RAINTREE VILLAGE

PRELIMINARY DEVELOPMENT PLAN
AND
SPECIAL USE PERMIT

LEE'S SUMMIT, MO

PROJECT CONTACTS

DEVELOPER:

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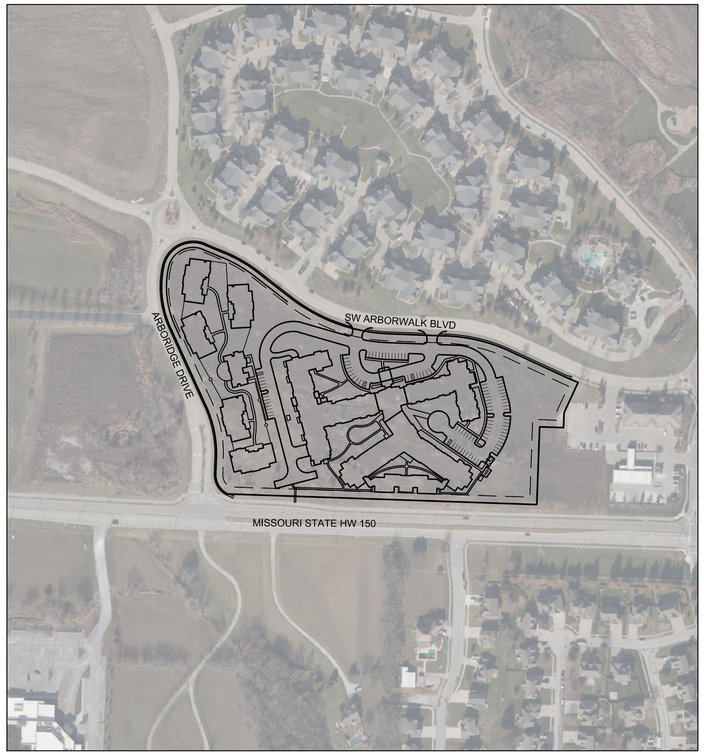

VICINITY MAP

PROPERTY DESCRIPTION:

TITLE COMMITMENT NO. 210232

PROPERTY DESCRIPTION PER CHICAGO TITLE INSURANCE COMPANY'S ALTA COMMITMENT FOR TITLE INSURANCE NO. 210232 UPDATE 7/15/2021, DATED JUNE 30, 2021 AT 08:00 AM.

TRACT 1:

ALL THAT PART OF THE SOUTH HALF OF SECTION 25, TOWNSHIP 47, RANGE 32, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING NORTH OF THE NORTH LINE OF MISSOURI HIGHWAY 150, AS PRESENTLY ESTABLISHED, LYING EAST OF THE EAST LINE OF SW ARBORIDGE DRIVE AND SOUTH OF THE SOUTH LINE OF SW ARBORWALK BOULEVARD AS SHOWN ON THE PLAT OF ARBORWALK 4TH PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AND LYING WEST OF THE WEST LINE OF TRACT 6-A, AMENDED ARBORWALK 6TH PLAT, LOTS 3001 THRU 3003 AND TRACT "6-A", A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. (SHOWN FOR CONVENIENCE IN REPORTING; SEE SCHEDULE B-1 #15 HEREIN)

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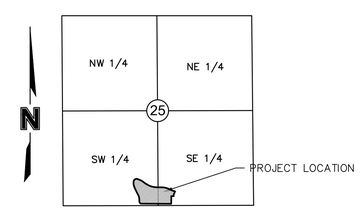
E1.1	ELECTRICAL SITE PLAN



S25, T47N, R32W
N.T.S.

LOCATION MAP

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REVISIONS

TITLE SHEET

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by: CSM
checked by: CSM
approved by: JS
QA/QC by: JS
project no.: A21-04054
drawing no.: C_TTL01_A2104054
date: 03.25.2022

SHEET
C1.0

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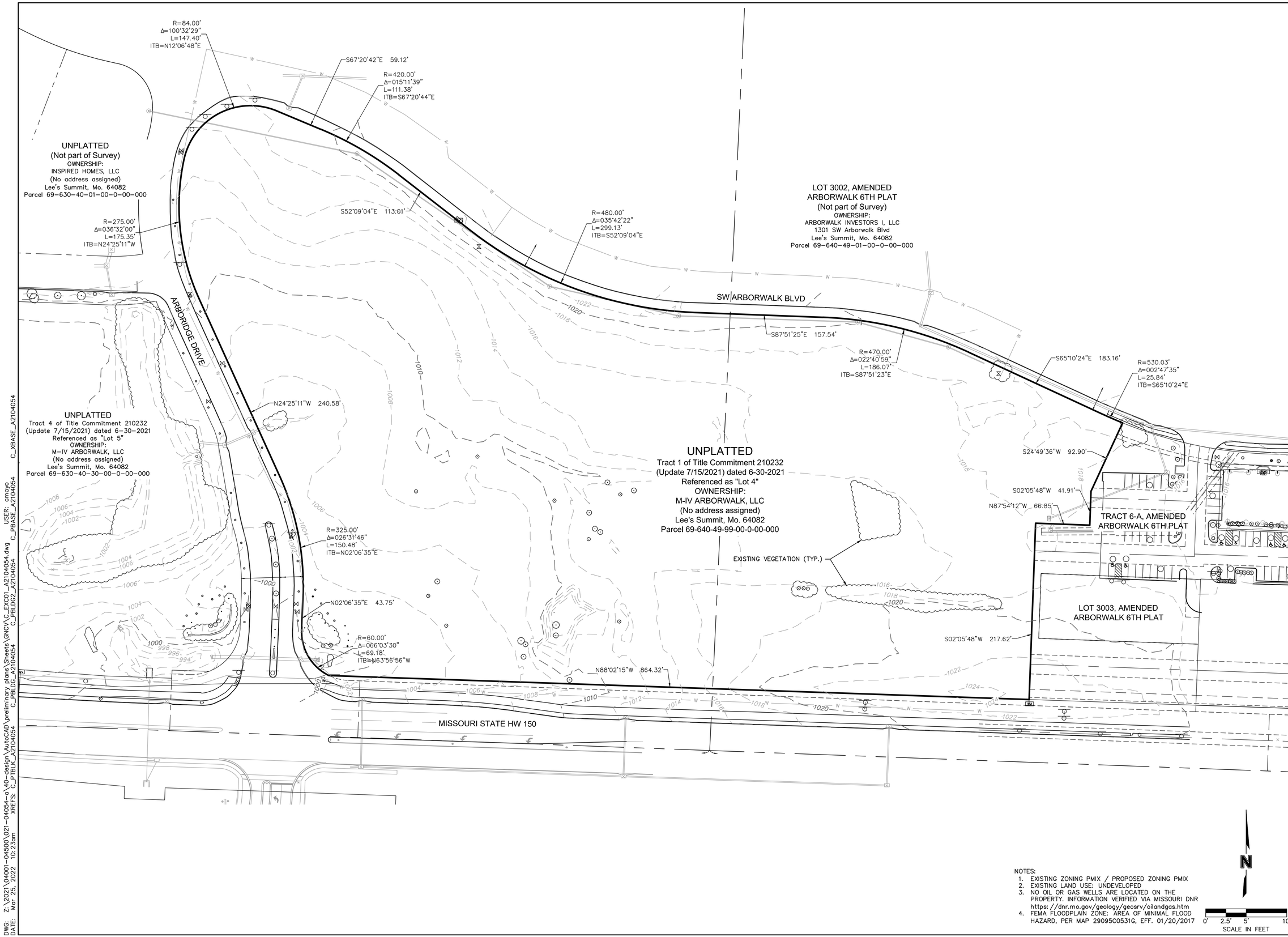

NOTES:
1. EXISTING ZONING PMIX / PROPOSED ZONING PMIX
2. EXISTING LAND USE: UNDEVELOPED
3. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR https://dnr.mo.gov/geology/geosrv/oilandgas.htm
4. FEMA FLOODPLAIN ZONE: AREA OF MINIMAL FLOOD HAZARD, PER MAP 29095C0531G, EFF. 01/20/2017

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EXISTING CONDITIONS

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by: CSM
checked by: CSM
approved by: JS
QA/QC by: JS
project no.: A21-04054
drawing no.: C_EXC01_A2104054
date: 03.25.2022

SHEET
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LEGEND

- PHASE 1 BULIDING
- PHASE 2 BUILDING
- PHASE 3 BUILDING

GENERAL NOTES:

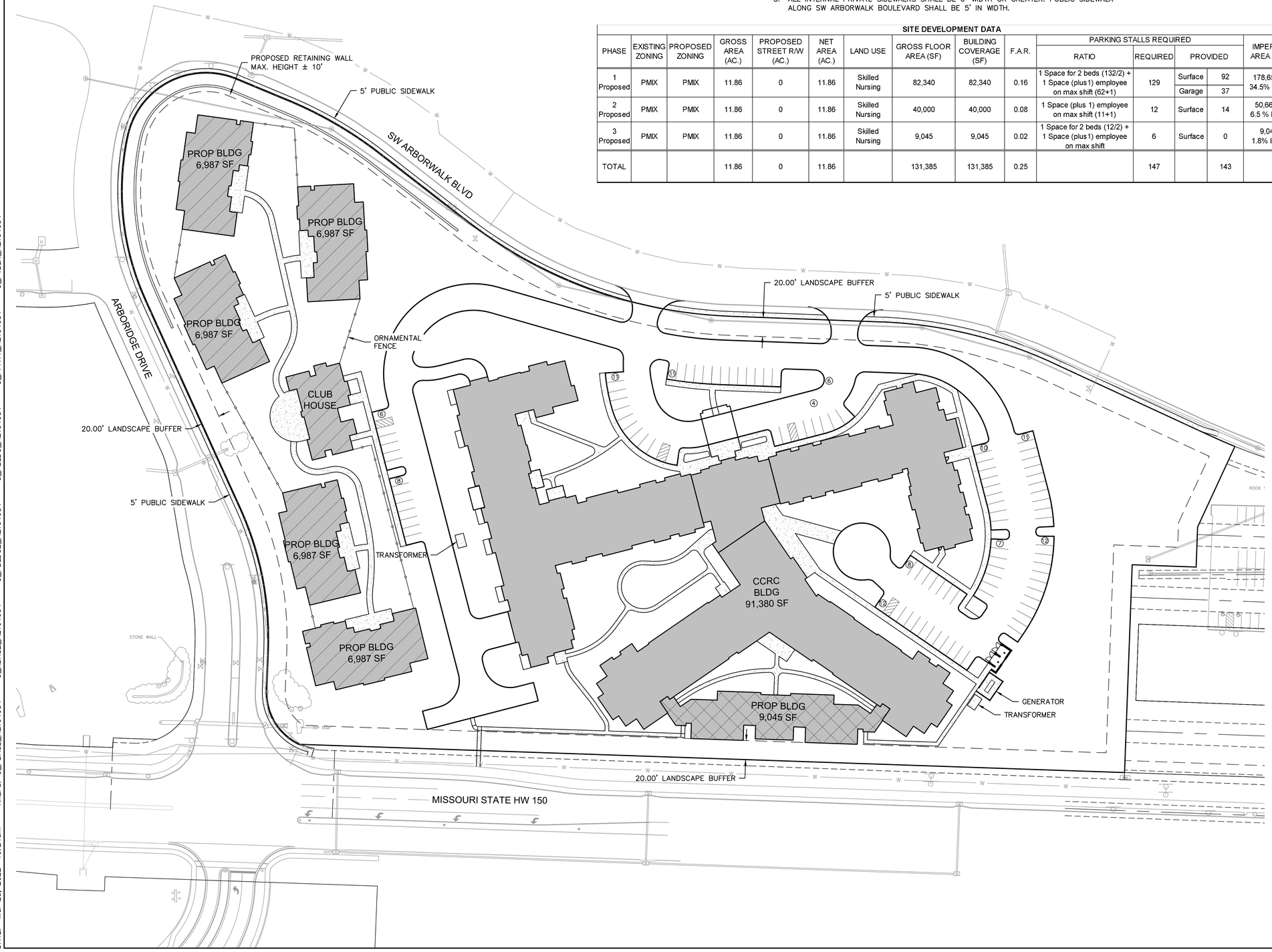
1. EXISTING ZONING PMIX / PROPOSED ZONING PMIX
2. EXISTING LAND USE: UNDEVELOPED
3. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR https: //dnr.mo.gov/geology/geosrv/oilandgas.htm
4. FEMA FLOODPLAIN ZONE: AREA OF MINIMAL FLOOD HAZARD, PER MAP 29095C0531G, EFF. 01/20/2017

DEVELOPMENT NOTES:

1. ALL PROPOSED DRIVES SHALL BE 24' CLEAR WIDTH (28' BACK-OF-CURB TO BACK-OF-CURB)
2. ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
3. ALL INTERNAL PRIVATE SIDEWALKS SHALL BE 6' WIDTH OR GREATER. PUBLIC SIDEWALK ALONG SW ARBORWALK BOULEVARD SHALL BE 5' IN WIDTH.

SITE DEVELOPMENT DATA

PHASE	EXISTING ZONING	PROPOSED ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	NET AREA (AC.)	LAND USE	GROSS FLOOR AREA (SF)	BUILDING COVERAGE (SF)	F.A.R.	PARKING STALLS REQUIRED				IMPERVIOUS AREA (SF / %)	IMPERVIOUS AREA TOTAL (SF / %)
										RATIO	REQUIRED	PROVIDED			
1 Proposed	PMIX	PMIX	11.86	0	11.86	Skilled Nursing	82,340	82,340	0.16	1 Space for 2 beds (132/2) + 1 Space (plus1) employee on max shift (62+1)	129	Surface	92	178,656.1 SF 34.5% Increase	178,656.1 SF 34.5%
												Garage	37		
2 Proposed	PMIX	PMIX	11.86	0	11.86	Skilled Nursing	40,000	40,000	0.08	1 Space (plus 1) employee on max shift (11+1)	12	Surface	14	50,665.4 SF 6.5 % Increase	187,701.1 SF 36.3%
3 Proposed	PMIX	PMIX	11.86	0	11.86	Skilled Nursing	9,045	9,045	0.02	1 Space for 2 beds (12/2) + 1 Space (plus1) employee on max shift	6	Surface	0	9,045 SF 1.8% Increase	238,366.5 SF 46.1%
TOTAL			11.86	0	11.86		131,385	131,385	0.25		147		143		238,366.5 SF



N

0' 25' 50' 100'
SCALE IN FEET

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SITE PLAN - OVERALL

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by: CSM
checked by: CSM
approved by: JS
QA/QC by: JS
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drawing no.: C_SIT01_A2104054
date: 03.25.2022

SHEET
C3.0

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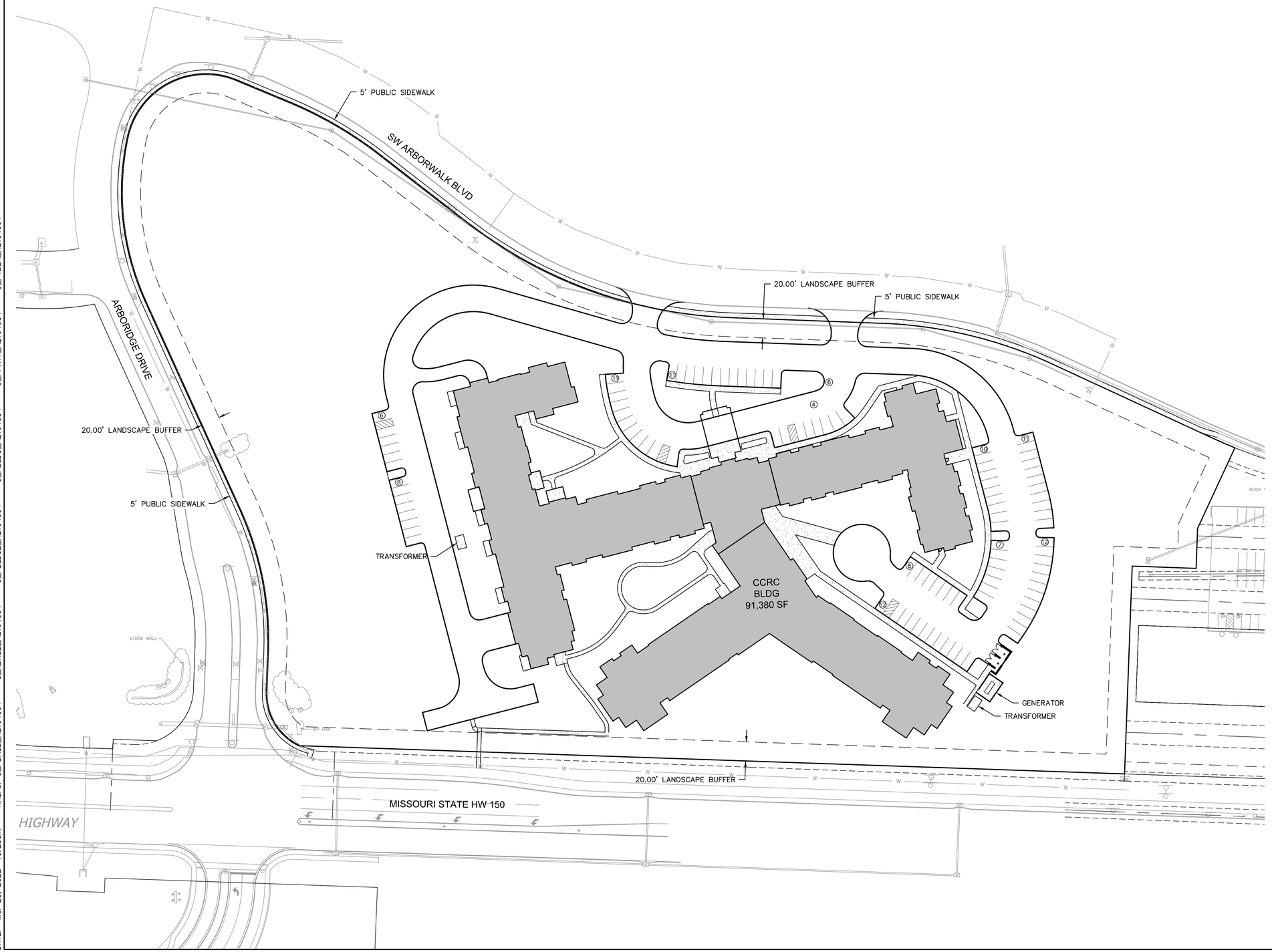

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SITE PLAN - PHASE 1

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by:	CSM
checked by:	CSM
approved by:	JS
QA/QC by:	JS
project no.:	A21-04054
drawing no.:	C_SIT02_A2104054
date:	03.25.2022

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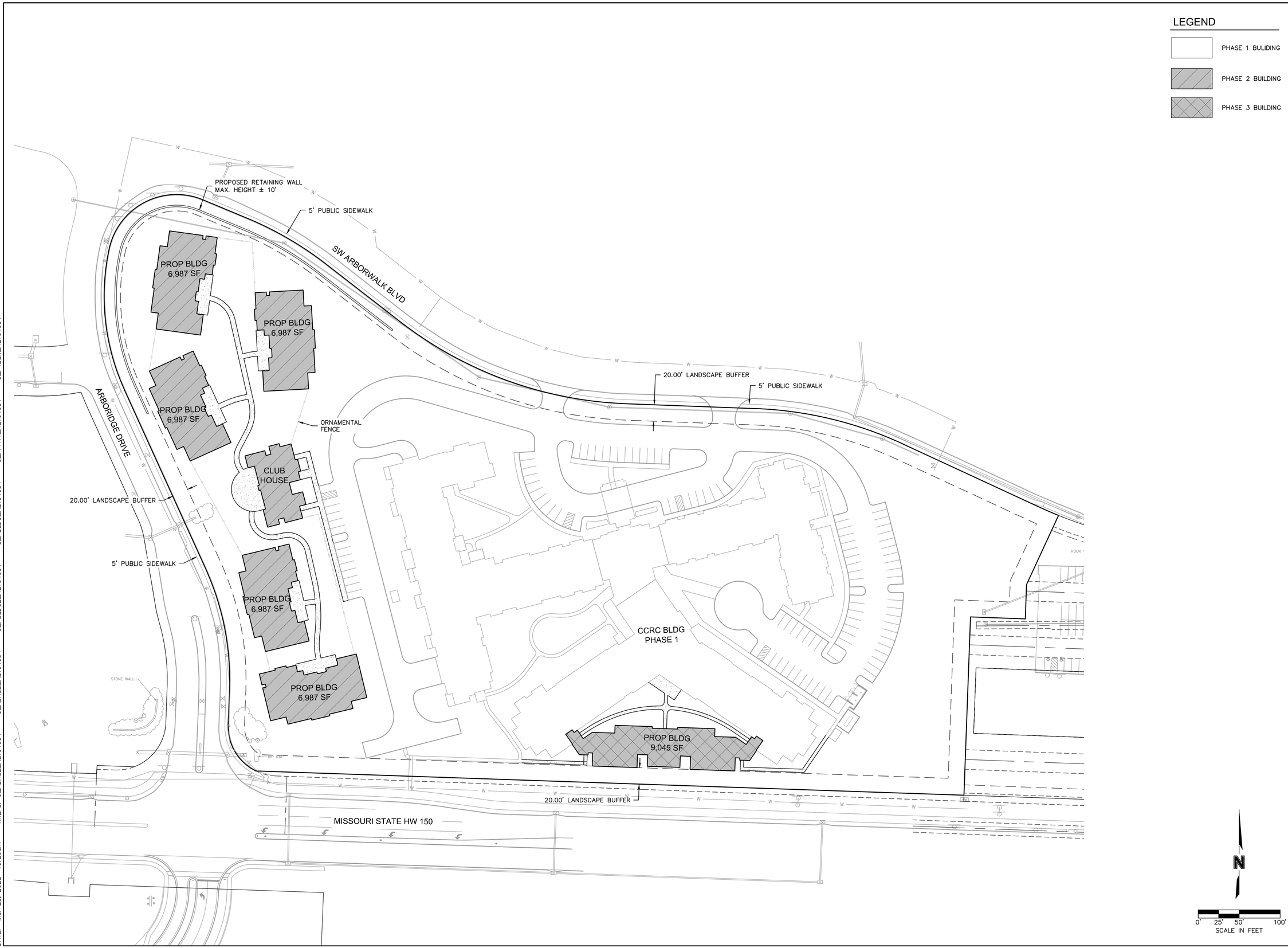

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SITE PLAN - PHASE 2 & PHASE 3

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

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checked by:	CSM
approved by:	JS
QA/QC by:	JS
project no.:	A21-04054
drawing no.:	C_SIT03_A2104054
date:	03.25.2022

SHEET
C3.2

LEGEND	
–100–	EXISTING INDEX CONTOURS
–100–	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

NOTE

GRADING PLAN REFLECTS FULL BUILD OUT CONDITION. PENDING FINAL STORMWATER MANAGEMENT REQUIREMENTS AT TIME OF PHASE 2, ONE OR TWO PHASE 2 BUILDING MAY BE REMOVED FROM THE PLAN TO ALLOW ON SITE DETENTION IF OVERALL DETENTION HAS NOT BEE DETERMINED WITH THE ADJACENT PROPERTY OWNER. THE TWO DEVELOPERS ARE CURRENTLY WORKING TOGETHER ON STORMWATER MANAGEMENT FOR THE AREA.

N

0' 25' 50' 100'
SCALE IN FEET

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PRELIMINARY GRADING PLAN

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

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QA/QC by:	JS
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drawing no.:	C_GRD01 A2104054
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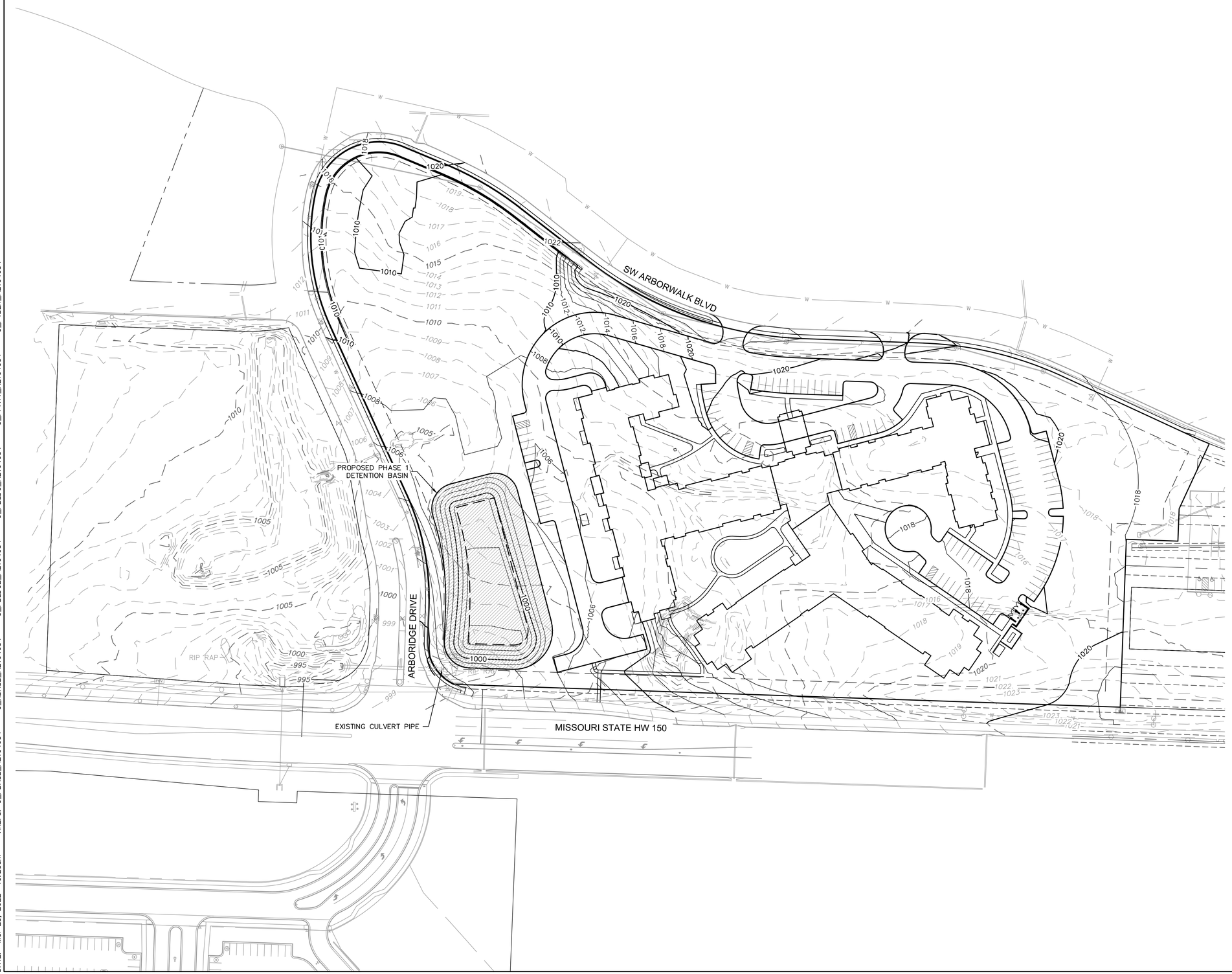

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DRAINAGE PLAN

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

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checked by:	CSM
approved by:	JS
QA/QC by:	JS
project no.:	A21-04054
drawing no.:	C_GRD02_A2104054
date:	03.25.2022

SHEET
C4.1

LEGEND	
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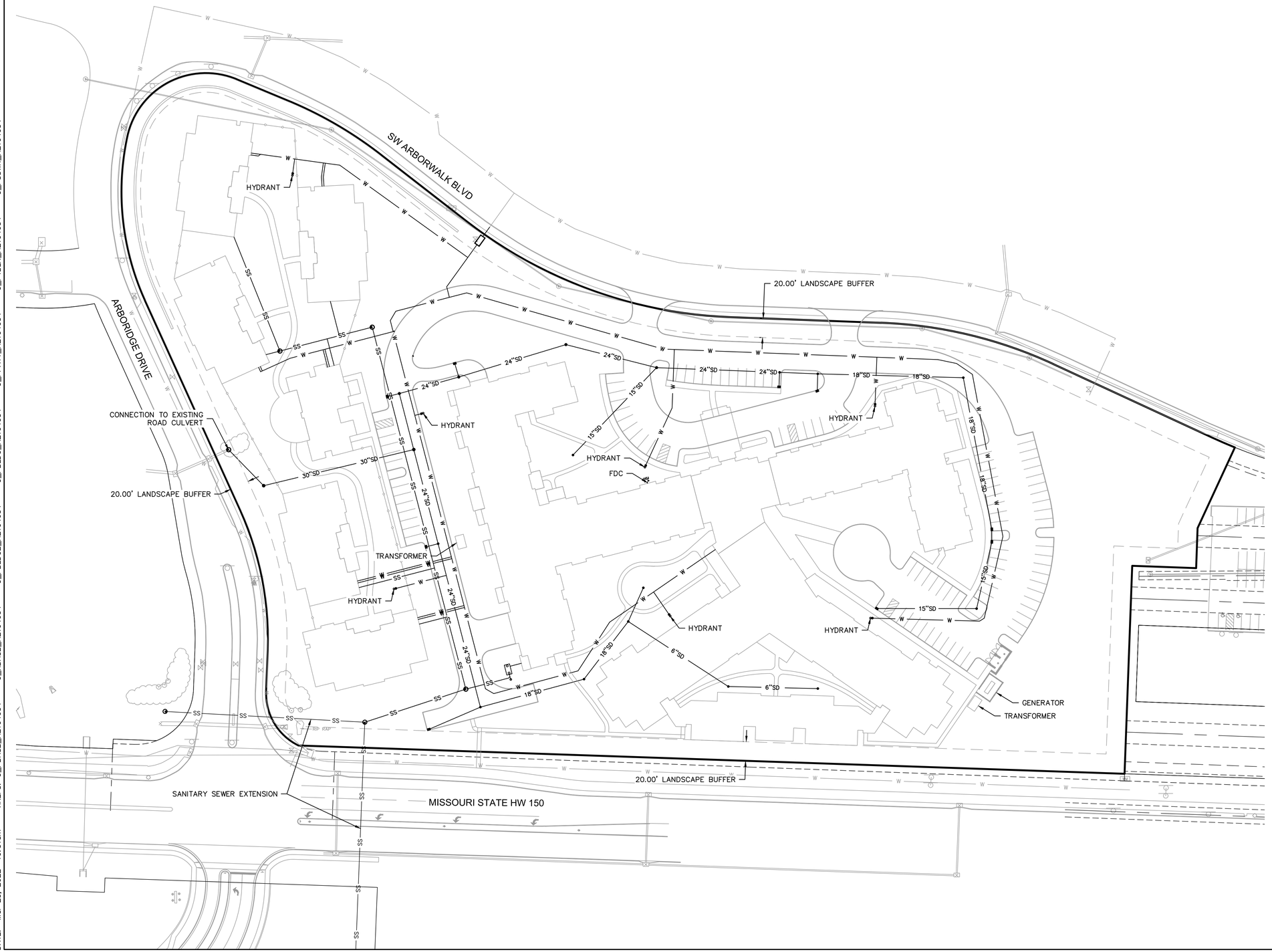
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

LEGEND	
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
SD	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
W	EXISTING WATER LINE
W	PROPOSED WATER LINE

PROPOSED PRIVATE UTILITY SIZES:
WATER: 8"
SANITARY 8"
STORM SEE PLAN
(ALL PROPOSED UTILITIES SHALL BE PRIVATE EXCEPT FOR WATER MAIN WITHIN PUBLIC RIGHT-OF-WAY.)



N

0' 25' 50' 100'
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UTILITY PLAN

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by:	CSM
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QA/QC by:	JS
project no.:	A21-04054
drawing no.:	C_UTL01_A2104054
date:	03.25.2022

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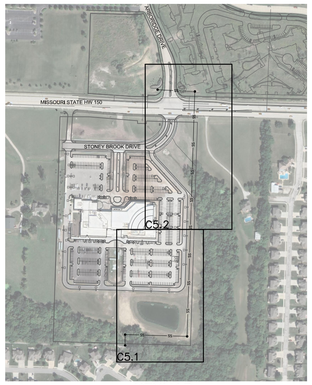

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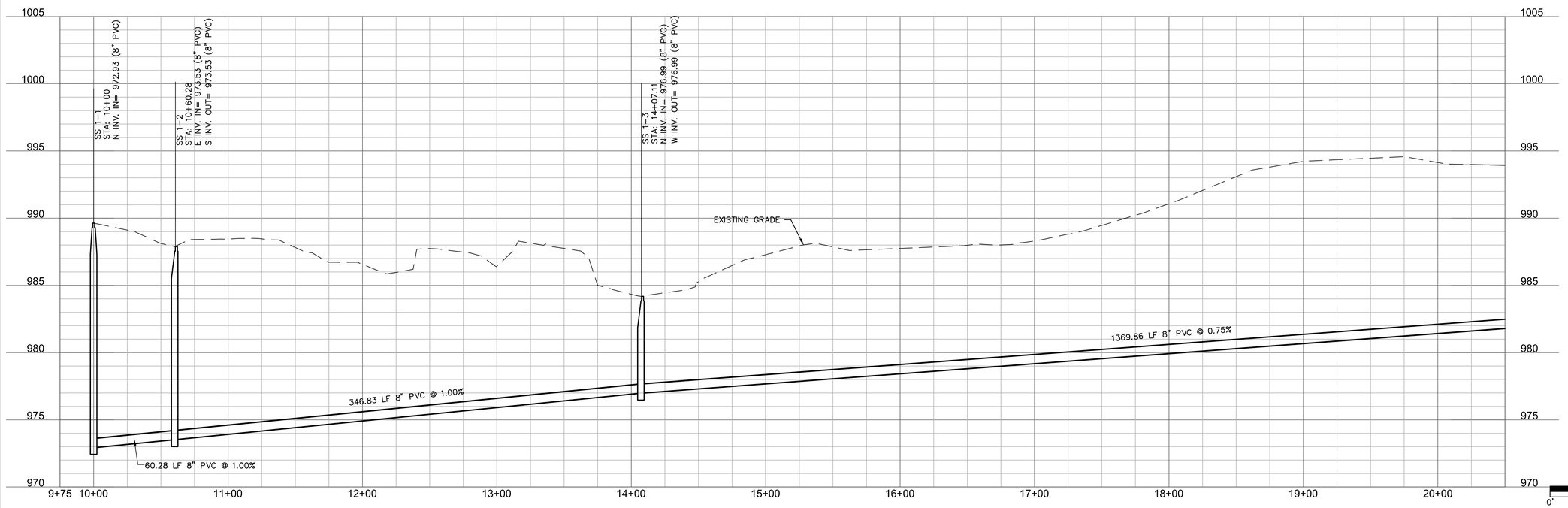

0' 20' 40' 80'
SCALE IN FEET

8' 4' 2' 0'

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SANITARY'S SEWER PLAN & PROFILE

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

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C5.1

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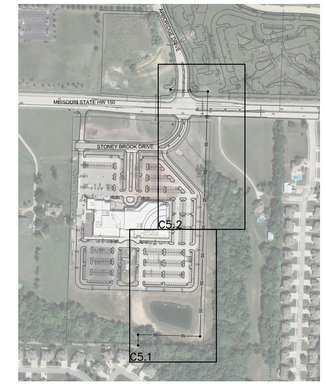

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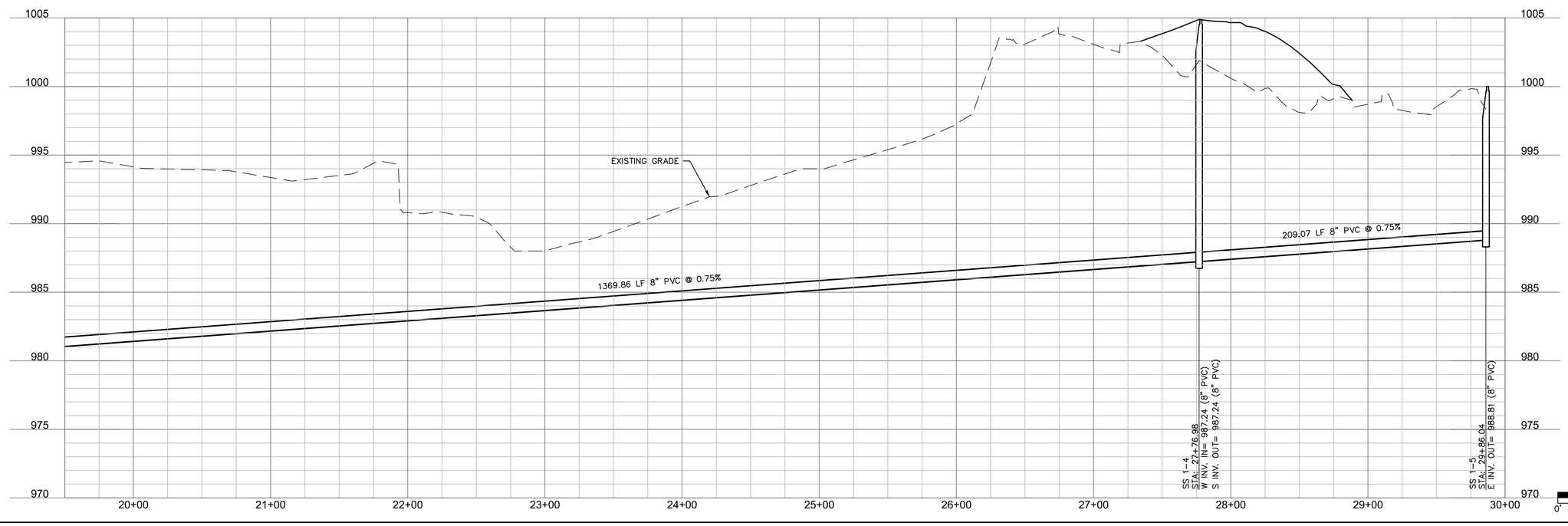

8'
4'
2'
0'
0' 20' 40' 80'
SCALE IN FEET

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SANITARYS SEWER PLAN & PROFILE

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

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SHEET
C5.2

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ARBORWALK PDP - LANDSCAPE CALCULATIONS															
PHASE	BUILDING COVERAGE (SF)	PARKING SPACES	LANDSCAPE ISLANDS AREA (SF)	PARKING LOT AREA (SF)	PARKING AREA LANDSCAPE ISLAND % (5% MIN.)	R/W LENGTH (LF)		(1) LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA AND R/W	(1) STREET FRONTAGE TREES	(2) STREET FRONTAGE SHRUBS	(3) OPEN YARD AREA PROVIDED (SF)	(3A) OPEN YARD AREA TREES	(3B) OPEN YARD AREA SHRUBS	(4A) BUFFER TREES: DECIDUOUS / ORNAMENTAL / EVERGREEN	(4B) BUFFER SHRUBS
1	82,340	129	5,851	70,470	8.30%	1,103	REQUIRED	20' WIDE	37	41	121,117	24	48	8/15/15	15
							PROVIDED	20' WIDE	37	41		24	48	8/15/15	15
2	40,000	14	164	2,579	6.36%	87	REQUIRED	20' WIDE	3	65	115,171	23	46		
							PROVIDED	20' WIDE	3	65		23	46		
3	9,045	0	0	0		0	REQUIRED	20' WIDE							
							PROVIDED	20' WIDE							
TOTALS	131,385	143	6,015	73,049	8.23%	1,190			40	106	236,288	47	94	8/15/15	15

LANDSCAPE REQUIREMENTS DESCRIPTIONS

(1) ANY PARKING OR LOADING AREA VISIBLE FROM A STREET SHALL BE SEPARATED FROM THE STREET RIGHT-OF-WAY WITH A LANDSCAPE STRIP AT LEAST 20' WIDE, PLANTED WITH 1 TREE PER 30 LF OF STREET
(2) ANY PARKING OF LOADING AREA LANDSCAPE STRIP SHALLL BE PLANTED WITH ONE (1) SHRUB FOR EVERY 20 LF OF STREET FRONTAGE.
(3A) IN ADDITION TO STREET FRONTAGE TREES, ONE (1) TREE SHALL BE PROVIDED FOR EVERY 5,000 SF OF OPEN YARD AREA
(3B) OPEN YARD AREAS SHALL BE LANDSCAPED WITH TWO (2) SHRUBS PER 5,000 SF OF TOTAL LOT AREA.
(4) A 20' WIDE BUFFER SCREEN SHALL BE PROVIDED PER PLAN, IN THE FORM OF (4A) 1 SHADE TREE PER 1,000 SF; 1 ORNAMENTAL TREE PER 500 SF; 1 EVERGREEN TREE PER 500; AND (4B) 1 SHRUB PER 500 SF

NOTES:
* Open areas not covered with other materials shall be covered with sod
* All shrub requirements shall be met, per Article 8 of Lee's Summit UDO. Final development plans shall include final landscaping design.
* All ground-mounted mechanical units shall be totally screened from view in accordance with Article 8 of UDO

PRELIMINARY PLANT SCHEDULE

38 BUFFER TREE
DECIDUOUS: B&B, 3" CAL.
ORNAMENTAL: B&B, 3" CAL.
EVERGREEN: B&B, 8` HT.
-

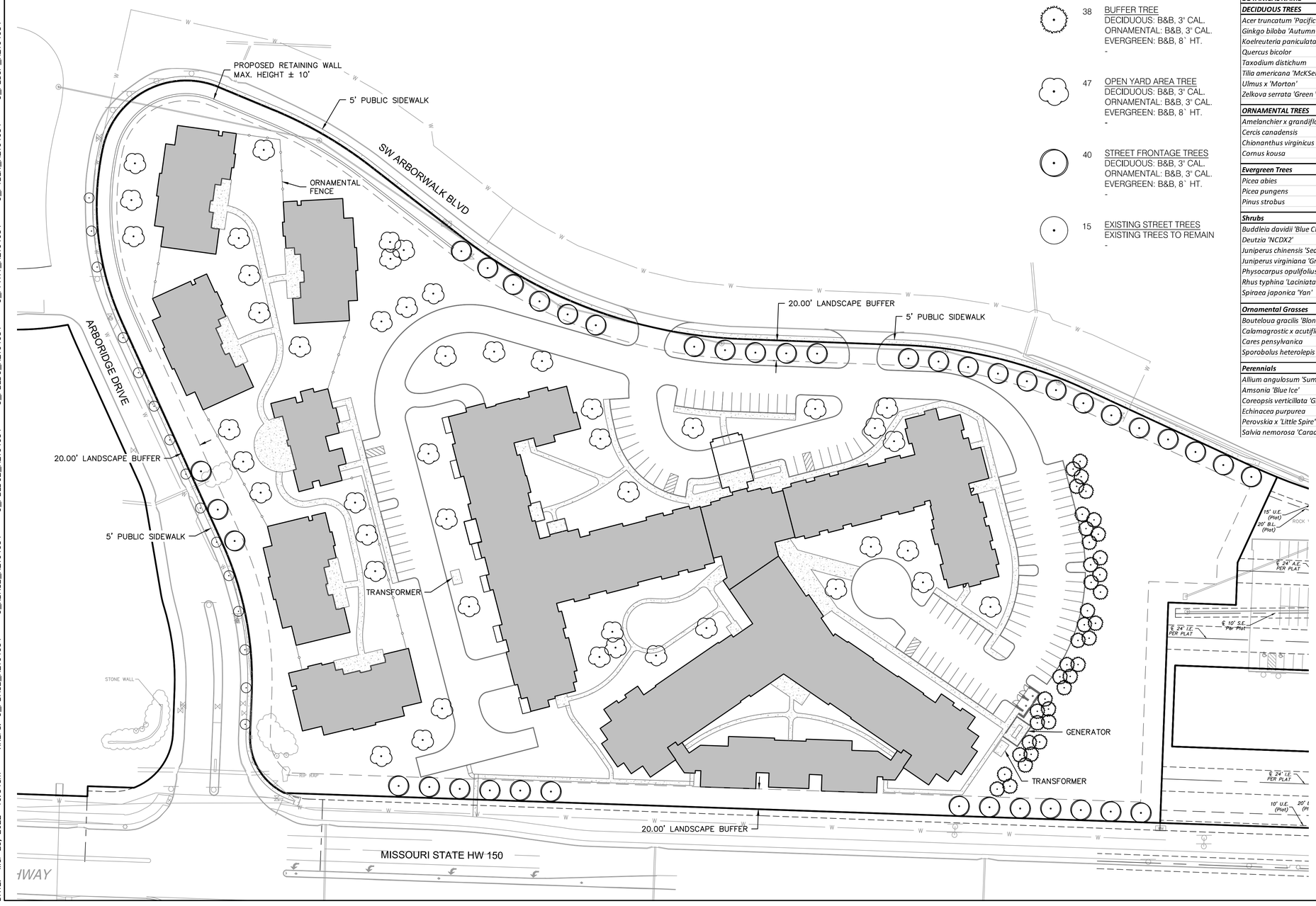
47 OPEN YARD AREA TREE
DECIDUOUS: B&B, 3" CAL.
ORNAMENTAL: B&B, 3" CAL.
EVERGREEN: B&B, 8` HT.
-

40 STREET FRONTAGE TREES
DECIDUOUS: B&B, 3" CAL.
ORNAMENTAL: B&B, 3" CAL.
EVERGREEN: B&B, 8` HT.
-

15 EXISTING STREET TREES
EXISTING TREES TO REMAIN
-

MASTER PLANT LIST

BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
DECIDUOUS TREES				
Acer truncatum 'Pacific Sunset' TM	Pacific Sunset Maple	B&B	3"	
Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	B&B	3"	
Koelreuteria paniculata	Golden Raintree			
Quercus bicolor	Swamp White Oak	B&B	3"	
Taxodium distichum	Bald Cypress	B&B	3"	
Tilia americana 'McKSentry'	American Sentry Linden	B&B	3"	
Ulmus x 'Morton'	Accolade Elm	B&B	3"	
Zelkova serrata 'Green Vase'	Green Vase Zelkova	B&B	3"	
ORNAMENTAL TREES				
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	3"	
Cercis canadensis	Eastern Redbud	B&B	3"	
Chionanthus virginicus	White Fringetree	B&B	3"	
Cornus kousa	Kousa Dogwood	B&B	3"	
Evergreen Trees				
Picea abies	Norway Spruce	B&B		8' HT.
Picea pungens	Colorado Spruce	B&B		8' HT.
Pinus strobus	Eastern White Pine	B&B		8' HT.
Shrubs				
Buddleia davidii 'Blue Chip Jr.'	Lo & Behold Blue Chip Jr. Butterfly Bush	Cont.		18" SP.
Deutzia 'NCDX2'	Yuki Cherry Blossom	Cont.		18" SP.
Juniperus chinensis 'Sea Green'	Sea Green Juniper	Cont.		36" HT.
Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	Cont.		36" HT.
Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	Cont.		18" HT.
Rhus typhina 'Laciniata'	Cutleaf Staghorn Sumac	Cont.		4'-5' HT.
Spiraea japonica 'Yan'	Double Play Gold Spirea	Cont.		18" SP.
Ornamental Grasses				
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal		
Calamagrostic x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal		
Cares pensylvanica	Pennsylvania Sedge	1 gal		
Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 gal		
Perennials				
Allium angulosum 'Summer Beauty'	Summer Beauty Allium	1 gal		
Amsonia 'Blue Ice'	Blue Ice Amsonia	1 gal		
Coreopsis verticillata 'Grandiflora'	Grandiflora Coreopsis	1 gal		
Echinacea purpurea	Pale Purple Coneflower	1 gal		
Perovskia x 'Little Spire'	Little Spire Russian Sage	1 gal		
Salvia nemorosa 'Caradonna'	Caradonna Perennial Salvia	1 gal		



olsson
Olsson - Civil Engineering
Matrix - Certificate of Authority #
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

LANDSCAPE PLAN

RAINTREE VILLAGE
PRELIMINARY DEVELOPMENT PLAN AND SPECIAL USE PERMIT

LEE'S SUMMIT, MO

2022

drawn by: CSM
checked by: CSM
approved by: JS
QA/QC by: JS
project no.: A21-04054
drawing no.: C_LSC01 A2104054
date: 03.25.2022

SHEET
L1.0

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NORTH ELEVATION - ILU WING

SOUTH ELEVATION - ILU WING

EAST ELEVATION - ILU WING

NORTH ELEVATION - ALU WING & V.C.

SOUTH COURTYARD ELEVATION - ILU WING

NORTH ELEVATION - ILU WING

EAST ELEVATION - ILU WING

RAINTREE VILLAGE

LEE'S SUMMIT, MO

SCENIC DEVELOPMENT LLC
RETIREMENT COMMUNITY DEVELOPERS

FISHER ARCHITECTS, P.A.

A2.01

NORTH ELEVATION - ALU WING

EAST ELEVATION - ALU WING

SOUTH ELEVATION - ILU WING

WEST ELEVATION - ALU WING

SOUTH ELEVATION - ALU WING

WEST ELEVATION - ILU WING

RAINTREE VILLAGE

LEE'S SUMMIT, MO

SCENIC DEVELOPMENT LLC
RETIREMENT COMMUNITY DEVELOPERS

FISHER ARCHITECTS, P.A.

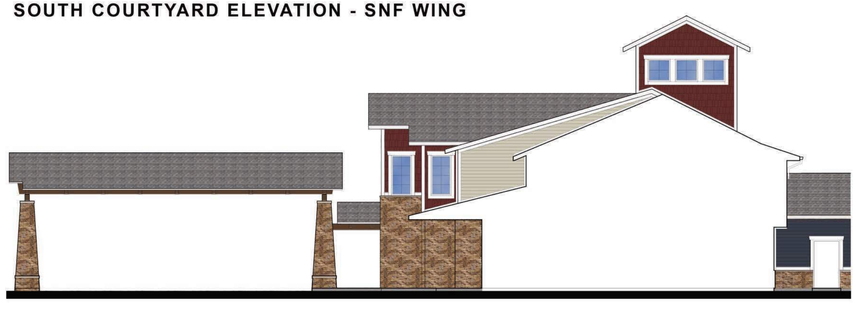
A2.02

NORTH ELEVATION - SNF WING

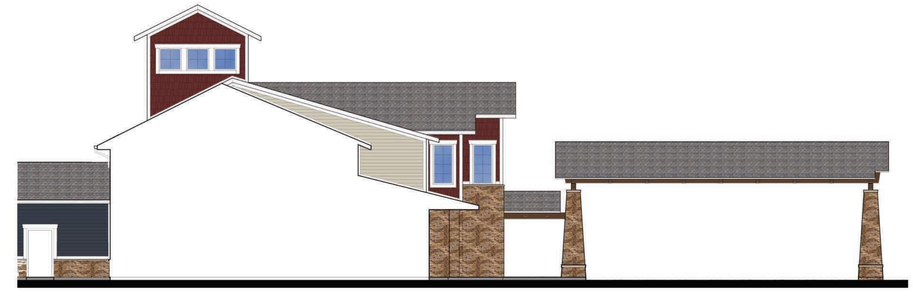
SOUTH AND WEST ELEVATION - SNF WING

SOUTH COURTYARD ELEVATION - SNF WING

S.W. ELEVATION - SNF WING



WEST ELEVATION - VC & SNF WING



EAST ELEVATION - VC & SNF WING

EAST ELEVATION - SNF WING

WEST COURTYARD ELEVATION - SNF WING

RAINTREE VILLAGE

LEE'S SUMMIT, MO

SCENIC DEVELOPMENT LLC
RETIREMENT COMMUNITY DEVELOPERS

FISHER ARCHITECTS, P.A.

A2.03

TYPICAL FRONT ELEVATION - MEMORY CARE BUILDING

TYPICAL REAR ELEVATION - MEMORY CARE BUILDING

TYPICAL SIDE ELEVATION - MEMORY CARE BUILDING

RAINTREE VILLAGE

LEE'S SUMMIT, MO

SCENIC DEVELOPMENT LLC
RETIREMENT COMMUNITY DEVELOPERS

FISHER ARCHITECTS, P.A.

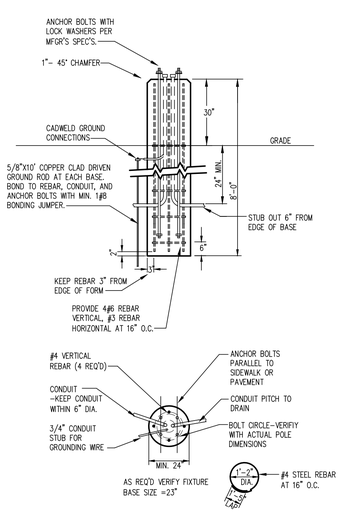
A2.04

POWER & COMMUNICATION LEGEND

- 120V DUPLEX OUTLET
- 120V QUAD OUTLET
- 240 VOLT RECEPTACLE
- DATA/COMMUNICATIONS OUTLET
- TELEPHONE OUTLET
- TELEVISION OUTLET
- DATA/TV COMBO OUTLET
- FLOOR OUTLET
- J — JUNCTION BOX
- PUSHBUTTON STATION
- E — EMERGENCY E-STOP FOR GRILL OR FIREPIT
- TC — TIME CLOCK
- T — TIMER FOR GRILL OR FIREPIT
- BC — BELOW COUNTER OUTLET
- AC — ABOVE COUNTER OUTLET
- MOTOR CONNECTION
- ELECTRICAL DISCONNECT
- ELECTRICAL STARTER DISCONNECT
- ELECTRICAL CONNECTION W/NON-FUSED DISCONNECT
- WP — ELECTRICAL CONNECTION W/WEATHER PROOF DISCONNECT3
- PANELBOARD
- T — THERMOSTAT MOUNTED AT 48" A.F.F.
- SMOKE/CO ALARM
- S — SMOKE ALARM
- NO2 — NITROGEN DIOXIDE DETECTOR
- CO2 — CARBON MONOXIDE DETECTOR
- GFI — GROUND FAULT CIRCUIT INTERRUPTER
- WP/GFI — WEATHER PROOF COVER WITH GROUND FAULT CIRCUIT INTERRUPTER

LIGHTING LEGEND

- RECESSED 2x4 FIXTURE
- RECESSED 2x2 FIXTURE
- INDICATES NIGHTLIGHT FIXTURE
- INDICATES EMERGENCY FIXTURE
- INDICATES EMERGENCY/NIGHTLIGHT FIXTURE
- SURFACE MOUNT 1x4 FIXTURE
- HIGH BAY 2x4 FIXTURE
- SURFACE WALL MOUNTED FIXTURE
- SURFACE CEILING MOUNT FIXTURE
- RECESSED DOWNLIGHT OR DISC FIXTURE
- SURFACE WALL MOUNTED FIXTURE
- SURFACE MOUNTED FIXTURE
- SURFACE MOUNTED PENDANT FIXTURE
- OUTSIDE POLE-MOUNT LIGHT FIXTURE
- EXTERIOR GROUND MOUNTED LIGHT FIXTURE
- EMERGENCY LIGHTING FIXTURE
- LED EXIT SIGN-SHADED AREA INDICATES ILLUMINATED FACE
- LED EXIT/EMERGENCY SIGN-SHADED AREA INDICATES ILLUMINATED FACE
- EXTERIOR EMERGENCY EGRESS LIGHT
- $ — SINGLE POLE SWITCH
- $2 — 2-POLE SWITCH
- $3 — 3-WAY SWITCH
- $4 — 4-WAY SWITCH
- OS1 — WALL MOUNTED SINGLE LEVEL OCCUPANCY SENSOR – SEE SCHEDULE
- OS2 — WALL MOUNTED DUAL LEVEL OCCUPANCY SENSOR – SEE SHEDULE
- OS3 — CEILING MOUNTED OCCUPANCY SENSOR – SEE SCHEDULE
- NL — INDICATES FIXTURE TO REMAIN ON FOR SECURITY PURPOSES
- a,b — INDICATES LIGHT FIXTURE SWITCH-LEGS
- P-X — INDICATES PANEL AND CIRCUIT NUMBER
- 1 — INDICATES LIGHT FIXTURE TYPE
- EX — INDICATES EXISTING FIXTURE
- RL — INDICATES RELOCATED FIXTURE
- TC — INDICATES FIXTURE CONTROLLED BY TIMECLOCK
- EM — INDICATES FIXTURE ON EMERGENCY OR STANDBY POWER



NOTE:
1.) USE MFGR'S DIMENSIONS FOR EXACT ANCHOR BOLT AND COVER PLACEMENT.
2.) INSTALL INLINE FUSES IN EACH UNGROUNDED CONDUCTOR WITHIN POLE BASE HAND HOLE.
3.) TROWEL FINISH EXPOSED PORTION OF BASE TO REMOVE/COVER FORM MARKS.

2 / E1.1 POLE BASE DETAIL
NOT TO SCALE

LIGHTING FIXTURE SCHEDULE

TYPE	LAMPS	WATTAGE	DESCRIPTION	NOTES
AA	LED	20	SMALL EXTERIOR WALL PACK	HUBBELL
BB	LED	30	MEDIUM EXTERIOR WALL PACK	HUBBELL
CC	LED	15	EXTERIOR RECESSED DOWNLIGHT	–
DD	LED	70	POLE MOUNT FIXTURE, TYPE II OPTICS, 20' POLE	A17
EE	LED	70	POLE MOUNT FIXTURE, TYPE III OPTICS, 20' POLE	A17
FF	LED	100	POLE MOUNT FIXTURE, TYPE IV OPTICS, 20' POLE	A17

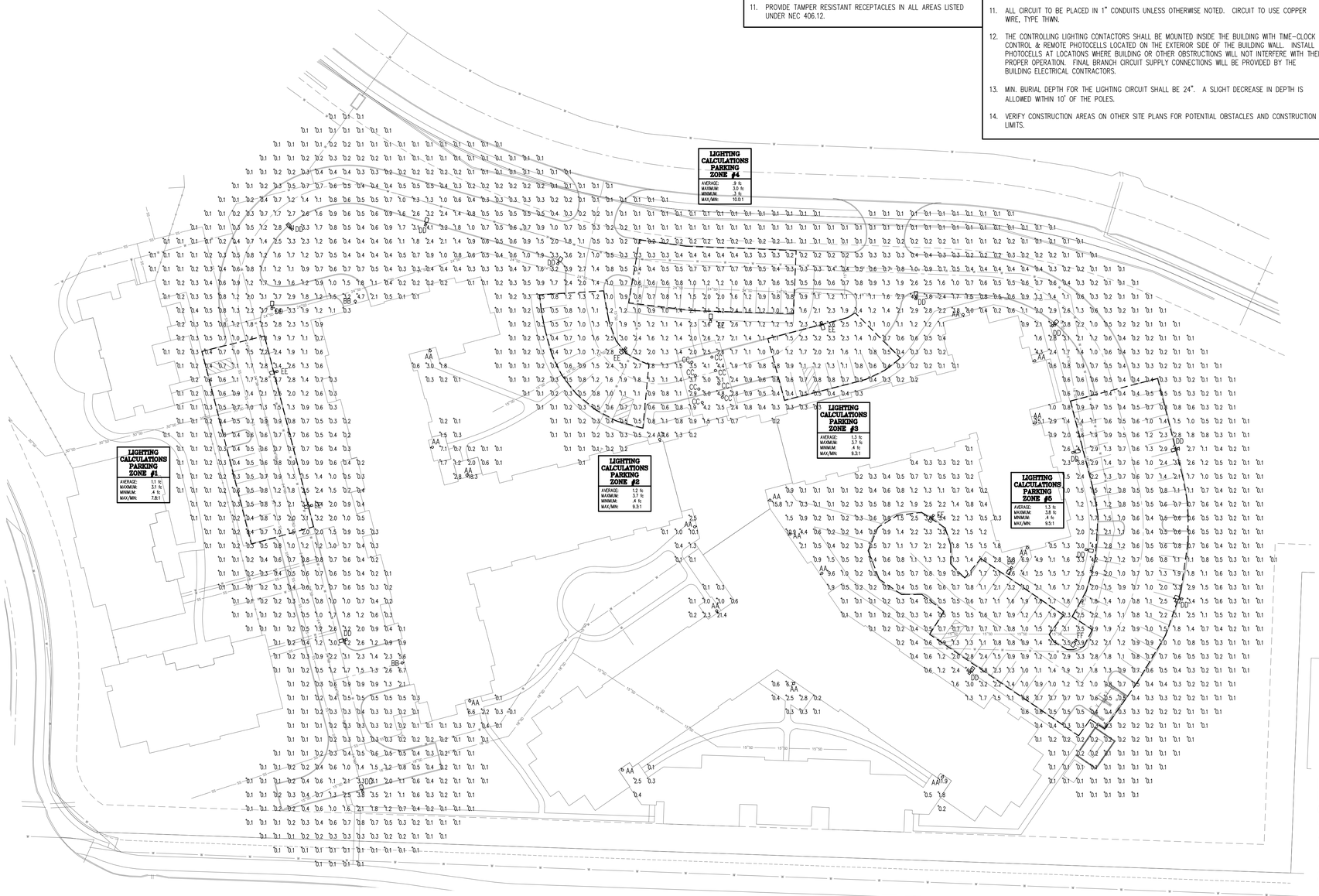
NOTES:

ELECTRIC GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
2. ENERGY CODE WILL BE IN ACCORDANCE WITH ASHRAE 90.1 2010.
3. COORDINATE WORK WITH ALL OTHER TRADES.
4. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. ALL WIRING SHALL BE INSTALLED IN APPROVED RACEWAYS.
6. ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED AT ALL LOCATIONS.
7. ALL MEASUREMENTS TO TOP OF BOX. RECEPTACLES SHALL BE 20" A.F.F. SWITCHES SHALL BE 48" A.F.F.
8. GFI PROTECT ALL RECEPTACLES WITHIN 6' OF EVERY SINK.
9. DRAWINGS ONLY REPRESENT AN APPROXIMATE LOCATION OF ALL RECEPTACLES, SWITCHES, LIGHTS, TV/DATA JACKS, ELECTRICAL EQUIPMENT, ETC. FINAL LOCATIONS WILL BE DETERMINED IN THE FIELD AND MAY VARY FROM DRAWINGS DUE TO UNFORESEEN CIRCUMSTANCES.
10. PROVIDE GFCI PROTECTION FOR ALL AREAS LISTED UNDER NEC 210.8.
11. PROVIDE TAMPER RESISTANT RECEPTACLES IN ALL AREAS LISTED UNDER NEC 406.12.

SITE NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEM.
2. MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, UTILITY REQUIREMENTS, LAWS AND ORDINANCES OF FEDERAL, STATE, OSHA AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL COMPLY WITH ALL CODES AND STANDARDS APPLICABLE TO THIS PROJECT THAT ARE LISTED BUT NOT LIMITED TO: NEC, NFPA, NEMA, ANSI, IES, IEEE, NFPA LIFE SAFETY 101, ASHRAE 90.1, IECC ENERGY CODE AND IBC BUILDING CODE.
4. PRIOR TO ANY DIGGING, TRENCHING, ETC. CONTACT ALL LOCAL UTILITY COMPANIES AND MUNICIPALITIES AND CONFIRM EXACT LOCATIONS OF ALL EXISTING UTILITIES.
5. MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY UL OR ANOTHER NATIONALLY RECOGNIZED TESTING LABORATORY.
6. ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC SHALL BE NEW, UNLESS SPECIFICALLY NOTED AS EXISTING TO BE REUSED.
7. ALL MATERIALS AND EQUIPMENT SHALL BE STORED, HANDLED, ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS AND RECOMMENDATIONS.
8. COORDINATE THE UTILITY COMPANY SERVICE FEEDS AND INSTALLATION.
9. ALL POLE FIXTURES TO BE LOCATED 4' AWAY FROM EDGE OF CURB.
10. ALL EXTERIOR LIGHT FIXTURES TO BE CONNECTED TO A COMMON EQUIPMENT GROUND. USE #8, TYPE THWN.
11. ALL CIRCUIT TO BE PLACED IN 1" CONDUITS UNLESS OTHERWISE NOTED. CIRCUIT TO USE COPPER WIRE, TYPE THWN.
12. THE CONTROLLING LIGHTING CONTACTORS SHALL BE MOUNTED INSIDE THE BUILDING WITH TIME-CLOCK CONTROL & REMOTE PHOTOCELLS LOCATED ON THE EXTERIOR SIDE OF THE BUILDING WALL. INSTALL PHOTOCELLS AT LOCATIONS WHERE BUILDING OR OTHER OBSTRUCTIONS WILL NOT INTERFERE WITH THEIR PROPER OPERATION. FINAL BRANCH CIRCUIT SUPPLY CONNECTIONS WILL BE PROVIDED BY THE BUILDING ELECTRICAL CONTRACTORS.
13. MIN. BURIAL DEPTH FOR THE LIGHTING CIRCUIT SHALL BE 24". A SLIGHT DECREASE IN DEPTH IS ALLOWED WITHIN 10' OF THE POLES.
14. VERIFY CONSTRUCTION AREAS ON OTHER SITE PLANS FOR POTENTIAL OBSTACLES AND CONSTRUCTION LIMITS.



1 / E1.1 ELECTRICAL SITE PLAN
SCALE: 1" = 40'-0"
0 20' 40' 80'

PRELIMINARY SET

DATE:							
NAME:							
REVISION DESCRIPTION:							

DRAWN BY: DJK
CHECKED BY: TJA
DATE:
DWG FILE:
REF FILE:
JOB NUMBER:

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Tel 715-381-5277

A·C/a Auth Consulting/associates

PROJECT:
PROPOSED PROJECT FOR:
ARBORWALK
LEE'S SUMMIT, MO

ELECTRICAL SITE PLAN

SHEET NO.
E1.1