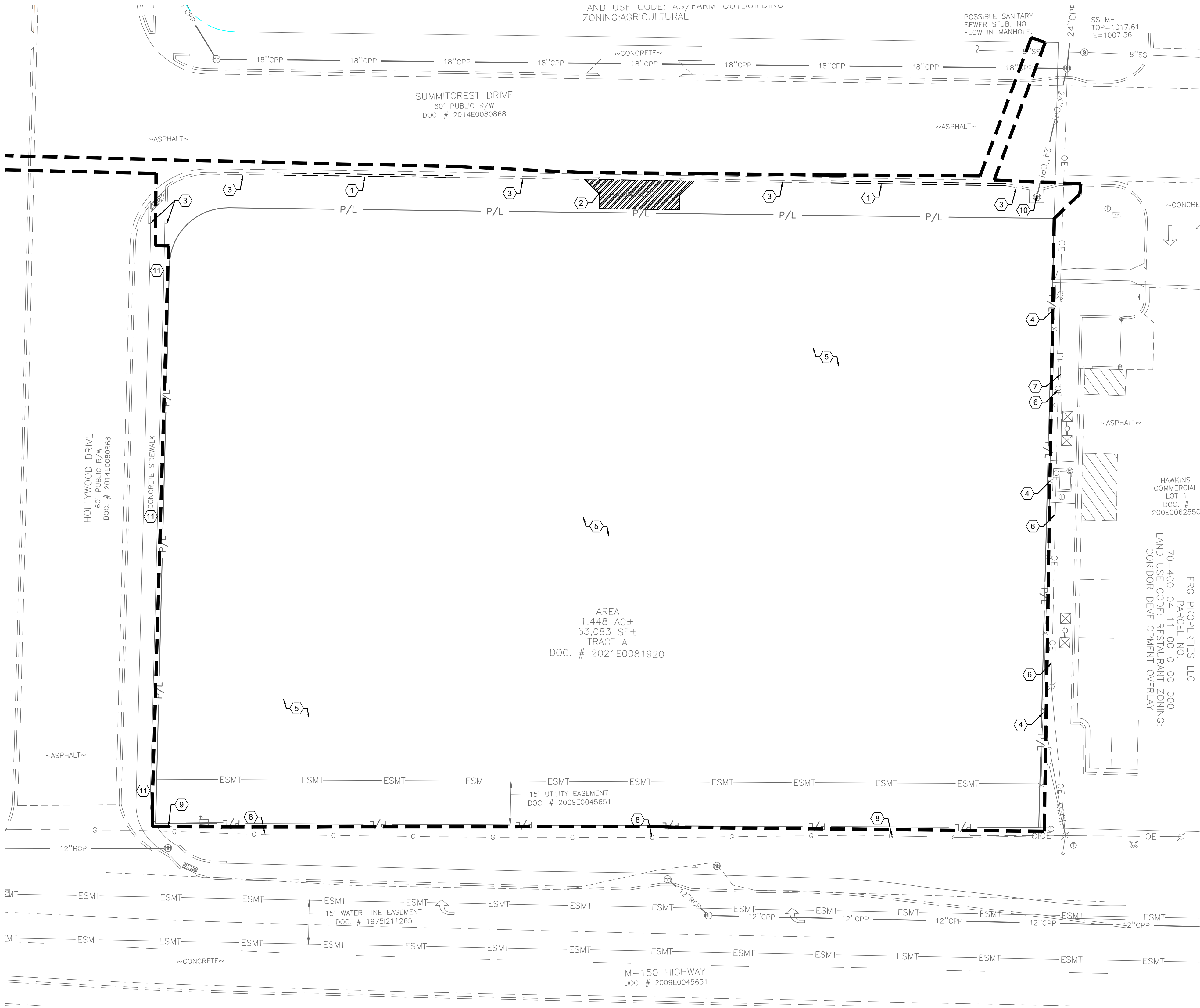
CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-1.0





GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON AND STATE OF MISSOURI, BY SURVEYOR: YOUNG-HOBBS AND ASSOCIATES, 1202 CROSSLAND AVENUE CLARKSVILLE, TN 37040.
- AT START OF PROJECT AND PRIOR TO DEMOLITION OF EXISTING CONDITIONS, CONTRACTOR SHALL BE IN CONTACT WITH ADJACENT PROPERTY OWNERS, CITY REPRESENTATIVE, UTILITY REPRESENTATIVES AND OWNER REPRESENTATIVE TO COORDINATE DEMOLITION TIMING.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DAMAGE TO NEIGHBORING PROPERTIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ALL EXISTING UTILITIES ARE SHOWN HEREIN AS REFERENCE ONLY AND ARE BASED ON RECORD OF THE VARIOUS UTILITY COMPANIES, A FIELD SURVEY AND EXISTING PLANS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL UTILITIES PRIOR TO DEMOLITION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- CONTRACTOR SHALL CONFINE ALL STOCKPILING OF DEMOLITION MATERIALS TO WITHIN THE LIMITS OF THE SUBJECT PROPERTY.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO DEMOLITION. SEE SHEETS C-10.0 AND C-10.1 FOR NOTES AND DETAILS.

KEYED NOTES:

- EXISTING CURB TO BE REMOVED AND DISPOSED OF.
- EXISTING CONCRETE TO BE REMOVED AND DISPOSED OF.
- EXISTING CURB TO REMAIN.
- EXISTING WOODEN FENCE TO REMAIN.
- EXISTING VEGETATION TO BE REMOVED AND DISPOSED OF.
- EXISTING OVERHEAD ELECTRIC LINE TO REMAIN DURING CONSTRUCTION.
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN DURING CONSTRUCTION.
- PROTECT EXISTING GAS LINE TO REMAIN DURING CONSTRUCTION.
- EXISTING SIGN TO REMAIN.
- EXISTING STORM MANHOLE TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.

LEGEND

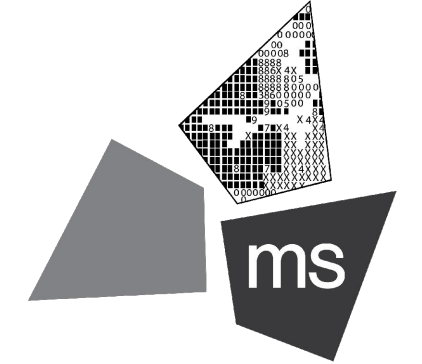
EXISTING	DESCRIPTION
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELECOMMUNICATION LINE
---	GAS LINE
---	SANITARY SEWER
---	STORM SEWER
---	WATER MAIN
---	PROPERTY LINE
---	CONSTRUCTION LIMITS
---	EASEMENT
---	CONCRETE REMOVAL
---	STORM STRUCTURE
---	WATER STRUCTURE
---	FIRE HYDRANT
---	LIGHT POLE
---	TRAFFIC POLE
---	TRAFFIC MANHOLE

REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE DEMOLITION PLAN

DRAWN BY: TDB

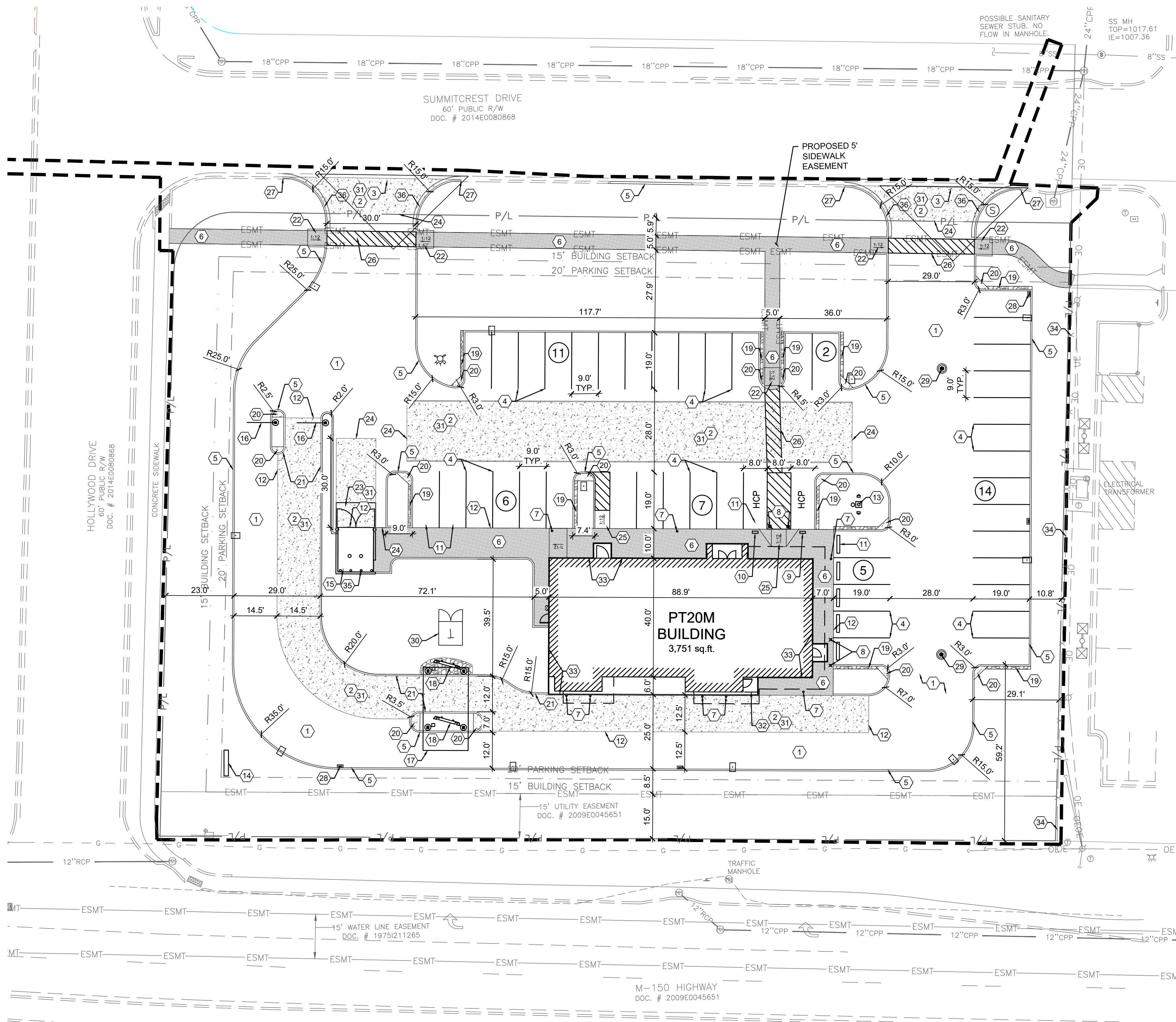
CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-2.0

N:\03\62\40497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-3.0 Site Dimension Plan.dwg, 3/29/2022 11:54 AM, burner, taylor



LAND DESCRIPTION: AS SURVEYED

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 47 NORTH, RANGE 31 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

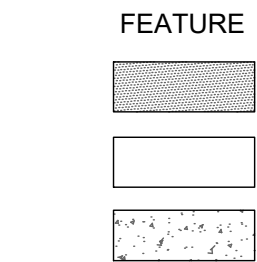
BEING ALL OF TRACT "A", AS SHOWN ON THE CERTIFICATE OF SURVEY, RECORDED JULY 27, 2021 AS DOCUMENT NO. 2021E0081920 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON PIN FOUND (ID: 2651) AT THE RIGHT OF WAY LINE INTERSECTION OF 150 HIGHWAY AND HOLLYWOOD DRIVE; THENCE WITH THE EAST RIGHT OF WAY LINE OF SAID HOLLYWOOD DRIVE N 02°24'42" E A DISTANCE OF 190.89 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE WITH THE RIGHT OF WAY LINE INTERSECTION OF SAID HOLLYWOOD DRIVE AND SUMMITCREST DRIVE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 31.05 FEET WITH A RADIUS OF 20.00 FEET WITH A CHORD BEARING OF N 47°11'11" E, WITH A CHORD LENGTH OF 28.02 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE WITH THE SOUTH RIGHT OF WAY LINE OF SAID SUMMITCREST DRIVE S 88°15'48" E A DISTANCE OF 282.03 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE LEAVING SAID RIGHT OF WAY LINE WITH THE WEST LINE OF HAWKINS COMMERCIAL LOT 1, RECORDED IN DOCUMENT NO. 200E006255 S 02°26'57" W A DISTANCE OF 208.22 FEET TO A 3/8" IRON PIN FOUND IN THE NORTH RIGHT OF WAY LINE OF SAID 150 HIGHWAY; THENCE WITH SAID NORTH RIGHT OF WAY LINE N 88°42'20" W A DISTANCE OF 301.67 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 63.083 SQUARE FEET, 1.448 ACRES, MORE OR LESS.

SITE DATA			
	SQ. FT.	ACRES	PERCENT
TOTAL BUILDING FLOOR AREA	3751	0.09	5.95
TOTAL SITE AREA	63083	1.45	100.0
LIMITS OF DISTURBANCE	68942	1.58	109.2
EXISTING PERVIOUS	62787	1.44	99.5
EXISTING IMPERVIOUS	296	0.01	0.5
TOTAL PROPOSED PERVIOUS	24129	0.55	38.2
TOTAL PROPOSED IMPERVIOUS	38954	0.89	61.8
EXISTING ZONING IS AG-AGRICULTURAL			
PROPOSED ZONING IS CP-2 PLANNED COMMUNITY COMMERCIAL			
FLOOR AREA RATION = 0.059 SF			

PHASING PLAN		
PROJECT PHASE	BP DESCRIPTION	DATE
A-PRE-CONSTRUCTION	PREPARE SITE FOR CONSTRUCTION INCLUDING ESTABLISHING E&S PERIMETER CONTROLS	SEPTEMBER-22
B-PHASE I CONSTRUCTION	TOP SOIL STOCK PILE PROTECTION, SITE CLEARING, TEMPORARY SEEDING, GENERAL SITE PREP	SEPTEMBER-22 DECEMBER-22
C-PHASE II CONSTRUCTION	CONSTRUCT BUILDING ASPHALT PAVING, STORM STRUCTURE INSTALLATIONS	DECEMBER-22 JANUARY-23
D-FINAL STABILIZATION	PERMANENT SEEDING	JUNE-23

LEGEND



DESCRIPTION

CONCRETE SIDEWALK

HEAVY DUTY ASPHALT PAVEMENT

HEAVY DUTY CONCRETE PAVEMENT

CONSTRUCTION LIMITS

BUILDING SETBACK LINE

PARKING SETBACK LINE

PROPOSED SIDEWALK EASEMENT

EXISTING EASEMENT

EXISTING

PROPOSED

LIGHT POLE

FIRE HYDRANT

PARKING DATA		
	REQUIRED	PROVIDED
STANDARD	53	43
HANDICAP	3	2
TOTAL	56	45
*14 PARKING SPACE REQUIRED PER 1000 S.F. OF THE GROSS BUILDING FLOOR AREA (3,751 SF OF DINING AREA)		
**1 ADA SPACE PER 25 STANDARD SPACES		
***FEWER SPACES ALLOWABLE IF EVIDENCE OF SUCCESS ON SIMILAR PROJECTS CAN BE PROVIDED.		

GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON AND STATE OF MISSOURI, BY SURVEYOR: YOUNG-HOBBS AND ASSOCIATES, 1202 CROSSLAND AVENUE CLARKSVILLE, TN 37040.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL EXCAVATED AREAS TO BE SEEDDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- ALL RADII ARE 3.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
- THERE ARE NO OIL AND GAS WELLS (ACTIVE/INACTIVE/CAPPED) PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES MAPPING.

KEYED NOTES:

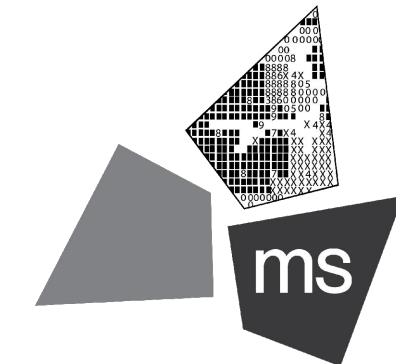
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED ASPHALT PAVEMENT TO BE FLUSH WITH EXISTING ASPHALT PAVEMENT.
- PROPOSED PAINTED PARKING STRIPING (TYPICAL). ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS.
- PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C-7.0.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C-7.0.
- PROPOSED BOLLARD, TYP. OF 8. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED ILLUMINATED BOLLARD, TYP. OF 4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGNS. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS, SEE DETAIL ON SHEET C-7.0.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGN WITH "VAN ACCESSIBLE" SIGN. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS, SEE DETAIL ON SHEET C-7.0.
- PROPOSED PRE-CAST CONCRETE WHEEL STOP (TYP. OF 54) SEE DETAIL ON SHEET C-7.0.
- CONCRETE TO BE FLUSH WITH ADJACENT ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-7.1.
- FLAGPOLE WITH GROUND-MOUNTED LIGHTS, UNITED FLAG AND BANNER, GARRISON TYPE OR OWNER APPROVED EQUAL, 30' HIGH, 5" BUTT ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY STRUCK, NYLON FLAGSNAPS, AND HALYARDS. ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED 35' HT POLE SIGN, CONTRACTOR TO COORDINATE WITH OWNER. SEE ELECTRICAL PLANS AND SIGNAGE PACKAGE FOR DETAILS.
- PROPOSED DUMPSTER ENCLOSURE AND CONCRETE PAD. SEE THE STRUCTURAL AND ARCHITECTURAL SHEETS FOR DETAILS.
- PROPOSED HEADACHE BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED MENU BOARD CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED EXTERIOR MENU BOARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED 1" WIDE CRUSHED GRANITE STRIP. SEE DETAIL ON SHEET L-1.0.
- PROPOSED CONCRETE ISLAND NOSE. SEE DETAIL ON SHEET L-1.0.
- PROPOSED 6" MONOLITHIC CURB. SEE DETAIL ON SHEET C-7.1.
- PROPOSED ADA SIDEWALK RAMP. SEE DETAIL ON SHEET C-7.1.
- CONCRETE DUMPSTER ENCLOSURE APRON, TRASH ENCLOSURE AREA SHALL BE IMPROVED WITH A PORTLAND CEMENT CONCRETE PAD AND PORTLAND CEMENT CONCRETE APPROACH 30 FEET IN LENGTH, MEASURED FROM THE ENCLOSURE OPENING. THE PAD AND APPROACH SHALL BE IMPROVED WITH A MINIMUM 6" OF FULL DEPTH UNREINFORCED PORTLAND CEMENT CONCRETE CONSTRUCTED ON A SUB-GRADE OF 4" OF GRANULAR BASE COURSE. SEE DETAIL ON SHEET C-7.0.
- PROPOSED CONCRETE TO BE FLUSH WITH PROPOSED ASPHALT PAVEMENT.
- PROPOSED CURB RAMP. SEE DETAIL ON SHEET C-7.0.
- PROPOSED SIDEWALK CROSSING. SEE DETAIL ON SHEET C-7.2.
- CONNECT PROPOSED CURB TO EXISTING CURB.
- PROPOSED STORM INLET. SEE SHEETS C-5.0 AND C-7.5 FOR DETAILS.
- PROPOSED STORM MANHOLE/JUNCTION BOX. SEE SHEETS C-5.0, C-7.5, AND C-7.6 FOR DETAILS.
- PROPOSED ELECTRIC TRANSFORMER. COORDINATE DETAILS AND LOCATION WITH UTILITY OWNER AND ELECTRICAL PLANS. SEE SHEET C-6.0.
- CONTRACTOR TO ADD BLACK COLORING TO CONCRETE PAVEMENT THAT IS ADJACENT TO ASPHALT TO MATCH ASPHALT COLORING.
- PROPOSED HAND RAIL. SEE ARCHITECTURAL SHEETS FOR DETAILS.
- PROPOSED STRUCTURAL FOUNDATION.
- EXISTING WOODEN FENCE TO REMAIN.
- TRASH ENCLOSURE SHALL BE PROTECTED THROUGH INSTALLATION OF 4" BOLLARDS (TYP. OF 4) ALONG THE REAR WALL OF THE TRASH ENCLOSURE. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- TYPE A CURB AND GUTTER PER MODOT STANDARD DRAWING 609.00P. SEE DETAIL ON SHEET C-7.1.

REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE DIMENSION PLAN

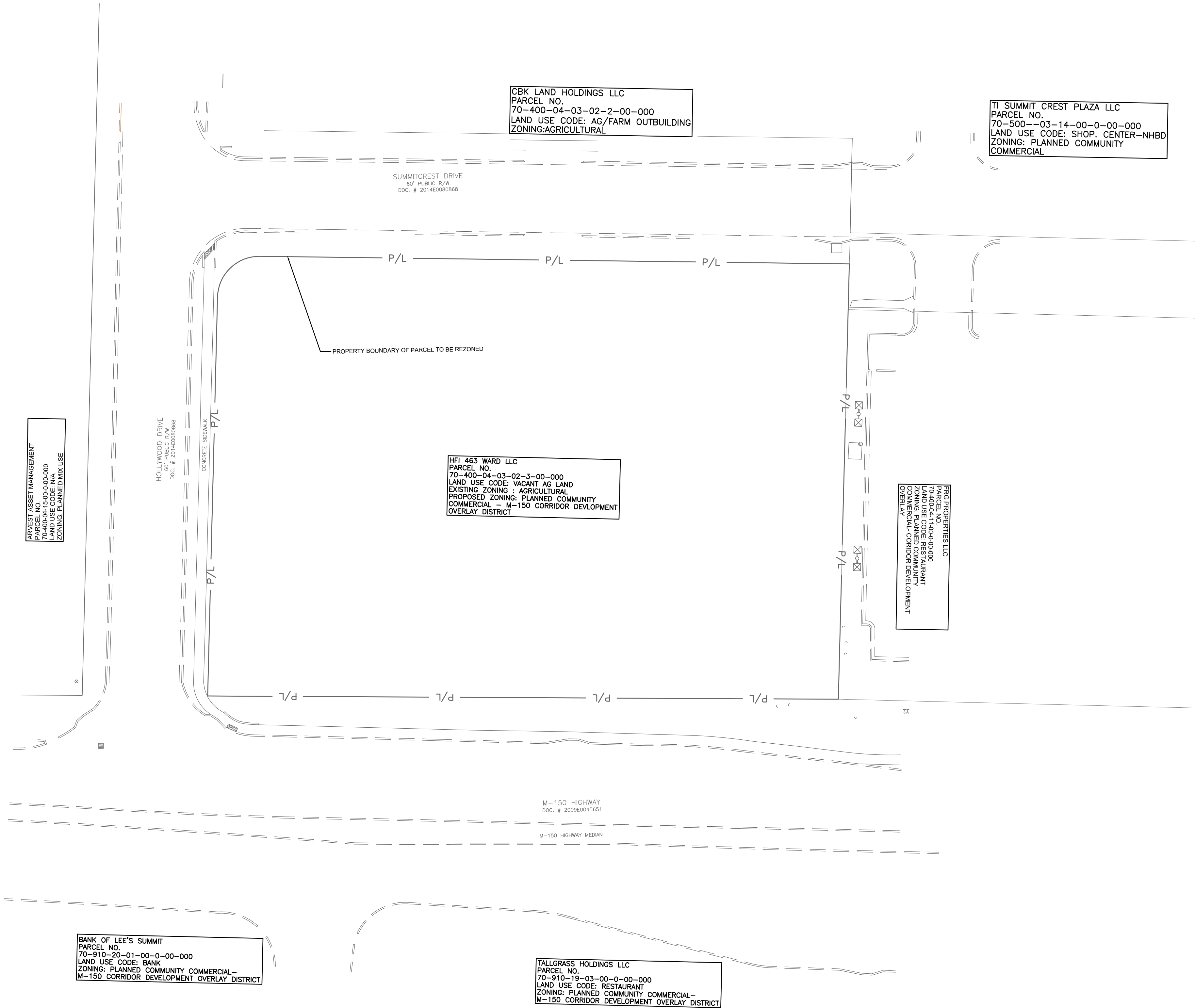
DRAWN BY: TDB

CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-3.0



LAND DESCRIPTION:
AS SURVEYED

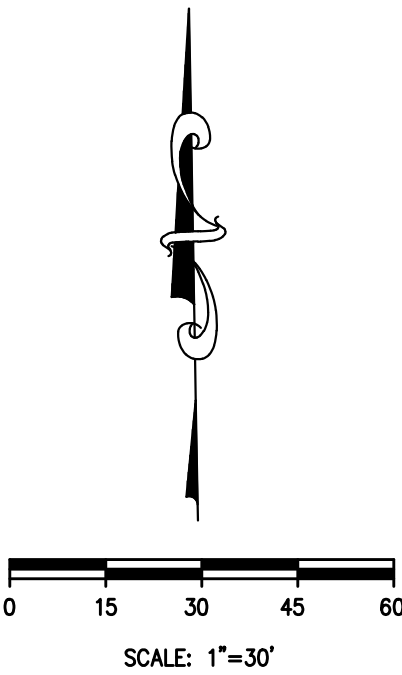
PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 47 NORTH, RANGE 31 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

BEING ALL OF TRACT "A", AS SHOWN ON THE CERTIFICATE OF SURVEY, RECORDED JULY 27, 2021 AS DOCUMENT NO. 2021E0081920 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON PIN FOUND (ID: 2651) AT THE RIGHT OF WAY LINE INTERSECTION OF 150 HIGHWAY AND HOLLYWOOD DRIVE; THENCE WITH THE EAST RIGHT OF WAY LINE OF SAID HOLLYWOOD DRIVE N 02°24'42" E A DISTANCE OF 190.89 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE WITH THE RIGHT OF WAY LINE INTERSECTION OF SAID HOLLYWOOD DRIVE AND SUMMITCREST DRIVE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 31.05 FEET WITH A RADIUS OF 20.00 FEET WITH A CHORD BEARING OF N 47°11'11" E, WITH A CHORD LENGTH OF 28.02 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE WITH THE SOUTH RIGHT OF WAY LINE OF SAID SUMMITCREST DRIVE S 88°15'48" E A DISTANCE OF 282.03 FEET TO A 1/2" IRON PIN FOUND (ID: 2651); THENCE LEAVING SAID RIGHT OF WAY LINE WITH THE WEST LINE OF HAWKINS COMMERCIAL LOT 1, RECORDED IN DOCUMENT NO. 200E006255 S 02°26'57" W A DISTANCE OF 208.22 FEET TO A 3/8" IRON PIN FOUND IN THE NORTH RIGHT OF WAY LINE OF SAID 150 HIGHWAY; THENCE WITH SAID NORTH RIGHT OF WAY LINE N 88°42'20" W A DISTANCE OF 301.67 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 63,083 SQUARE FEET, 1,448 ACRES, MORE OR LESS.



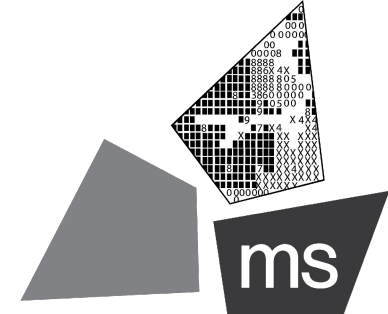
ZONING MAP
NTS



REVISION/DATE/DESCRIPTION	
SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE ZONING PLAN

DRAWN BY: TDB

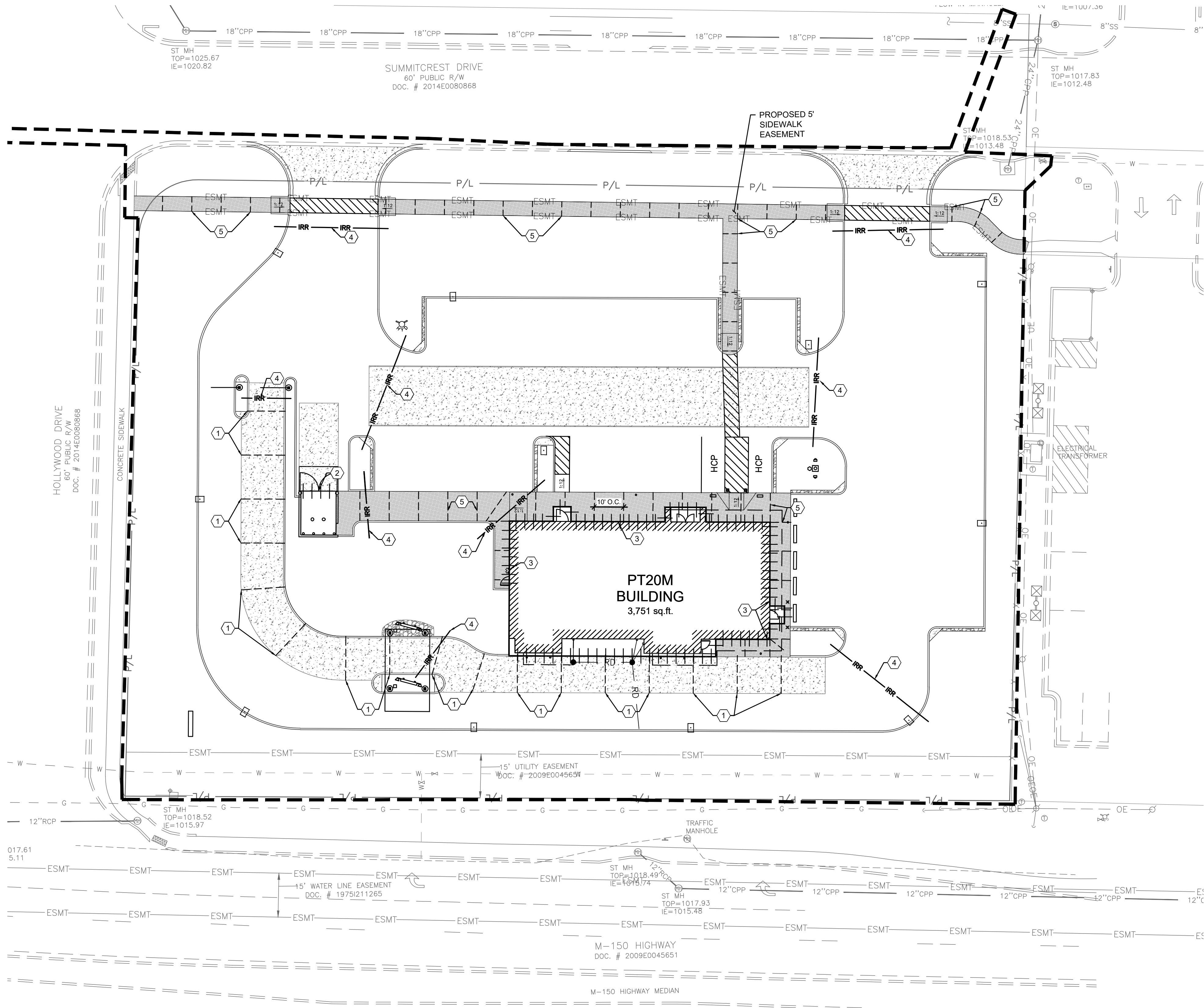
CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-3.1

N:\0316240497\01-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-4.0 Concrete Jointing Plan.dwg, 3/29/2022 11:41 AM, burner, taylor



GENERAL NOTES:

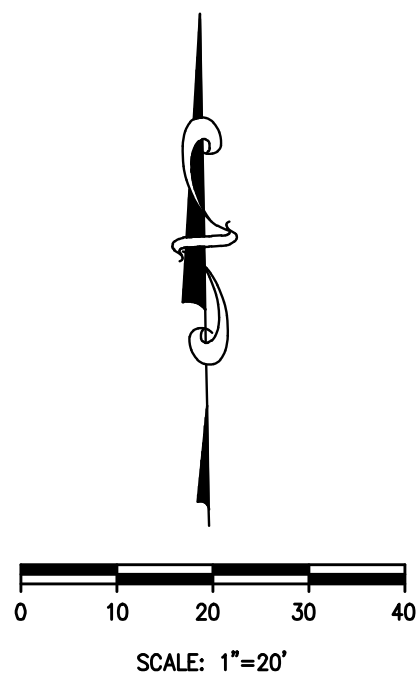
- A. PAVEMENT SPECIFICATION AND RECOMMENDATIONS TO BE TAKEN FROM GEOTECHNICAL REPORT.
- B. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- C. MAXIMUM CONTROL JOINT SPACING SHALL NOT EXCEED 15 FEET.
- D. EXPANSION JOINTS SHALL BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT (E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS, MANHOLES, ETC.).
- E. EXPANSION JOINTS SHALL BE SEALED PER DETAILS ON SHEET C-7.0 TO MINIMIZE MOISTURE INFILTRATION INTO SUBGRADE SOILS AND RESULTANT CONCRETE DETERIORATION AT THE JOINTS.
- F. SLEEVES SHOWN ARE FOR IRRIGATION ONLY. ADDITIONAL SLEEVES MAY BE REQUIRED FOR OTHER FRANCHISE UTILITIES. CONTRACTOR SHALL COORDINATE LOCATION AND SUPPLY ADDITIONAL SLEEVES REQUIRED FOR ELECTRICAL AND TELECOMMUNICATION SERVICES.
- G. ALL CONCRETE JOINTS SHALL RUN CONTINUOUSLY THROUGH CURBS.

KEYED NOTES:

- 1 SAWED CONSTRUCTION JOINT REQUIRED, TYPICAL. SEE DETAIL ON SHEET C-7.0.
- 2 DOWELED EXPANSION JOINT REQUIRED, TYPICAL. SEE DETAIL ON SHEET C-7.0.
- 3 EXPANSION JOINT REQUIRED WHERE CONCRETE OR CURB ABUTS BUILDING FOUNDATION, STORM STRUCTURE, FLUME, OR SIDEWALK OPENING. SEE DETAIL ON SHEET C-7.0.
- 4 SCHEDULE 40 PVC IRRIGATION SLEEVE, SEE SHEET I-1.0 FOR MORE INFORMATION.
- 5 INSTALL CONTRACTION JOINTS 10' ON CENTER AS SHOWN ON DETAIL C ON SHEET C-7.0 (TYP).

LEGEND

PROPOSED	DESCRIPTION
-----	CONTRACTION JOINT
+++++	EXPANSION JOINT
---IRR---	4" SCHEDULE 40 PVC SLEEVE
[Pattern]	CONCRETE SIDEWALK
[Pattern]	HEAVY DUTY ASPHALT PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT

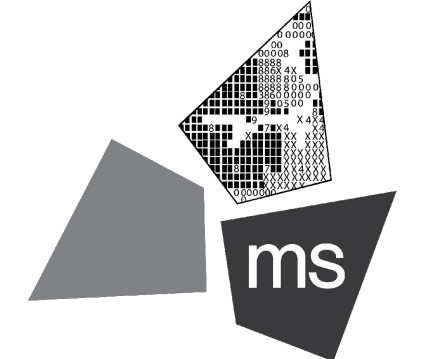


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

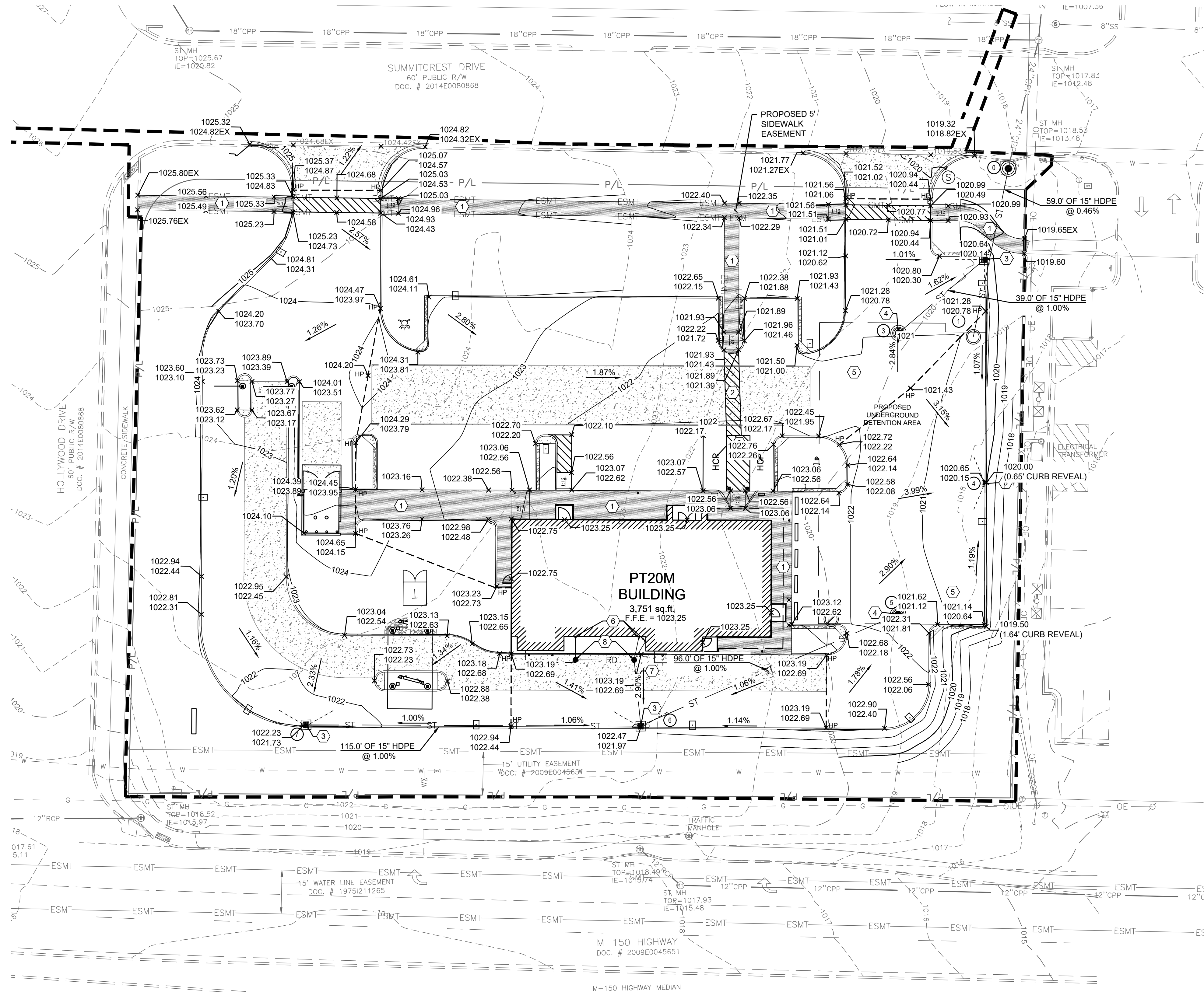
CONCRETE JOINTING PLAN

DRAWN BY:	TDB
CHECKED BY:	PJK
PROJECT NO:	40497-21

DRAWING

C-4.0

N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-5.0 Site Grading and Drainage Plan.dwg, 3/29/2022 2:30 PM, burner, taylor

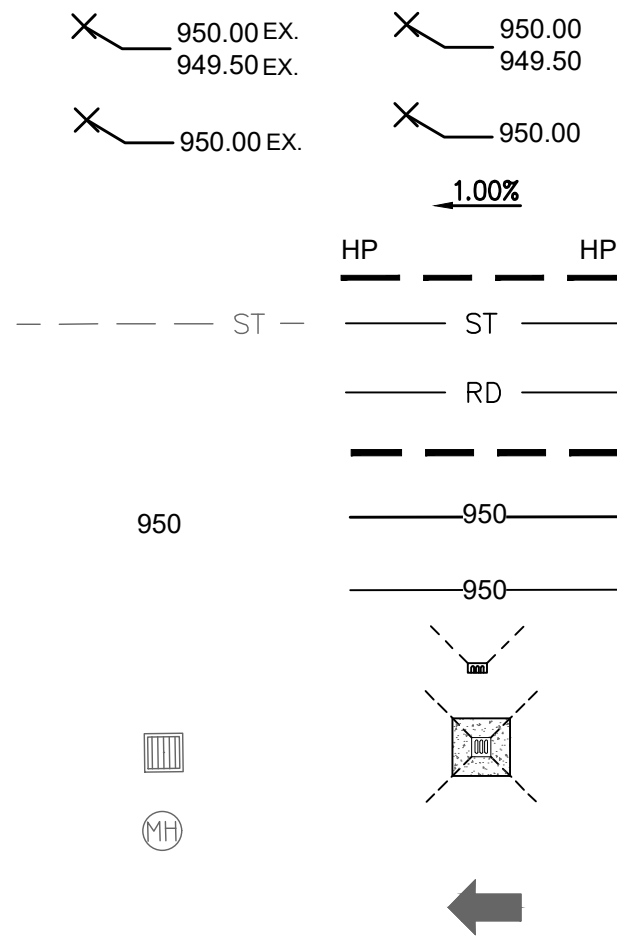


GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON AND STATE OF MISSOURI, BY SURVEYOR: YOUNG-HOBBS AND ASSOCIATES, 1202 CROSSLAND AVENUE CLARKSVILLE, TN 37040.
- ALL CONSTRUCTION METHODS AND MATERIAL MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TOP OF CURB AND FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND. CONTRACTOR TO VERIFY ASSUMED FINISHED FLOOR ELEVATION PRIOR TO BEGINNING WORK.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED FROM PRIVATE PROPERTY. ALL TRAFFIC LANES MUST REMAIN OPEN AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- CONTRACTOR SHALL INSTALL AND BACKFILL STRUCTURES AND TRENCHES PER DETAILS ON SHEET C-7.1.
- ALL EXISTING UTILITIES ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
- ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.

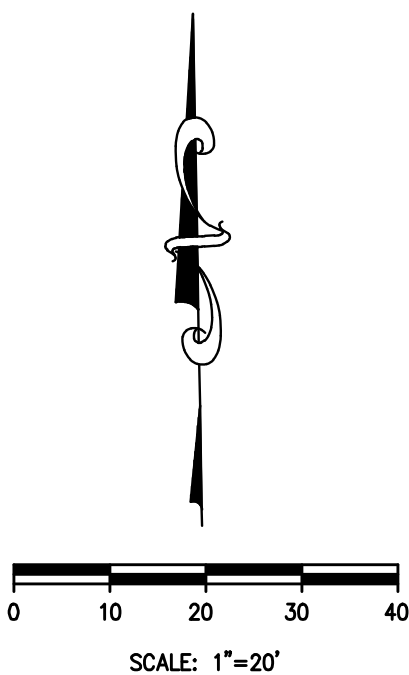
KEYED NOTES:

- CONTRACTOR TO MAINTAIN 2.00% MAX CROSS SLOPE ON SIDEWALK.
- CONTRACTOR TO MAINTAIN MAX 2.00% SLOPE IN ALL DIRECTIONS IN HANDICAP ACCESSIBLE AREA.
- PROPOSED CURB INLET AND FINGER DRAIN. SEE DETAILS ON SHEETS C-7.1 AND C-7.5.
- PROPOSED STORM MANHOLE/JUNCTION BOX. SEE DETAILS ON SHEET C-7.5 AND C-7.6.
- PROPOSED UNDERGROUND DETENTION SYSTEM, ADS STORMTECH MC-3500 CHAMBER SYSTEM, 19665 CF. SEE DETAILS ON SHEET C-7.5.
- PROPOSED DOWNSPOUT COLLECTOR SYSTEM.
- 6" STORM LINE FROM ROOF DRAIN TO CONNECT TO PROPOSED STORM SYSTEM. CONTRACTOR TO MAINTAIN A MINIMUM SLOPE OF 1.00% ON ALL ROOF DRAIN PIPES.
- PROPOSED STORM CLEANOUT. SEE DETAIL ON SHEET C-7.1 FOR DETAILS.



STORM STRUCTURE DATA

- EXISTING STORM MANHOLE
RIM = 1018.53
EX: 24" INV. (NE) = 1013.48
PR: 15" INV. (SW) = 1013.48
- PROPOSED OUTLET CONTROL STRUCTURE
RIM = 1020.84
PR: 15" INV. (NW) = 1013.75
- PROPOSED CURB INLET
RIM = 1020.16
PR: 15" INV. (NW) = 1014.14
- PROPOSED STORM MANHOLE
RIM = 1020.97
PR: 15" INV. (NE) = 1013.75
- PROPOSED CURB INLET
RIM = 1020.17
- PROPOSED STORM MANHOLE
RIM = 1021.49
PR: 15" INV. (SE) = 1013.75
- PROPOSED CURB INLET
RIM = 1021.71
PR: 15" INV. (NE) = 1014.71
- PROPOSED CURB INLET
RIM = 1021.75
PR: 15" INV. (E) = 1015.85

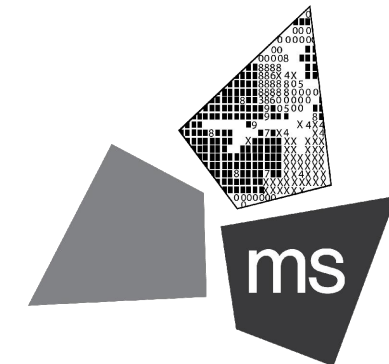


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR REPRODUCTION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

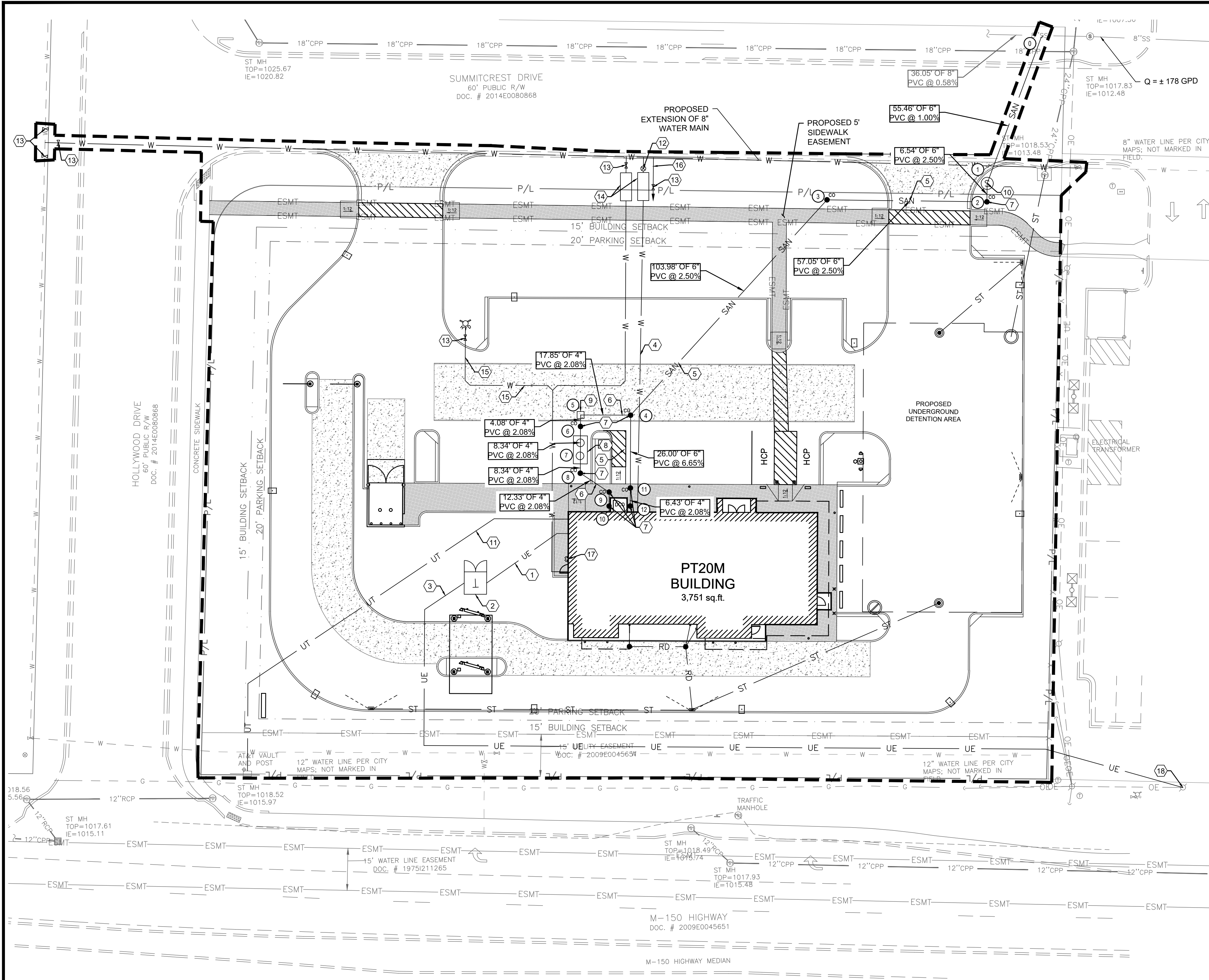
SHEET TITLE

SITE GRADING AND DRAINAGE PLAN

DRAWN BY:	TDB
CHECKED BY:	PJK
PROJECT NO:	40497-21
DRAWING	

C-5.0

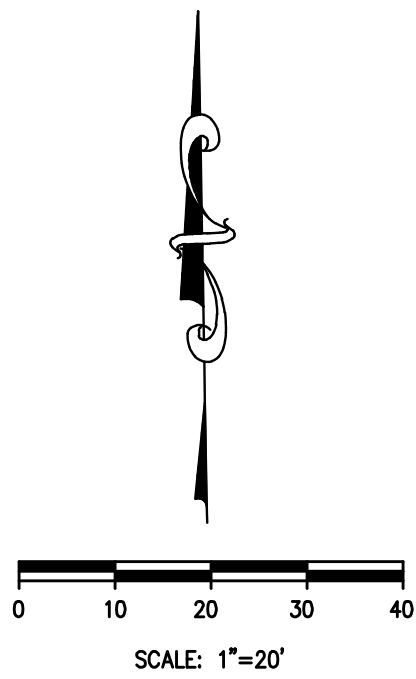
N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-6.0 Site Utility Plan.dwg, 3/28/2022 4:54 PM, bunner, taylor



SANITARY STRUCTURE DATA

0 PROPOSED WYE CONNECTION TC: 1017.61 EX. 8" INV (E) = 1007.46 EX. 8" INV (W) = 1007.46 PR. 6" INV (N) = 1007.63	3 PROPOSED MANHOLE TC: 1022.12 PR. 6" INV (SW) = 1014.32 PR. 6" INV (E) = 1014.32	6 PROPOSED CLEANOUT TC: 1022.28 PR. 4" INV (N) = 1017.54 PR. 4" INV (S) = 1017.54	9 PROPOSED CLEANOUT TC: 1023.12 PR. 4" INV (NW) = 1018.15 PR. 4" INV (S) = 1018.15	12 PROPOSED CLEANOUT TC: 1023.21 PR. 4" INV (N) = 1018.95 PR. 4" INV (S) = 1018.95
1 PROPOSED DROP MANHOLE TC: 1020.19 PR. 6" INV (NW) = 1008.18 PR. 6" INV (S) = 1012.73	4 PROPOSED CLEANOUT TC: 1021.99 PR. 6" INV (S) = 1016.92 PR. 6" INV (NE) = 1016.92 PR. 4" INV (W) = 1017.09	7 PROPOSED GREASE TRAP TC: 1022.27 PR. 4" INV (NE) = 1017.72 PR. 4" INV (NW) = 1017.72	10 PROPOSED CLEANOUT TC: 1023.21 PR. 4" INV (N) = 1018.25 PR. 4" INV (S) = 1018.25	
2 PROPOSED MANHOLE TC: 1020.23 PR. 4" INV (W) = 1012.90 PR. 4" INV (N) = 1012.90	5 PROPOSED SAMPLING WELL TC: 1022.42 PR. 4" INV (S) = 1017.46 PR. 4" INV (E) = 1017.46	8 PROPOSED CLEANOUT TC: 1022.48 PR. 4" INV (SW) = 1017.89 PR. 4" INV (SE) = 1017.89	11 PROPOSED CLEANOUT TC: 1023.09 PR. 6" INV (N) = 1018.65 PR. 4" INV (S) = 1018.82	

NOTE: CONTRACTOR TO VERIFY INVERT OF EXISTING SANITARY SEWER MAIN PRIOR TO CONSTRUCTING PROPOSED SANITARY SEWER SERVICE LINE.



GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON AND STATE OF MISSOURI, BY SURVEYOR: YOUNG-HOBBS AND ASSOCIATES, 1202 CROSSLAND AVENUE CLARKSVILLE, TN 37040.
- ALL EXISTING UTILITIES, ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 42" OVER PROPOSED WATER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- CLEANOUT LOCATIONS ARE NUMBERED ON PLAN. ALL CLEANOUTS IN PAVEMENT AREAS ARE TO BE H-20 RATED. CLEANOUTS SHALL BE INSTALLED PER DETAIL ON SHEET C-7.1.
- SEE PLUMBING PLANS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
- CONTRACTOR SHALL INSTALL AND BACKFILL ALL TRENCHES AND STRUCTURES PER DETAIL ON SHEET C-7.1.
- STORM SEWER SHOWN HERE FOR REFERENCE ONLY. SEE GRADING PLAN FOR DESIGN DATA.
- THERE SHALL BE A MINIMUM 10 FOOT HORIZONTAL SEPARATION BETWEEN WATER TAPS, WATER SERVICES, PRIVATE WATER SYSTEMS, AND ANY SANITARY AND/OR STORM SEWER SYSTEMS. WHERE 10 FEET HORIZONTAL SEPARATION CANNOT BE OBTAINED, THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- CAUTION: OVERHEAD LINES ARE PRESENT ON SITE. CONTRACTOR TO TAKE SPECIAL CARE TO PREVENT DAMAGE TO THE LINES AND COORDINATE WITH UTILITY OWNER.
- A SANITARY SEWER IMPACT STATEMENT THAT WILL ADDRESS THE PROPOSED DISCHARGE INTO THE EXISTING SANITARY SEWER RECEIVING SYSTEM, IF REQUIRED BY THE CITY ENGINEER.
- APPROPRIATE WATER SERVICE DEMAND DATA (INCLUDING, BUT NOT LIMITED TO, PLANNED LAND USAGE, DENSITIES OF PROPOSED DEVELOPMENT, PIPE SIZES, CONTOURS AND FIRE HYDRANT LAYOUT) TO ALLOW FOR THE PRELIMINARY ANALYSIS OF THE DEMAND FOR WATER SERVICE IF REQUIRED BY THE CITY ENGINEER.

KEYED NOTES:

- PROPOSED PRIMARY ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS. CONTRACTOR TO COORDINATE CONNECTION WITH UTILITY OWNER.
- PROPOSED ELECTRIC TRANSFORMER. COORDINATE DETAILS AND LOCATION WITH UTILITY OWNER AND ELECTRICAL PLANS.
- PROPOSED SECONDARY ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS. CONTRACTOR TO COORDINATE CONNECTION WITH UTILITY OWNER.
- PROPOSED TYPE K COPPER 1.5" DOMESTIC WATER SERVICE. INCLUDE IN BASE BID ALL VALVES, PIPING, STRUCTURES, ETC. THAT WILL BE REQUIRED. SEE MEP PLANS FOR CONTINUATION INTO BUILDING. SEE DETAIL ON SHEET C-7.2.
- PROPOSED 6" SANITARY SEWER. ASTM D3034, SDR-26. SEWER TO HAVE MINIMUM SLOPE OF 1.00%. CONTRACTOR TO MAINTAIN A MINIMUM OF 36" OF COVER OF SEWER LINES.
- PROPOSED 4" SANITARY SEWER. ASTM D3034, SDR-26. SEWER TO HAVE MINIMUM SLOPE OF 2.08%. CONTRACTOR TO MAINTAIN A MINIMUM OF 36" OF COVER OF SEWER LINES.
- PROPOSED SANITARY CLEANOUT (TYP.). SEE DETAIL ON SHEET C-7.1.
- GREASE TRAP REQUIRED. SEE PLUMBING SHEETS FOR DETAILS.
- MONITORING WELL, SEE PLUMBING PLANS FOR DETAILS.
- PROPOSED SANITARY SEWER SERVICE DROP MANHOLE. SEE DETAIL ON SHEET C-7.2.
- 2" PVC CONDUIT FOR UNDERGROUND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE CONNECTION WITH UTILITY OWNER.
- PROPOSED DOMESTIC WATER METER PER CITY OF LEE'S SUMMIT STANDARD DRAWING WAT-11. SEE SHEET C-7.2.
- PROPOSED WATER VALVE PER LOCAL REGULATIONS AND DETAILS.
- PROPOSED BACKFLOW PREVENTER VAULT PER CITY OF LEE'S SUMMIT STANDARD DRAWING WAT-12. SEE SHEET C-7.2.
- PROPOSED 6" FIRE SERVICE LINE.
- PROPOSED 1" IRRIGATION LINE. SEE IRRIGATION PLAN FOR MORE INFORMATION.
- PROPOSED FIRE DEPARTMENT CONNECTION.
- PROPOSED ELECTRICAL CONNECTION. CONTRACTOR TO COORDINATE WITH UTILITY OWNER.
- PROPOSED SANITARY SEWER WYE CONNECTION TO EXISTING SANITARY SEWER STUB. SEE DETAIL ON SHEET C-7.2.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CONSTRUCTION LIMITS
---	---	STORM LINE
---	---	ROOFDRAIN/UNDERDRAIN
---	---	SANITARY LINE
●	●	SANITARY CLEANOUT
⊙	⊙	SANITARY MANHOLE
⊠	⊠	SANITARY GREASE TRAP
---	---	WATER LINE
⊕	⊕	FIRE HYDRANT
⊕	⊕	WATER METER
---	---	UNDERGROUND ELECTRIC LINE
⊠	⊠	ELECTRIC TRANSFORMER
---	---	UNDERGROUND TELEPHONE LINE
⊠	⊠	LIGHT POLE

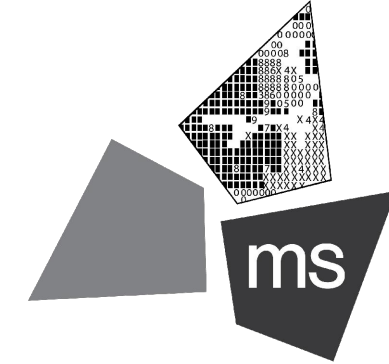


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE UTILITY PLAN

DRAWN BY: TDB

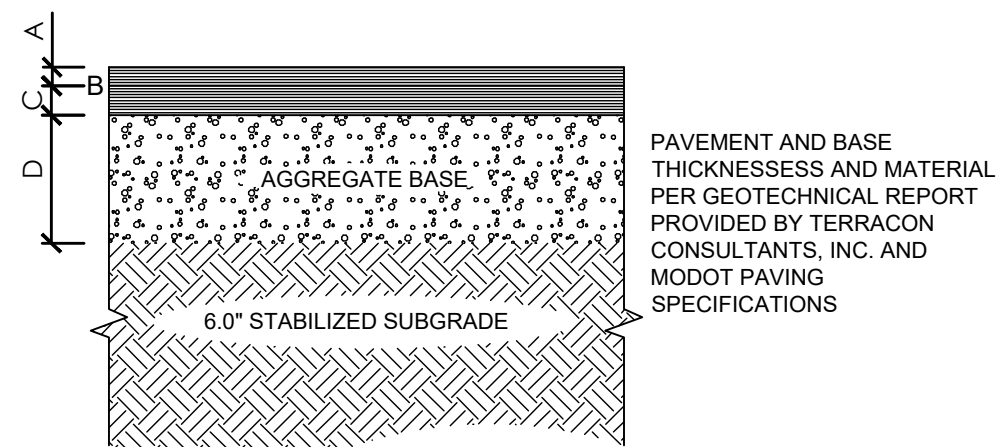
CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-6.0

N:\03\6240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\IC-7.0 Site Details.dwg, 3/29/2022 1:04 PM, bunner, taylor



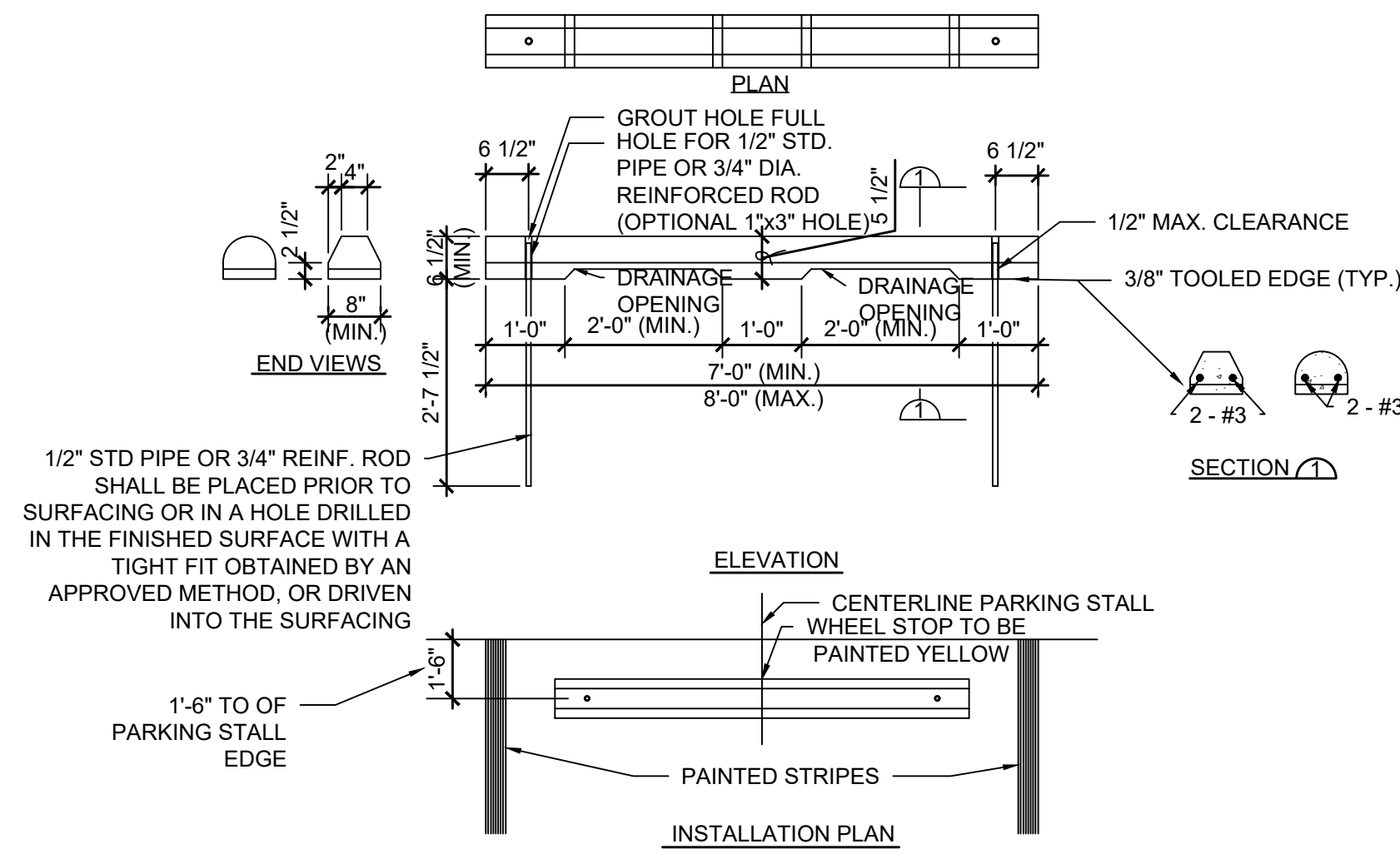
HEAVY DUTY PAVING

A = 1.5" ASPHALT SURFACE COURSE
(MODOT ITEM 403, SURFACE COURSE)
B = TACK COAT (0.05 GAL/S.Y.)
C = 5.0" ASPHALT CONCRETE
(MODOT ITEM 403, INTERMEDIATE COURSE)
D = 6.0" AGGREGATE BASE
(MODOT ITEM 304, TYPE 5)

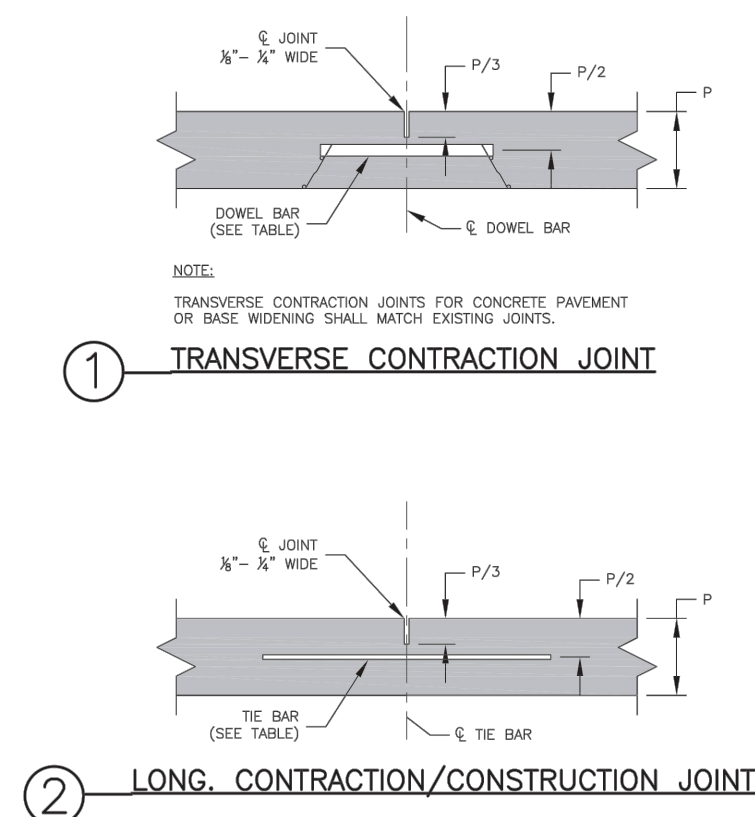
NOTES

- SUBGRADE COMPACTION: CBR = 5
- BASE COURSE TO CONFORM TO MODOT STANDARDS FOR BASE COURSE COMPACTION TO 100% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
- ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT MODOT SPECIFICATIONS.
- PROOFROLL PAVEMENT SUBGRADE WITHIN TWO (2) DAYS PRIOR TO COMMENCEMENT OF PAVING OPERATIONS. PROOFROLL SHOULD BE COMPLETED USING A LOADED TANDEM-AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 20 TONS OR SIMILARLY LOADED RUBBER-TIRE EQUIPMENT UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.

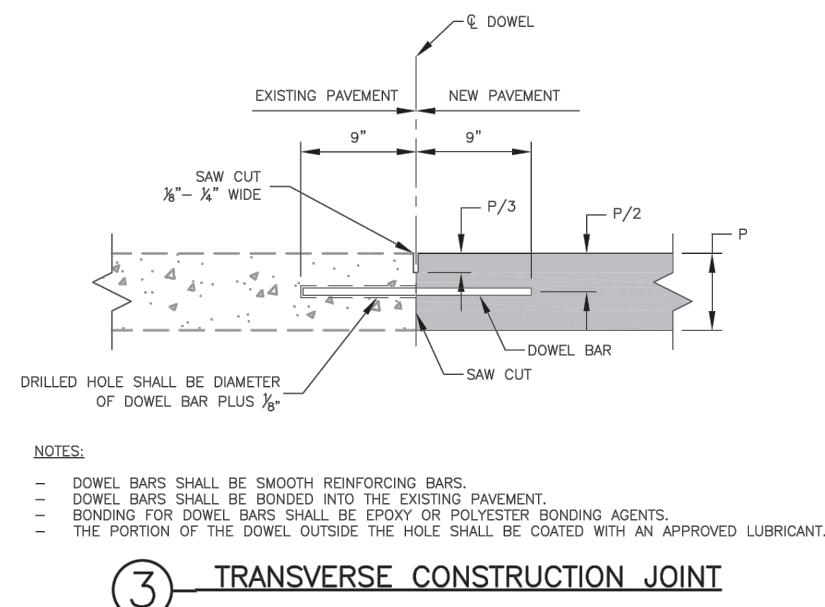
A ASPHALT PAVING SECTION C7.0 N.T.S.



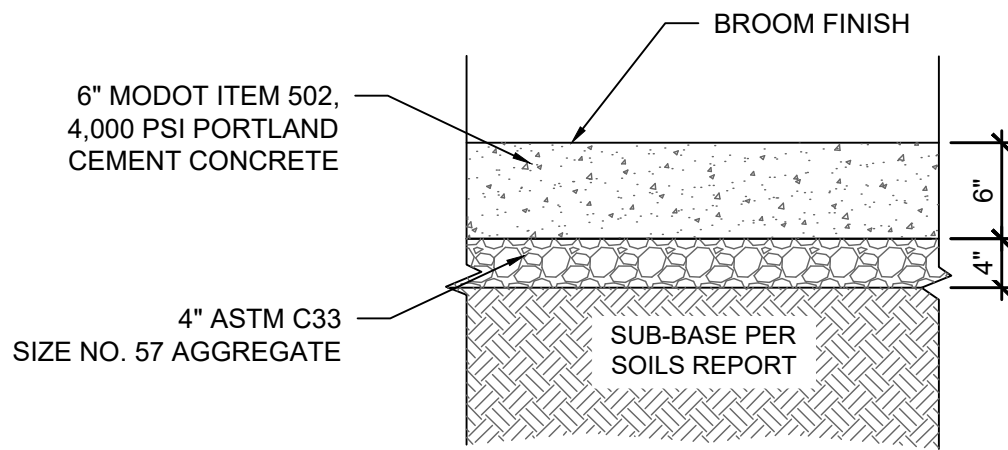
E PRE-CAST CONCRETE WHEEL STOP C7.0 N.T.S.



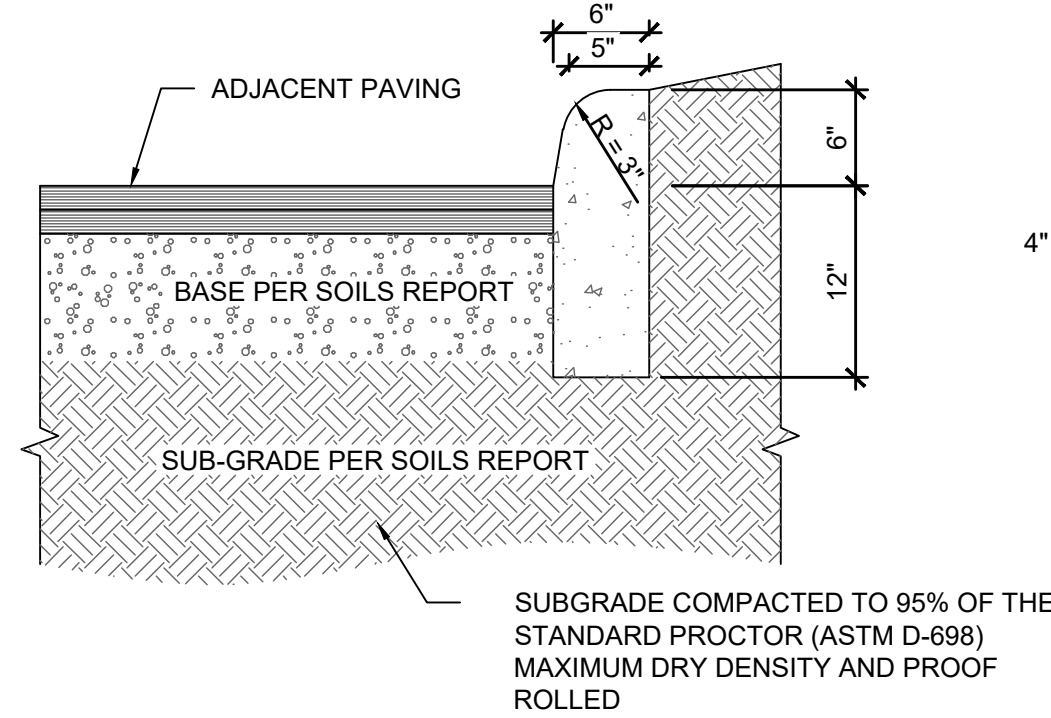
2 LONG. CONTRACTION/CONSTRUCTION JOINT



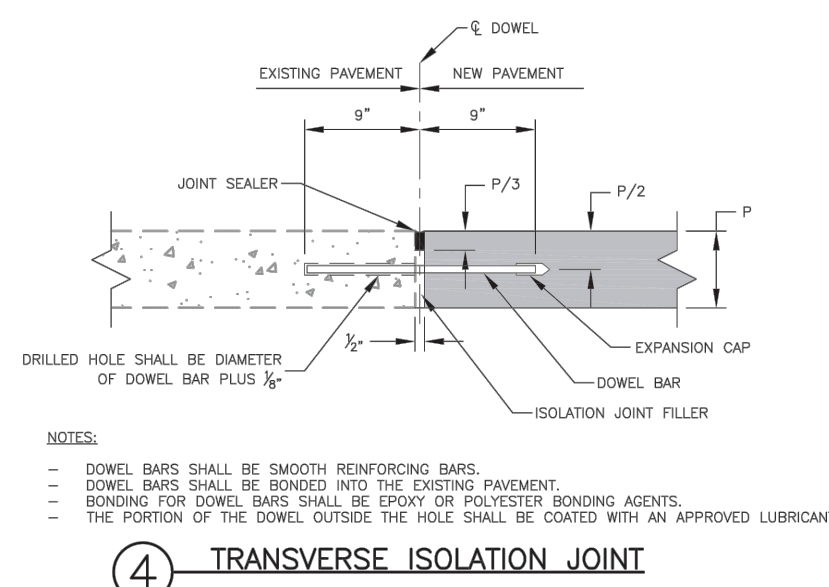
I PAVEMENT JOINT DETAILS - CITY OF LS STANDARD DETAIL GEN-9 C7.0 N.T.S.



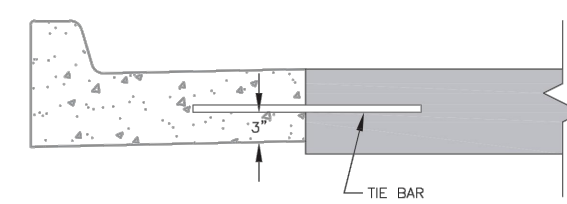
B TRASH ENCLOSURE APRON DETAIL C7.0 N.T.S.



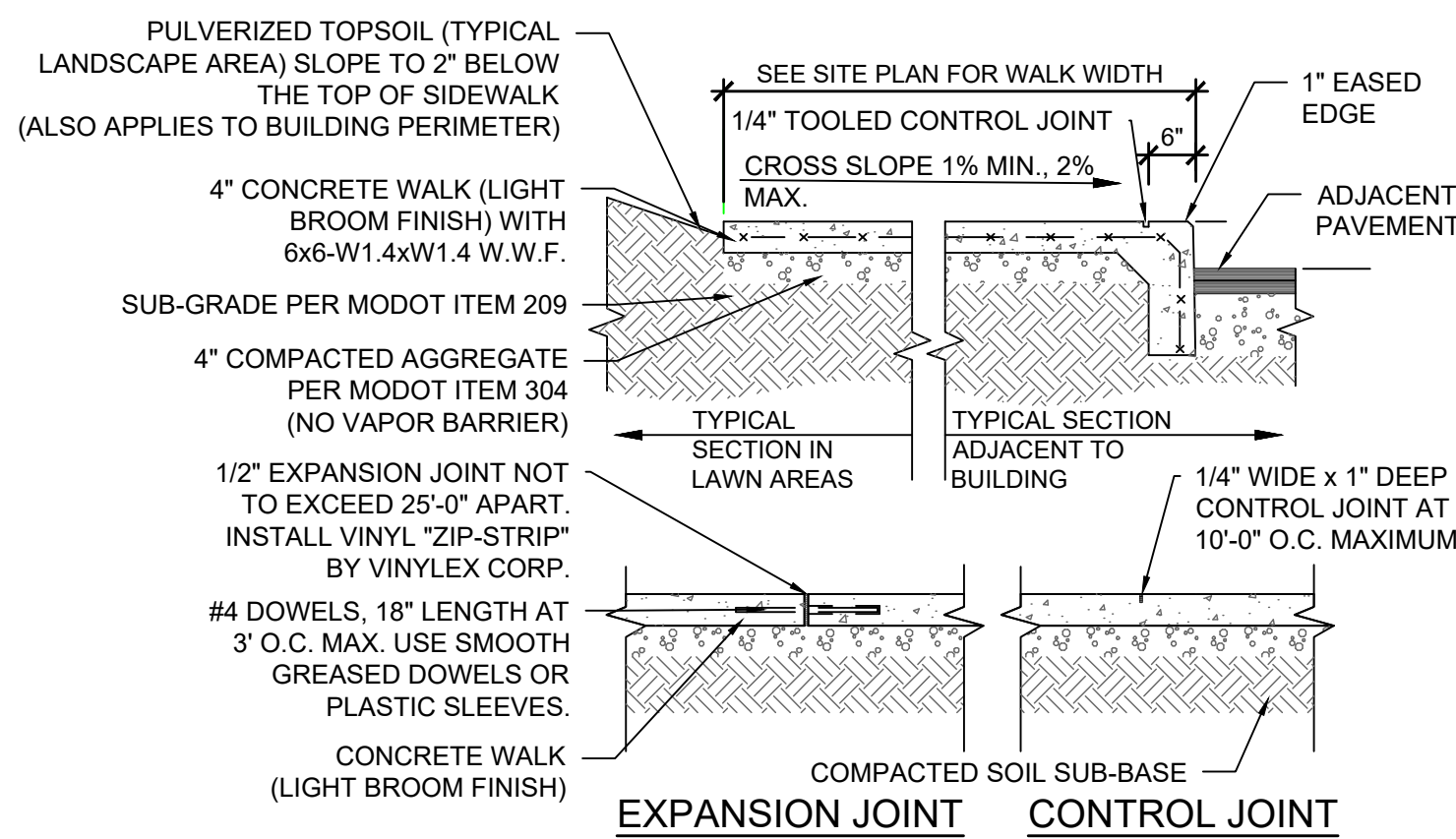
F CURB DETAIL C7.0 N.T.S.



4 TRANSVERSE ISOLATION JOINT

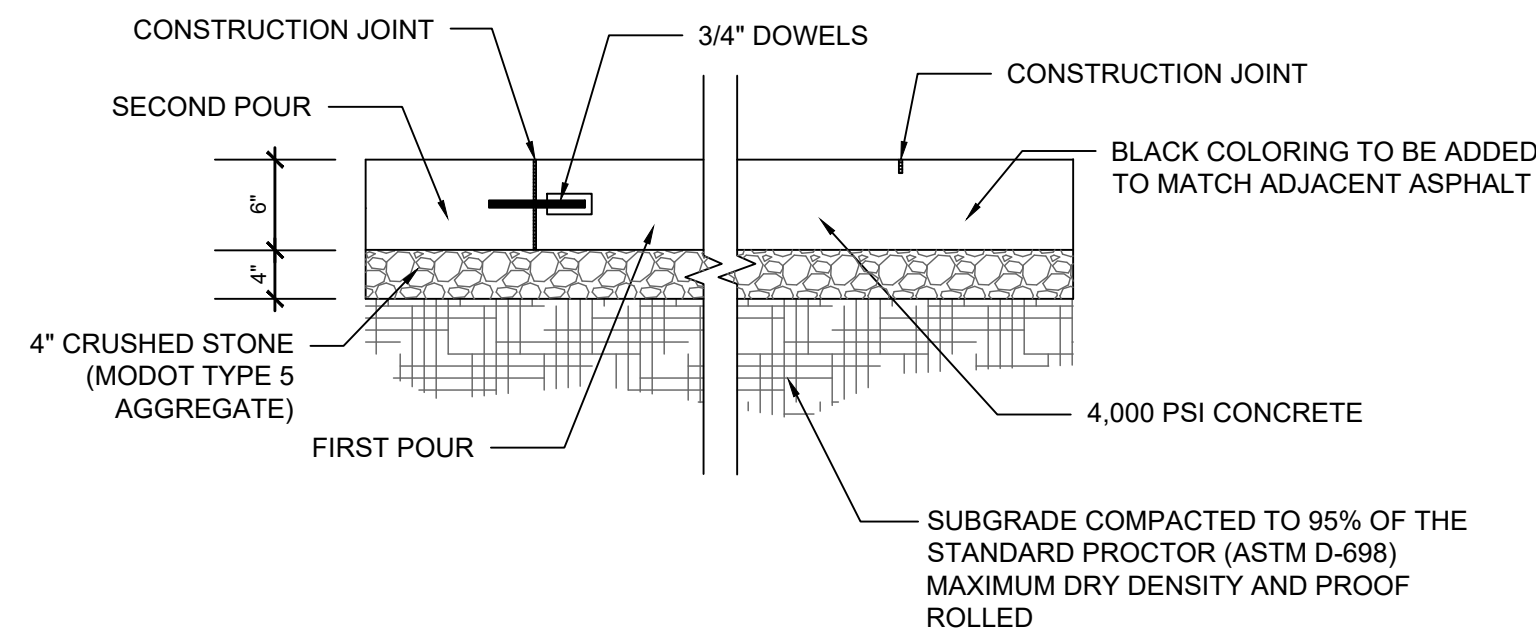


5 LONG. CONSTRUCTION JOINT (CURB & GUTTER)



- NOTES:
- LOCATE CONTROL JOINTS AS SHOWN ON PLAN OR 10' O.C. MAXIMUM. VERIFY WITH SITE REPRESENTATIVE.
 - CONCRETE WALKS AGAINST THE BUILDING OR CONCRETE PAVEMENT SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
 - CONCRETE PADS OVER 4" THICK REQUIRE CONTROL JOINTS TO BE 12' O.C. MAXIMUM.

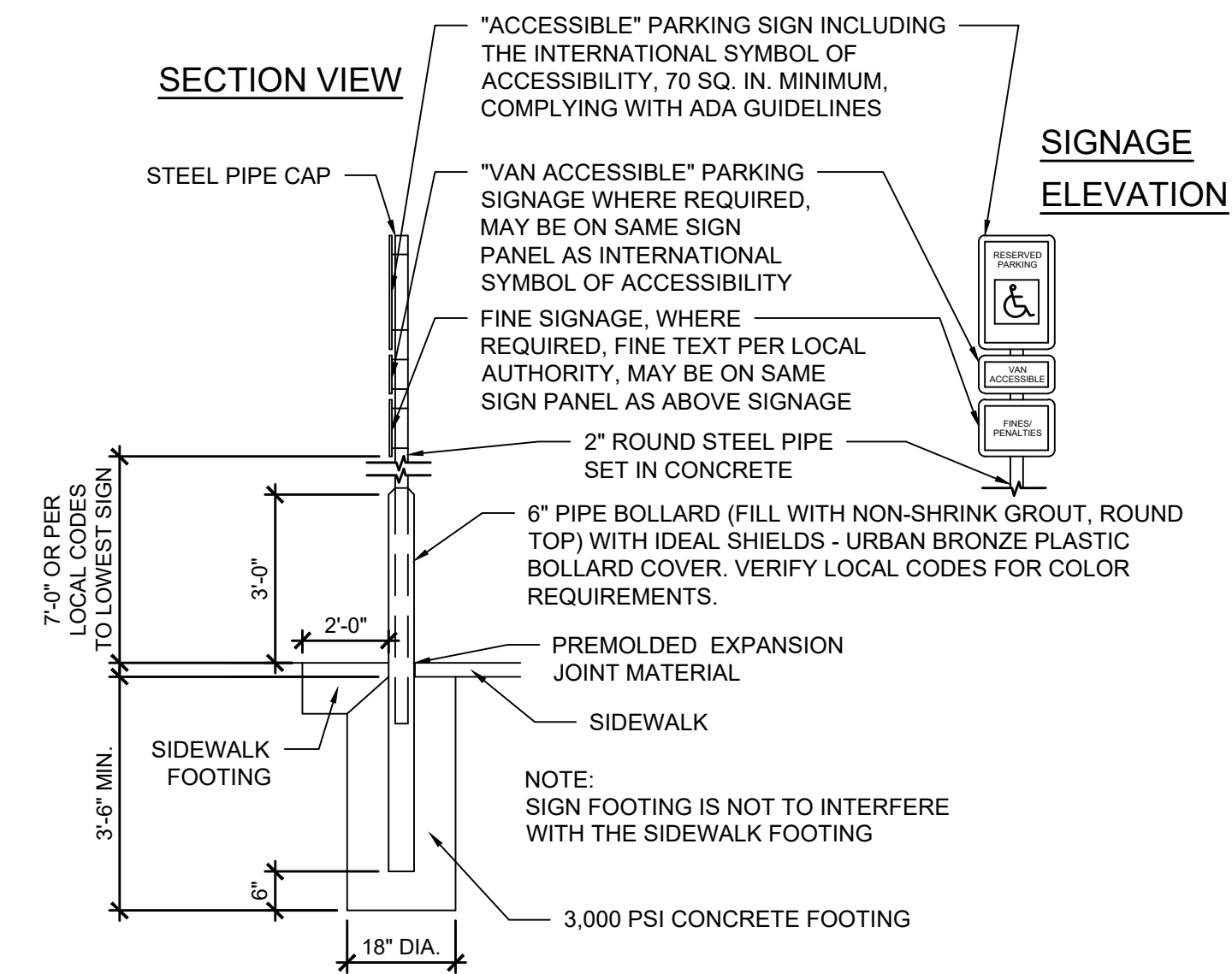
C CONCRETE WALK C7.0 N.T.S.



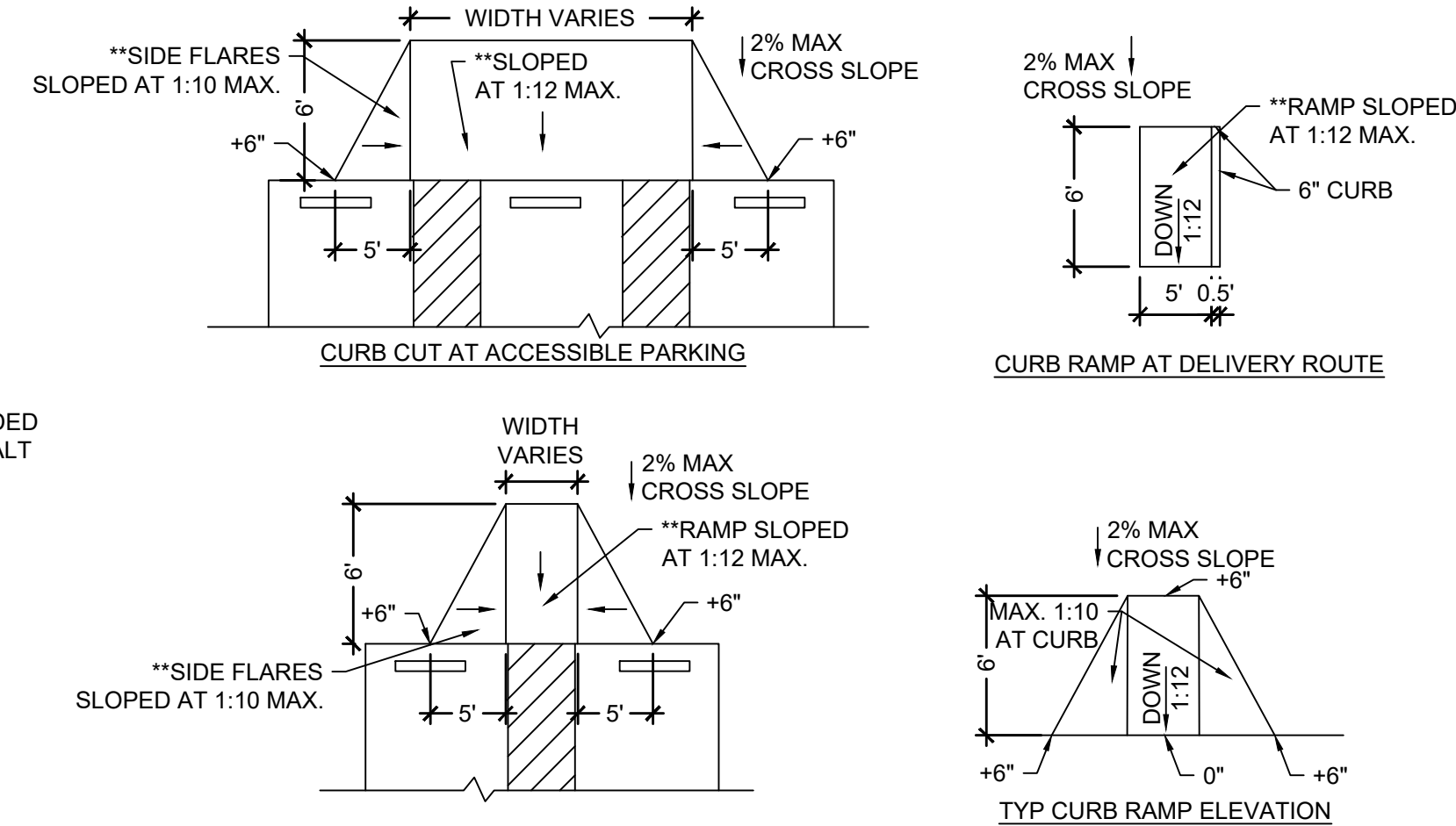
NOTES

- SUBGRADE COMPACTION PER SOILS REPORT.
- ALL SUB-GRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT MODOT SPECIFICATIONS.

G HEAVY DUTY CONCRETE PAVEMENT C7.0 N.T.S.



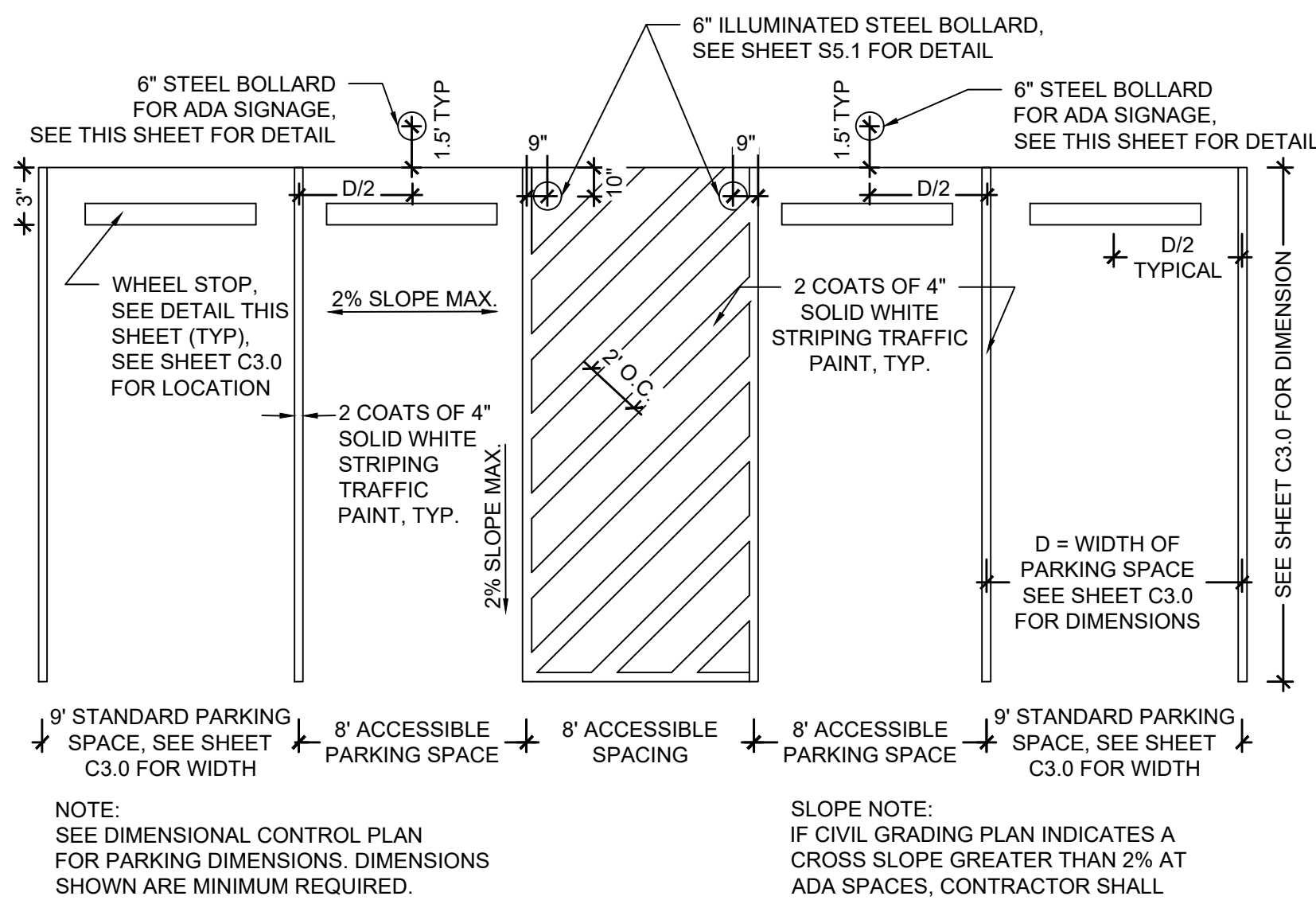
D POLE-MOUNTED HANDICAP PARKING SIGN C7.0 N.T.S.



NOTE:

- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES PER CURRENT ADA SPECIFICATIONS. COLOR: TERRA COTTA OR APPROVED COLOR BY OWNER.
- SLOPE NOTE: IF CIVIL GRADING PLAN INDICATES A CROSS SLOPE GREATER THAN 2% AT ADA SPACES, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER FOR CLARIFICATION AND PLAN REVISION.

H CURB RAMP C7.0 N.T.S.



J PARKING STRIPING C7.0 N.T.S.

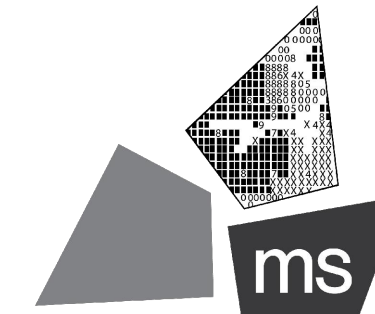


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDF APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE DETAILS

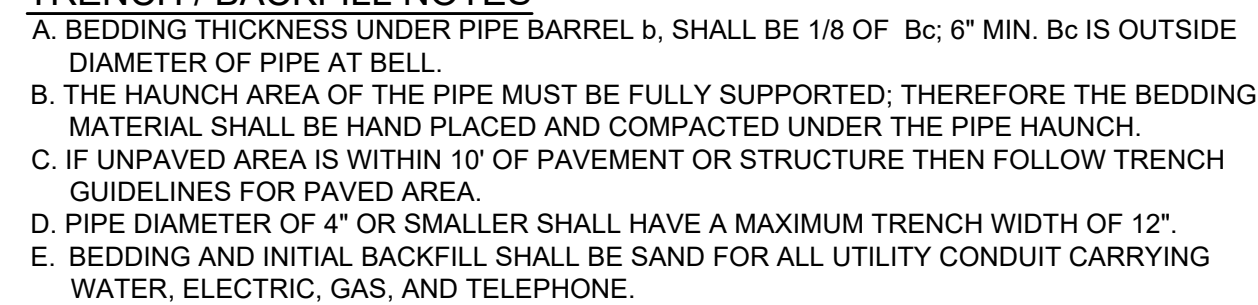
DRAWN BY: TDB

CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-7.0



A. CLEANOUT LOCATIONS INDICATED ON GRADING AND UTILITY PLANS AS "CO" FOR SINGLE CLEANOUT AND "DCO" FOR DOUBLE CLEAN OUT.

B. PROVIDE CLEANOUTS AS SPECIFIED:

1. ZURN Z-1400 CLEANOUTS IN NON-TRAFFIC AREAS AND SIDEWALKS
2. ZURN-1449 CLEANOUTS IN LANDSCAPED AREAS
3. ZURN Z-1400 HD CLEANOUTS IN TRAFFIC AREAS WITH A "SERVICE STATION" TYPE MANHOLE. OPW #104 A12 - DOVER CORP/OPW DIV.

A. THE INTENTION OF THE FINGER DRAIN SYSTEM IS TO PREVENT EXCESS WATER ACCUMULATION AT THE LOW POINTS IN THE GRAVEL BASE AT DRAINAGE STRUCTURES. SYSTEM TO BE INSTALLED TO ASSURE ADEQUATE DRAINAGE OF PAVEMENT BASE.

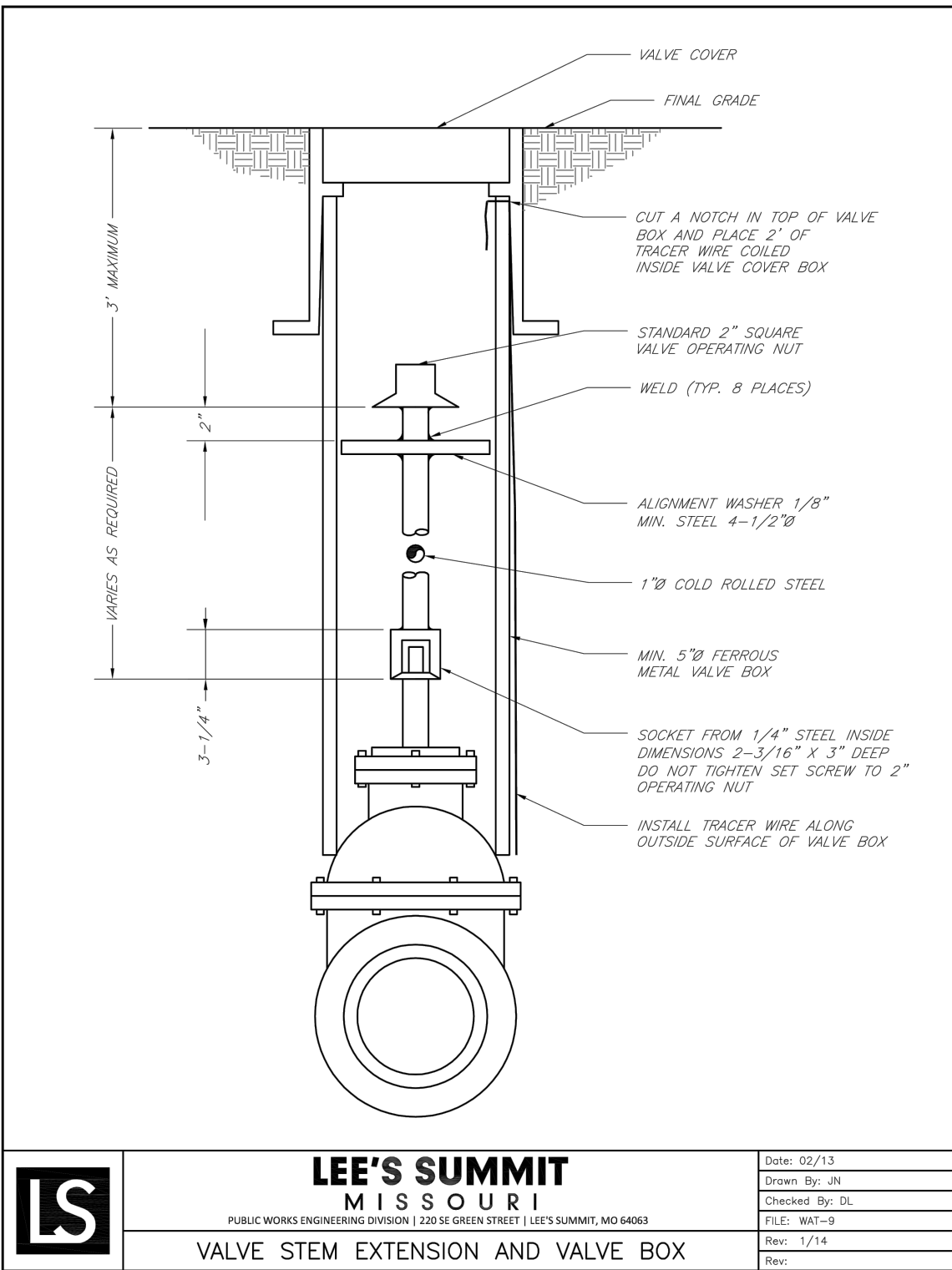
A. BACKFILL TO BE PLACED IN 8" LIFTS
B. NO ON SITE FILL WILL BE ALLOWED FOR UTILITY STRUCTURES.

STRAIGHT BACK CURB &
GUTTER
(TYPE CG-1)

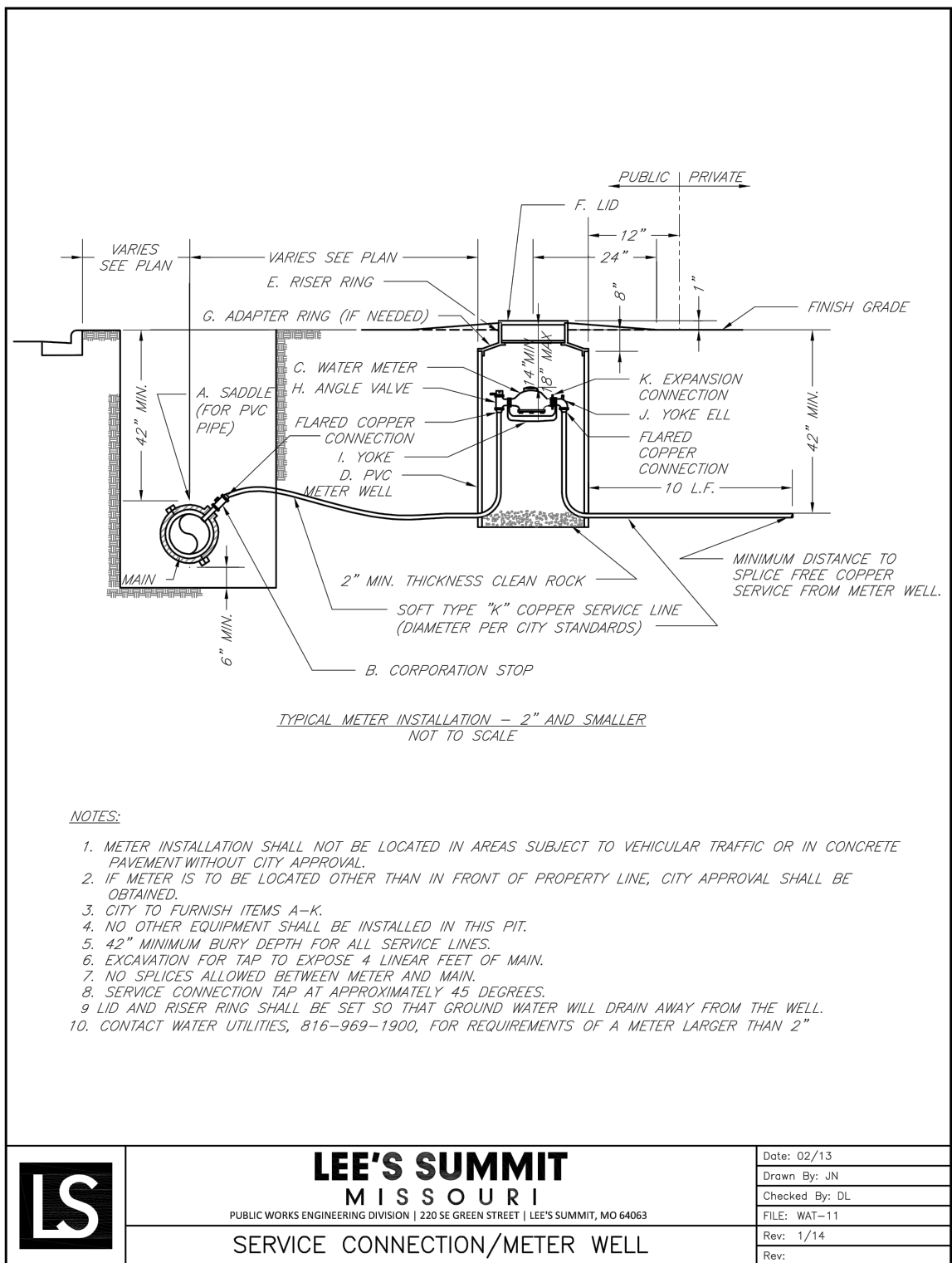
1. $\frac{3}{4}$ " ISOLATION JOINTS WITH 3" (2"-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMWB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
8. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

- 3. CURB RAMP SHALL NOT INCLUDE FLANGES, SHALL MATCH EXISTING SIDEWALK WITH AND OPENING SHALL BE AT LEAST 48" WIDE.
- 4. USE 18" LONG 4" EPOXY COAT THE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
- 5. ALL RAMPS, SIDEWALKS, SHARED-USE PATHS/SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAPPED WITH 4" COMPACTED DENSE GRADE AGGREGATE BASE.
- 6. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
- 7. ISOLATION JOINTS SHALL BE PLACED WHERE WALK BARS, DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
- 8. ADA MAXIMUM RAMP SLOPE = 0.33%
ADA MAXIMUM CROSS SLOPE = 2.00%
***ROADWAY EXCEPTION:** WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 0.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15' FEET TO MEET RAMP SLOPE REQUIREMENT. RAMP SLOPE SHALL BE 1.5% (1:6.67).
- 9. TURNING SPACES SHALL BE 1.5% (1:6.67) SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE MINIMUM 4'x4' TURNING AREA. TURNING SPACES, WITH A SIDEWALK CURBS, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURBS.
- 10. FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
- 11. RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK, ANY TRANSITION REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF EXISTING SIDEWALK. EXISTING SIDEWALK SHALL BE REMOVED TO A MINIMUM OF 1' FROM THE EDGE OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSION SHALL BE A 4'.
- 12. ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROGIM).

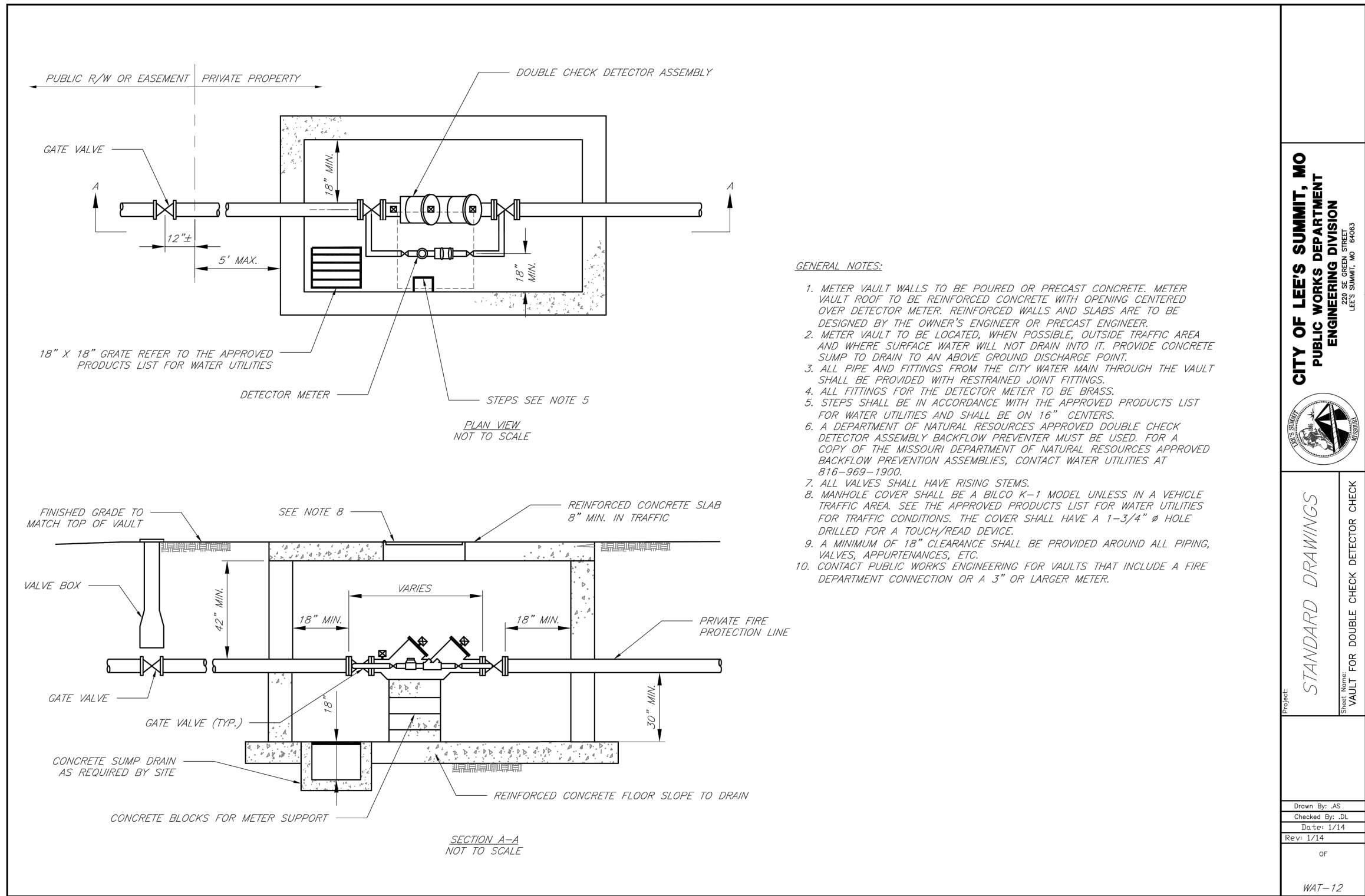
N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-7.2 Site Details.dwg, 3/28/2022 4:25 PM, bunnar, taylor



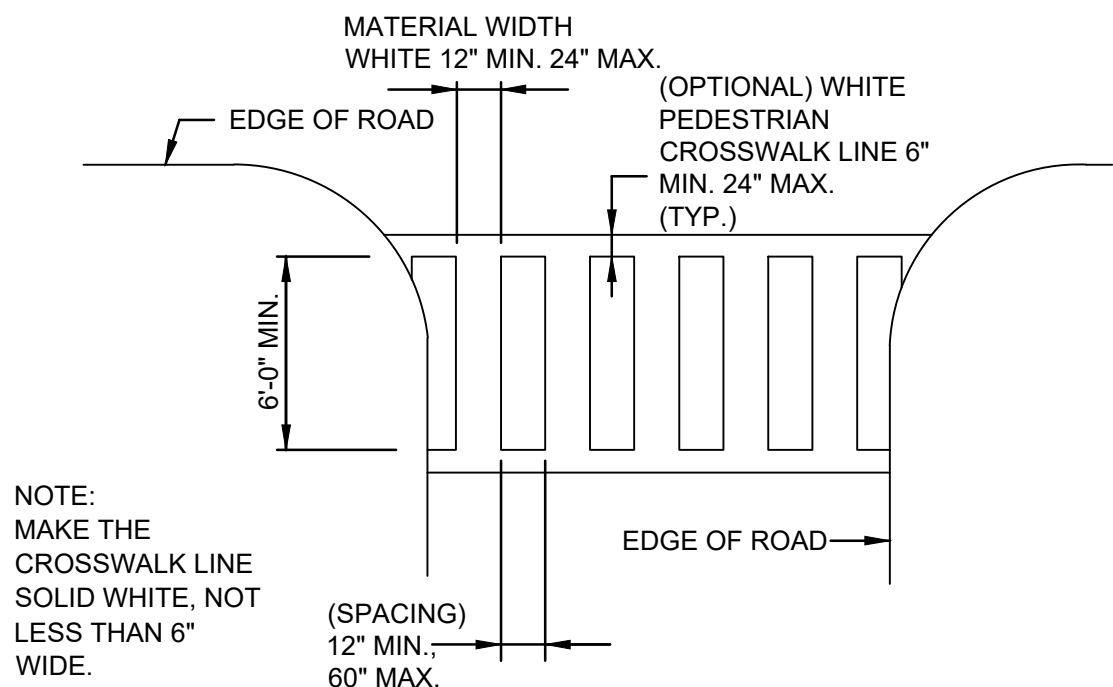
A VALVE STEM EXTENSION AND VALVE BOX
C7.2 N.T.S.



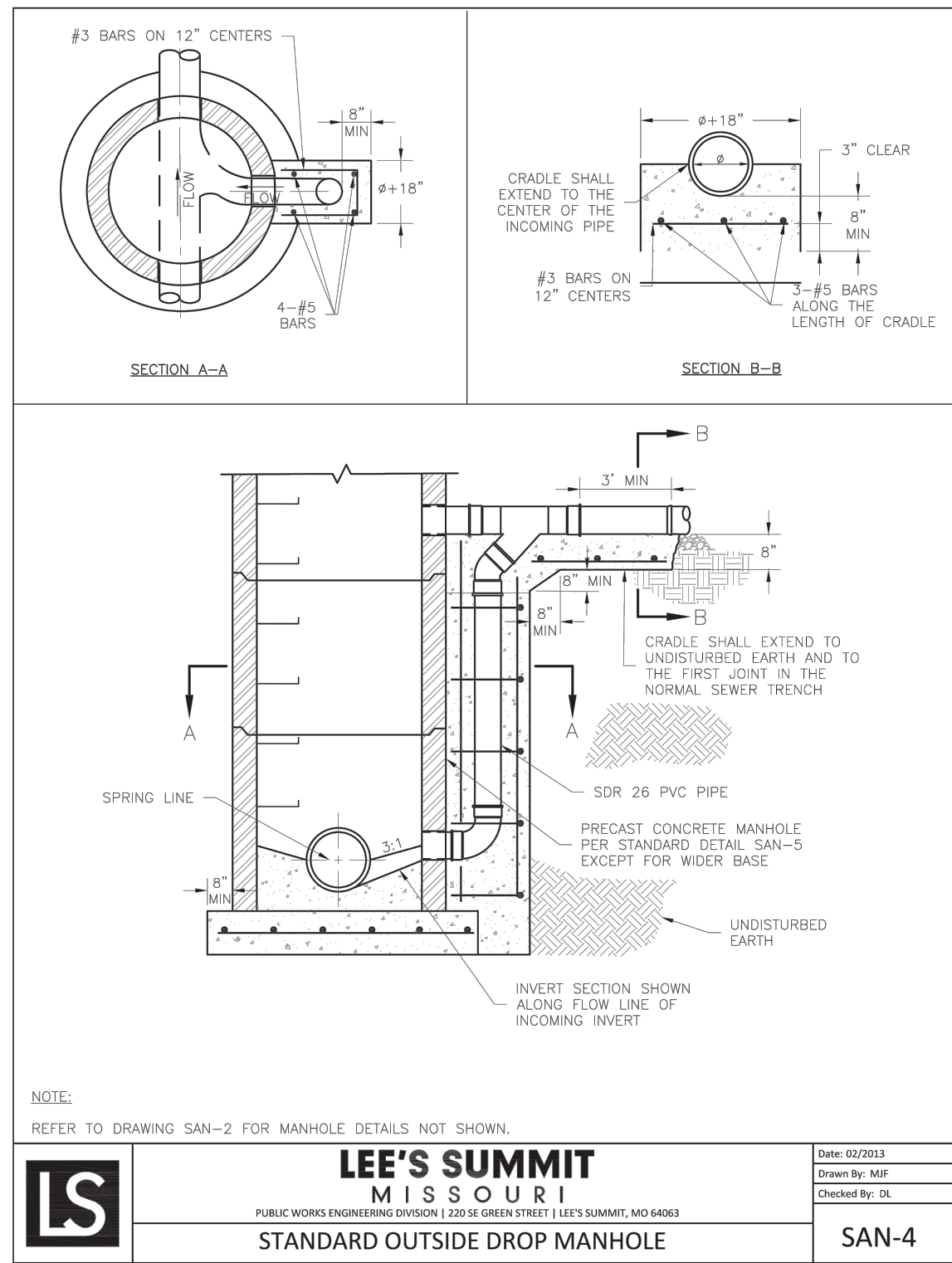
B SERVICE CONNECTION/METER WELL
C7.2 N.T.S.



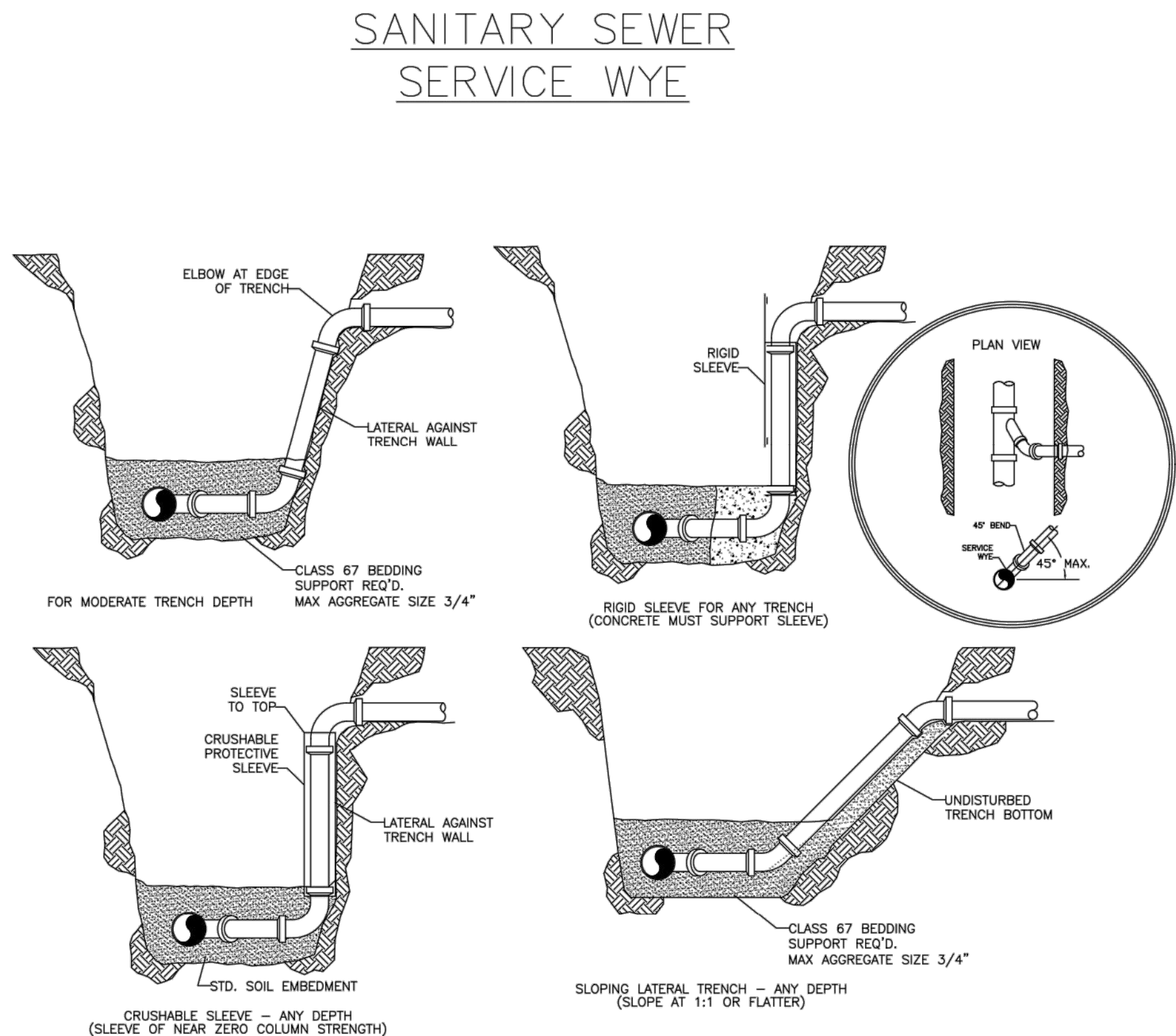
C VAULT FOR DOUBLE CHECK DETECTOR CHECK
C7.2 N.T.S.



D SIDEWALK CROSSING DETAIL
C7.2 N.T.S.



E STANDARD DROP MANHOLE DETAIL
C7.2 N.T.S.



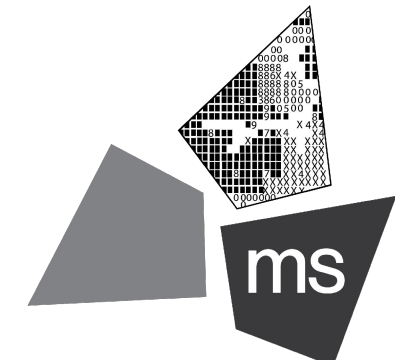
F SANITARY SERVICE WYE DETAIL
C7.2 N.T.S.



REVISION/DATE/DESCRIPTION	
SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT
PROPOSED PT20M BUILDING

NEQ HWY 150 & SW HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE
SITE DETAILS

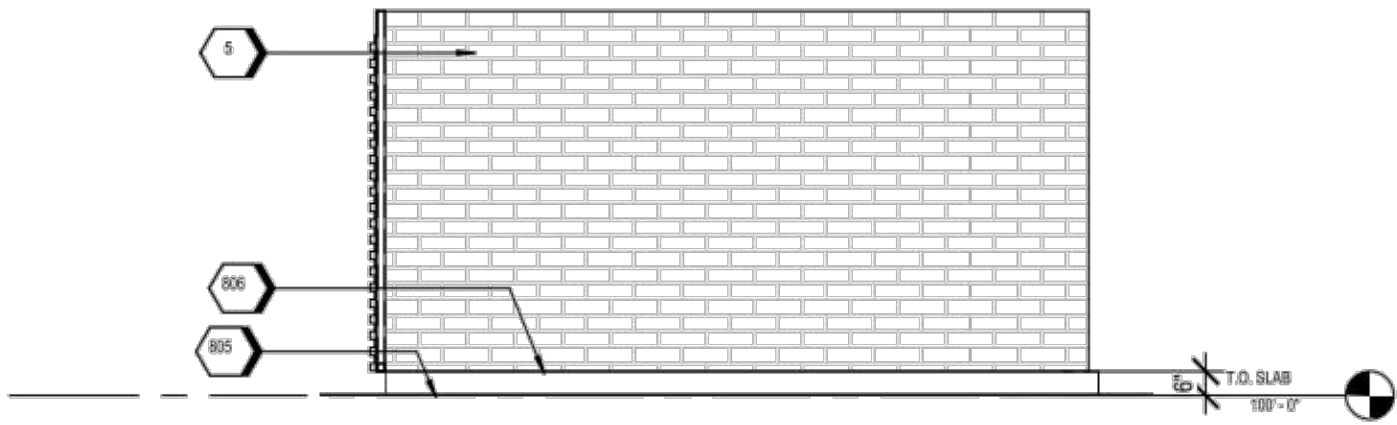
DRAWN BY: TDB
CHECKED BY: PJK
PROJECT NO: 40497-21
DRAWING

C-7.2

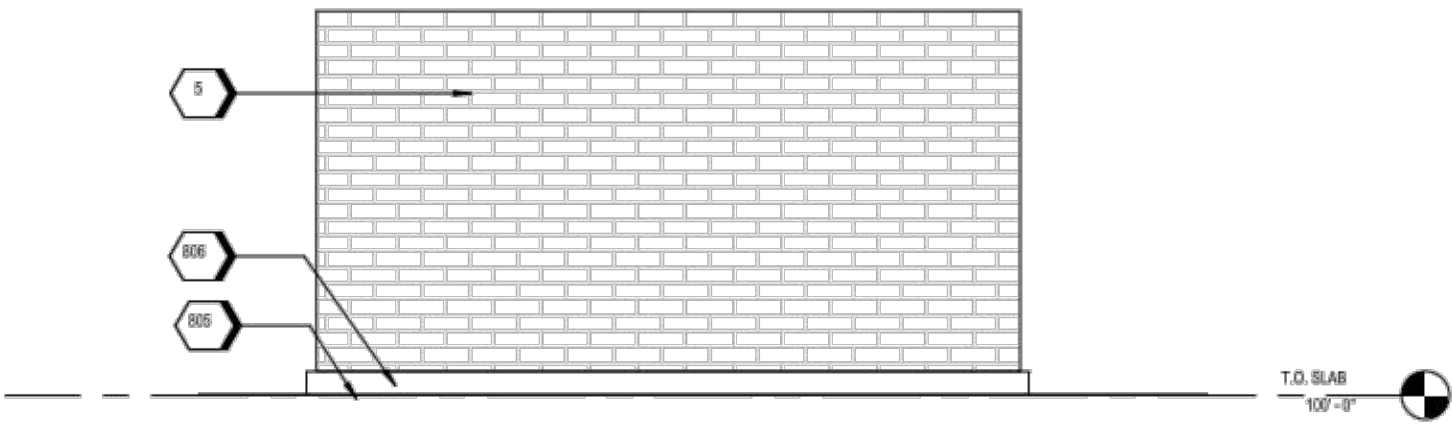
N:\03\6240497\01-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\IC-7.2 Site Details.dwg, 3/29/2022 3:37 PM, bunnor, taylor

KEYNOTES

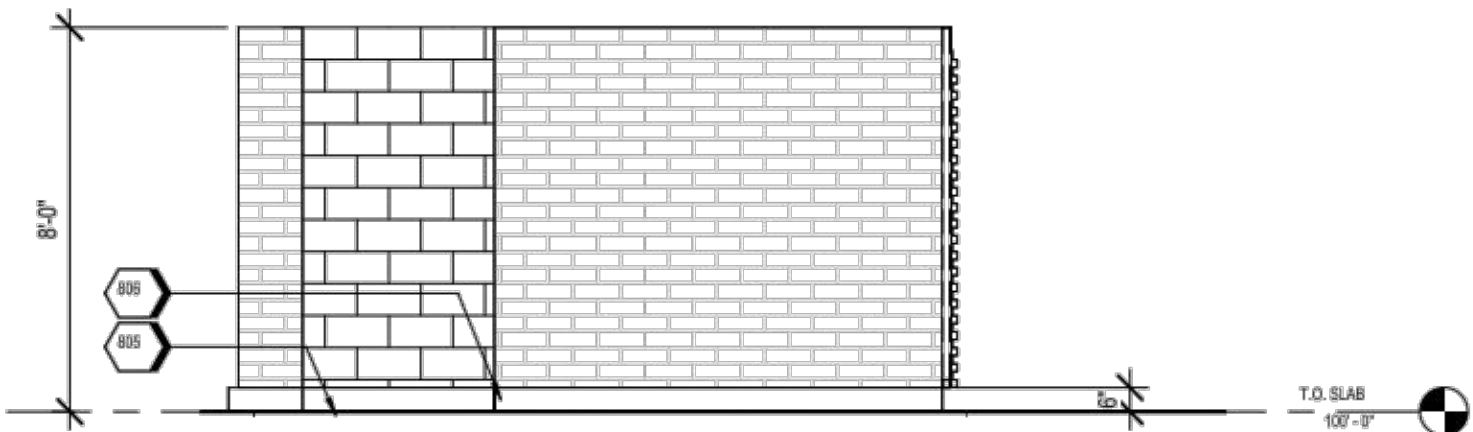
5	PAINTED CMU FOR WALLS OF ENCLOSURE.
801	PRE-FINISHED CORRUGATED METAL PANEL (MP-01)
802	STRUCTURAL STEEL, PAINT WELDED UNITS PT-5, RE: STRUCTURAL
804	PIPE BOLLARDS: IDEAL SHIELD: URBAN BRONZE, PANTONE 2336 XGC, RE D3/S5.1
805	FINISHED PAVEMENT, RE: CIVIL
806	CONCRETE CURB, RE: STRUCTURAL
807	WELD ANGLE STOPS TO CORNER POST, PAINT PT-5



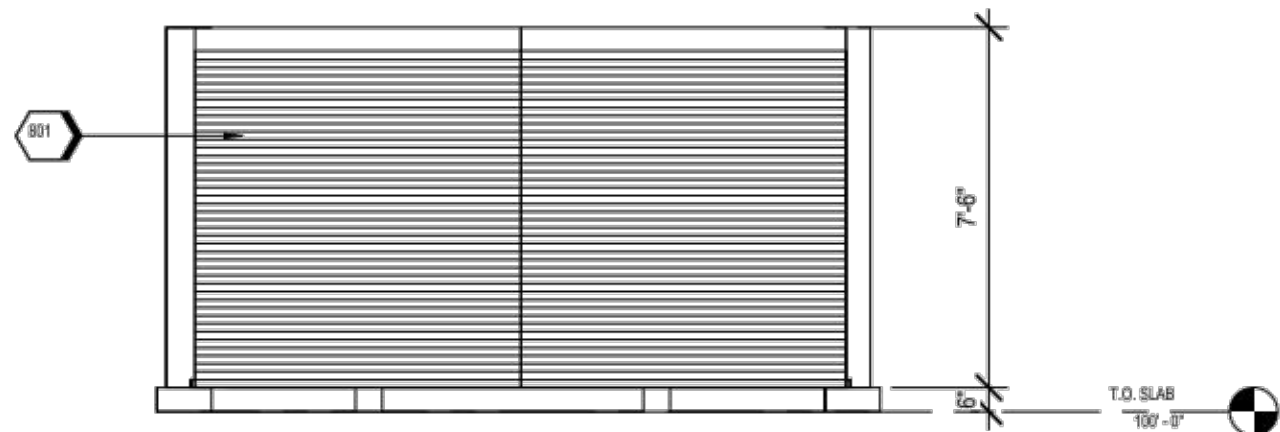
C2 DUMPSTER - ELEVATION @ EAST
SCALE 1/4" = 1'-0"



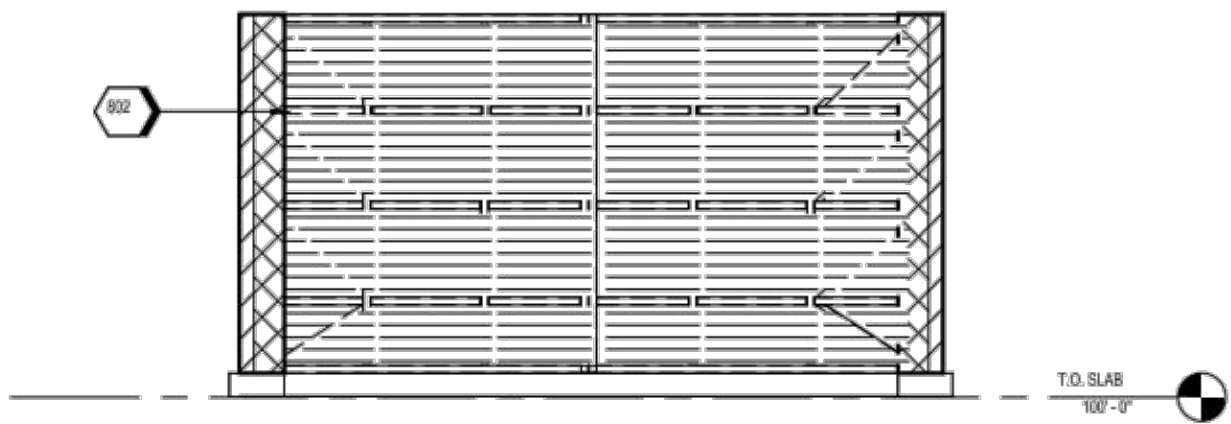
C1 DUMPSTER - ELEVATION @ REAR
SCALE 1/4" = 1'-0"



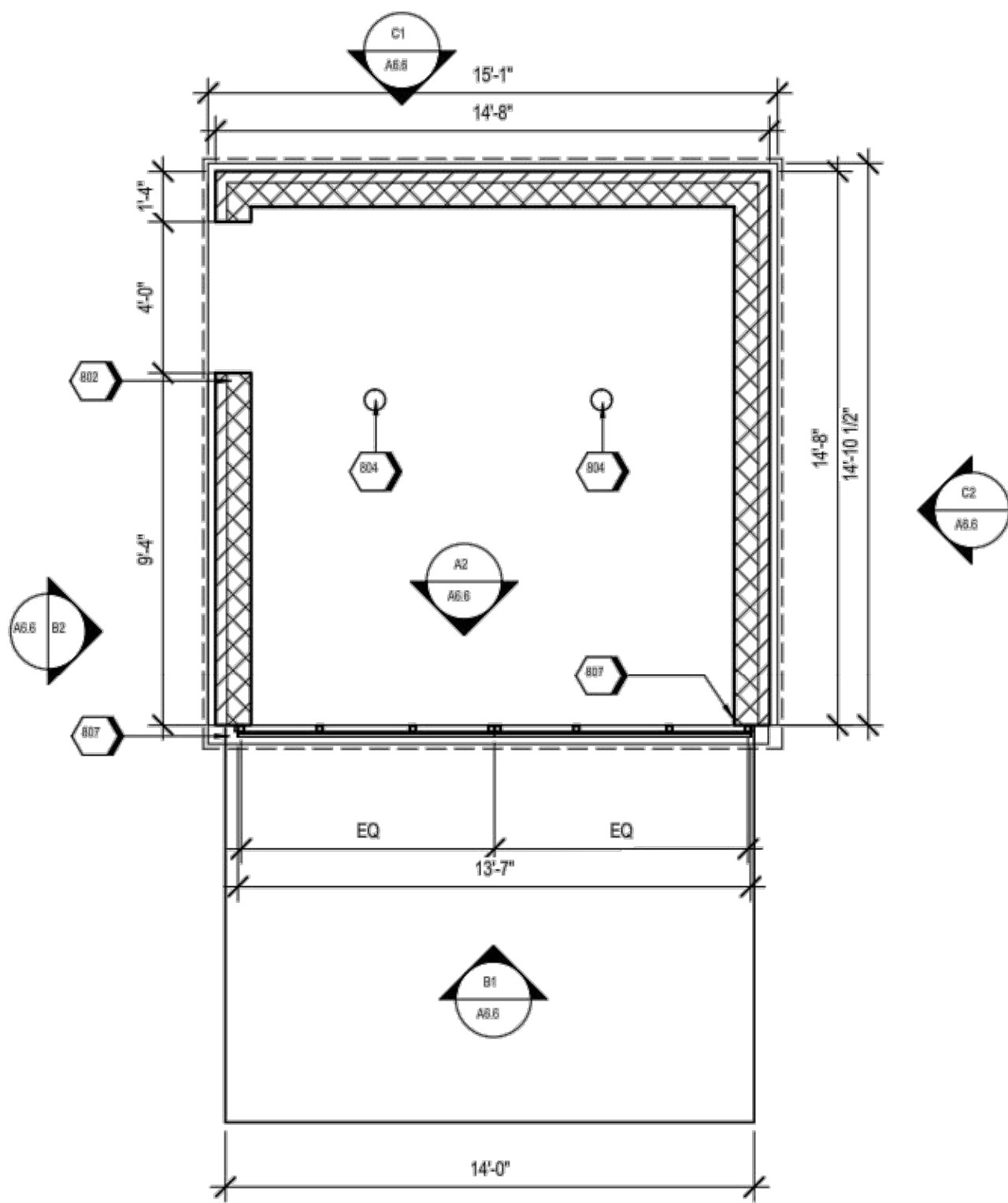
B2 DUMPSTER - ELEVATION @ SIDE ENTRY
SCALE 1/4" = 1'-0"



B1 DUMPSTER - ELEVATION @ GATE
SCALE 1/4" = 1'-0"



A2 DUMPSTER - GATE INSIDE FACE
SCALE 1/4" = 1'-0"



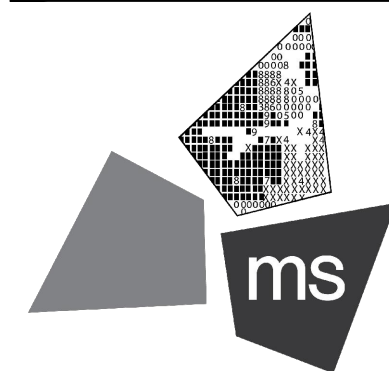
A1 DUMPSTER - ENLARGED
SCALE 1/4" = 1'-0"

REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE DETAILS

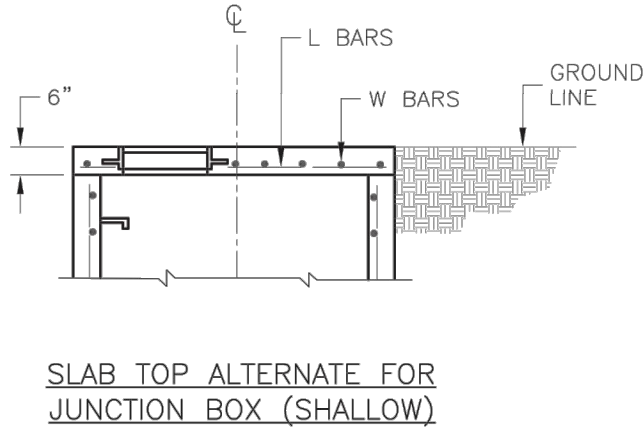
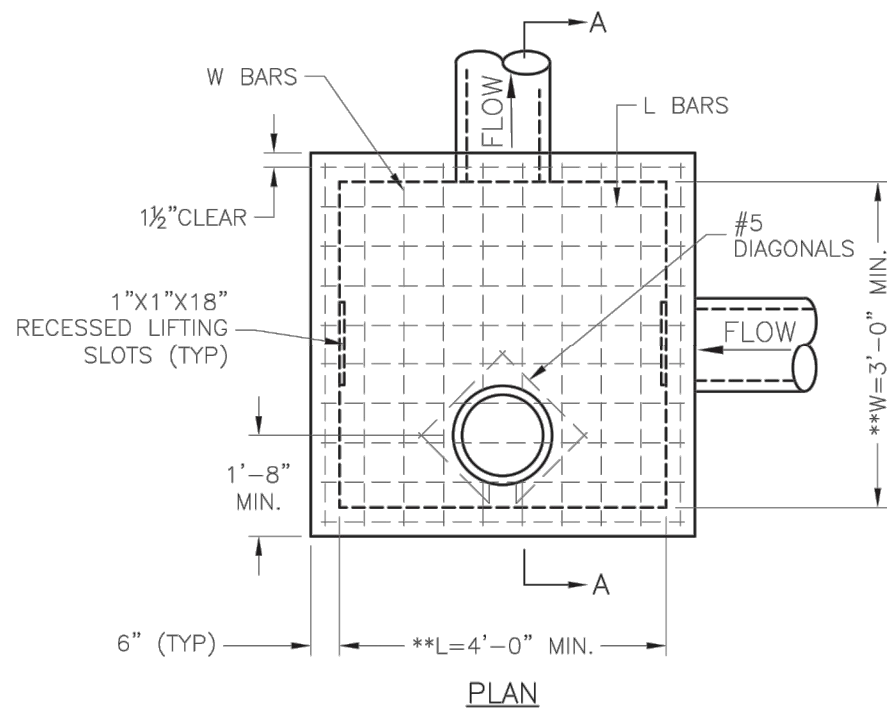


DRAWN BY:	TDB
CHECKED BY:	PJK
PROJECT NO:	40497-21

DRAWING

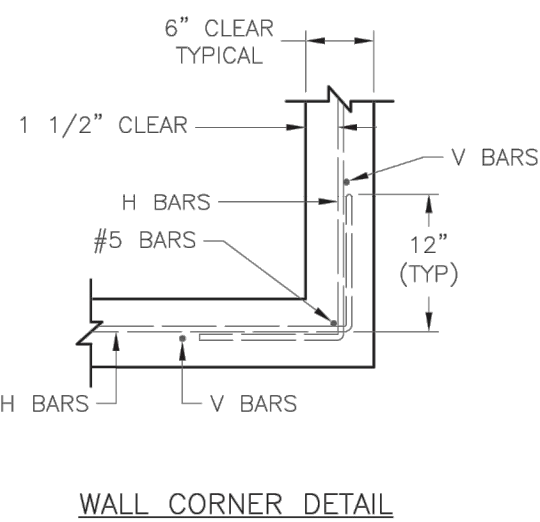
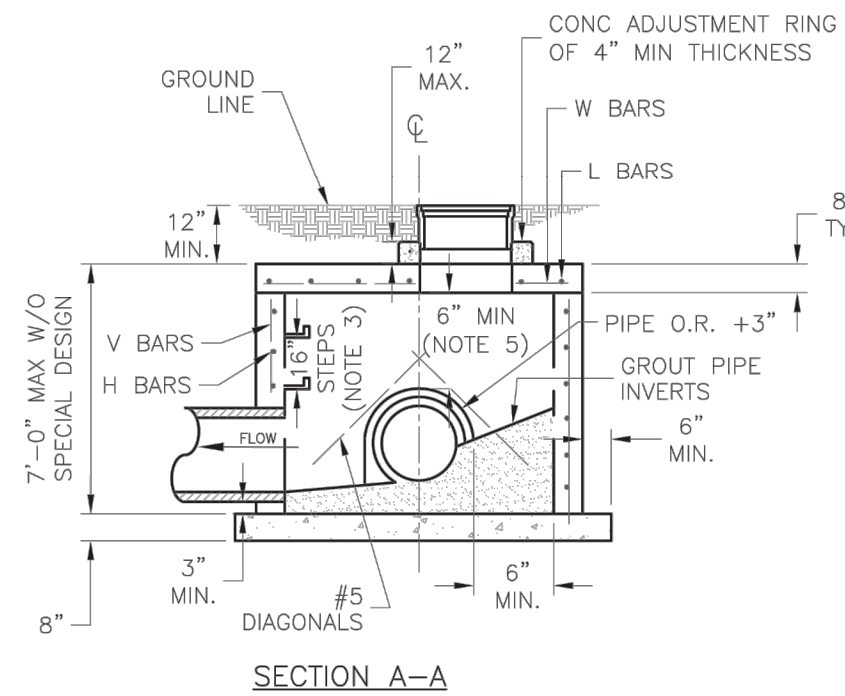
C-7.3

N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\IC-7.2 Site Details.dwg, 3/28/2022 4:25 PM, bunner, taylor



** INCREASE IN MULTIPLES OF 6"
(7'-0") MAX WITHOUT SPECIAL DESIGN.
(SEE PROJECT PLANS FOR DETAILS)

REINFORCING		
BARS	BAR SIZE	SPACING (IN.)
H	4	12
V	4	12
L	5	6
W	5	6



- GENERAL NOTES:
1. LOCATE RING AND COVER ON BLANK WALL.
 2. USE $\frac{3}{8}$ " CHAMFER STRIP OR $\frac{1}{2}$ " R EDGER TOOL ON ALL EXPOSED CONCRETE CORNERS.
 3. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 4' ON BLANK WALL IF POSSIBLE.
 4. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE AND THE MINIMUM DISTANCE BETWEEN BOXOUTS IS 6".
 5. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
 6. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
 7. REINFORCING OF COVERS IN STREETS REQUIRE SPECIAL DESIGN.
 8. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

A
C7.6 JUNCTION BOX DETAIL
N.T.S.

IS LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 1200 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
JUNCTION BOX DETAIL

Drawn By: MRP
Checked By: DH
Date: 06/2021
Proj. #:

STM-3

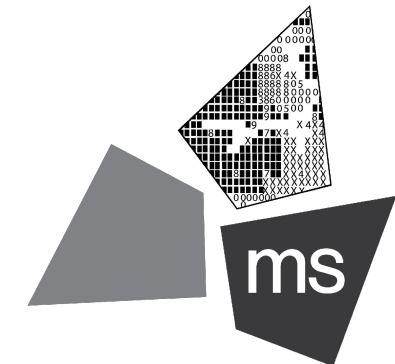


REVISION /DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M
BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

SITE DETAILS

DRAWN BY: TDB

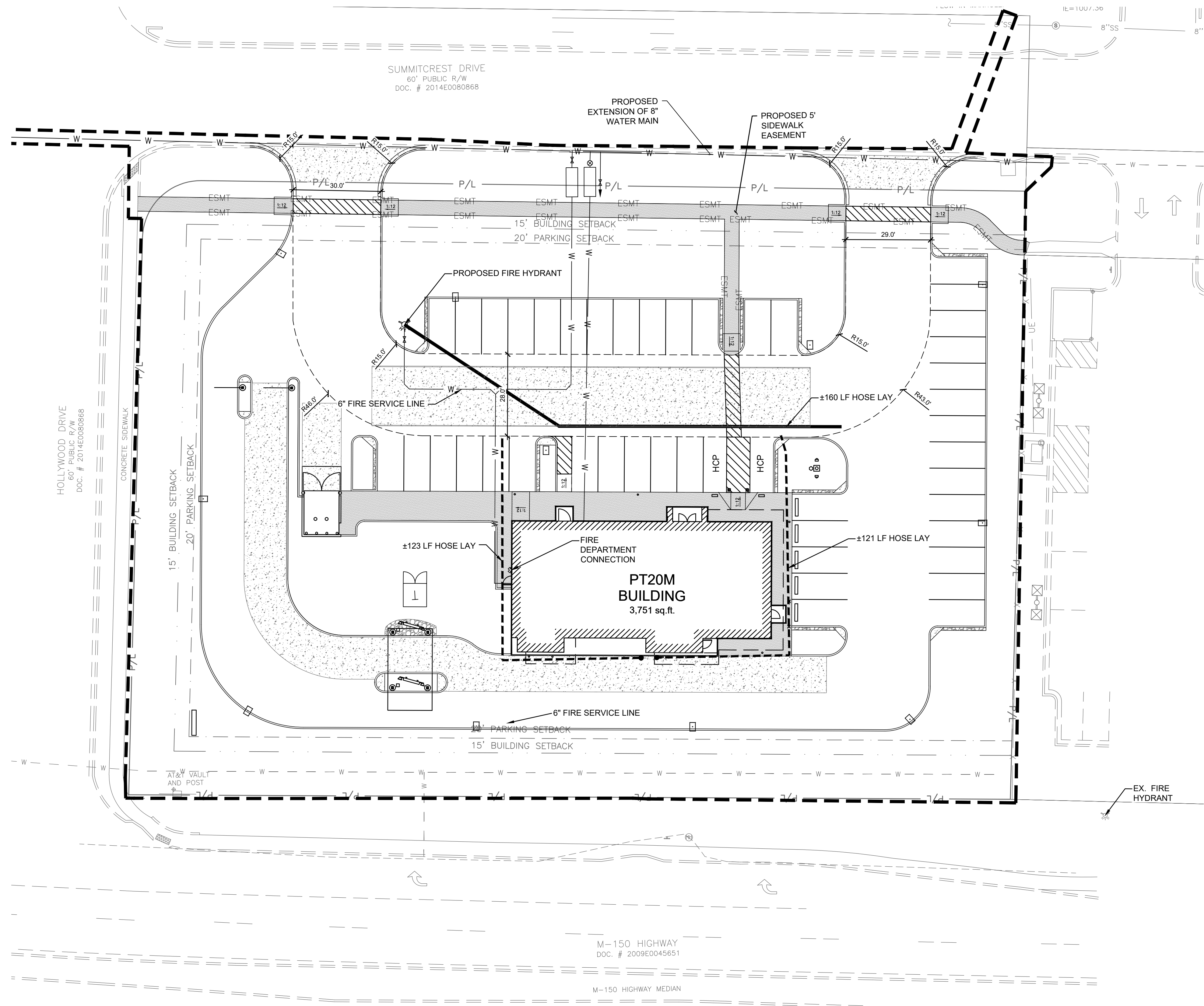
CHECKED BY: PJK

PROJECT NO: 40497-21

DRAWING

C-7.6

N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\C-8.0 Fire Protection Plan.dwg, 3/28/2022 4:26 PM, bunnar, taylor

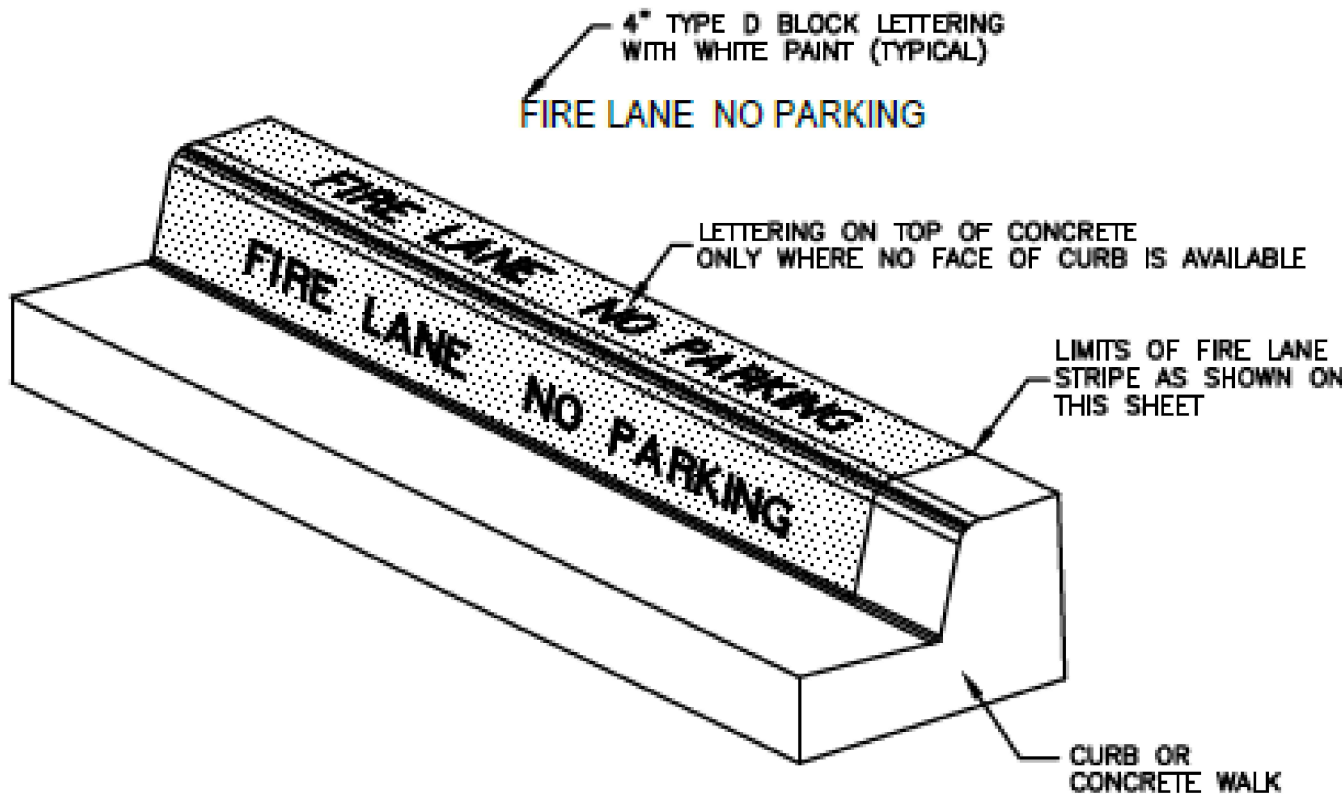


GENERAL NOTES:

A. DETAILS SHOWN ON THIS SHEET ARE SCHEMATIC. CONTRACTOR TO CONFIRM MARKINGS CONFORM TO ALL CODES AND REGULATIONS.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
— P/L —	—	PROPERTY LINE
⊗	⊗	FIRE HYDRANT
---	---	FIRE LANE
---	---	FIRE HOSE HAND LAY



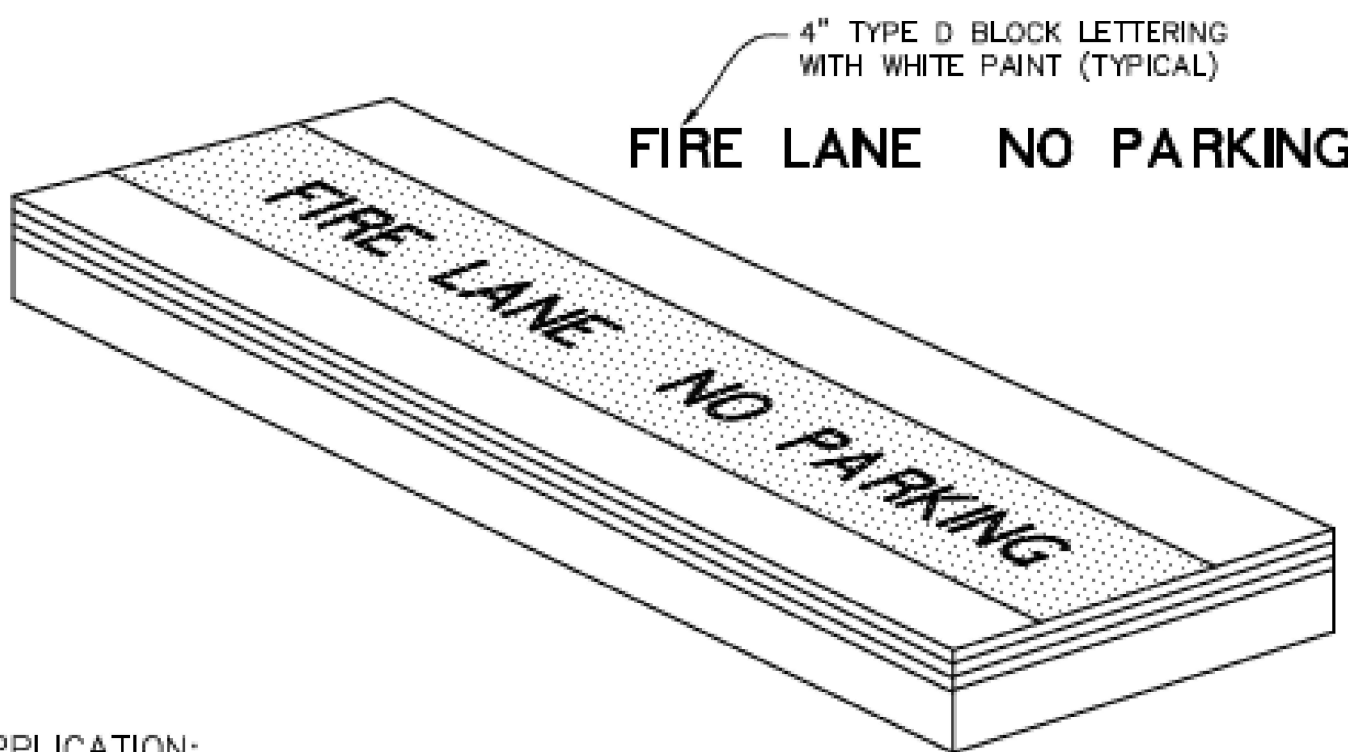
MARKINGS

APPLICATION:

- ON 6" CURB: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB PAINT WHITE LETTERS ON FACE OF CURB ONLY
- LOW CURB (HEADER CURB) OR CONCRETE PAVEMENT: PAINT RED LANE STRIPE AND WHITE LETTERS ON TOP OF CURB
- 15 FEET SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.

FIRE LANE STRIPING DETAIL

NOT-TO-SCALE

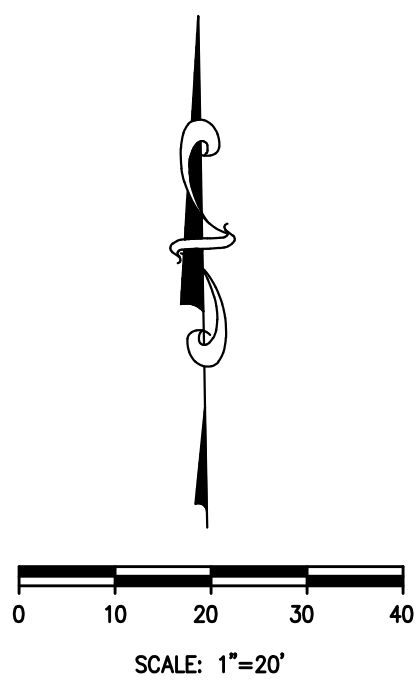


APPLICATION:

- CONTRACTOR SHALL COORDINATE WITH FIRE INSPECTOR FOR STRIPING LOCATIONS
- PAINT A 6" WIDE RED STRIPE LOCATED 3" OFF EDGE OF PAVEMENT WITH 4" WHITE LETTERING ON RED STRIPE.
- SEE SITE STRIPING AND DIMENSIONAL CONTROL PLAN FOR CURB TYPES & LOCATIONS.
- 15 FOOT SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.

TYPICAL FIRE LANE MARKING DETAIL

NOT TO SCALE

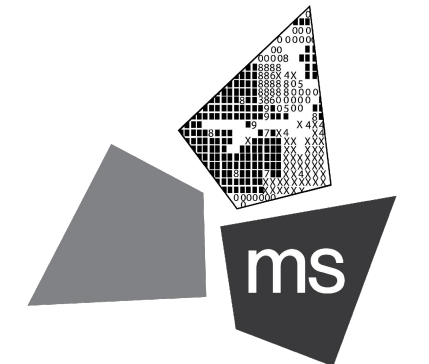


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS I	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

FIRE PROTECTION PLAN

DRAWN BY: TDB

CHECKED BY: PJK

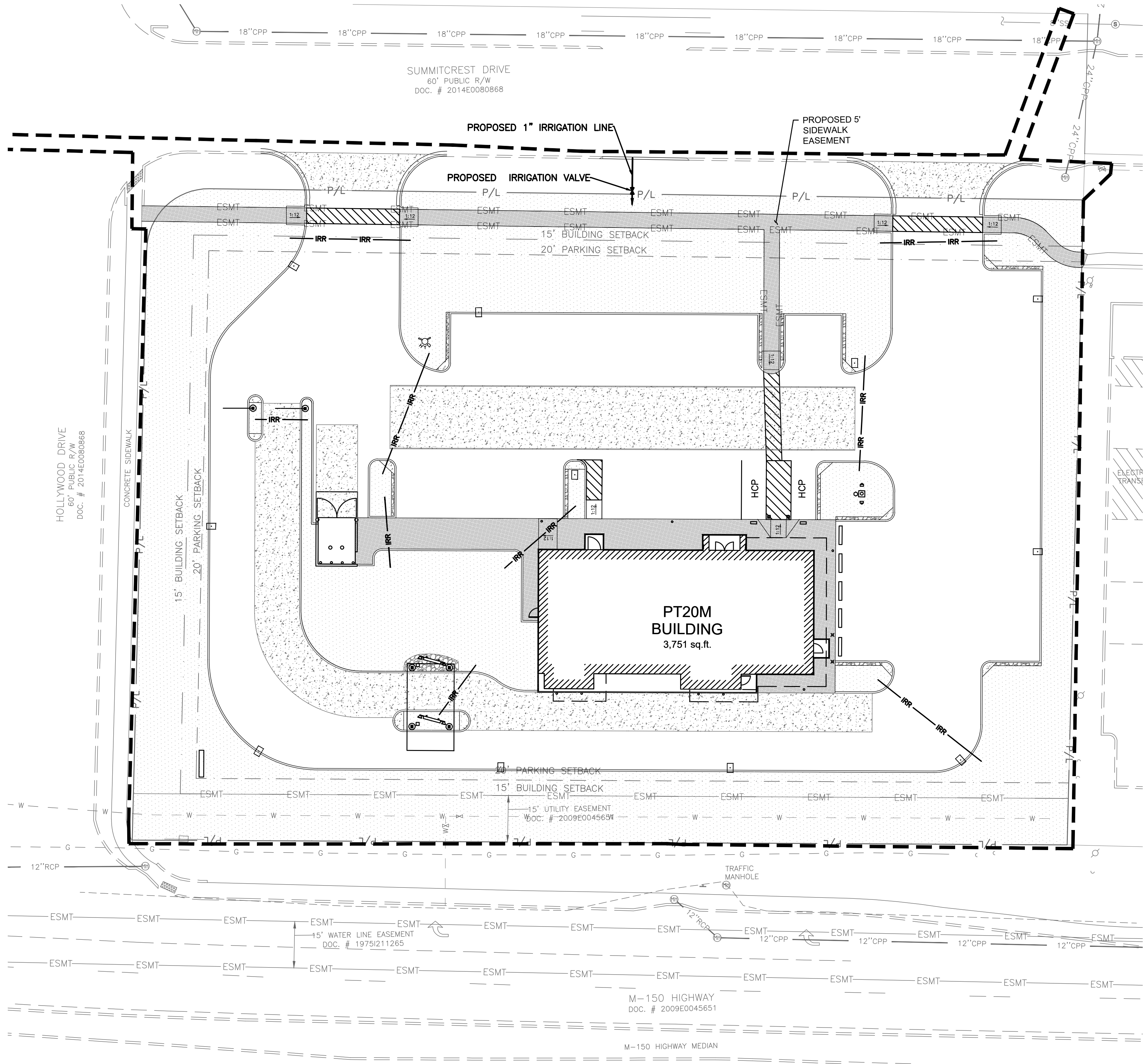
PROJECT NO: 40497-21

DRAWING

C-8.0



N:\0316240497\21-Lee's Summit, MO Market\Docs\CAD\CIVIL\SHEETS\1-1 Irrigation Plan.dwg, 3/29/2022 11:36 AM, bunner, taylor



LEGEND

PROPOSED	DESCRIPTION	PROPOSED	DESCRIPTION
	GRASS/LANDSCAPED AREA TO BE IRRIGATED		ROCK AREA
	CONCRETE SIDEWALK		HEAVY DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT		4" SCHEDULE 40 PVC SLEEVE FOR FUTURE IRRIGATION LINES. CONTRACTOR TO MARK END OF SLEEVES.

- THE LANDSCAPE IRRIGATION SYSTEM SHALL IRRIGATE ALL PROPOSED LANDSCAPE AND GRASS AREAS ON THE PROPERTY. THE DESIGN, PERMITTING, AND INSTALLATION OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE/IRRIGATION CONTRACTOR (CONTRACTOR).
- THE CONTRACTOR IS TO INSTALL EQUIPMENT NECESSARY TO PROVIDE A COMPLETE, FUNCTIONAL SYSTEM THAT IS IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- THE IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL, PRIOR TO CONSTRUCTION, WHICH WILL ILLUSTRATE TYPE OF HEADS, VALVES, CONTROLLER, PIPING AND ACCESSORIES. IRRIGATION HEADS, VALVES AND CONTROLLER ARE TO BE FROM A SINGLE MANUFACTURER. ALL EQUIPMENT MUST HAVE A MANUFACTURERS FIVE YEAR WARRANTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND FIELD ADJUSTMENT OF THE ABOVE ITEMS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER THE FINAL LOCATION OF THE CONTROL PANEL(S). NO ADDITIONAL COSTS SHALL BE ALLOWED FOR ANY ADJUSTMENTS MADE TO THE FINAL LOCATION OF ALL EQUIPMENT.
- THE IRRIGATION CONTRACTOR SHALL SUBMIT A WARRANTY POLICY TO THE OWNER WHICH SHALL COVER THE FUNCTION OF THE ENTIRE SYSTEM FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE SYSTEM BY THE OWNER.
- CONTRACTOR WILL VERIFY STATIC PRESSURE AND VOLUME OF SITE WATER SUPPLY AND ADJUST ENTIRE IRRIGATION SYSTEM ACCORDINGLY. EACH ZONE OF IRRIGATION SYSTEM IS TO BE DESIGNED WITH A MINIMUM OPERATING PRESSURE OF 45 PSI. IF THE PRESSURE IS BELOW 45 PSI, A PROPERLY SIZED BOOSTER PUMP WILL BE REQUIRED. AS PART OF THE SHOP DRAWINGS, THE IRRIGATION CONTRACTOR WILL PROVIDE CALCULATIONS SHOWING PRESSURE LOSS FROM THE POINT OF CONNECTION TO THE FURTHEST HEAD (AND FOR THE FURTHEST HEAD ON THE LARGEST ZONE). ADJUST DESIGN TO MEET AVAILABLE PRESSURES AND VOLUMES. A CURRENT STATIC PRESSURE READING AT THE POINT OF CONNECTION WAS NOT AVAILABLE PRIOR TO DESIGN.
- THE CONTRACTOR IS TO INSTALL ALL EQUIPMENT SUCH THAT THE BUILDING, PARKING AREAS, AND SIDEWALKS ARE NOT SPRAYED OR SUBJECT TO EXCESSIVE RUNOFF. FIELD ADJUSTMENTS MAY BE NECESSARY TO AVOID UNFORESEEN OBSTACLES AND SIMPLIFY INSTALLATION. IRRIGATION SYSTEM ACCESSORIES SUCH AS QUICK COUPLER VALVES, ISOLATION VALVES, AND MANUAL DRAIN VALVES ARE TO BE LOCATED AS NECESSARY TO COMPLETE THE SYSTEM.
- THE IRRIGATION CONTROLLER IS TO BE A HYBRID SOLID STATE TYPE WITH PLASTIC LOCKABLE CABINET. CONTROLLER MUST HAVE DUAL PROGRAMMING FOR TURF SPRAY ZONES AND SHRUB SPRAY ZONES AND BE CAPABLE OF OPERATING MULTIPLE VALVES PER STATION.
- PROVIDE DESIGNATED PVC SLEEVES FOR IRRIGATION PIPES AND WIRING THAT CROSSES UNDER WALKS, STREETS AND CONCRETE PADS. COMBINE PIPING WHENEVER POSSIBLE TO REDUCE QUANTITY OF SLEEVING MATERIALS. WHEN INSTALLING IRRIGATION PIPE ALONG CURBS OR IN ISLANDS, PLACE PIPE AS CLOSE TO CURB AS POSSIBLE TO ALLOW FOR PLANTING OF FUTURE TREES AND SHRUBS.

PART 1 GENERAL

1.1 REFERENCES

- ASTM INTERNATIONAL:
 - ASTM B32 - STANDARD SPECIFICATION FOR SOLDER METAL.
 - ASTM B42 - STANDARD SPECIFICATION FOR SEAMLESS COPPER PIPE, STANDARD SIZES.
 - ASTM B88 - STANDARD SPECIFICATION FOR SEAMLESS COPPER WATER TUBE.
 - ASTM D2235 - STANDARD SPECIFICATION FOR SOLVENT CEMENT FOR ACRYLONITRILE-BUTADIENE-STYRENE (ABS) PLASTIC PIPE AND FITTINGS.
 - ASTM D2241 - STANDARD SPECIFICATION FOR POLYETHYLENE (PE) PLASTIC PIPE (SDR-PR) BASED ON CONTROLLED INSIDE DIAMETER.
 - ASTM D2564 - STANDARD SPECIFICATION FOR SOLVENT CEMENTS FOR POLY (VINYL CHLORIDE) (PVC) PLASTIC PIPING SYSTEMS.
- NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION:
 - NEMA 250 - ENCLOSURES FOR ELECTRICAL EQUIPMENT (1000 VOLTS MAXIMUM).

1.2 SYSTEM DESCRIPTION

- HYBRID SOLID STATE CONTROLLED UNDERGROUND IRRIGATION SYSTEM, WITH PRESSURE BLOW-OUT DRAIN.
- SOURCE POWER: 120 VOLT.

1.3 SUBMITTALS

- SHOP DRAWINGS: INDICATE PIPING LAYOUT TO WATER SOURCE, LOCATION OF SLEEVES UNDER PAVEMENT, LOCATION AND COVERAGE OF SPRINKLER HEADS, COMPONENTS, PLANT AND LANDSCAPING FEATURES, SITE STRUCTURES, SCHEDULE OF OUTLETS AND FITTINGS TO BE USED.
- PRODUCT DATA: SUBMIT COMPONENT AND CONTROL SYSTEM AND WIRING DIAGRAMS.
- CLOSEOUT SUBMITTALS
 - PROJECT RECORD DOCUMENTS: RECORD ACTUAL LOCATIONS OF CONCEALED COMPONENTS BY NORthing AND EASTING.
 - OPERATION AND MAINTENANCE DATA TO OWNER:
 - SUBMIT INSTRUCTIONS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVATION AND SHUTDOWN, AND MANUFACTURER'S PARTS CATALOG.
 - SUBMIT SCHEDULE INDICATING LENGTH OF TIME EACH VALVE IS REQUIRED TO BE OPEN TO DELIVER DETERMINED AMOUNT OF WATER.

1.5 QUALITY ASSURANCE

- PERFORM WORK IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.

1.6 COORDINATION

- COORDINATE THE WORK WITH SITE BACKFILLING, PAVING, LANDSCAPE GRADING AND DELIVERY OF PLANT LIFE.

PART 2 PRODUCTS

2.1 PIPE MATERIALS

- PVC PIPE: ASTM D2241, SDR 26; 160 PSI SOLVENT WELDED SOCKETS.
- HDPE PIPE: ASTM D-2239, SDR-15, 100 PSI.
- COPPER TUBING: ASTM B88 TYPE K.
- FITTINGS: TYPE AND STYLE OF CONNECTION TO MATCH PIPE.
- SOLVENT CEMENT: [ASTM D2564 FOR PVC PIPE AND FITTINGS] [ASTM D2235 FOR ABS PIPE AND FITTINGS].
- SLEEVE MATERIAL: PVC SCH 40.

2.2 OUTLETS

- OUTLETS: BRASS CONSTRUCTION.
- ROTARY TYPE SPRINKLER HEAD: POP-UP TYPE WITH SCREENS; FULLY ADJUSTABLE FOR FLOW AND PRESSURE; WITH LETTER OR SYMBOL DESIGNATING DEGREE OF ARC AND ARROW INDICATING CENTER OF SPRAY PATTERN.
- SPRAY TYPE SPRINKLER HEAD: POP-UP HEAD WITH FULL CIRCLE PATTERN.
- QUICK COUPLER: GALVANIZED.

2.3 MANUAL VALVES

- VALVES: HIGHLY CORROSION RESISTANT CONSTRUCTION (BRASS, STAINLESS STEEL, ETC.). ALL VALVES SHALL BE ACCESSIBLE FROM ABOVE THROUGH A VALVE BOX.
- BACKFLOW PREVENTERS: BRONZE BODY CONSTRUCTION, REDUCED PRESSURE TYPE OR AS DESIGNATED BY LOCAL PLUMBING CODE REQUIREMENTS.
- VALVE BOX AND COVER: HDPE RESIN THAT IS RESISTANT TO UV LIGHT, CORROSION, MOISTURE, AND CHEMICALS.

2.4 CONTROLS AND CONTROL VALVES

- CONTROLLER: MUST WORK WITH MANUFACTURER FLOW SENSOR, RAIN SENSOR, AND ***** [OR] *****
- CONTROLLER: AUTOMATIC CONTROLLER, MICROPROCESSOR SOLID STATE CONTROL WITH VISIBLE READOUT DISPLAY, TEMPORARY OVERRIDE FEATURE TO BYPASS CYCLE FOR INCLEMENT WEATHER, PROGRAMMABLE FOR 7 DAYS IN QUARTER HOUR INCREMENTS, WITH AUTOMATIC START AND SHUTDOWN.
- CONTROLLER HOUSING: NEMA 250 TYPE 3R; WEATHERPROOF, WATERTIGHT, WITH LOCKABLE ACCESS DOOR.
- VALVES: HYDRAULIC; NORMALLY CLOSED, INCLUDING REQUIRED FITTINGS AND ACCESSORIES.
- WIRE CONDUCTORS: COPPER CONDUCTOR, DIRECT BURIAL TYPE.
- RAIN SENSORS: PER SELECTED MANUFACTURER.

2.5 ELECTRICAL CHARACTERISTICS AND COMPONENTS

- ELECTRICAL CHARACTERISTICS:
 - 120 VOLTS, SINGLE PHASE, 60 HZ.
- DISCONNECT SWITCH: FACTORY MOUNT DISCONNECT SWITCH IN CONTROL PANEL.

PART 3 EXECUTION

3.1 EXAMINATION

- VERIFY LOCATION OF EXISTING UTILITIES.
- VERIFY REQUIRED UTILITIES ARE AVAILABLE, IN PROPER LOCATION, AND READY FOR USE.

3.2 PREPARATION

- ROUTE PIPING TO AVOID PLANTS, GROUND COVER, AND STRUCTURES.
- LAYOUT AND STAKE LOCATIONS OF SYSTEM COMPONENTS.
- REVIEW LAYOUT REQUIREMENTS WITH OTHER AFFECTED WORK, COORDINATE LOCATIONS OF SLEEVES UNDER PAVING TO ACCOMMODATE SYSTEM.

3.3 TRENCHING

- TRENCH SIZE:
 - MINIMUM COVER OVER INSTALLED SUPPLY PIPING: 18 INCHES.
 - MINIMUM COVER OVER INSTALLED BRANCH PIPING: 15 INCHES.
- TRENCH TO ACCOMMODATE GRADE CHANGES AND SLOPE TO DRAIN(S).
- MAINTAIN TRENCHES FREE OF DEBRIS, MATERIAL, OR OBSTRUCTIONS DAMAGING TO PIPE.

3.4 INSTALLATION

- CONNECT TO UTILITIES.
- SET OUTLETS AND BOX COVERS AT FINISH GRADE ELEVATIONS.
- PROVIDE FOR THERMAL MOVEMENT OF COMPONENTS IN SYSTEM.
- SLOPE PIPING FOR SELF DRAINAGE TO DAYLIGHT.
- USE THREADED NIPPLES FOR RISERS TO EACH OUTLET.
- INSTALL CONTROL WIRING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION PRACTICES. PROVIDE 10 INCH EXPANSION COIL AT EACH CONTROL VALVE, AND AT 100 FT INTERVALS. BURY WIRE BESIDE PIPE. MARK VALVES WITH NEOPRENE VALVE MARKERS CONTAINING LOCKING DEVICE. SET VALVE MARKERS IN VALVE BOXES SET TO FINISH GRADE.
- AFTER PIPING IS INSTALLED, BUT BEFORE OUTLETS ARE INSTALLED AND BACKFILLING COMMENCES, OPEN VALVES AND FLUSH SYSTEM WITH FULL HEAD OF WATER.

3.5 BACKFILLING

- BACKFILL WITH COMPACTED BACKFILL IN ACCORDANCE WITH DETAIL A ON SHEET C-7.1.
- INSTALL 3 INCH SAND BEDDING BELOW AND COVER OVER PIPING.
- PROTECT PIPING FROM DISPLACEMENT.

3.6 FIELD QUALITY CONTROL

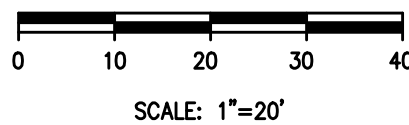
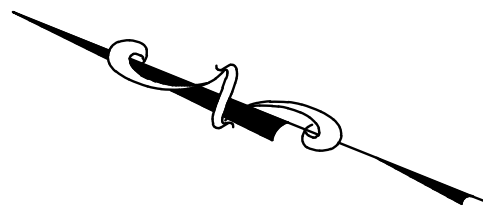
- PRIOR TO BACKFILLING, TEST SYSTEM FOR LEAKAGE FOR WHOLE SYSTEM TO MAINTAIN 100 PSI PRESSURE FOR ONE HOUR.
- SYSTEM IS ACCEPTABLE WHEN NO LEAKAGE OR LOSS OF PRESSURE OCCURS DURING TEST PERIOD.
- PROVIDE ONE COMPLETE SPRING SEASON START-UP AND FALL SEASON SHUTDOWN.

3.7 ADJUSTING

- ADJUST CONTROL SYSTEM TO ACHIEVE TIME CYCLES REQUIRED
- ADJUST HEAD TYPES FOR FULL WATER COVERAGE AS DIRECTED BY OWNER'S REPRESENTATIVE.

3.8 DEMONSTRATION AND TRAINING

- INSTRUCT OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.

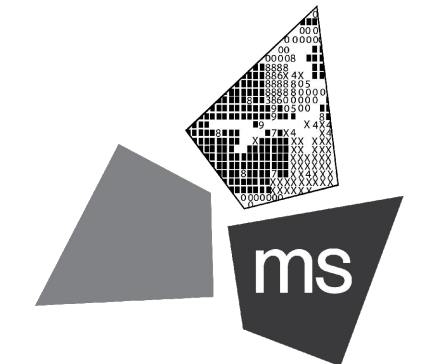


REVISION/DATE/DESCRIPTION

SIR UPDATES	09/13/21
60% SET	01/24/22
PDP APPLICATION TO CITY	02/24/22
RESPONSE TO CITY COMMENTS 1	03/29/22

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

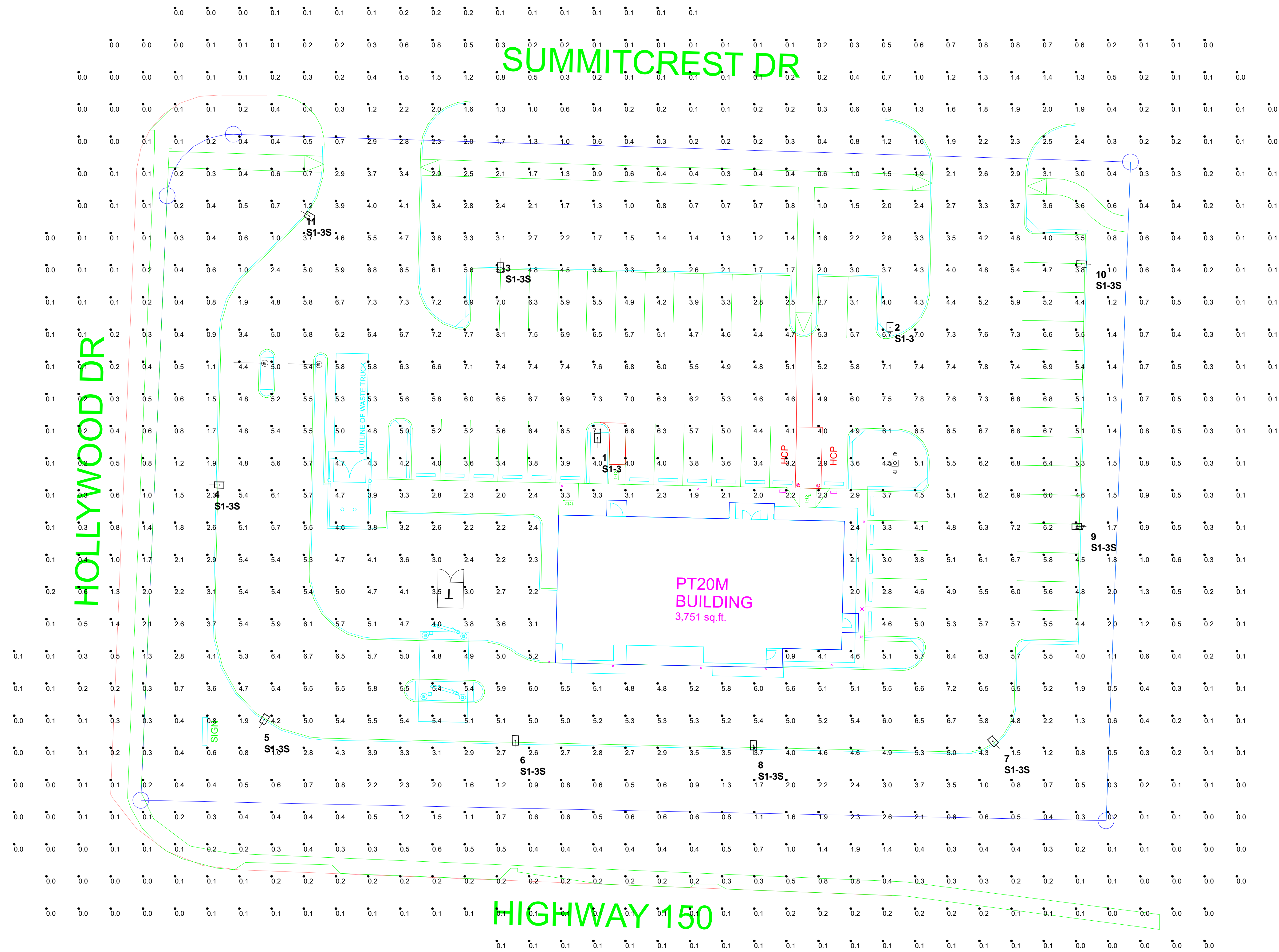
PROPOSED PT20M BUILDING

NEQ HWY 150 & SW
HOLLYWOOD DR.
LEE'S SUMMIT, MO 64082

SHEET TITLE

IRRIGATION PLAN

DRAWN BY:	TDB
CHECKED BY:	PJK
PROJECT NO:	40497-21
DRAWING	

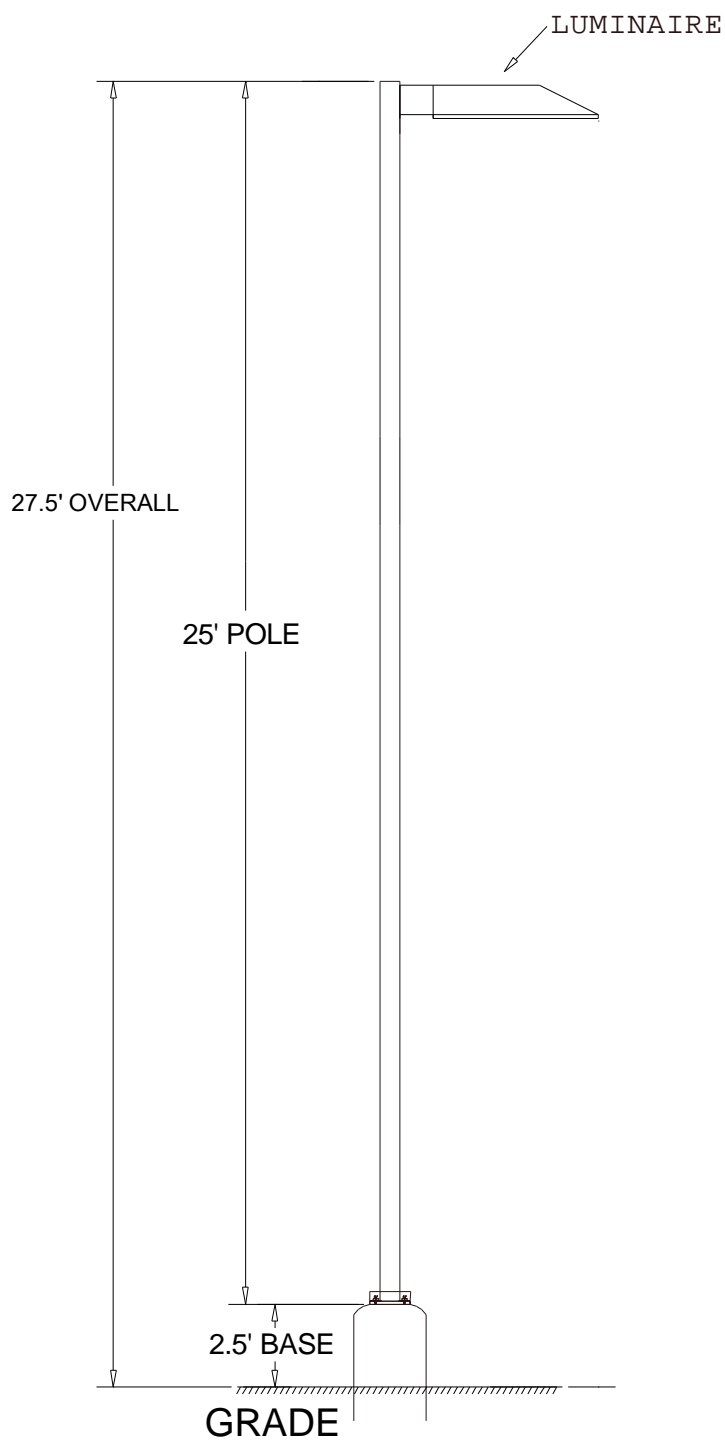


TECHLIGHT INC.
- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINACES.
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

Luminaire Schedule						
Symbol	Qty	Label	Lumens/Lamp	Arrangement	LLF	Description
	2	S1-3	N.A.	SINGLE	0.900	CTL-N-35L-T3-35,000 LUMEN TYPE 3 LED
	9	S1-3S	N.A.	SINGLE	0.900	CTL-N-35L-T3-S215-30,000 LUMEN TYPE 3 LED W/BACK SHLD

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	2.24	8.1	0.0	N.A.	N.A.
PARKING AND DRIVE	Illuminance	Fc	5.39	8.1	1.9	2.84	4.26

Luminaire Location Summary			
LumNo	Label	Z-luminaire height	Tilt
1	S1-3	27.5	0
2	S1-3	27.5	0
3	S1-3S	27.5	0
4	S1-3S	27.5	0
5	S1-3S	27.5	0
6	S1-3S	27.5	0
7	S1-3S	27.5	0
8	S1-3S	27.5	0
9	S1-3S	27.5	0
10	S1-3S	27.5	0
11	S1-3S	27.5	0



POLE DETAIL
(NOT TO SCALE)

FOR PRICING CONTACT:
DOUG KILE 214-957-5304
OR dkile@techlight.com

- Notes:
1. Calculation at grade.
 2. Based on 27.5' AFG pole fixture height including 25' poles and 2.5' AFG bases.

File:
wb-lee-smt-market
Date:
2-24-22

CUSTOMER APPROVAL

- ☐ Drawing is approved, proceed with production
- ☐ Drawing is not approved, make changes as noted

Customer Signature _____ Date _____

REVISIONS: SYM. DATE DESCRIPTION BY

PROJECT:
WHATABURGER
LEE'S SUMMIT, MO
MARKET PLACE

WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

THIS DRAWING IS THE PROPERTY OF
WHATABURGER, SAN ANTONIO,
TEXAS AND MAY NOT BE USED OR
REPRODUCED IN WHOLE OR IN PART
WITHOUT THE EXPRESSED WRITTEN
CONSENT OF WHATABURGER.

SHEET TITLE:
Photometric
Plan

UNIT NO.
DATE:
SCALE:
DRAWN BY:
APPROVED BY:

SHEET NO:
PH1.0
FILE:

