DESIGN AND DEVELOPMENT CONTACTS:

OWNER / DEVELOPER: JP MORGAN CHASE 1111 POLARIS PARKWAY COLUMBUS, OH 43240

CIVIL ENGINEER:

CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15 CHICAGO, IL 60603

312-732-7980

CORE STATES GROUP 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS. MO 63109

CONTACT: CHAD FAIRBANKS, P.E. TEL: 314-270-5203

ARCHITECT: CORE STATES GROUP 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109

> CONTACT: R. BRUCE LASURS, A.I.A TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP

1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807 **CONTACT: LARRY LESSER** TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC. 772 BIG BEND BOULEVARD

ST. LOUIS, MO 63119

CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1238

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

> 220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1241

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION

600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON

TEL: 816-607-2107

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT

DEPARTMENT: 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

1200 SE HAMBLEN ROAD LEE'S SUMMIT. MO 64081 TEL: 816-969-1900

STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT) STORMWATER

> 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

UTILITY CONTACTS:

ELECTRIC COMPANY:

DEPARTMENT:

EVERGY P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082

TELEPHONE / INTERNET CHARTER / SPECTRUM

188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

TEL: 816-969-2200

SOLID WASTE: WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702

SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

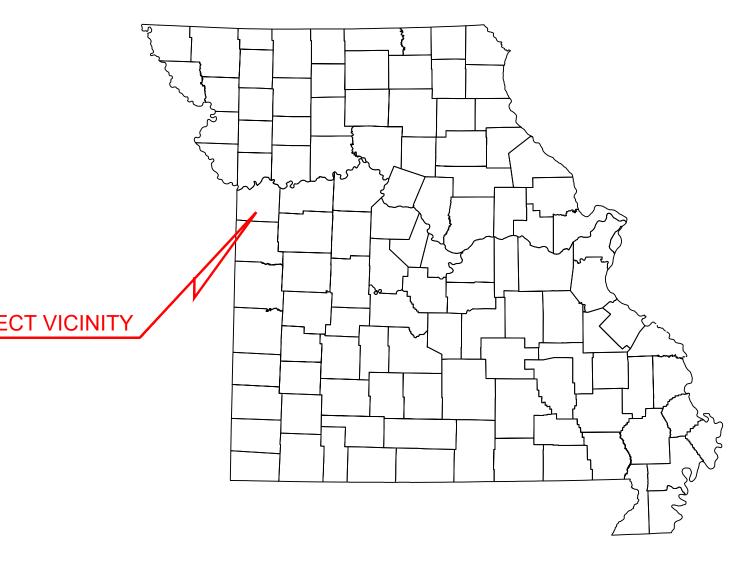
ALERT TO CONTRACTOR:

- 1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

ser: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 15:35:05 Drawing: P:VJ.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHEE

COMMERCIAL FINAL DEVELOPMENT PLAN

FOR CHASE L



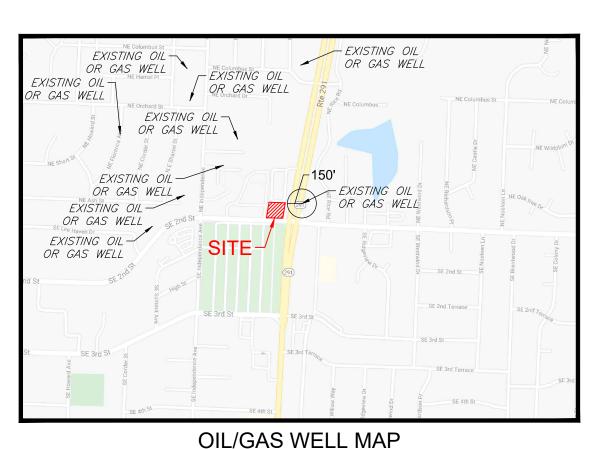
CHASE BANK HIGHWAY 291 & NE LANGSFORD

890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI



VICINITY MAP SCALE: 1" = 2.000'

	SHEET INDEX							
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	REV
C1	COVER SHEET	Δ Δ Δ			Δ	Δ	Δ	Δ
C2	GENERAL NOTES			Δ				
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ	Δ	
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ	Δ	
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ				
C6	DEMOLITION PLAN	Δ					Δ	
C7	SITE PLAN	Δ	Δ	Δ			Δ	Δ
C8	GRADING AND DRAINAGE PLAN	Δ		Δ			Δ	Δ
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ	Δ	Δ
C9	DRAINAGE BASIN MAPS						Δ	Δ
C10	UTILITY PLAN	Δ	Δ		Δ		Δ	
C11-C13	CONSTRUCTION DETAILS	Δ			Δ			Δ
C14	PHOTOMETRIC PLAN			Δ				
C15-C19	PHOTOMETRIC DETAILS	Δ						
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ				
C21	ROADWAY PLAN	Δ	Δ	Δ				
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ				
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ					
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ					
C25-C27	CONSTRUCTION DETAILS			Δ		Δ		
	REFERENCE SHEETS	•						
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ					
LP-1	PLANTING PLAN	Δ						Δ
LP-2	PLANTING DETAILS, SPECS							
IR-1.0	IRRIGATION LEGEND & NOTES						Δ	
IR-2.0	IRRIGATION PLAN						Δ	
IR-3.0	IRRIGATION DETAILS						Δ	
IR-3.1	IRRIGATION DETAILS						Δ	



SCALE: 1" = 1,000'

LEGAL DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

CITY OF LEE'S SUMMIT NOTES:

- 1. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.
- 2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR
- **OIL AND GAS WELLS NOTE:**

TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.

> **RELEASED FOR** CONSTRUCTION As Noted on Plans Review



DOCUMENTS PREPARED BY CORESTATES IN ONLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED SER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

DRAWING MEASURI THAT LOG APPROPRI	TRACTOR IS SPEC DN OF EXISTING U SS, RECORDS OF ' EMENTS TAKEN IN CATIONS SHOWN , RIATE UTILITY COI I EXACT FIELD LO	nat's below Call before you di Cifically cautioned that the location at tillities as shown on these plans is base the various utility companies, and when the various utility companies, and when the leld. corestates, inc does not di ane exact. the contractor must conta meanies at least 72 Hours before any ex cations of utilities.	ND/OR ID ON DESIG IE POSSIBLE JARANTEE CT THE
RFV	DATE	REVISIONS COMMENT	BY
KEV	DATE	COMMENT	ВТ
1	02/18/21	CITY COMMENTS	RJD
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD
4	07/21/21	CITY COMMENTS	CDF
5	07/29/21	CITY COMMENTS	CDF
6	01/11/22	CITY COMMENTS & WATER L INE	CDF
7	03/04/22	CITY COMMENT / ATM SECURITY WALL	CDF

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. **FAIRBANKS** NUMBER E-2001018726

COVER SHEET

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDF

- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- 11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE 26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT AND THE CITY OF LEE'S SUMMIT UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF LEE'S SUMMIT DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY OF LEE'S SUMMIT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
- 10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL

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- AREA OF CONSTRUCTION. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST HOLES.
- 16. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS
- 18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 19. CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA.
- 20. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 21. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.
- 22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- 23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
- IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER THE PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
- 28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
- 29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE
- 30. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF LEE'S SUMMIT DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
- 31. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GDOT/CITY OF LEE'S SUMMIT STANDARDS.

GENERAL PAVING AND GRADING NOTES:

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS WITHIN THE STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE STATE'S DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE STATE'S DEPARTMENT OF TRANSPORTATION UTILITY STANDARDS. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS OUTSIDE OF STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL ALSO CONFORM TO THE ABOVE STATE'S DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE UTILITIES THAT ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
- 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR

INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4

ALL NATURAL AND PAVED AREAS.

- 15. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
- CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BY REQUIRED.
- 18. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION. THE CONTRACTOR IS TO SUPPLY THE CITY OF LEE'S SUMMIT A COPY OF THE PERMIT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
- FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
- ALL STRUCTURES ARE TO CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. CURB INLETS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, CATCH BASINS SHALL HAVE TRAFFIC BEARING, GRATES. CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, MANHOLES SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
- ALL DRAINAGE CULVERT JOINTS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- 24. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT LOSS, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF SILT FENCE AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. SILT FENCE MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE SEDIMENT BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE STATE'S STORMWATER

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS (INCLUDING SERVICE LINES) SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER. WATER MAIN OR ANY OF THE DRY UTILITIES. THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- PROPOSED UTILITIES. 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS

ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF

- 18. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 22. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED, AND RETURNED TO THE CONTRACTOR.
- 23. AT LEAST THREE (3) WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS APPROVED BY ENGINEER OF RECORD, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE CITY OF LEE'S SUMMIT ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONAL. ANY WORK PREFORMED PRIOR TO NOTIFYING THE CITY OF LEE'S SUMMIT ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY OF LEE'S SUMMIT FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER, AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- 26. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM HORIZONTAL DISTANCE OF THREE (3) FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS.
- ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- 32. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP

TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.

CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS

AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS

- 33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY OF LEE'S SUMMIT AND/OR FIRE DEPARTMENT. 34. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR
- PRIOR TO POSSESSION. 35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

As Noted on Plans Review oment Services Departi Lee's Summit, Missour

RELEASED FOR

CONSTRUCTION

BSL | BUILDING SETBACK LINE CF CUBIC FEET CL | CENTERLINE CMP CORRUGATED METAL PIPE CONN CONNECTION CONC CONCRETE CPP CORRUGATED PLASTIC PIPE CY CUBIC YARDS DEC DECORATIVE DEP DEPRESSED DIP DUCTILE IRON PIPE DOM DOMESTIC ELEC ELECTRIC ELEV | ELEVATION EDGE OF PAVEMENT ES EDGE OF SHOULDER EW END OF WALL EX EXISTING FES | FLARED END SECTION FINISH FLOOR FLEVATION FH FIRE HYDRANT FG FINISHED GRADE GRADE GF GARAGE FLOOR GH GRADE HIGH SIDE OF WALI GL GRADE LOW SIDE OF WALL GRT GRATE GV GATE VALVE HDPE HIGH DENSITY POLYETHYLENE PIPE HP HIGH POINT HOR HORIZONTAL HW | HEADWALL INT INTERSECTION INV I INVERT LF LINEAR FOOT LOC LIMITS OF CLEARING LOD LIMITS OF DISTURBANCE LOS LINE OF SIGHT LP LOW POINT LS LANDSCAPE MAX MAXIMUM ME MATCH EXIST MIN MINIMUM MH MANHOLE MJ MECHANICAL JOINT OC ON CENTER PC POINT OF CURVATURE PCCR POINT OF COMPOUND CURVATURE, CURB RETURN PI POINT OF INTERSECTION POG POINT OF GRADE POI POINT OF INTEREST PROP PROPOSED PT POINT OF TANGENCY PTCR POINT OF TANGENCY, CURB RETURN PVC POLYVINYL CHLORIDE PIPE PVI POINT OF VERTICAL INTERSECTION PVT POINT OF VERTICAL TANGENCY R RADIUS RCP REINFORCED CONCRETE PIPE RCPR REINFORCED CONCRETE WITH RUBBER GASKET RET-WALL RETAINING WALL R/W RIGHT OF WAY S SLOPE SAN SANITARY SEWER SF SQUARE FEET SSE SANITARY SEWER EASEMENT STA STATION STM STORM TBR TO BE REMOVED TBRL TO BE RELOCATED TC TOP OF CURB TEL TELEPHONE TP TREE PROTECTION TW TOP OF WALL TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W/L WATER LINE W/M WATER METER ± PLUS OR MINUS DEGREE Ø DIAMETER # NUMBER

DOCUMENTS PREPARED BY CORESTATES. IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. A XTENSION OF USE TO ANY OTHER PROJECT Y OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AT OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES. CLIENT

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

REVISIONS

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. 台: FAIRBANKS NUMBER E-2001018726

GENERAL **NOTES** JOB # JPM-27135.00 12/21/20

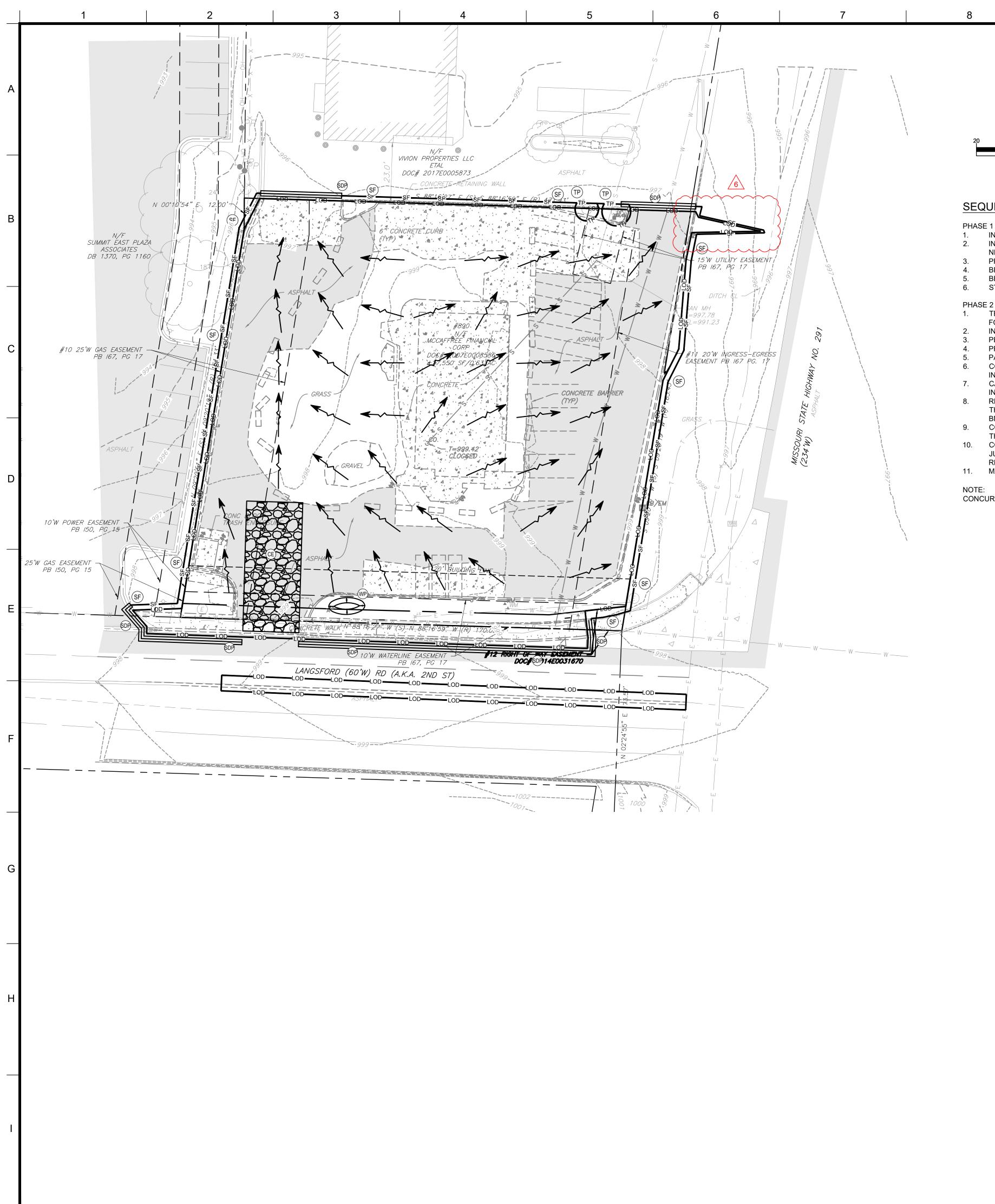
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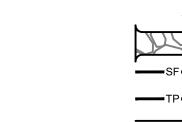
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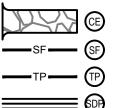
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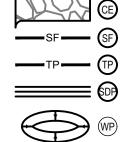


Jser: CFAIRBANKS Plot Date/Time: Jan. 11, 22 - 13:29:25 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_21692\JPM-27135-001-P-SITE.dwg; C3 EROSION AND SEDIMENTATION CONTROL PLAN PHASE









CONSTRUCTION ENTRANCE SILT FENCE TREE PROTECTION

____LOD ____

SILT DIKE ON PAVEMENT 8" DEPRESSED AREA FOR WASH DOWN

LIMITS OF DISTURBANCE DIRECTION OF

OVERLAND FLOW

SEQUENCE OF CONSTRUCTION

INSTALL STABILIZED CONSTRUCTION EXIT(S).

- INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- BEGIN GRADING THE SITE.

GRAPHIC SCALE

- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING. PAVE SITE.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS
- CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE
- CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
- CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF
- MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES)					
TOTAL PARCEL AREA	0.632				
TOTAL DISTURBED AREA	0.685				
ON-SITE DISTURBED AREA	0.629				
ON-SITE IMPERVIOUS AREA	0.417				
ON-SITE PERVIOUS AREA	0.212				
OFF-SITE DISTURBED AREA	0.056				
OFF-SITE IMPERVIOUS AREA	0.052				
OFF-SITE PERVIOUS AREA	0.004				



VICINITY MAP



USGS QUAD MAP

GENERAL EROSION NOTES

- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
- 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 11. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 17. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 20. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 21. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC

RELEASED FOR CONSTRUCTION As Noted on Plans Review evelopment Services Departn

Lee's Summit, Missouri 03/21/2022

OCUMENTS PREPARED BY CORESTATES, IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN CTENSION OF USE TO ANY OTHER PROJECT OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY ANI OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES.

CLIENT





APPROP	THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.						
	REVISIONS						
REV	DATE	COMMENT	BY				
1	02/18/21	CITY COMMENTS	RJD				
2	04/27/21	CITY COMMENTS	RJD				
3	06/02/21	CITY COMMENTS	RJD				
5	07/29/21	CITY COMMENTS	CDF				
6	01/11/22	CITY COMMENTS & WATER LINE	CDF				
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DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

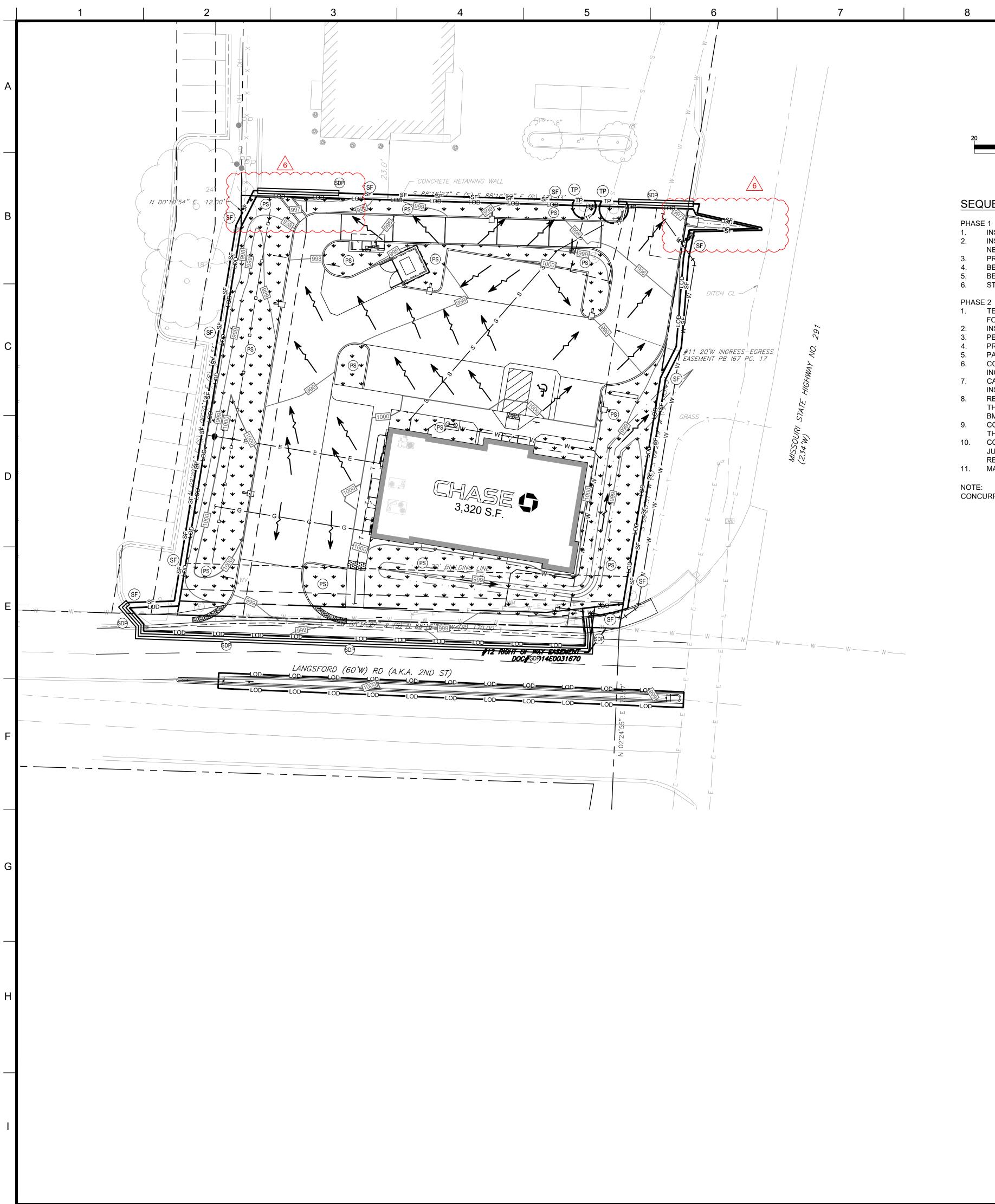
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

64063

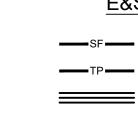
ENGINEER SEAL CHAD D. FAIRBANKS NUMBER : E-2001018726: 1-11-22

EROSION AND SEDIMENTATION **CONTROL PLAN PHASE I**

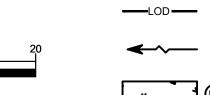
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TREE PROTECTION SILT DIKE ON PAVEMENT



LIMITS OF DISTURBANCE

PERMANENT SOD (OR SEED)

OVERLAND FLOW

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GENERAL EROSION NOTES

- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 11. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 17. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 20. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 21. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC

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03/21/2022

Lee's Summit, Missouri

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CLIENT





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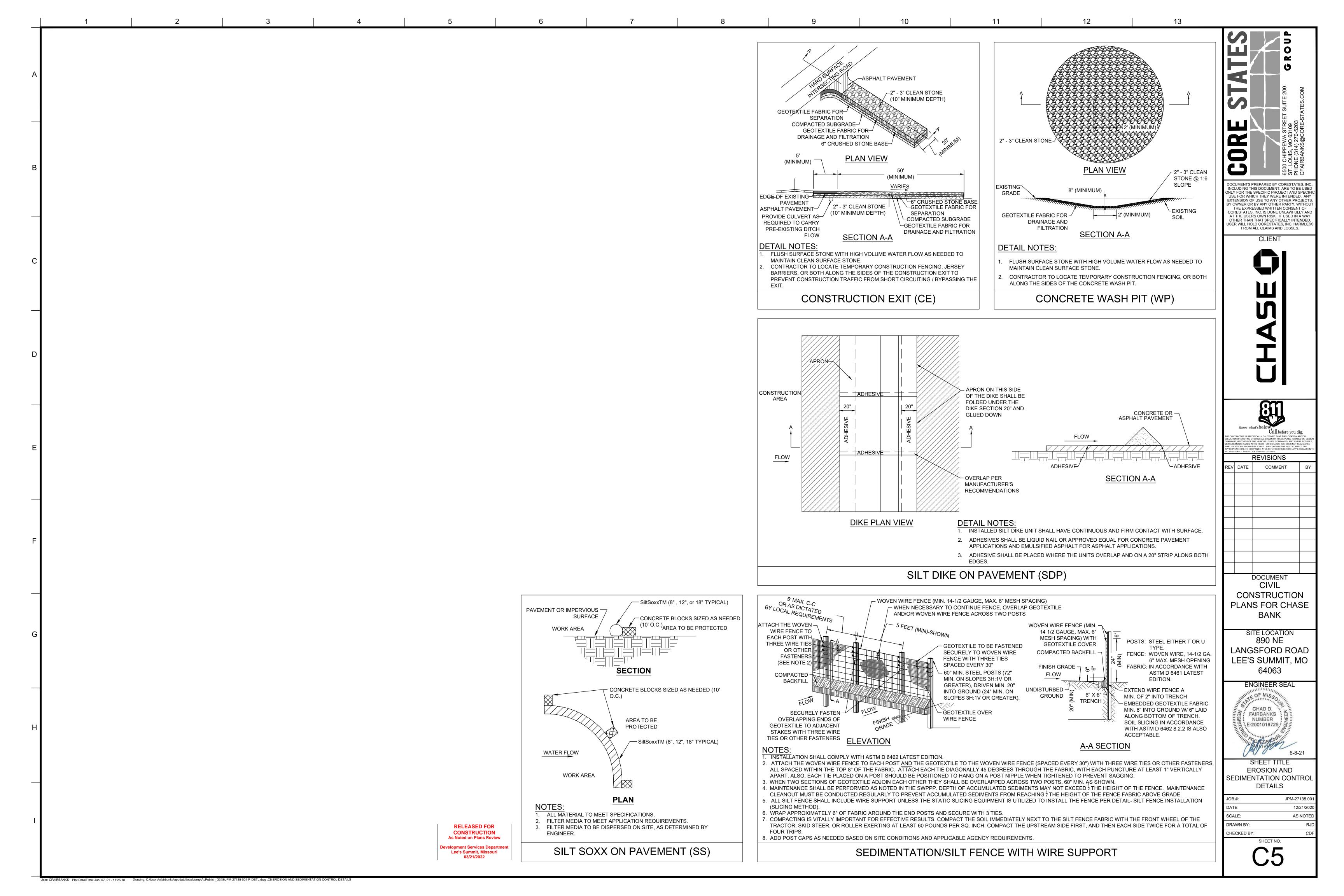
> DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

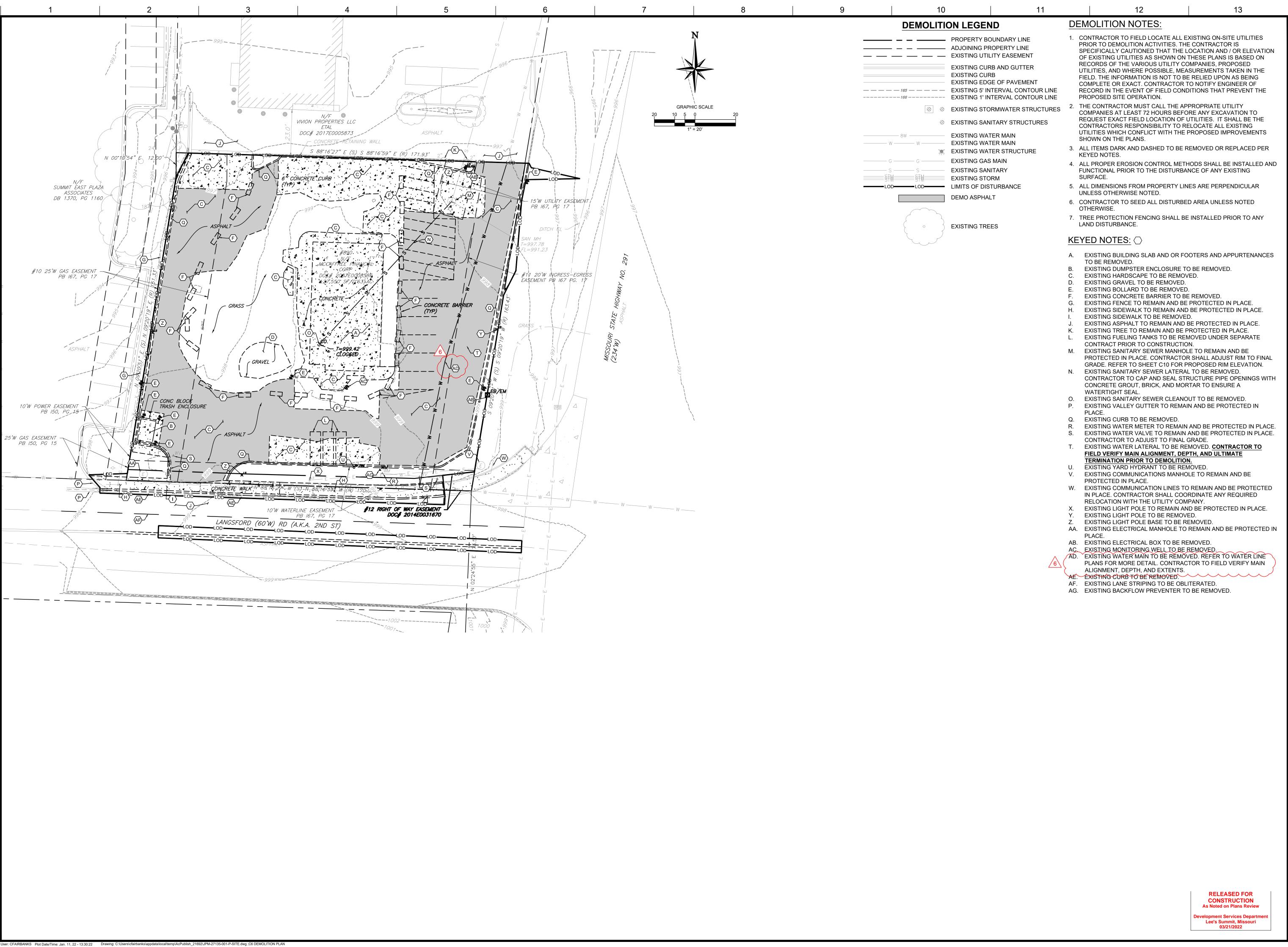
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 1-11-22

EROSION AND SEDIMENTATION CONTROL PLAN PHASE II

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:





OCHIPPEWA STREET SUITE 200
GROU
FILOUIS, MO 63109
HONE (314) 270-5203
FAIRBANKS@CORE-STATES.COM

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DOCUMENT
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CONSTRUCTION
PLANS FOR CHASE

BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE DEMOLITION PLAN

JOB #: JPM-27135.001

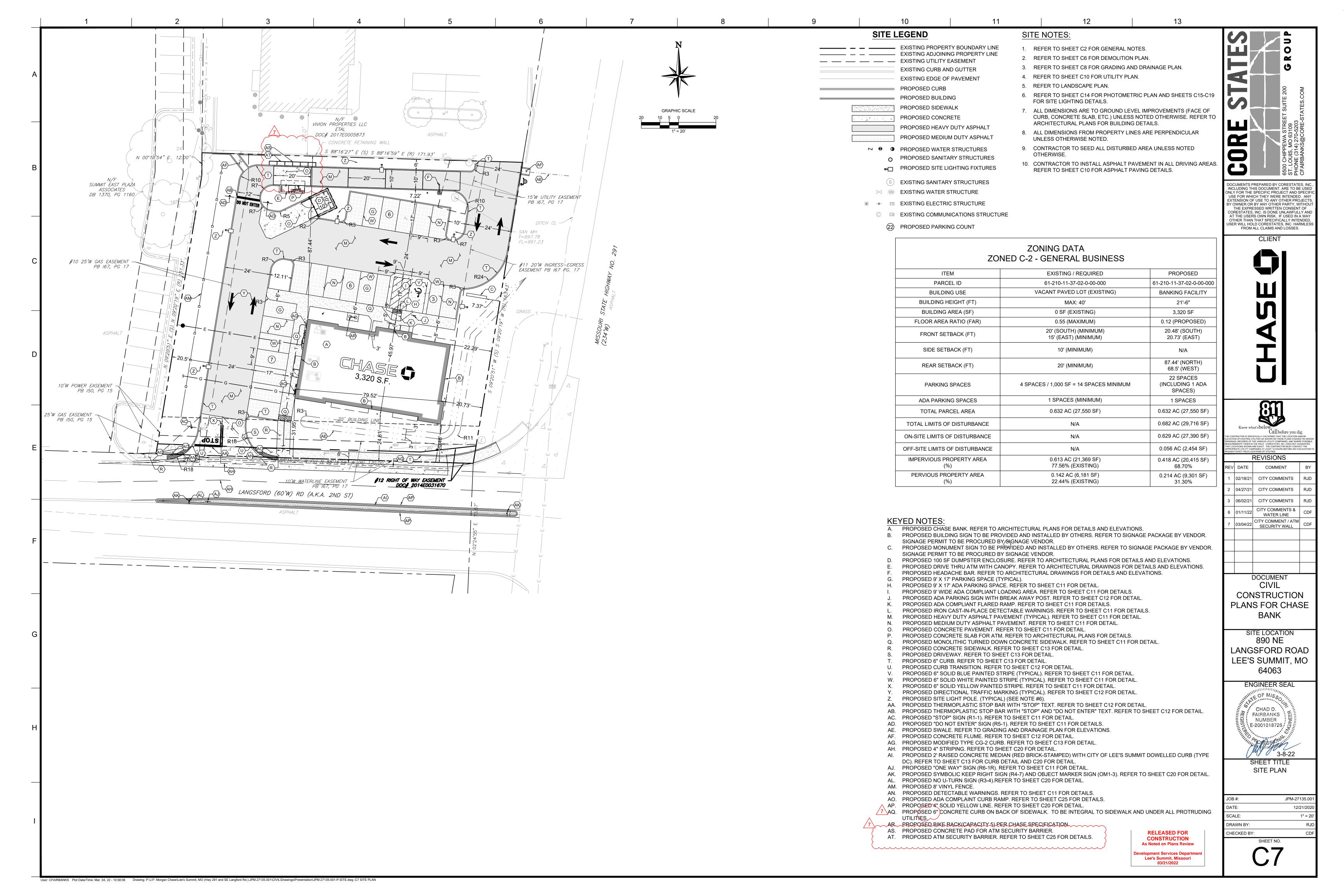
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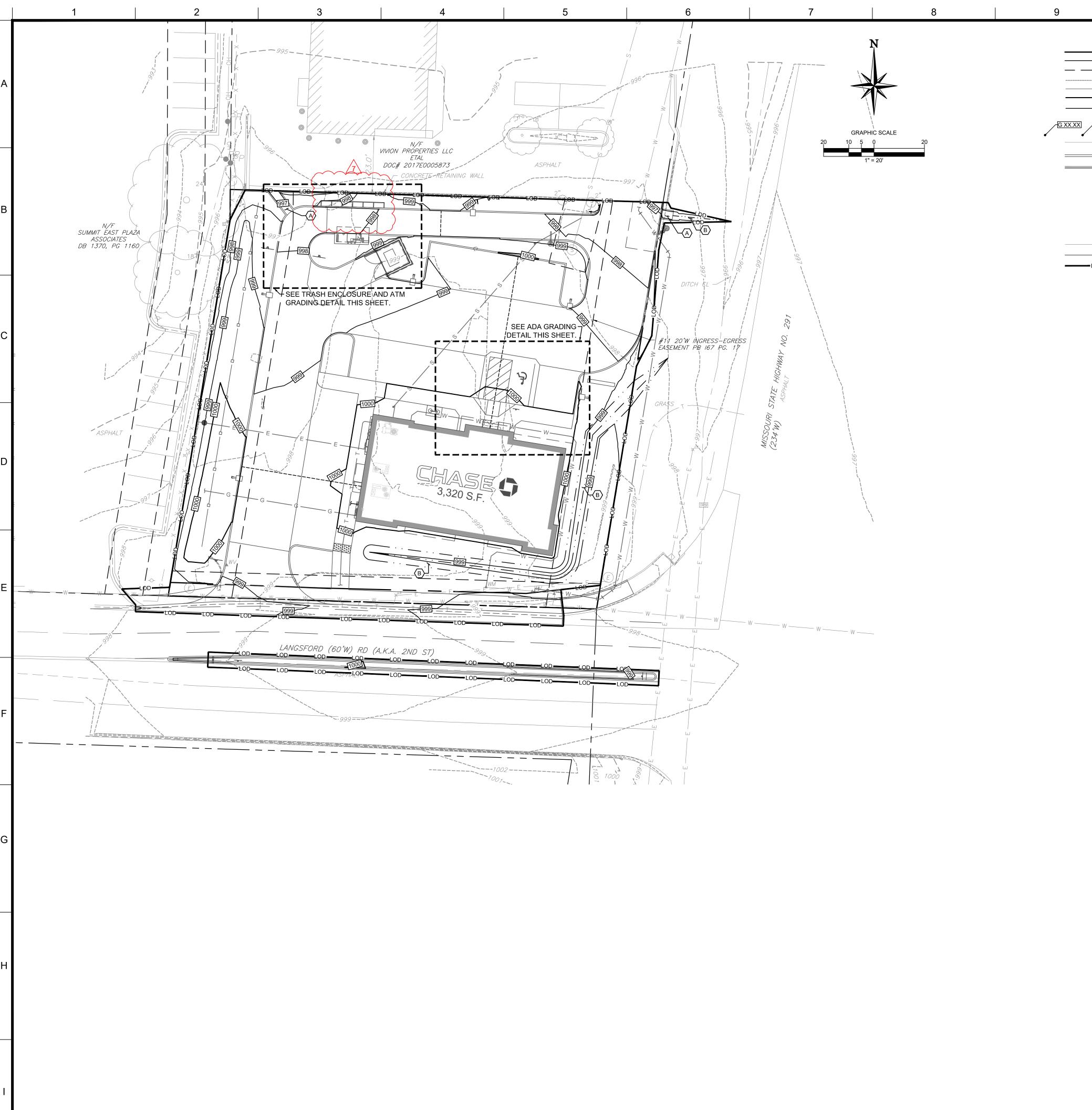
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CHECKED BY: CDF

C6





User: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 10:58:52 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C8 GRADING AND DRAINAGE PLAN

GRADING LEGEND

EXISTING PROPERTY BOUNDARY LINE EXISTING ADJOINING PROPERTY LINE — — EXISTING UTILITY EASEMENT EXISTING 5' INTERVAL CONTOUR LINE EXISTING 1' INTERVAL CONTOUR LINE PROPOSED 5' INTERVAL CONTOUR LINE — PROPOSED 1' INTERVAL CONTOUR LINE

EXISTING EDGE OF PAVEMENT PROPOSED CURB PROPOSED BUILDING • PROPOSED WATER STRUCTURES

O PROPOSED SANITARY STRUCTURES PROPOSED SITE LIGHTING FIXTURES **EXISTING WATER STRUCTURE**

———— S ————— EXISTING SANITARY PROPOSED SANITARY LIMITS OF DISTURBANCE

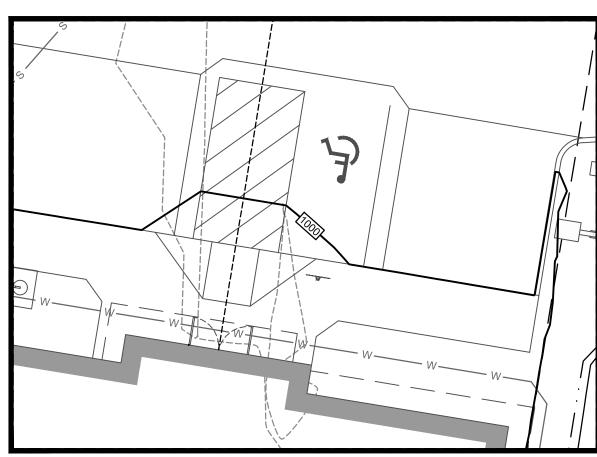
GRADING NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
- 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 5. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

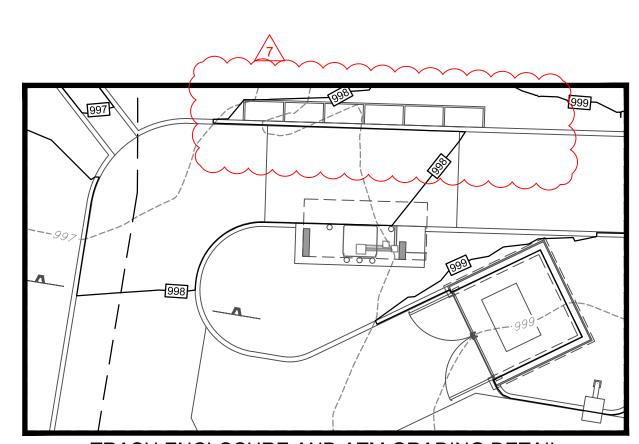
GENERAL NOTES:

- 1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION / DETENTION AREA.
- 2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE PLAN.
- 3. SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 + 0.085' = NGVD 29.

- KEYED NOTES: \bigcirc A. PROPOSED 3' WIDE CONCRETE FLUME.
- B. PROPOSED SWALE.



ADA GRADING DETAIL SCALE = 1" = 10'



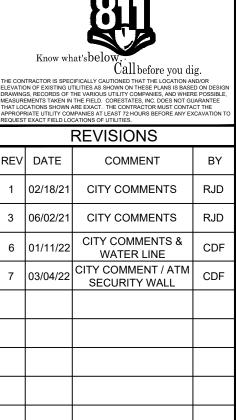
TRASH ENCLOSURE AND ATM GRADING DETAIL

SCALE = 1" = 10'

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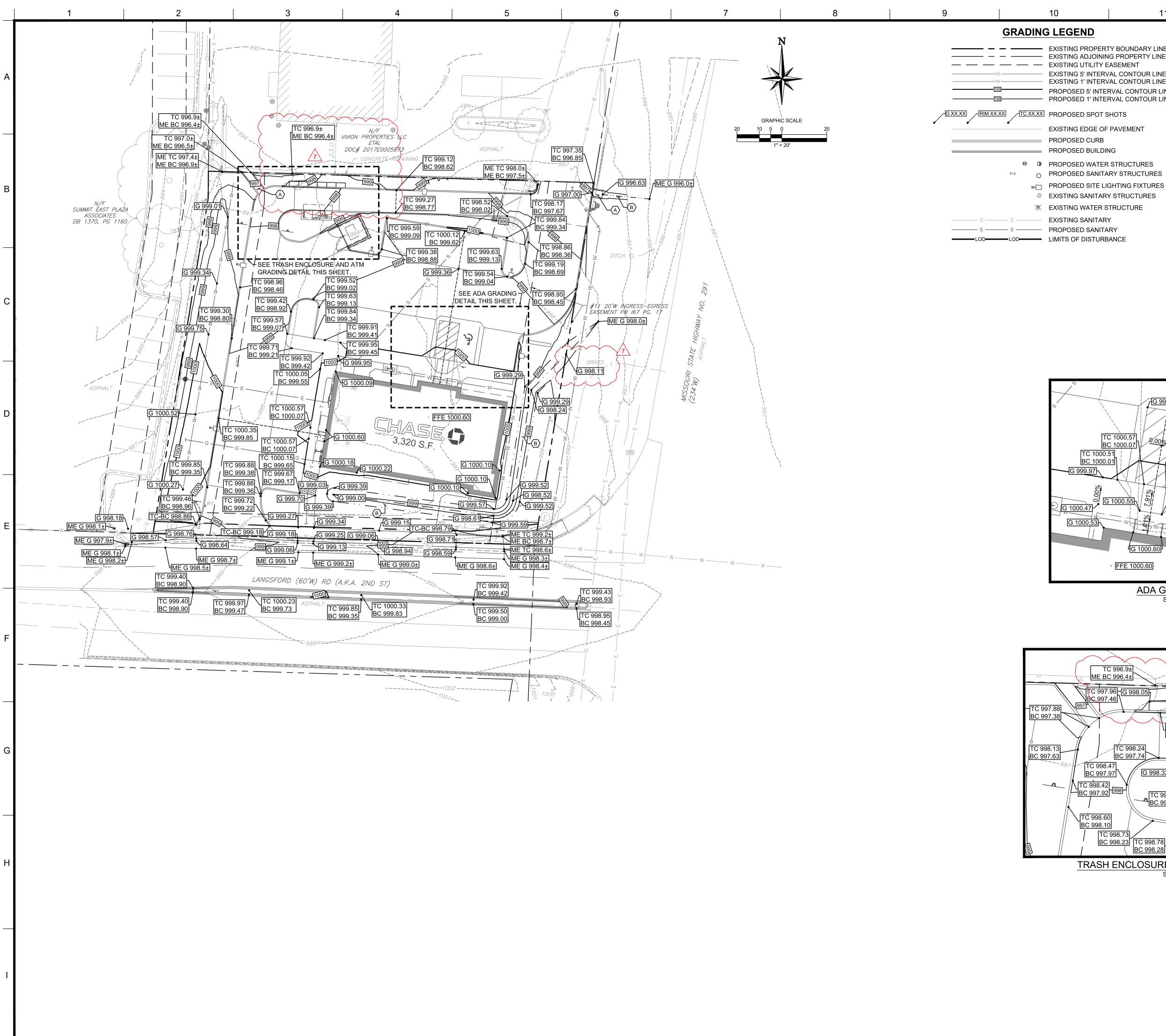
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL WHITE OF MISSO CHAD D. FAIRBANKS ' NUMBER E-2001018726

SHEET TITLE **GRADING AND** DRAINAGE PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 20' DRAWN BY: CHECKED BY:



User: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 10:59:32 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C8A DETAILED GRADING AND DRAINAGE PLAN

GRADING NOTES:

1. REFER TO SHEET C2 FOR GENERAL NOTES. EXISTING PROPERTY BOUNDARY LINE ——— EXISTING ADJOINING PROPERTY LINE

EXISTING 5' INTERVAL CONTOUR LINE

EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 5' INTERVAL CONTOUR LINE

EXISTING EDGE OF PAVEMENT

O PROPOSED SANITARY STRUCTURES

EXISTING WATER STRUCTURE

PROPOSED CURB

PROPOSED BUILDING

— PROPOSED 1' INTERVAL CONTOUR LINE

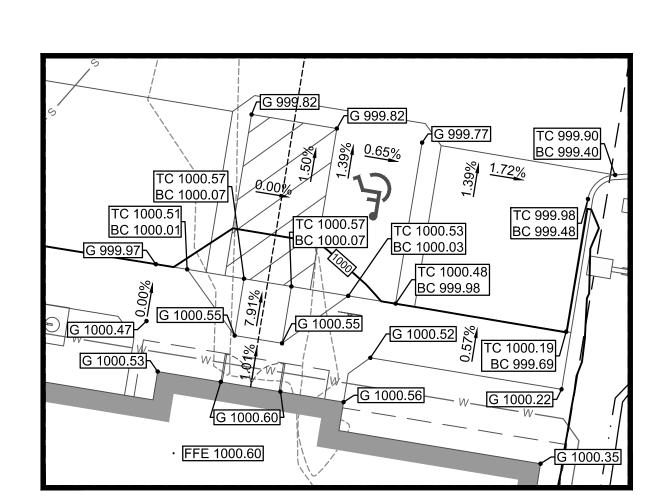
- 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- 5. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

GENERAL NOTES:

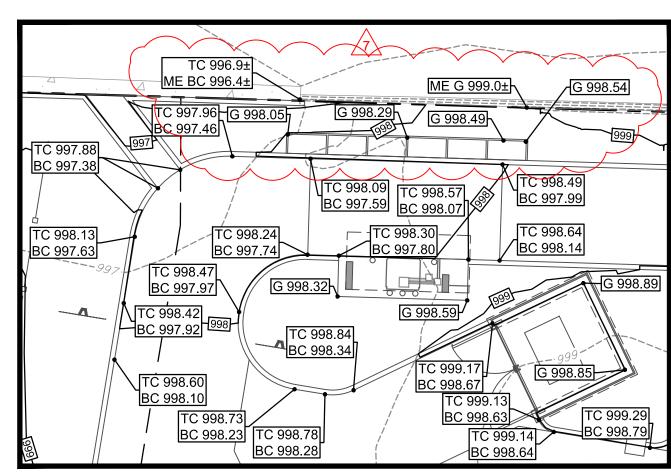
- 1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION / DETENTION AREA.
- 2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE PLAN.
- 3. SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 + 0.085' = NGVD 29.

KEYED NOTES: ⟨>

- A. PROPOSED 3' WIDE CONCRETE FLUME.
- B. PROPOSED SWALE.



ADA GRADING DETAIL SCALE = 1" = 10'



TRASH ENCLOSURE AND ATM GRADING DETAIL

SCALE = 1" = 10'

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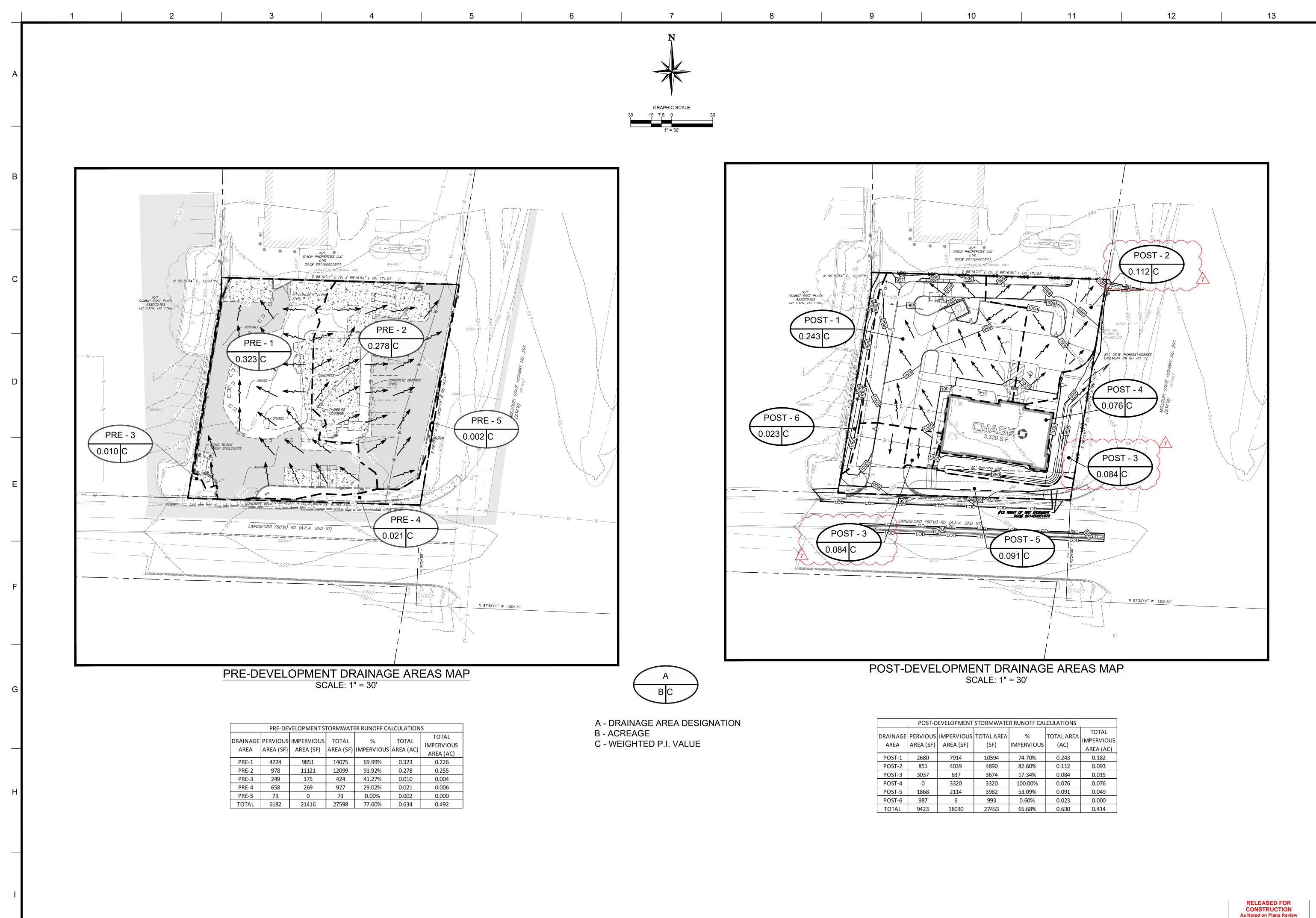
CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL HATE OF MISSO CHAD D. FAIRBANKS NUMBER E-2001018726 SHEET TITLE

DETAILED **GRADING AND** DRAINAGE PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY:



User: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 11:03:05 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C9 DRAINAGE BASIN MAPS

HIPPEWA STREET SUITE 200 GROUP
UIS, MO 63109
E (314) 270-5203
BANKS@CORE-STATES.COM

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HICH THEY WERE INTENDED.

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CHASE

Know what's below.

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION ANDIOR
ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN
DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE,
MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE
THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE
APPROPRIATE UTILITY COMPANIES AT LEAST 27 HOURS BEFORE ANY EXCAVATION TO
REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE

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6 01/11/22 CITY COMMENTS & CDF

7 03/04/22 CITY COMMENT / ATM SECURITY WALL CDF

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL

OF MISSO

CHAD D.

FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE DRAINAGE BASIN MAPS

 JOB #:
 JPM-27135.001

 DATE:
 12/21/2020

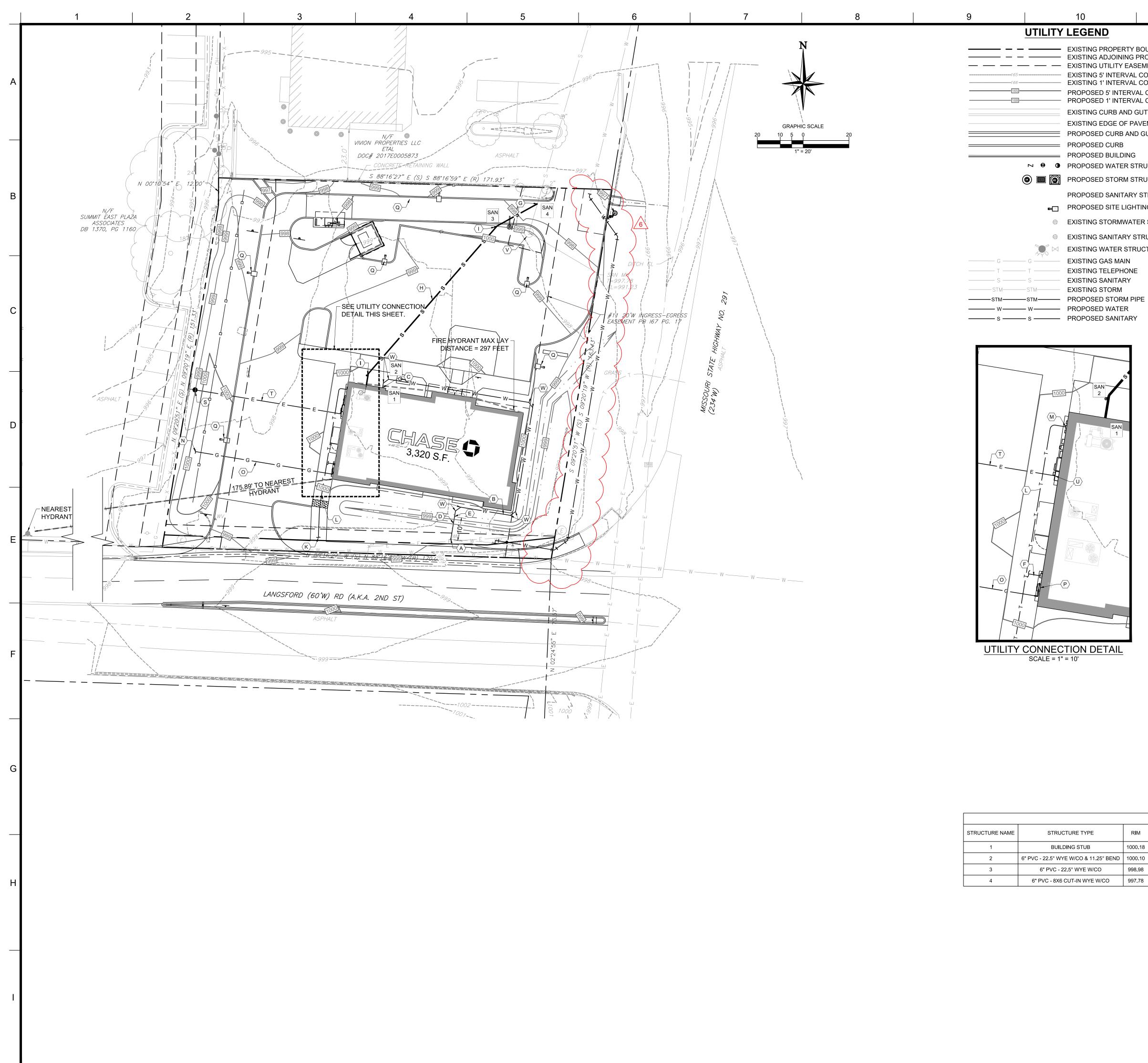
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 1" = 20'

 DRAWN BY:
 RJD

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 CDF

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Lee's Summit, Missouri 03/21/2022



User: CFAIRBANKS Plot Date/Time: Jan. 11, 22 - 13:33:40 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_21692\JPM-27135-001-P-SITE.dwg; C10 UTILITY PLAN

UTILITY NOTES:

UTILITY LEGEND

EXISTING PROPERTY BOUNDARY LINE

PROPOSED 5' INTERVAL CONTOUR LINE

EXISTING CURB AND GUTTER EXISTING EDGE OF PAVEMENT

PROPOSED CURB AND GUTTER

— — EXISTING UTILITY EASEMENT

PROPOSED CURB

— PROPOSED BUILDING

→ ● PROPOSED WATER STRUCTURES

(a) PROPOSED STORM STRUCTURES

— EXISTING ADJOINING PROPERTY LINE

EXISTING 5' INTERVAL CONTOUR LINE EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 1' INTERVAL CONTOUR LINE

PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

EXISTING SANITARY STRUCTURES

M EXISTING WATER STRUCTURE

EXISTING GAS MAIN

EXISTING SANITARY

EXISTING STORM

UTILITY CONNECTION DETAIL

SCALE = 1" = 10'

EXISTING TELEPHONE

EXISTING STORMWATER STRUCTURES

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
 - 2. REFER TO SHEET C6 FOR EXISTING CONDITIONS.
- 3. REFER TO SHEET C7 FOR SITE PLAN.
- 4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
 - 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING
- 7. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- 8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 9. ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.354' :

6 10. SEE SEPARATE WATER LINE DRAWINGS FOR WATER LINE DEMOLITION AND RELOCATION.



- A. PROPOSED DOMESTIC WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- PROPOSED 1-1/2" COPPER DOMESTIC WATER SERVICE. PROPOSED LOCATION FOR POTABLE WATER TIE IN TO THE
- BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED 2" SOFT TYPE K COPPER SERVICE LATERAL TO EXTEND
- A MINIMUM OF 10 FEET PAST THE METER. PROPOSED 2" X 1.5" REDUCER TO BE INSTALLED A MINIMUM OF 10 FEET PAST THE METER.
- PROPOSED 1-1/2" PVC IRRIGATION STUB FROM BUILDING. SEE
- IRRIGATION PLAN FOR CONTINUATION. PROPOSED 8" X 6" CUT-IN WYE AND POINT OF CONNECTION FOR
- SANITARY SEWER SERVICE AT 8" SANITARY SEWER LATERAL. PROPOSED 6" (SDR 35) PVC SANITARY SEWER SERVICE. SANITARY
- SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 2.00%. PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO
- SHEET C12 FOR DETAIL. PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE
- BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED POINT OF CONNECTION FOR UNDERGROUND
- TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY. PROPOSED (2) 2" CONDUITS FOR TELEPHONE/CABLE SERVICE.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR SERVICE SPECIFICATIONS.
- PROPOSED LOCATION FOR UNDERGROUND TELEPHONE/CABLE TIE IN TO THE BUILDING. REFER TO ELECTRICAL PLANS FOR DETAILS. PROPOSED GAS SERVICE CONNECTION AT EXISTING GAS LATERAL
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY O. PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY). P. PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY).
- Q. PROPOSED SITE LIGHTING FIXTURE (SEE PHOTOMETRIC PLAN). REFER TO SHEET C15, C16, C17, & C18 FOR DETAILS.
- PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR MONUMENT SIGN. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND
- FACILITATED PROPOSED WIRING SCHEMATIC. PROPOSED UTILITY POLE WITH TRANSFORMERS AND POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- (EVERGY). CONTRACTOR SHALL PROVIDE 4" UNDERGROUND SECONDARY CONDUITS SIZED FOR 400A, 3-PHASE ELECTRICAL SERVICE.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY). PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL
- TRANSFER SWITCH. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (EVERGY). REFER TO ELECTRICAL PLANS FOR DETAILS.
- V. EXISTING SANITARY SEWER MANHOLE TO BE ADJUSTED TO FINAL
- W. PROPOSED $1\frac{1}{2}$ " COPPER 45° FITTING.

SANITARY STRUCTURE TABLE RIM UPSTREAM UPSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM STRUCTURE NAME STRUCTURE TYPE PIPE NAME | PIPE INV | PIPE NAME PIPE INV PIPE LENGTH | PIPE SIZE AND TYPE | PIPE SLOPE BUILDING STUB SAN 1-2 996.67' 5.00' 6" PVC 2.00% 6" PVC - 22.5° WYE W/CO & 11.25° BEND | 1000.10 | SAN 1-2 996.57' SAN 2-3 996.57' 85.59' 6" PVC 1.39% 6" PVC - 22.5° WYE W/CO 998.98 SAN 2-3 995.38' SAN 3-4 995.38' 20.12' 6" PVC 21.68% 3 6" PVC - 8X6 CUT-IN WYE W/CO 997.78 SAN 3-4 991.01'

RELEASED FOR CONSTRUCTION **As Noted on Plans Review** velopment Services Departm Lee's Summit, Missouri

03/21/2022

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REVISIONS 02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS RJD 06/02/21 CITY COMMENTS 4 07/21/21 CITY COMMENTS CD 01/11/22 CITY COMMENTS & WATER LINE

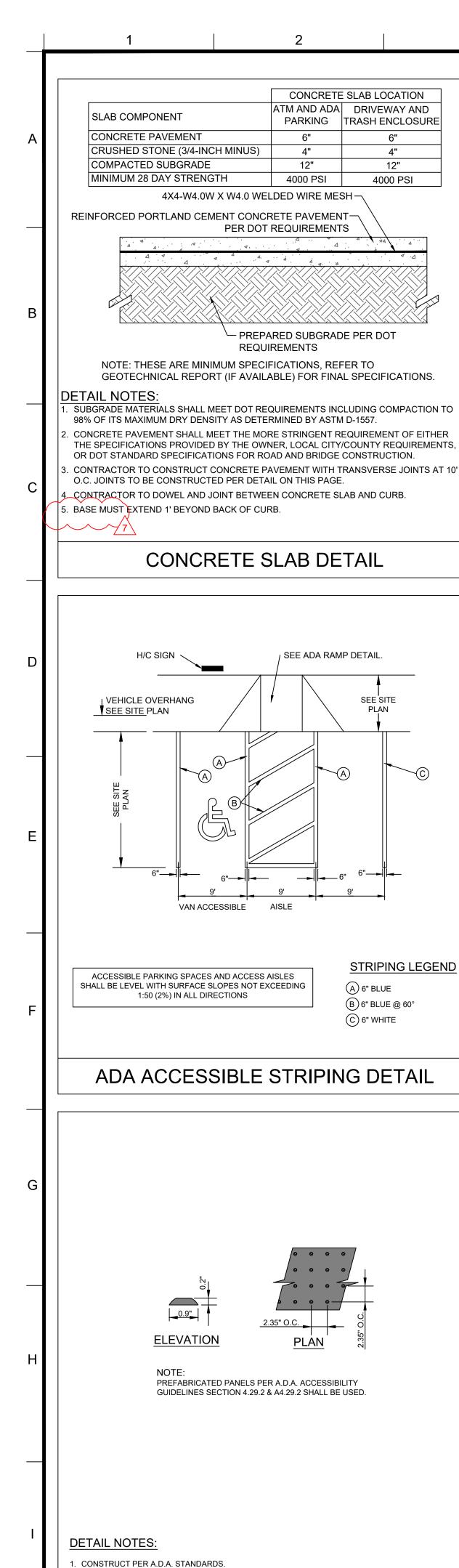
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

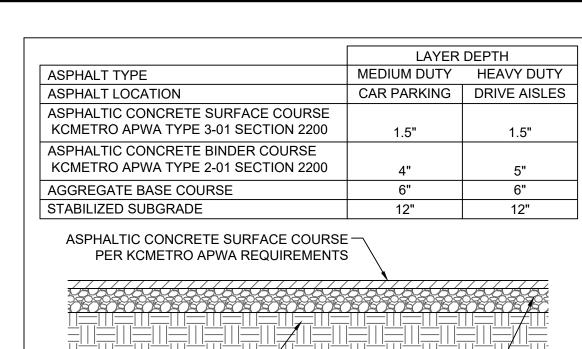
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



UTILITY PLAN

JPM-27135.00 JOB # 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:





AGGREGATE BASE COURSE-STABILIZED SUBGRADE TO 98% — PER KCMETRO APWA OR GREATER OF MAXIMUM **REQUIREMENTS** DRY DENSITY PER ASTM D-1557

REQUIREMENTS NOTE: THESE ARE MINIMUM SPECIFICATIONS, REFER TO GEOTECHNICAL REPORT & KCMETRO APWA SPECIFICATIONS FOR FINAL SPECIFICATIONS.

- AGGREGATE BASE COURSE SHALL BE PER KCMETRO APWA SECTION
- 2. STABILIZED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.
- 3. BASE TO EXTEND 1' BEYOND BACK OF CURB.

AND PER KCMETRO APWA

DETAIL NOTES:

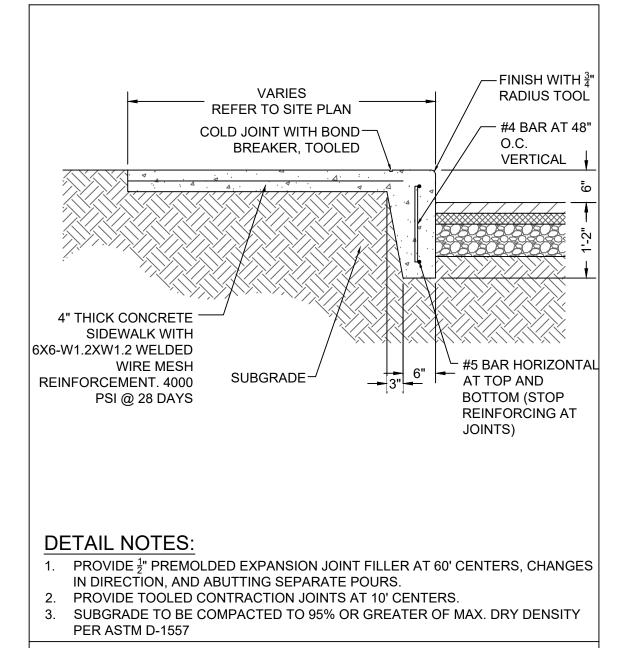
4. SUBGRADE SHALL BE CHEMICALLY STABILIZED PER KCMETRO APWA SECTION 2202.

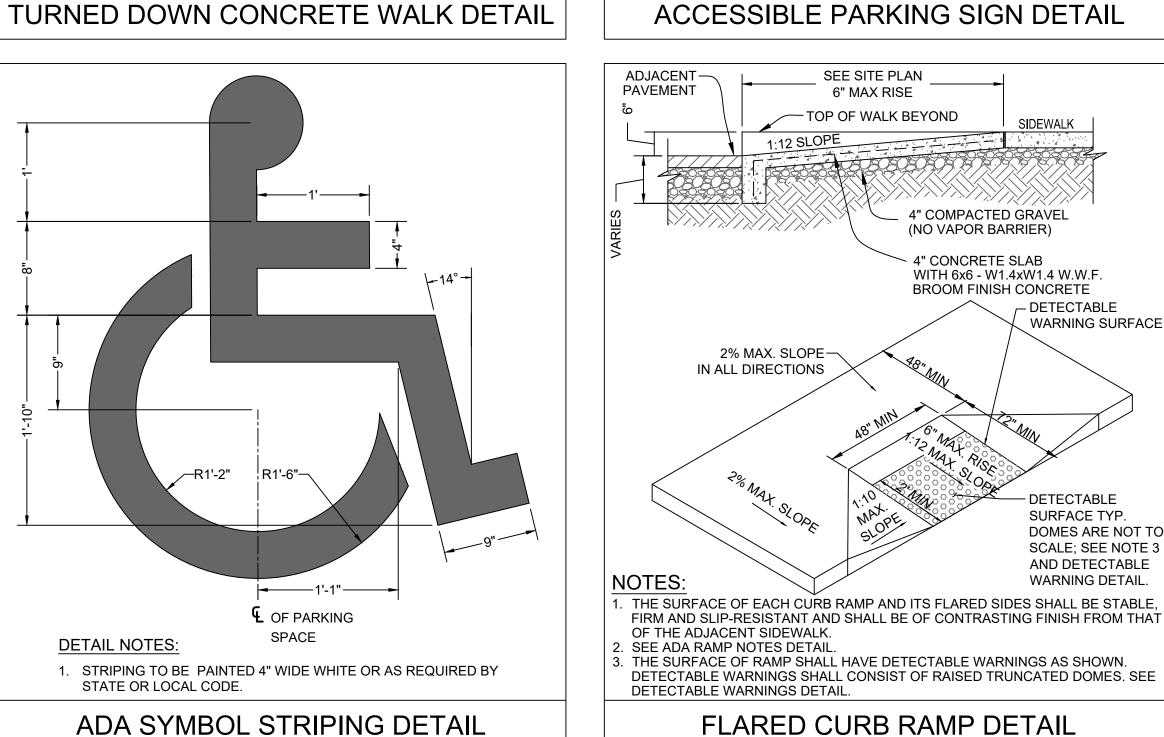
ASPHALT PAVING DETAIL

- 4" WIDE SINGLE

AT 24" CENTERS

YELLOW SOLID LINES





. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE FLARED CURB RAMP DETAIL

THIS SIGN TYPICAL AT ALL

(MUTCD R7-8)

THIS SIGN TYPICAL AT ALL

4" COMPACTED GRAVEL

(NO VAPOR BARRIER)

4" CONCRETE SLAB

WITH 6x6 - W1.4xW1.4 W.W.F.

— DETECTABLE

DETECTABLE

SURFACE TYP.

DOMES ARE NOT TO

SCALE; SEE NOTE 3

AND DETECTABLE

WARNING DETAIL.

WARNING SURFACE

BROOM FINISH CONCRETE

PARKING SPACES

(MUTCD R7-8b)

VAN-ACCESSIBLE HANDICAP

STANDARD.

RESERVED

PARKING

50.00 TO \$300.0

FINE

ACCESSIBLE

ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.

REFER TO DOT AND MUTCD FOR SPECIFICATIONS.

SIGNS TO BE MOUNTED AT LEAST 60" ABOVE THE PARKING SURFACE.

ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.

5. REFER TO DRC SIGN PACKAGE FOR FINAL SIGNAGE INSTALLATION.

PRE-PAINTED

SIGN ON 1/8"

THICK SHEET

ALUMINUM

WHITE SYMBOL

PENALTY SIGN

VORDING SHALL BE AS

REQUIRED BY STATE

NOTES:

OR LOCAL CODE

ON BLUE BACKGROUND

SABLE PARKING

HANDICAP PARKING SPACES

GREEN BORDER &

GREEN BORDER &

GREEN BORDER &

LETTERS WHITE

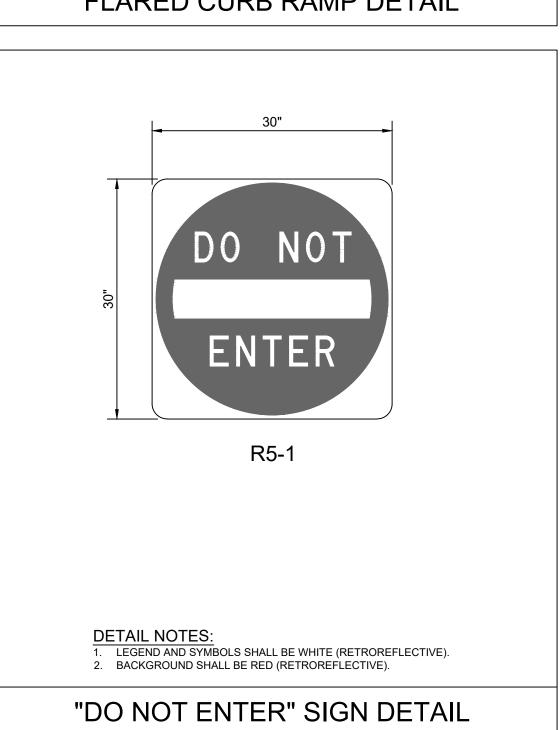
BACKGROUND

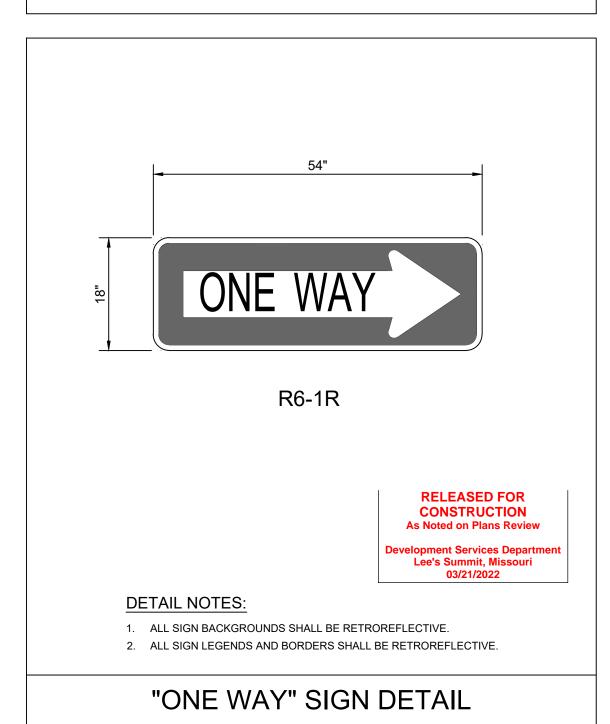
LETTERS WHITE

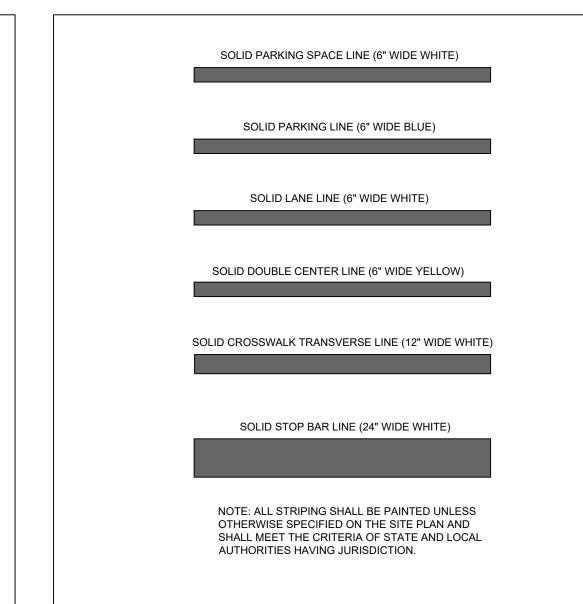
BACKGROUND

LETTERS WHITE

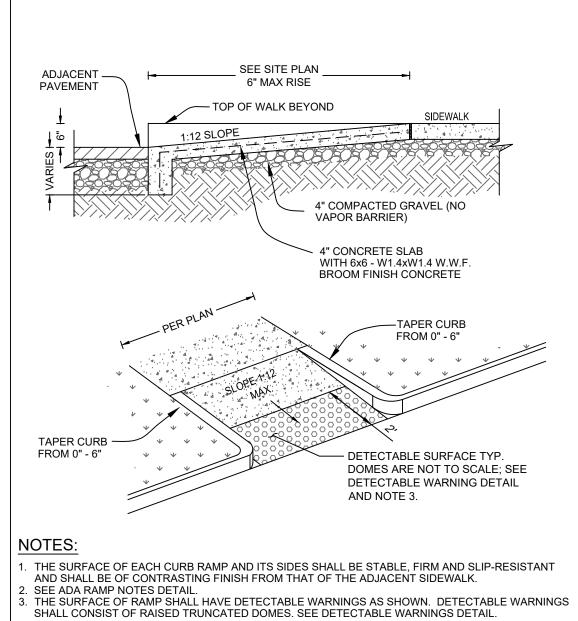
BACKGROUND







STRIPING DETAIL



PERPENDICULAR CURB RAMP DETAIL

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Call before you dig. **REVISIONS** 1 | 02/18/21 | CITY COMMENTS 3 | 06/02/21 | CITY COMMENTS 07/21/21 CITY COMMENTS 03/04/22 CITY COMMENT / ATM SECURITY WALL DOCUMENT CIVIL

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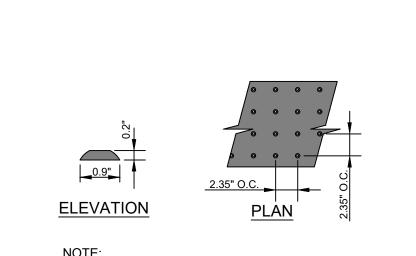
CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



CONSTRUCTION DETAILS

JPM-27135.00 SCALE: AS NOTE DRAWN BY: CHECKED BY:



CONCRETE SLAB LOCATION

PARKING TRASH ENCLOSURE

4"

12"

4000 PSI

ATM AND ADA DRIVEWAY AND

4"

12"

4000 PSI

- PREPARED SUBGRADE PER DOT

SEE ADA RAMP DETAIL.

SEE SITE

STRIPING LEGEND

(B) 6" BLUE @ 60°

(C) 6" WHITE

PER DOT REQUIREMENTS

REQUIREMENTS

PREFABRICATED PANELS PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & A4.29.2 SHALL BE USED.

DETECTABLE WARNING DETAIL

ser: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 10:30:17 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C11 CONSTRUCTION DETAILS

DETAIL NOTES:

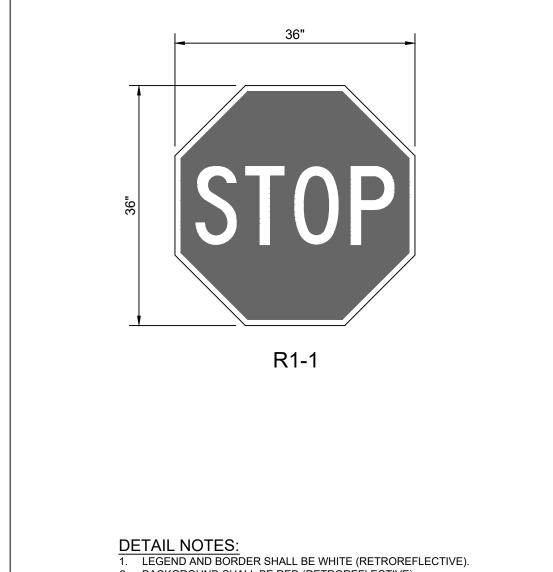
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE

VARIES

SEE PLAN

STRIPED AISLE DETAIL

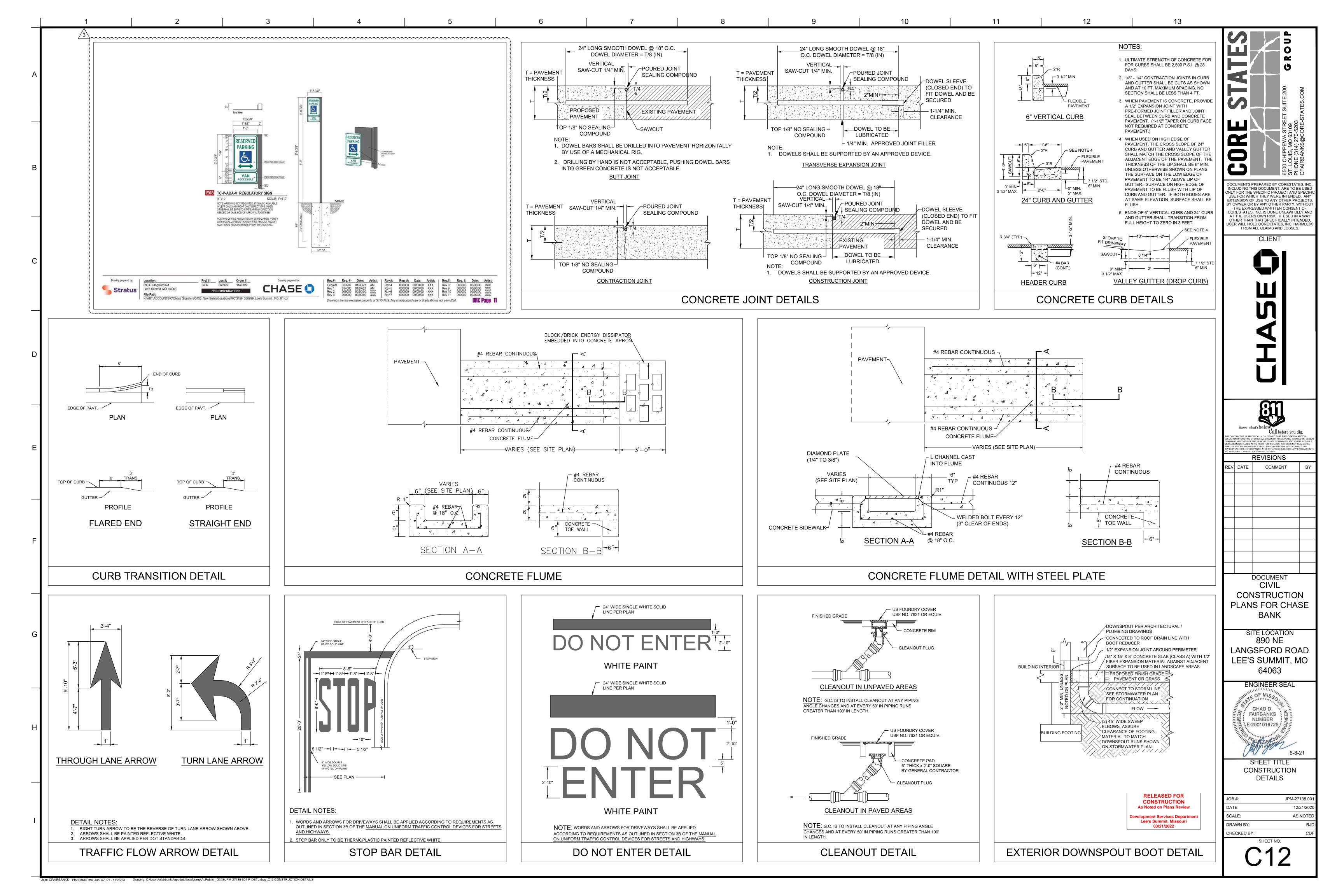
- DETECTABLE WARNINGS DETAIL
- 2. CONSTRUCT PER A.D.A. STANDARDS. 3. REFER TO PLANS FOR ADJACENT SLOPES.
- 4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1.5 %. SHOULD THE CROSS SLOPE EXCEED 2% THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH
- 5. THE LONGITUDINAL SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 8.33%. SHOULD THE LONGITUDINAL SLOPE EXCEED 8.33%, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT.
- 6. ALL ADA ACCESSIBLE RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- 7. SEE DETAIL FOR DETECTABLE WARNING LOCATION, TYPE, AND EXTENTS
- 8. ALL RAMPS OUTSIDE THE PROPERTY SHALL CONFORM TO THE STANDARDS OF THE GOVERNING REGULATING AGENCY.

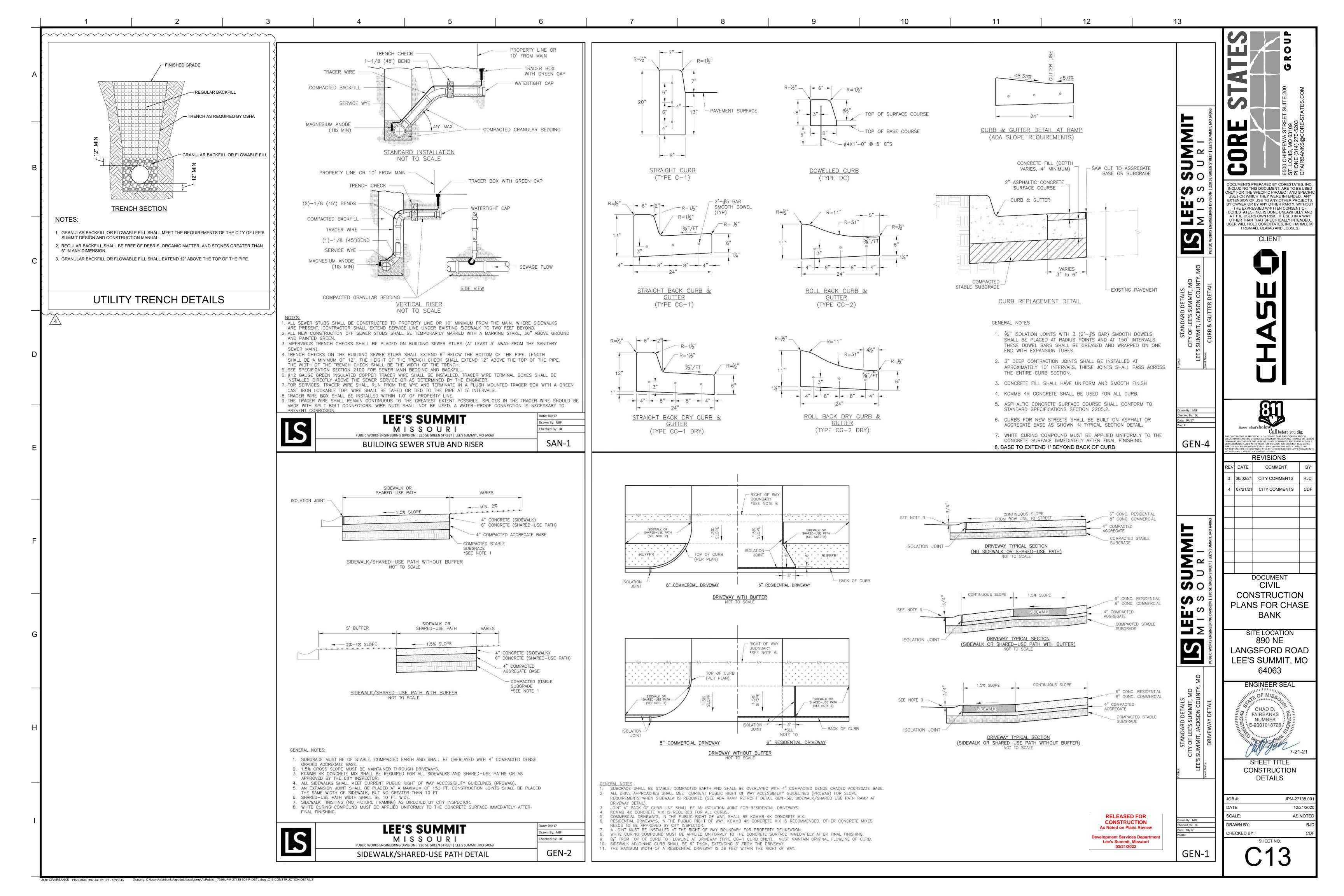


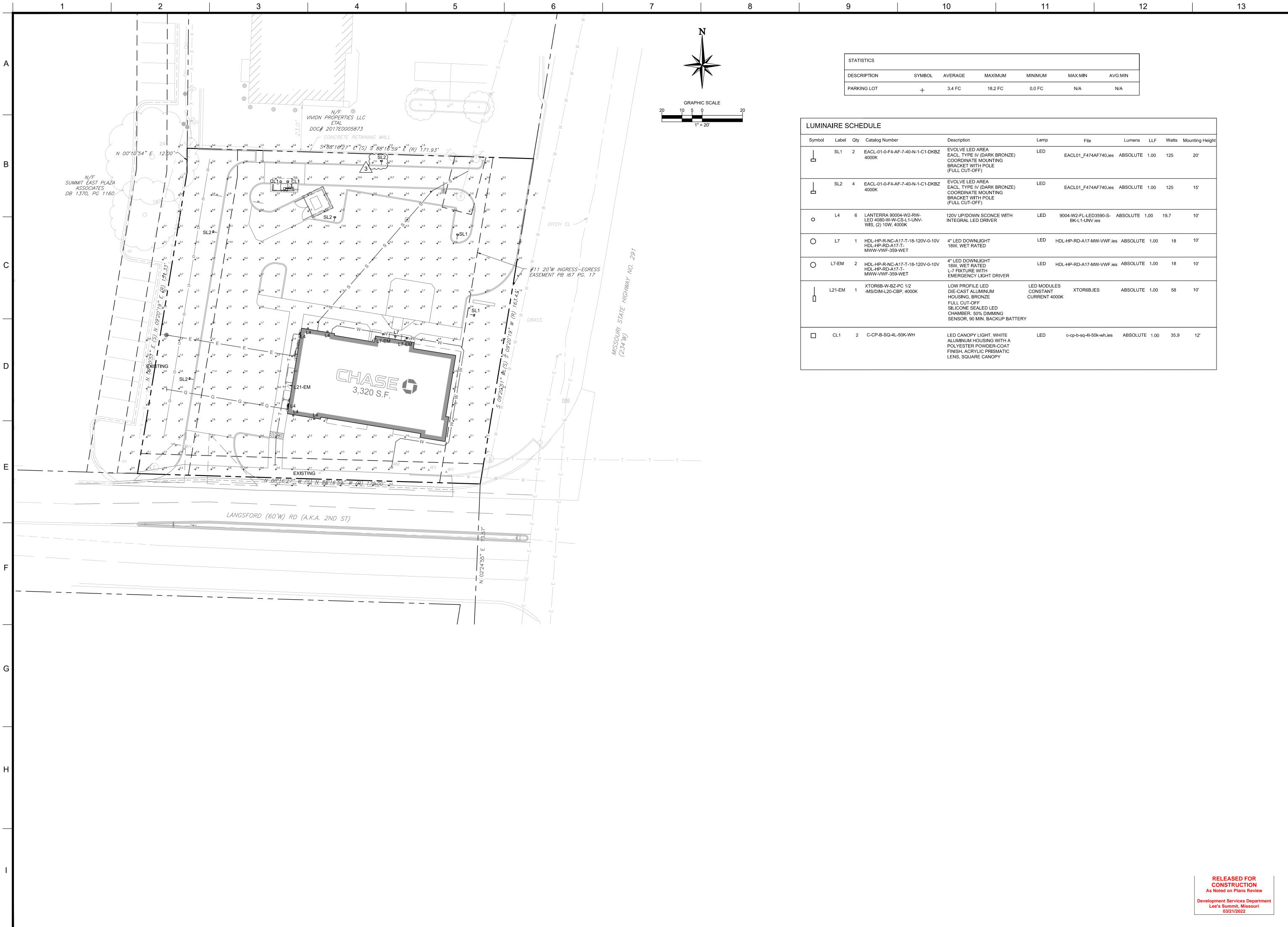
2. BACKGROUND SHALL BE RED (RETROREFLECTIVE).

"STOP" SIGN DETAIL

ADA RAMP NOTES







User: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:40:14 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-FOTO.dwg; C14 PHOTOMETRIC PLAN

OCHIPPEWA STREET SUITE 200 GROUP CHONE (314) 270-5203 FAIRBANKS@CORE-STATES.COM

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CHASE

Know what's below:

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS OF THE CANDINA THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

1 02/18/21 CITY COMMENTS RJD

3 06/02/21 CITY COMMENTS RJD

DOCUMENTS RJD

DOCUMENTS

DOCUMENT

CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE PHOTOMETRIC PLAN

JOB #: JPM-27135.001

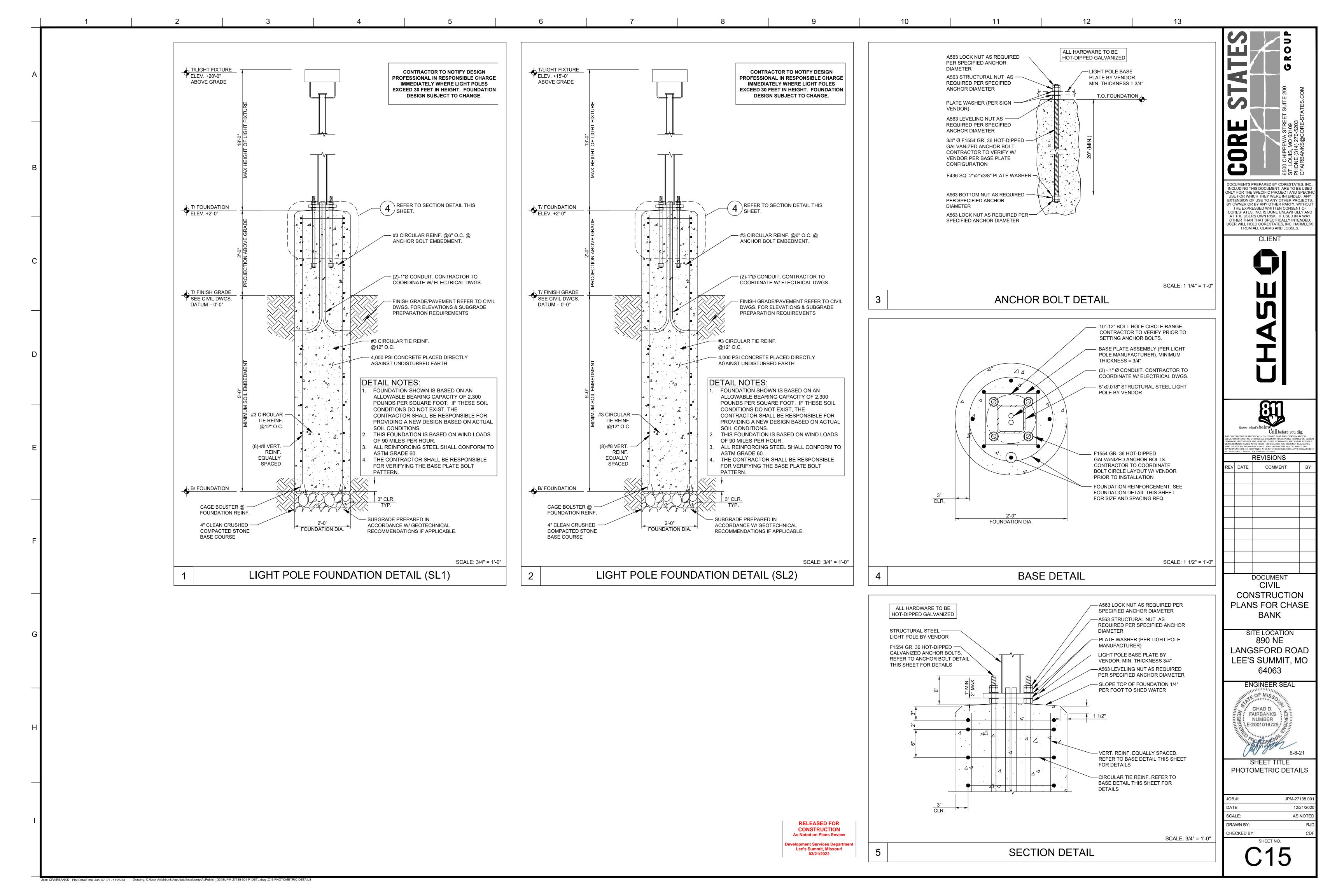
DATE: 12/21/2020

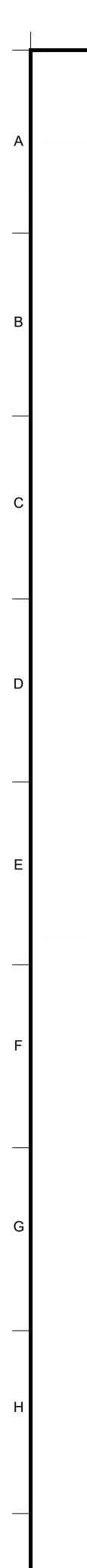
SCALE: 1" = 20'

DRAWN BY: RJD

CHECKED BY: CDF

C14





Evolve™ LED Area Light

N Series (EANB)



powered by GE

Product Features

The next generation of the GE Evolve™ LED Area Light is an exciting solution to efficiently illuminate site and area applications. The smaller-form design of the EANB fixture provides superior illuminance at impressive site ROIs. The exclusive optical ring design effectively directs the light and produces impressive vertical illuminance and glare control. Additionally, the Evolve LED Area Light provides significant operating cost benefits over the life of each fixture with reduced energy consumption and a long rated life that virtually eliminates ongoing maintenance expenses.

Applications

- Site, area, roadway and general lighting applications utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and effective security light levels.
- Obtain a truly optimized and efficient parking space with dimming and occupancy sensing features. Housing
- Die-cast aluminum housing.
- Slim architectural design incorporates an integral heat sink and light engine, ensuring maximum heat transfer, long LED life, and a reduced Effective
- Projected Area (EPA). Meets 2G vibration level per ANSI C136.31-2010.

LED & Optical Assembly

- Structured LED arrays for optimized area light photometric distribution.
- Evolve light engine with directional reflectors designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 3000K, 4000K and 5000K typical.

Lumen Maintenance

 Projected L90>50,000 hours per IES TM-21 Projected Lxx per IES TM-21 at 25°C for reference:

NOTES: 1) Projected Lxx based on LM-80 (10,000 hour testing). DOE Lighting Facts Verification Testing Tolerances apply to initial luminous flux and lumen maintenance measurements.

Lumen Ambient Temperature Factors:

	RATURE FACTORS:
10	1.02
20	1.01
25	1.00
30	0.99
40	0.98
50	0.97

C Standard qualified models available. Please refer to

- **(N)**/• **(N)** listed, suitable for wet locations. IP66 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 50°C. Upward Light Output Ratio (ULOR) = 0.
- Title 24 compliant with "H" motion sensor option. Compliant with the material restriction requirements of RoHS.

Mounting

 10-inch (254mm) mounting arm for square pole prewired with 24-inch (610mm) leads.

prewired with 24-inch (610mm) leads.

10-inch (254mm) mounting arm for round pole

Slipfitter mounting for 2 3/8-inch (60mm) O.D. pipe prewired with 24-inch (610mm) leads.

square pole prewired with 24-inch (610mm) leads.

10-inch (254mm) mounting arm for round or

- Corrosion resistant polyester powder painted,
- minimum 2.0 mil. thickness. Standard colors: Black & Dark Bronze. RAL & custom colors available.

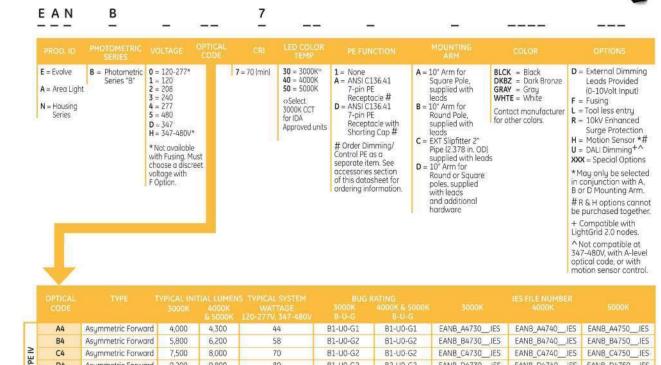
Electrical

- 120-277 VAC and 347-480 VAC available.
- System power factor is >90% and THD <20%.
- ANSI C136.41 7-pin dimming receptacle, standard. ANSI photo electric sensors (PE) available for all
- voltages. Light Grid compatible. Dimming/Occupancy:
- Wired 0-10V continuous dimming - DALI digital dimming. Contact manufacturer
- for availability. - Standalone motion sensor based dimming
- using "H" option code. Surge Protection per ANSI C136.2-2015.
- 6kV/3kA "Basic" surge protection, standard. 10kV/5kA "Enhanced" surge protection optional.

www.designlights.org/QPL for complete information. Accessories

PE Accessories - See Page 3

Evolve™ LED Area Light N Series (EANB)



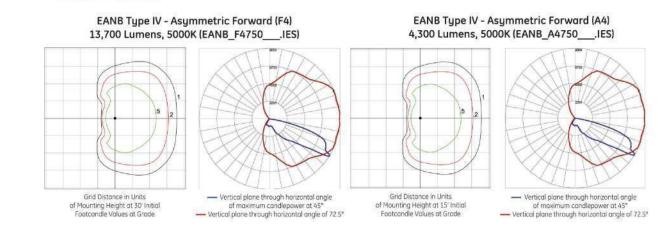
Σ	D4	Asymmetric Forward	9,200	9,800	89	B1-U0-G2	B2-U0-G2	EANB_D4730IES	EANB_D4740IES	EANB_D4750IES
	E4	Asymmetric Forward	10,800	11,500	98	B2-U0-G2	B2-U0-G2	EANB_E4730IES	EANB_E4740IES	EANB_E4750IES
	F4	Asymmetric Forward	12,900	13,700	125	B2-U0-G3	B2-U0-G3	EANB_F4730IES	EANB_F4740IES	EANB_F4750IES
	A3	Asymmetric Wide	4,300	4,600	44	B1-U0-G1	B1-U0-G1	EANB_A3730,IES	EANB_A3740IES	EANB_A3750IES
=	B3	Asymmetric Wide	6,200	6,600	58	B1-U0-G1	B1-U0-G1	EANB_B3730IES	EANB_B3740IES	EANB_B3750IES
TYPE	C3	Asymmetric Wide	8,100	8,600	70	B1-U0-G2	B1-U0-G2	EANB_C3730IES	EANB_C3740IES	EANB_C3750IES
7	D3	Asymmetric Wide	9,900	10,500	89	B2-U0-G2	B2-U0-G2	EANB_D3730IES	EANB_D3740IES	EANB_D3750IES
	E3	Asymmetric Wide	11,600	12,400	98	B2-U0-G2	B2-U0-G2	EANB_E3730IES	EANB_E3740IES	EANB_E3750,IES
	F3	Asymmetric Wide	13,900	14,700	125	B2-U0-G2	B2-U0-G2	EANB_F3730,IES	EANB_F3740IES	EANB_F3750IES
	A2	Asymmetric Norrow	4,200	4,500	44	B1-U0-G1	B1-U0-G1	EANB_A2730,IES	EANB_A2740IES	EANB_A2750IES
5060	B2	Asymmetric Narrow	6,100	6,500	58	B1-U0-G1	B1-U0-G1	EANB_B2730IES	EANB_B2740,IES	EANB_B2750IES
TYPE II	C2	Asymmetric Narrow	7,900	8,400	70	B2-U0-G2	B2-U0-G2	EANB_C2730IES	EANB_C2740IES	EANB_C2750IES
2	D2	Asymmetric Narrow	9,700	10,300	89	B2-U0-G2	B2-U0-G2	EANB_D2730IES	EANB_D2740IES	EANB_D2750IES
	E2	Asymmetric Narrow	11,400	12,100	98	B2-U0-G2	B2-U0-G2	EANB_E2730JES	EANB_E2740JES	EANB_E2750IES
	F2	Asymmetric Narrow	13,600	14,400	125	B2-U0-G2	B2-U0-G2	EANB_F2730IES	EANB_F2740IES	EANB_F2750IES

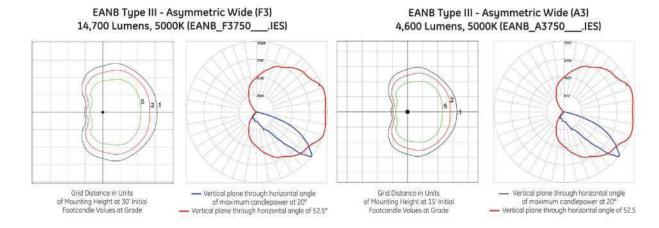
PE Accessories (to be ordered separately)

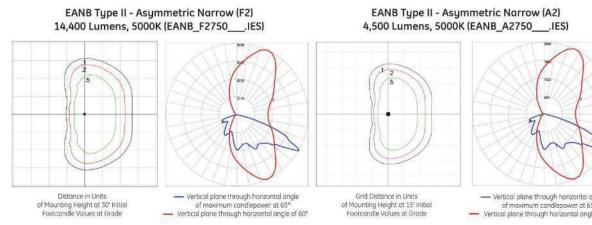
93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V

SAP Number	Part Number	Description	
28299	PECOTL	STANDARD 120-277V	
28294	PEC5TL	STANDARD 480V	
80436	PECDTL	STANDARD 347V	
73251	SCCI-PECTI	Shorting.cap	

Photometrics

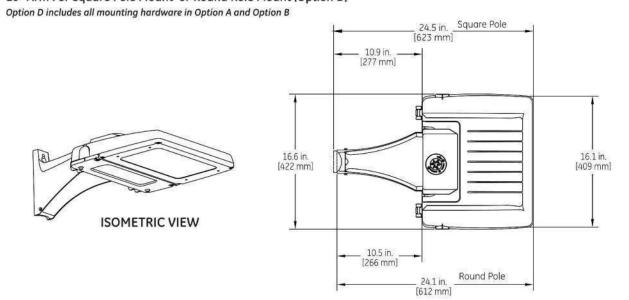


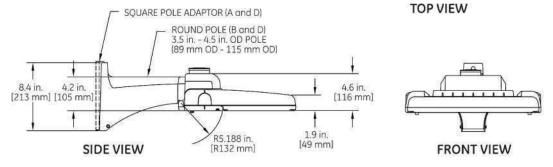


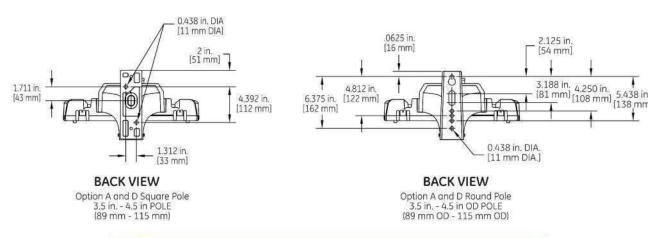


Product Dimensions

10" Arm For Square Pole Mount (Option A) 10" Arm For Round Pole Mount (Option B) 10" Arm For Square Pole Mount or Round Role Mount (Option D)



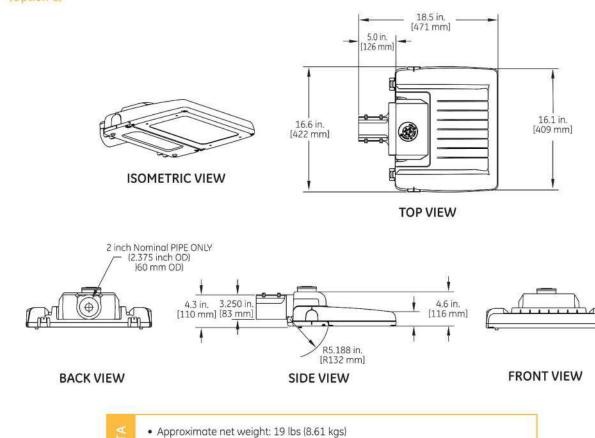




 Approximate net weight: 20 lbs (9.07 kgs) • Effective Projected Area (EPA) with 10" Mounting Arm: 0.67 sq ft max (0.06 sq m)

User: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:25:45 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_3348\JPM-27135-001-P-DETL.dwg; C16 PHOTOMETRIC DETAILS

Product Dimensions Slipfitter Arm Mount (Option C)

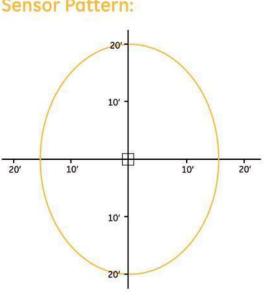


• Effective Projected Area (EPA) with Slipfitter: 0.43 sq ft max (0.04 sq m)

H-Motion Sensing Option:

- Intended for high mounting applications, between 15-30ft (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted
- sensors are recommended. Provides a coverage area radius for walking motion of 15-20ft
- (4.57-6.10m).
- Provides 270° of coverage (~90° is blocked by the pole). Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy.
- Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control. • Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.
- Must order with decorative mounting arm options "A" or "B". Fixture power increase of 1W expected with sensor use.
- Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.

Sensor Pattern:



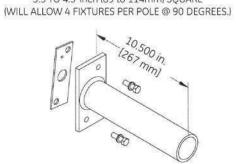
Sensing Pattern Area Fixture

Up to 30 ft.

Mounting Information

Mounting Arms for Slipfitter

SQUARE POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) SQUARE



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER SPA-EAMT10BLCK "Black" SPA-EAMT10DKBZ "Dark Bronze"

ROUND POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) OD (WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)

ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER RPA-EAMT10BLCK "Black" RPA-EAMT10DKBZ "Dark Bronze"



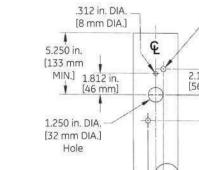


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CONSTRUCTION **As Noted on Plans Review** Lee's Summit, Missouri 03/21/2022

Drilling Templates for Order separately with Mounting Option C (External Slipfitter) lipfitter Arms & Arm Mount



_____.656 in. [17 mm] ____ 1.312 in. [33 mm]

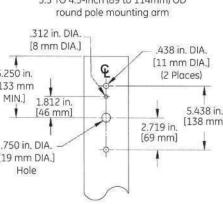
ROUND POLE MOUNTING 3.5 TO 4.5-inch (89 to 114mm) OD

SQUARE POLE MOUNTING

- .438 in. DIA.

[11 mm DIA.]

(2 Places)



Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.

RELEASED FOR



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CLIENT



Call before you dig. REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

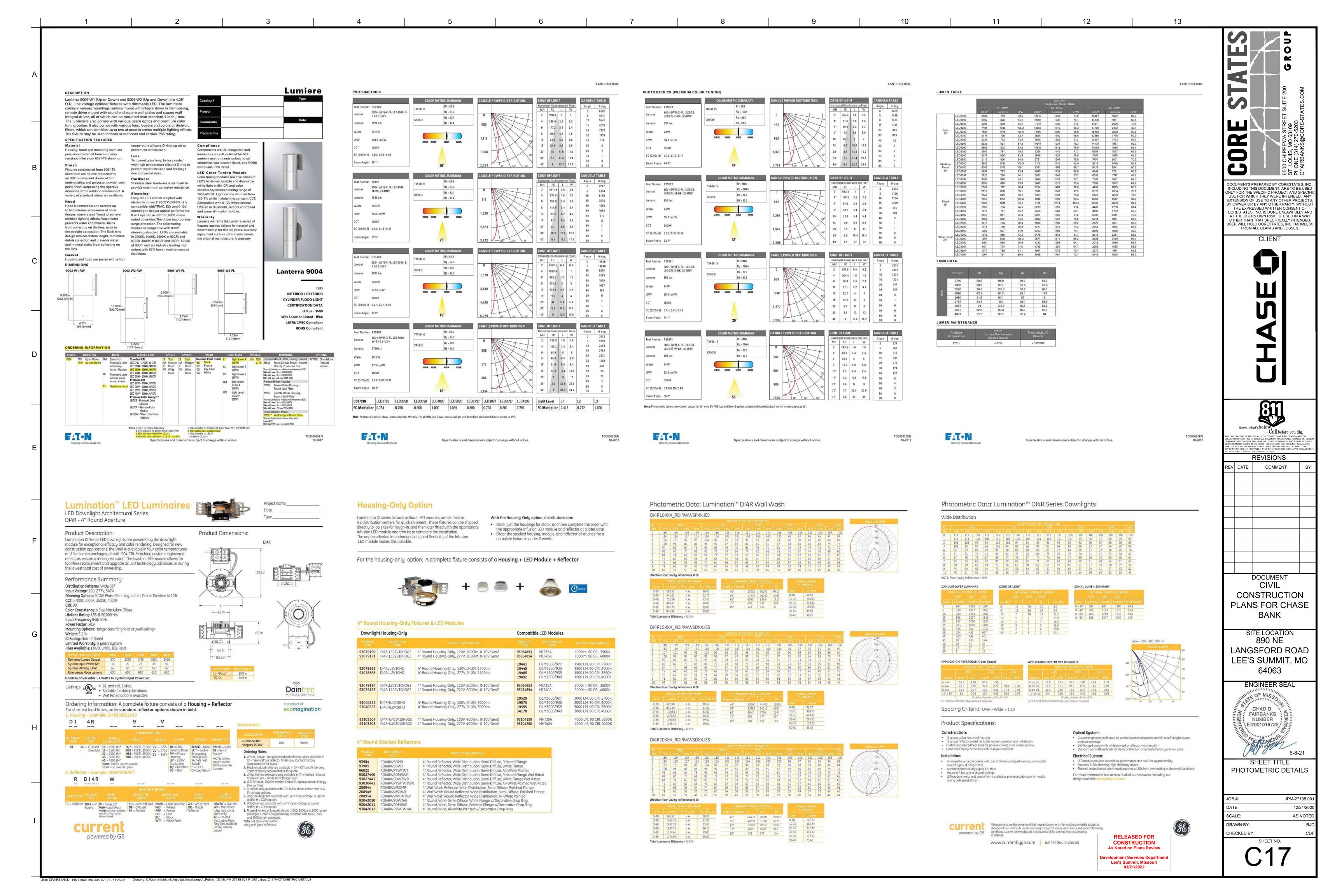
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

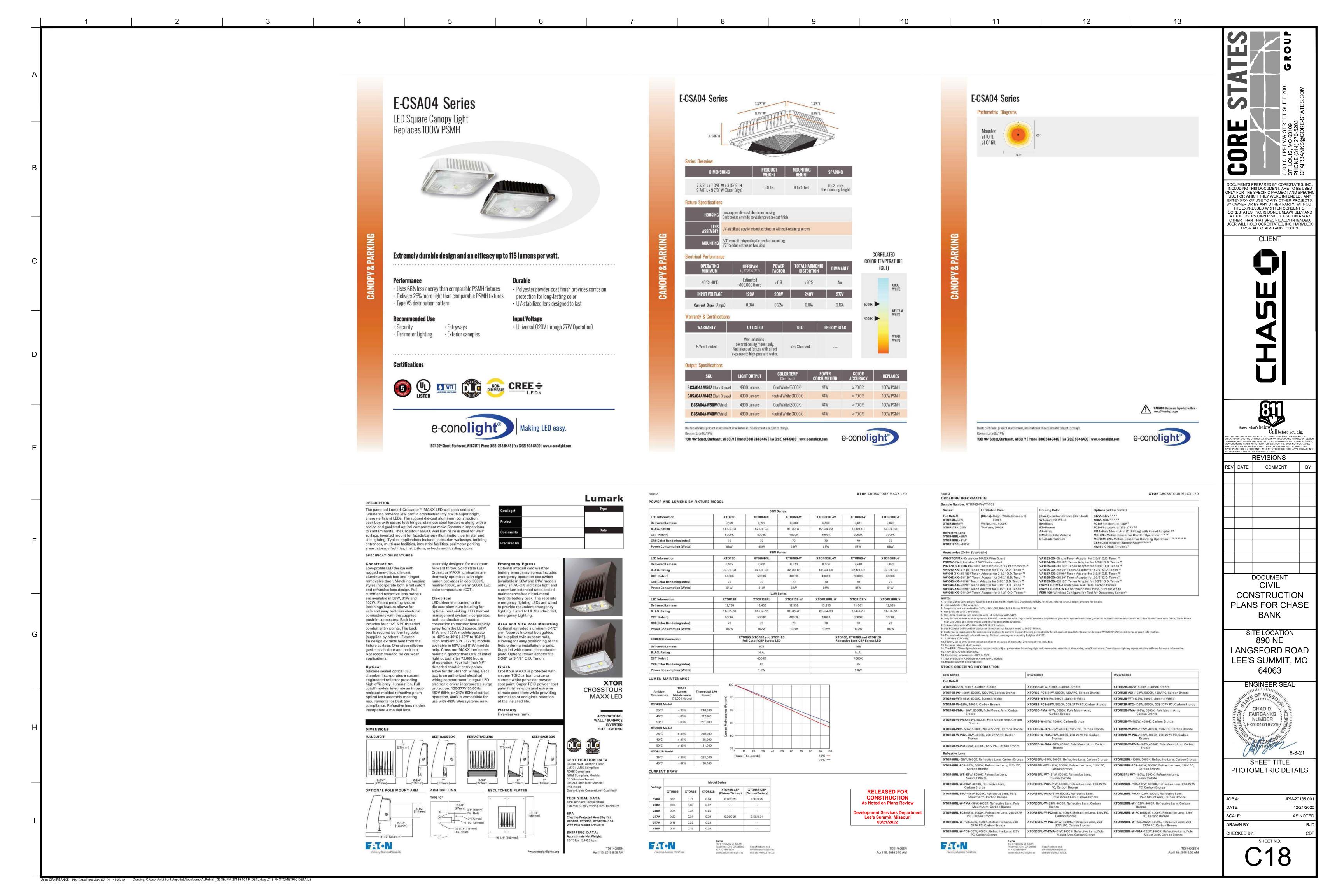


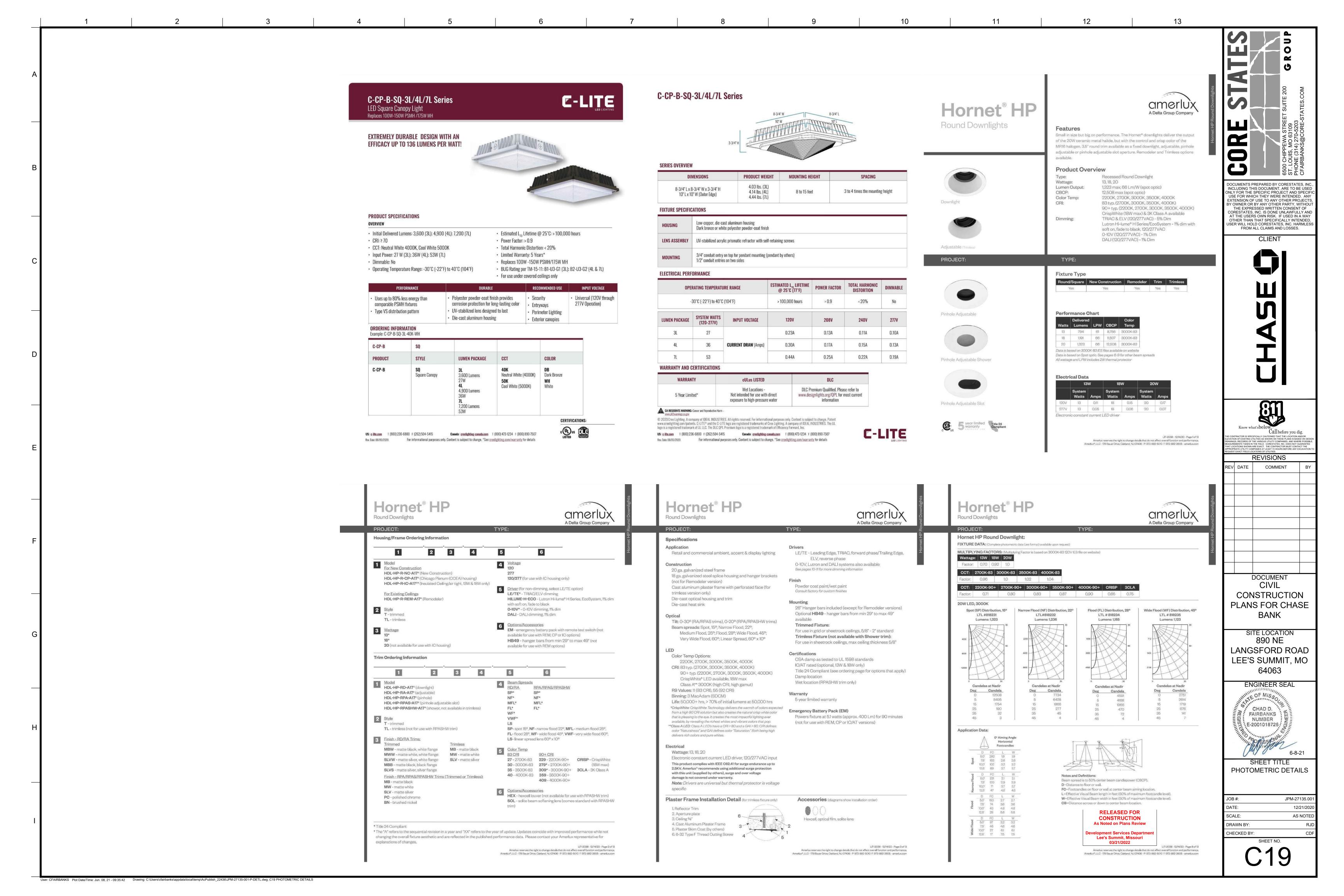
SHEET TITLE PHOTOMETRIC DETAILS

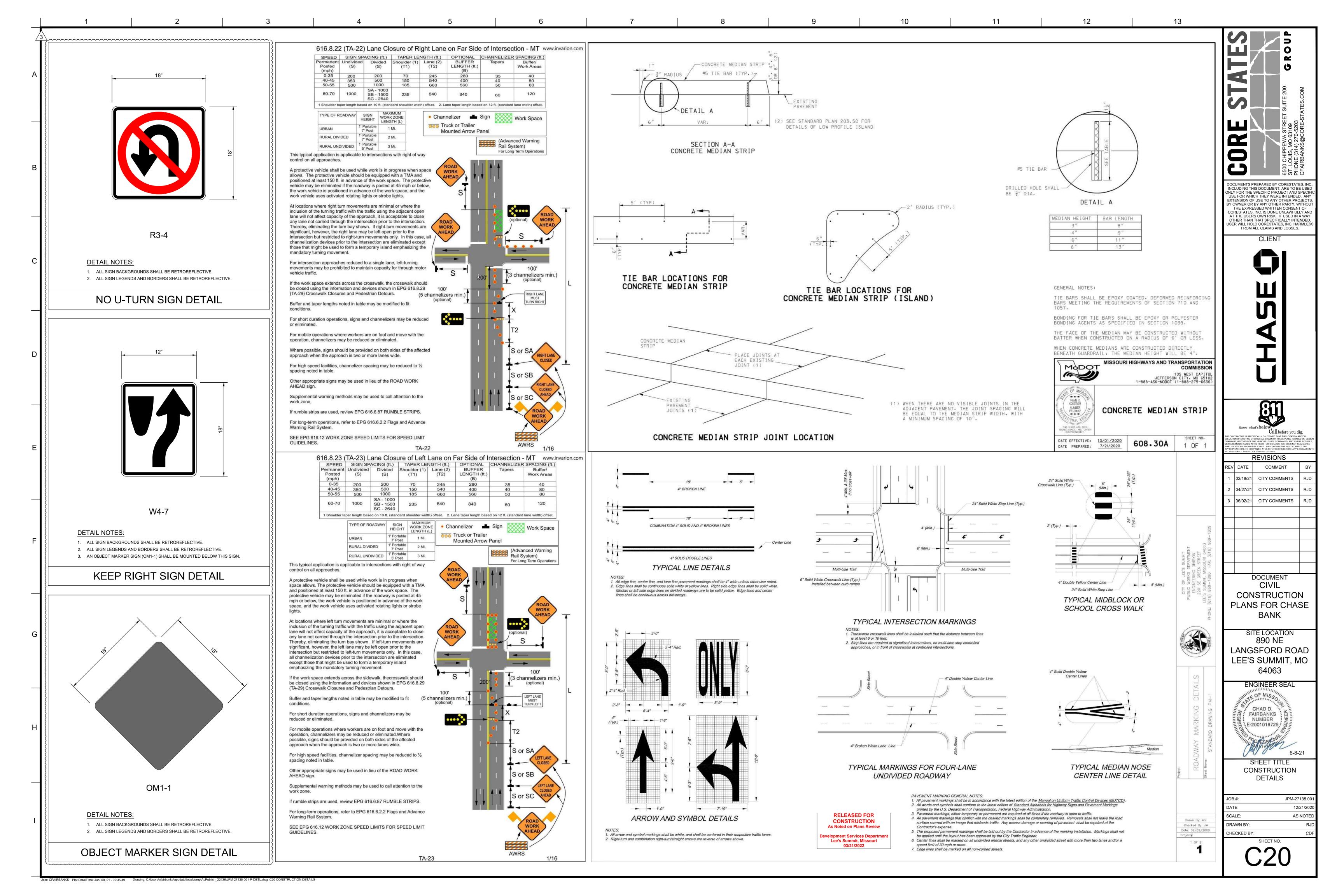
JPM-27135.00 JOB # 12/21/2020 SCALE: AS NOTE DRAWN BY:

CHECKED BY:











RELEASED FOR CONSTRUCTION As Noted on Plans Review Lee's Summit, Missouri 03/21/2022

(S) EXISTING SANITARY STRUCTURES

© EXISTING COMMUNICATIONS STRUCTURE

M EXISTING WATER STRUCTURE

22 PROPOSED PARKING COUNT

■ ■ EXISTING ELECTRIC STRUCTURE

SHEET TITLE OVERALL ROADWAY PLAN

JPM-27135.00 12/21/2020 DRAWN BY: CHECKED BY:

REVISIONS

DOCUMENT CIVIL

BANK

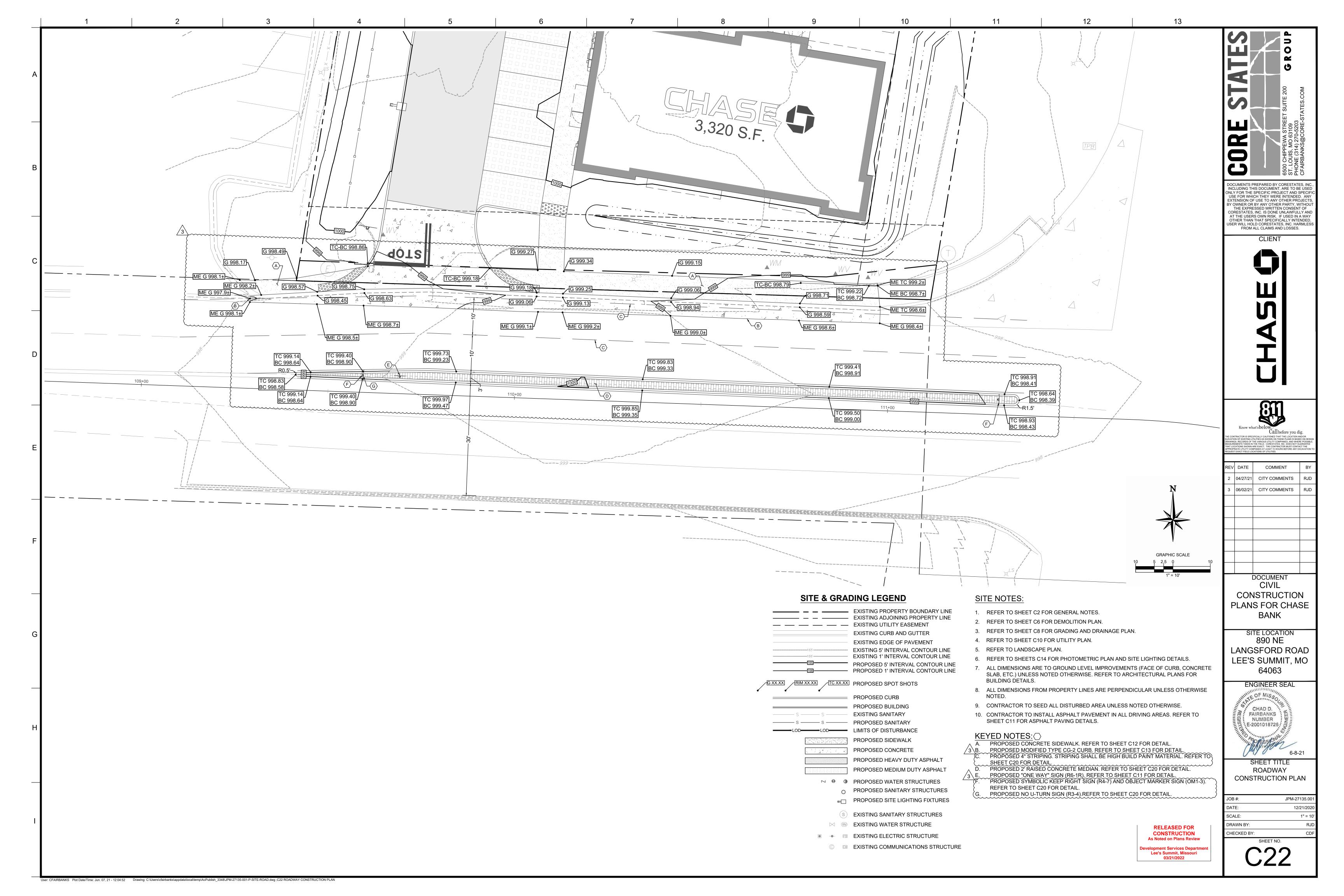
SITE LOCATION 890 NE

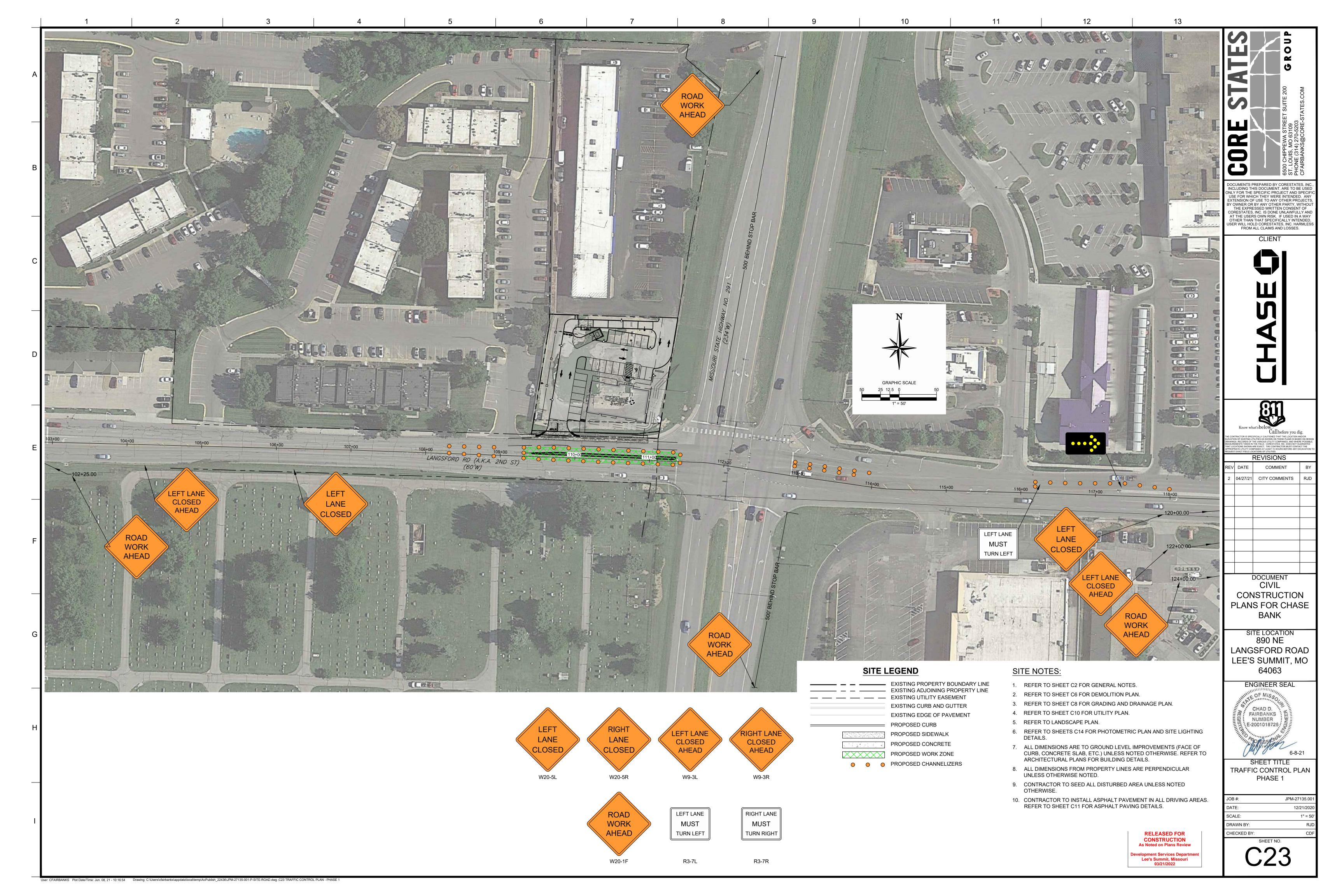
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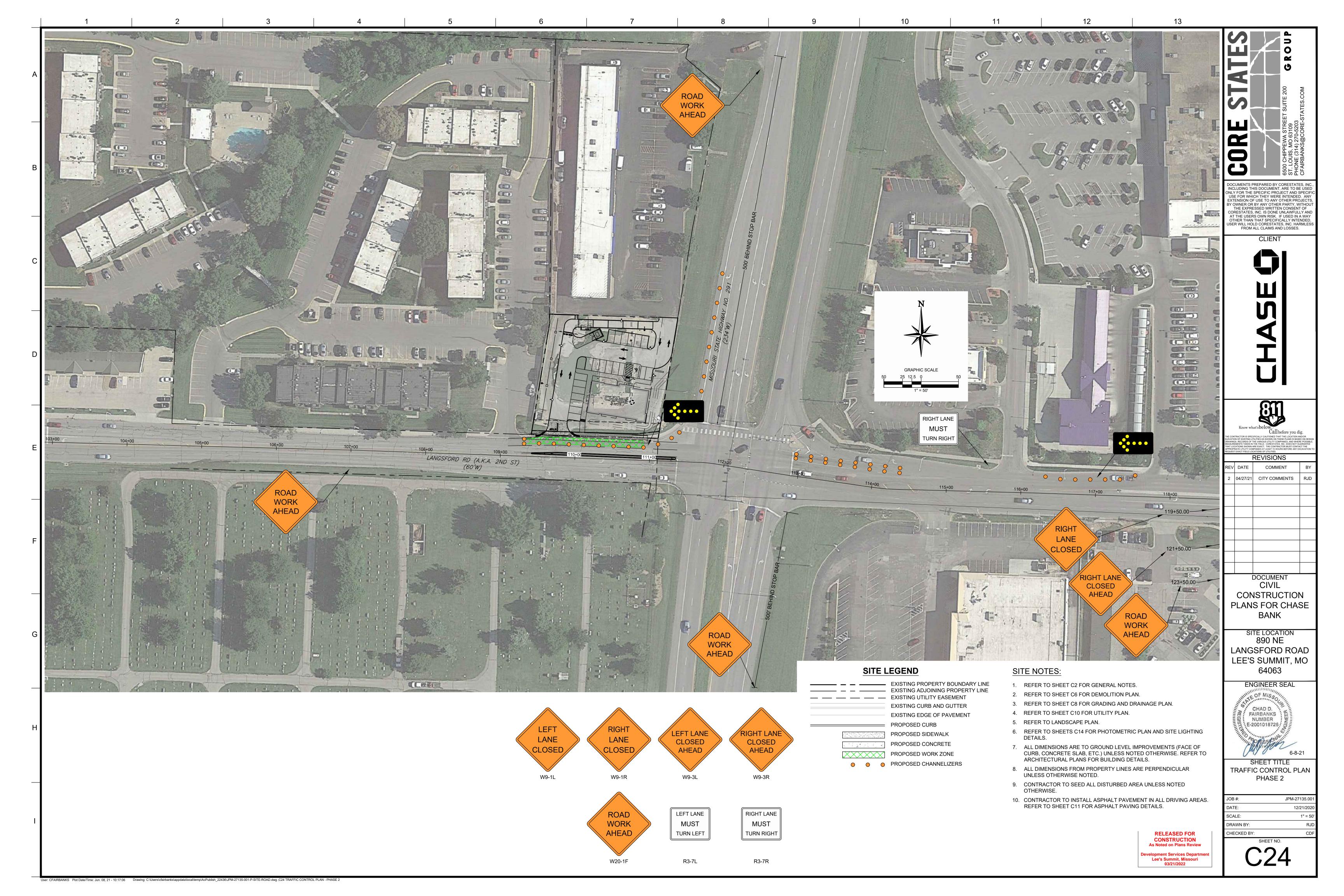
ENGINEER SEAL

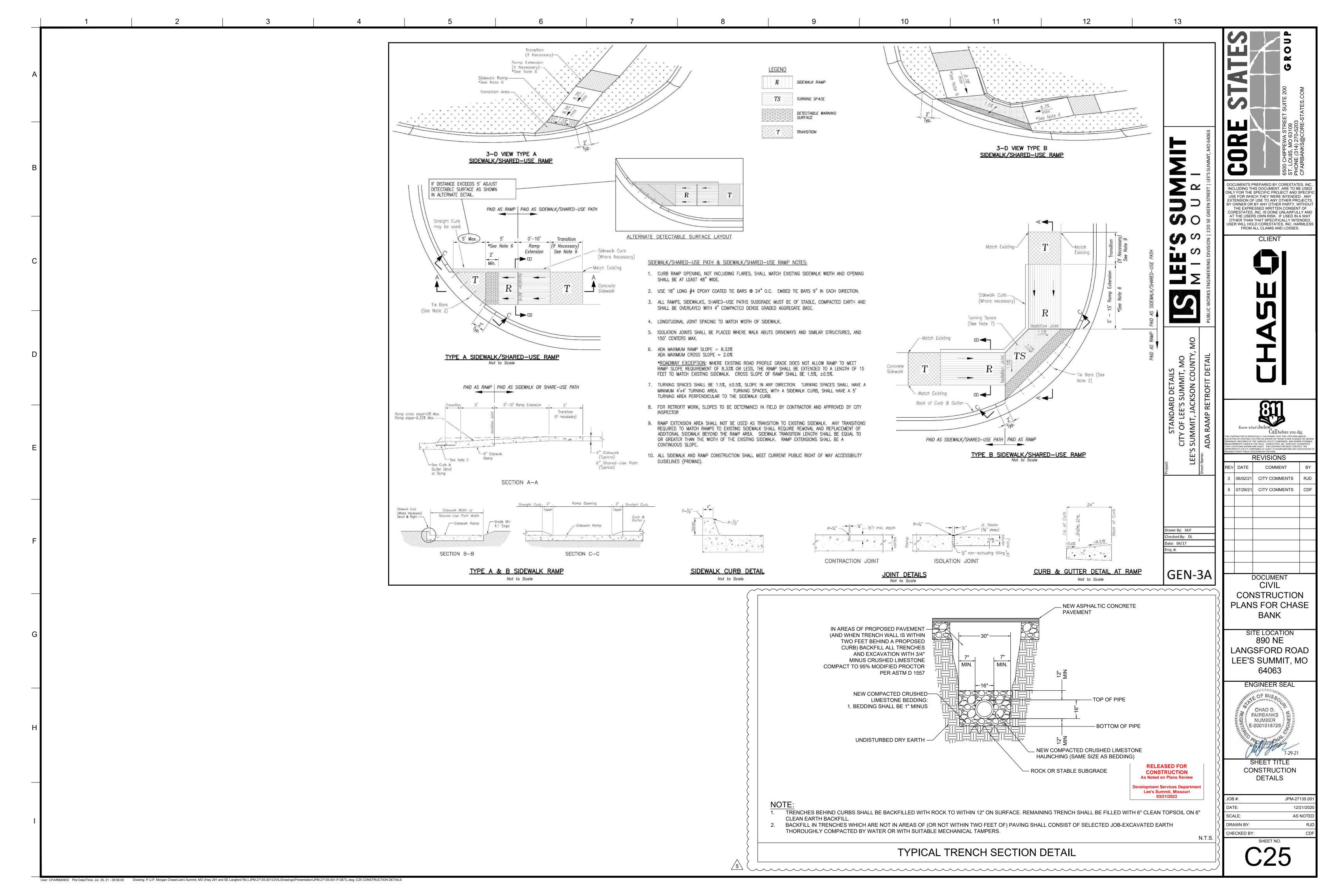
NUMBER

E-2001018726









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CLIENT

REVISIONS

3 06/02/21 CITY COMMENTS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

64063 ENGINEER SEAL CHAD D. E-2001018726

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CONSTRUCTION **As Noted on Plans Review**

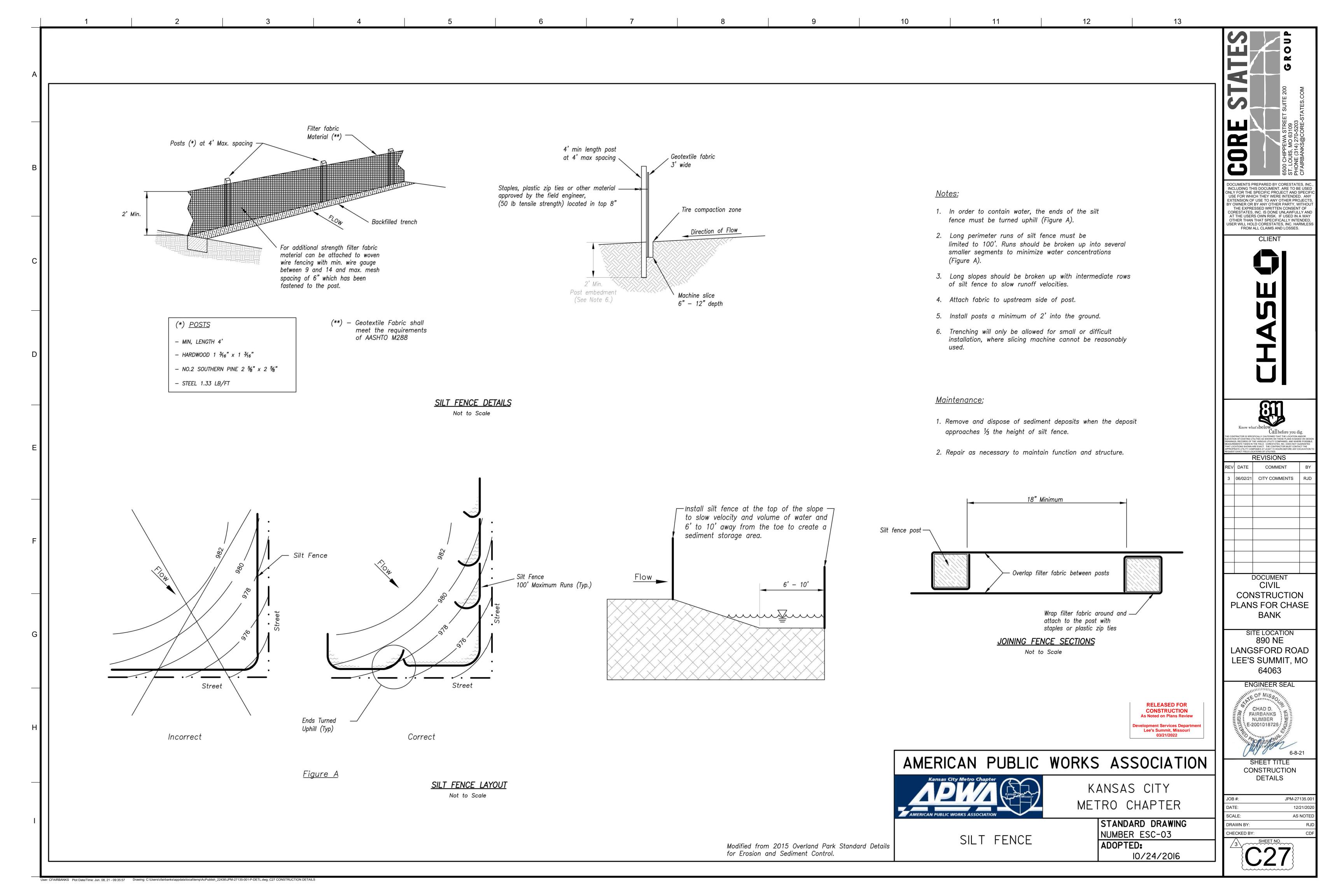
Lee's Summit, Missouri 03/21/2022

10/24/2016

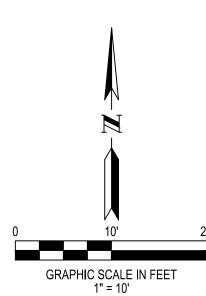
SHEET TITLE CONSTRUCTION **DETAILS**

12/21/2020

JPM-27135.00 SCALE: AS NOTED DRAWN BY: CHECKED BY:







DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

SCHEDULE B SECTION II COMMENTS:

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 991101701.

(APPLIES, NOT PLOTTED. BLANKET IN NATURE.) 10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)

11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK I 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.) 12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

ZONING: CP-2 - PLANNED COMMUNITY COMERCIAL

MIN FRONT YARD SETBACK = 15FT MIN SIDE YARD SETBACK = 10FT

MIN REAR YARD SETBACK = 20FT

MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017.

THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE. UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

SURVEYORS CERTIFICATE

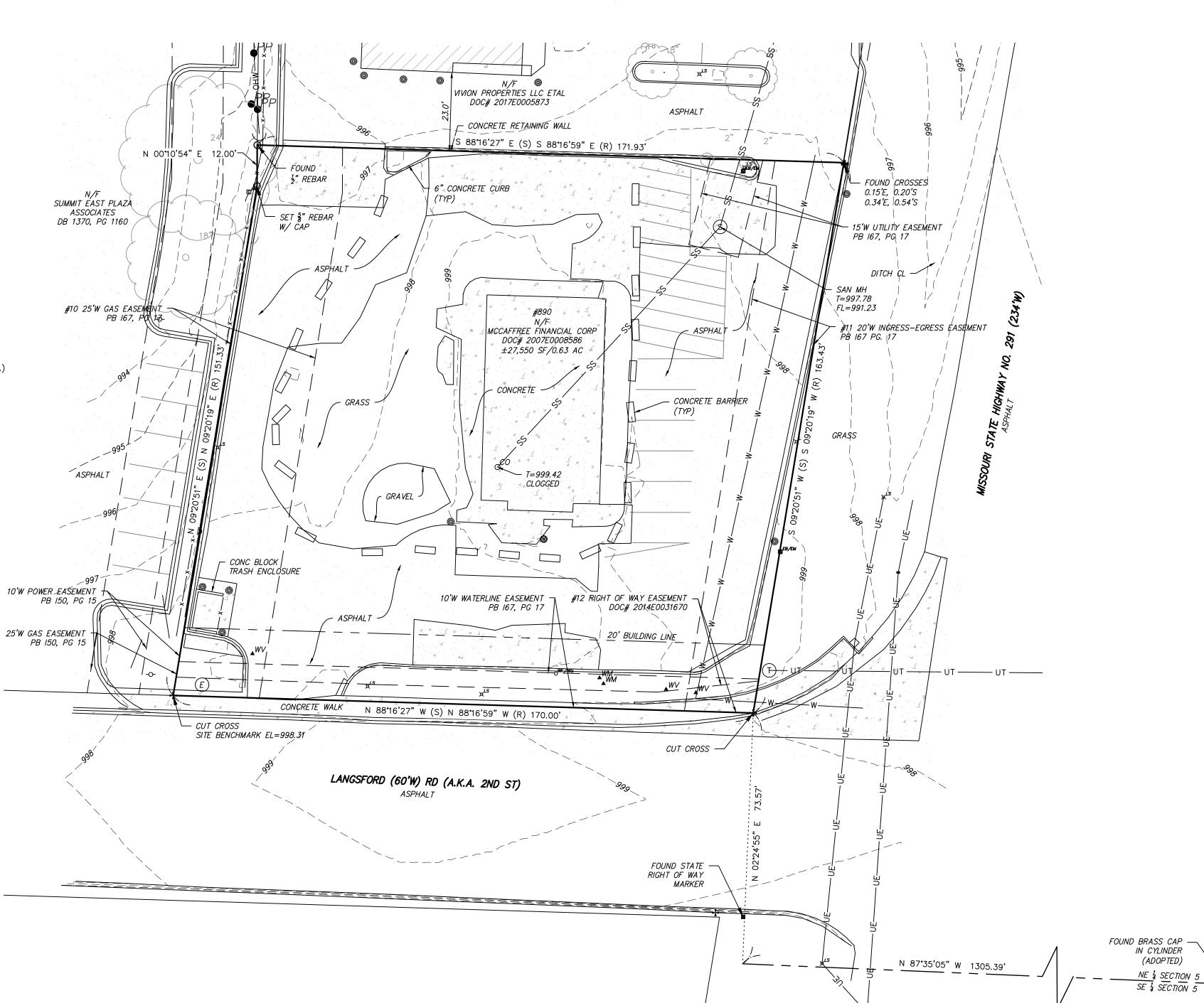
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17

JACKSON COUNTY, MISSOURI



MONUMENT LEGEND

FOUND IRON PIPE FOUND REBAR SET REBAR BENCHMARK CONCRETE MONUMENT RIGHT OF WAY MARKER CROSS ANCHOR CROSS CUT CROSS COTTON PICKER SPINDLE RAILROAD SPIKE

Gateway Land Services, Inc 9378 Olive Blvd. St. Louis, MO 63132 Office: 314.881.9556 www.glsstl.com and Surveying Services No.

LS-2009014482 DEGENHARDT NUMBER PLS-2649

ABBREVIATIONS

NAIL WITH NOTE TYPE

C SPH LDG	ACRES ASPHALT BUILDING	Jame Lic	s L.	De				
M LF ONC B	BENCH MARK CHAIN LINK FENCE CONCRETE DEED BOOK	PRO	JEC	Т	RE	۷IS	ION	l:
E H E TS B G .O.C.	EAST ELEVATION FINISHED FLOOR FLOW LINE LINEAR FEET MANHOLE NORTH NORTHEAST NOT TO SCALE PLAT BOOK PAGE POINT OF COMMENCEMENT POINT OF BEGINNING POINT OF TERMINUS	DESCRIPTION: ADD REC BEARINGS						
VMT	PAVEMENT RADIUS	DES						
/W = T JR	RECORD RIGHT OF WAY SOUTH SQUARE FEET STORM SURVEY	DATE: 3/3/21						
w /	SOUTHWEST WEST DENOTES WITH	NO:					 	

 PP POWER POLE STREET SIGN GAS VALVE $\triangle GV$ **▲** GM GAS METER **▲** WV WATER VALVE WATER METER OWF/WS WATER FAUCET OR SPRINKLER 0 *CO* CLEAN OUT 0 ER ELECTRIC RISER YARD DRAIN ☑ EB /EM ELECTRIC BOX OR METER MAIL BOX T TB/CB TELEPHONE OR CABLE BOX LIGHT STANDARD X LS FIRE HYDRANT TRAFFIC SIGNAL D TS $\not \square$ YL YARD LIGHT COIN METER TEST HOLE FLAGPOLE BOLLARD -OHW---- OVERHEAD UTILITY LINE — G — GAS LINE —UE——UE— UNDERGROUND ELECTRIC —— ss ——— SANITARY SEWER — W — WATER LINE -st---st----- STORM SEWER — x — × — FENCE —— UT ——— UNDERGROUND TELEPHONE —FO— FIBER OPTIC TREE LINE SEPTIC TANK TREE W/SIZE STORM GRATE INLET

LEGEND

POWER POLE W/GUY WIRE

NW 4 SECTION 4

SW 1 SECTION 4

ssouri One Call System, Inc. DATE: 07/17/19
BOOK NO.: 31/30 Call Before You Dig!

STORM INLET

ELEC. PULL BOX

ELECTRIC TRANSFORMER SANITARY MANHOLE UTILITY MANHOLE BUSH W/ DIAMETER

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities, shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL, 1-800-DIG-RITE,

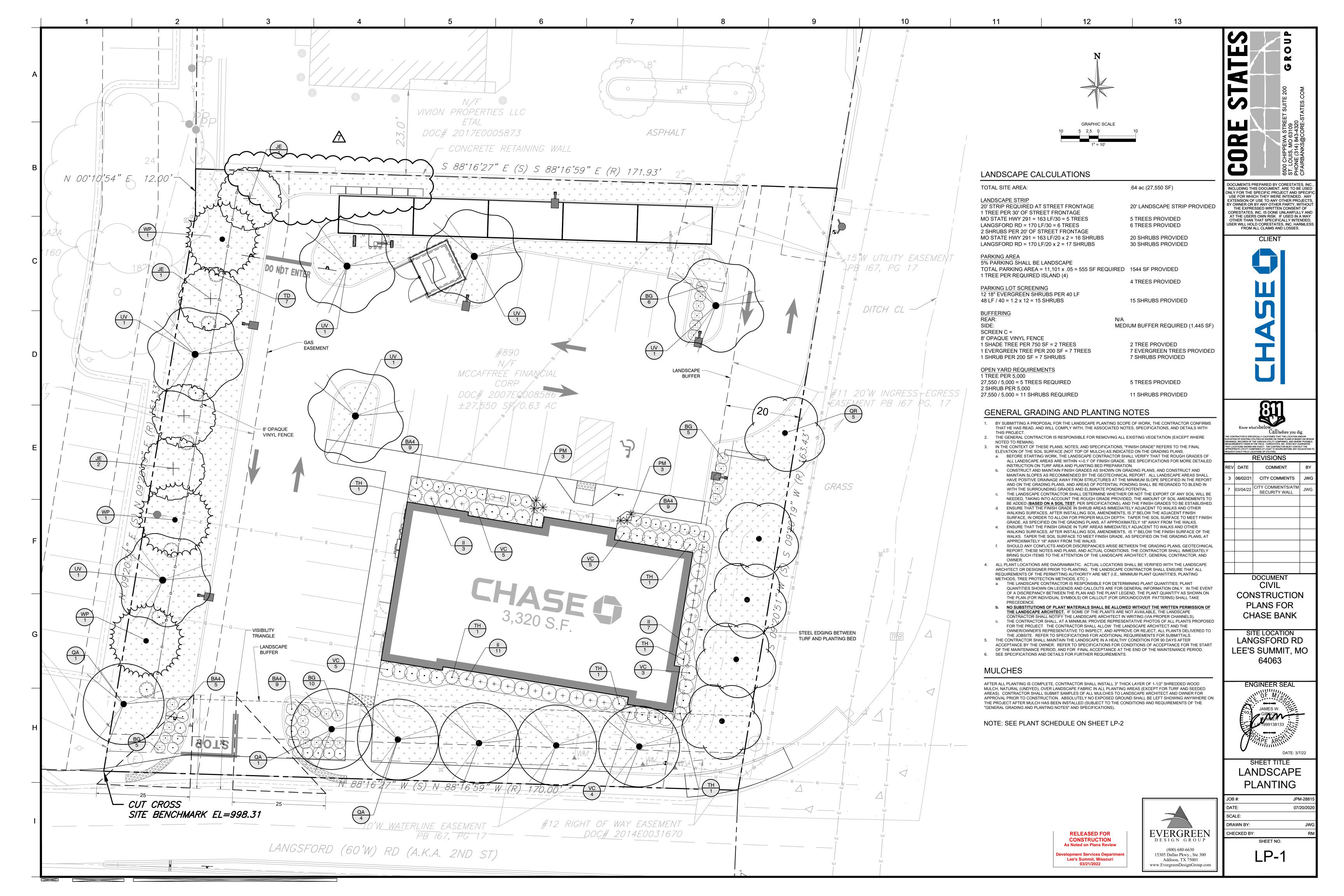
DRAFTED BY: LSC APPROVED BY: JLD 19-0118 LEE'S SUMMIT.DWG

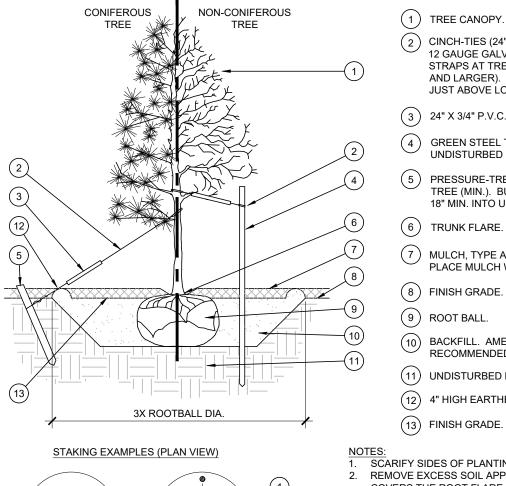
SHEET NUMBER

SHEET TITLE:

SHEET NO: 1 OF 1 PROJECT NO:19-011

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2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.

(3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.

(4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.

(5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.) BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.

(6) TRUNK FLARE. 7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT

(8) FINISH GRADE.

(1) TREE CANOPY.

(9) ROOT BALL.

BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.

PLACE MULCH WITHIN 6" OF TRUNK.

(11) UNDISTURBED NATIVE SOIL.

(12) 4" HIGH EARTHEN WATERING BASIN

SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF

BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

PREVAILING

(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. MULCH TYPE AND DEPTH PER PLANS. PLACE NO.

MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

CENTER. 3) FINISH GRADE

 $(ext{ 4 })$ ROOT BALL.

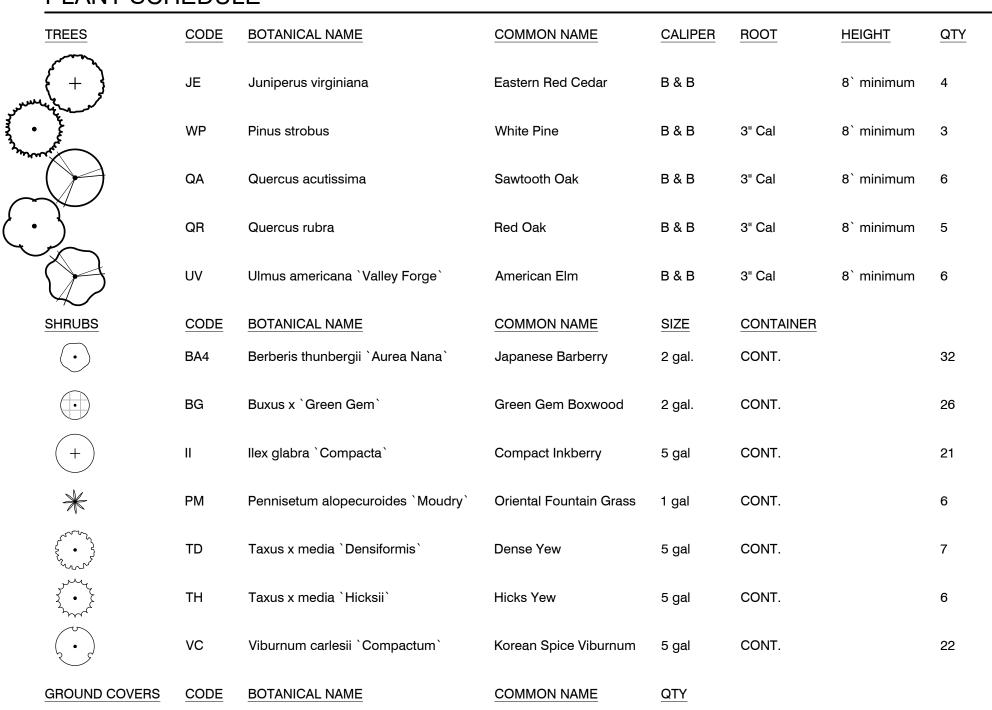
(5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS

(6) UNDISTURBED NATIVE SOIL.

(7) 3" HIGH EARTHEN WATERING BASIN.

 $(\ 8\)\ \ \mathsf{WEED}$ FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING



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CLIENT

REVISIONS 06/02/21 CITY COMMENTS

> DOCUMENT CIVIL CONSTRUCTION PLANS FOR **CHASE BANK**

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063

ENGINEER SEAL JAMES W.

LANDSCAPE DETAILS AND SPECIFICATION

JPM-2881

07/20/202

SCALE: DRAWN BY: CHECKED BY:

INSTALLATION GENERAL NOTES

- 1. THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 60 PSI (DOWNSTREAM OF THE IRRIGATION BACKFLOW PREVENTER), AT A MAXIMUM DISCHARGE OF 12 GPM AT THE 1-INCH IRRIGATION POINT-OF-CONNECTION (POC). VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
- 2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- 3. COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 4. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S
- 5. THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD
- A. ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE.
- TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
- C. USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF TEES IN THE BULLNOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT

THE WEATHERMATIC IRRIGATION CONTROLLER

MEETS CHASE REQUIREMENTS AND WILL

PROVIDE UNIQUE CONNECTION TO THE BANK

BUILDING MONITORING SYSTEM, LONG-TERM

COMMUNICATIONS, AND MANAGED SERVICES.

CONTACT THE DISTRIBUTOR FOR ALL

IRRIGATION EQUIPMENT ORDERING.

REQUIRED: AFTER INSTALLATION AND ONLINE

SET UP OF THE SMARTLINK CONTROL SYSTEM

USING THE PRODUCT INSTRUCTIONS

INCLUDED, CONTACT WEATHERMATIC TO

PROVIDE THE SITE NAME AND CONTROLLER

NAME IN SMARTLINK FOR FINAL ACTIVATION.

EMAIL: JPMCsupport@weathermatic.com

CHASE BANK DESIGN NOTE

THESE IRRIGATION PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHASE BANK

PROTOCOL 20.3 AND THE CHASE BANK WATER CONSERVATION APPROACH. THE IRRIGATION

SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS INCLUDED

IN THIS CONSTRUCTION DOCUMENT PACKAGE WITH NO EXCEPTION. EQUIPMENT SUBSTITUTIONS OF ANY KIND ARE NOT PERMITTED.

- 6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
- A. TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
- B. TWO (2) OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
- SELECT NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
- 8. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR. PIPE SLEEVES SHALL BE SIZED TWICE THE NOMINAL SIZE OF THE PIPE PASSING THROUGH.
- 9. INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- 10. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- 11. INSTALL TWO (2) #14 AWG CONTROL WIRES ON STANDARD WIRE SYSTEMS FOR USE AS SPARES. INSTALL SPARE WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE. COIL 3 FEET OF WIRE IN VALVE BOX.

CONSTRUCTION NOTES

- THE IRRIGATION SYSTEM POINT-OF-CONNECTION (POC) SHALL BE TO THE 1-INCH IRRIGATION SERVICE INSTALLED TO THIS APPROXIMATE LOCATION BY OTHERS. MAKE CONNECTION AND INSTALL IRRIGATION COMPONENTS AS SHOWN. VERIFY EXACT LOCATION OF POC WITH OWNER'S REPRESENTATIVE.
- (2) WALL MOUNT THE IRRIGATION CONTROLLER AND CELLULAR AIRCARD AT THE APPROXIMATE LOCATION SHOWN ON EXTERIOR OF BUILDING AND ACCORDING TO CHASE BANK STANDARDS. COORDINATE ELECTRICAL POWER WITH THE OWNER'S REPRESENTATIVE. CARE SHOULD BE TAKEN TO INSTALL THE IRRIGATION CONTROLLER IN A LOCATION THAT IS ACCESSIBLE FOR MAINTENANCE, AND SCREENED FROM VIEW EITHER BEHIND ENTRY WALLS, NEXT TO BUILDINGS, OR BEHIND PLANT MATERIAL. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE.

IRRIGATION PIPE SCHEDULE CLASS 200 PVC PIPE

SIZE	FLOW (GPM)
1"	0-15
1-1/4"	16-25
1-1/2"	26-35
2"	36-55
2-1/2"	56-80
3"	81-110
4"	111-200

IF THERE IS A DISCREPANCY BETWEEN PIPE SIZES SHOWN ON THE DRAWINGS AND THIS PIPE SCHEDULE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE IRRIGATION DESIGNER FOR CLARIFICATION.

SLEEVES: CLASS 200 PVC

MAINLINE PIPE: CLASS 200 PVC 1 1/4-INCH SIZE UNLESS OTHERWISE INDICATED

— LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC 1-INCH SIZE UNLESS OTHERWISE INDICATED

LATERAL PIPE TO DRIP EMITTERS: UV RADIATION RESISTANT POLYETHYLENE 3/4-INCH SIZE UNLESS OTHERWISE INDICATED, ROUTING IS DIAGRAMMATIC

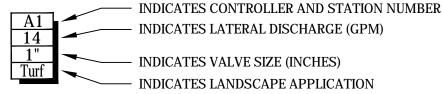
REMOTE CONTROL DRIP VALVE ASSEMBLY: WEATHERMATIC SCZ-MAX-DW-10

MASTER VALVE ASSEMBLY: 1-INCH WEATHERMATIC MAX-DW

FLOW SENSOR ASSEMBLY: WEATHERMATIC SLFSI-T10

QUICK COUPLING VALVE ASSEMBLY: RAIN BIRD 5RC

ISOLATION GATE VALVE ASSEMBLY: MATCO 514



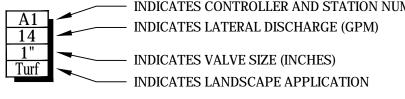
- $\langle C \rangle$ IRRIGATION CONTROLLER UNIT BUNDLE WITH WEATHERSTATION:
- PRESSURE: 30 PSI RADIUS: 8 FEET
- POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 10 FEET
- △ ▲ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 12 FEET FLOW (GPM): Q-0.70 H-1.30 F-2.60
- PRESSURE: 30 PSI RADIUS: 15 FEET FLOW (GPM): Q-0.90 H-1.90 F-3.70
- ◆ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 4 FEET X 15 FEET FLOW (GPM): EST-0.60 SST-1.20
- □ ७ △ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/RAIN BIRD HE-VAN SERIES NOZZLE PRESSURE: 30 PSI RADIUS: VARIES
- ₩ 🗘 🕏 POP-UP ROTATING SPRAY SPRINKLER: WEATHERMATIC MAX6PRS40-CV W/HUNTER MP1000 NOZZLES PRESSURE: 40 PSI RADIUS: 8 FEET TO 15 FEET
- ® ▼ A POP-UP ROTATING SPRAY SPRINKLER: WEATHERMATIC MAX6PRS40-CV W/HUNTER MP3000 NOZZLES PRESSURE: 40 PSI RADIUS: 22 FEET TO 30 FEET

IRRIGATION LEGEND

POINT-OF-CONNECTION ASSEMBLY

REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS: WEATHERMATIC MAX-DW (SIZED PER PLAN)

───── UNCONNECTED PIPE CROSSING



- WEATHERMATIC SL1616-10YR-BDL-FLOW-CHASE
- ♦ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES FLOW (GPM): Q-0.40 H-0.80 F-1.60
- FLOW (GPM): Q-0.40 H-0.80 F-1.60
- POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES
- FLOW (GPM): HEVAN08-1.17 HEVAN10-1.78 HEVAN12-2.37 HEVAN15-3.70
- FLOW (GPM): M-0.42 L-0.63 O-0.84
- ⟨ © ⟨ POP-UP ROTATING SPRAY SPRINKLER: WEATHERMATIC MAX6PRS40-CV W/HUNTER MP2000 NOZZLES PRESSURE: 40 PSI RADIUS: 13 FEET TO 21 FEET FLOW (GPM): K-0.77 G-1.10 R-1.48
- FLOW (GPM): B-1.82 Y-2.73 A-3.64

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Telephone: 970.282.1800

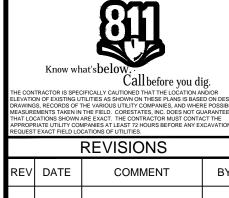
Web: www.hinesinc.com



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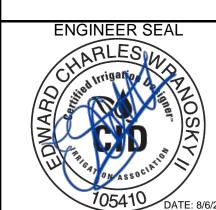
CLIENT





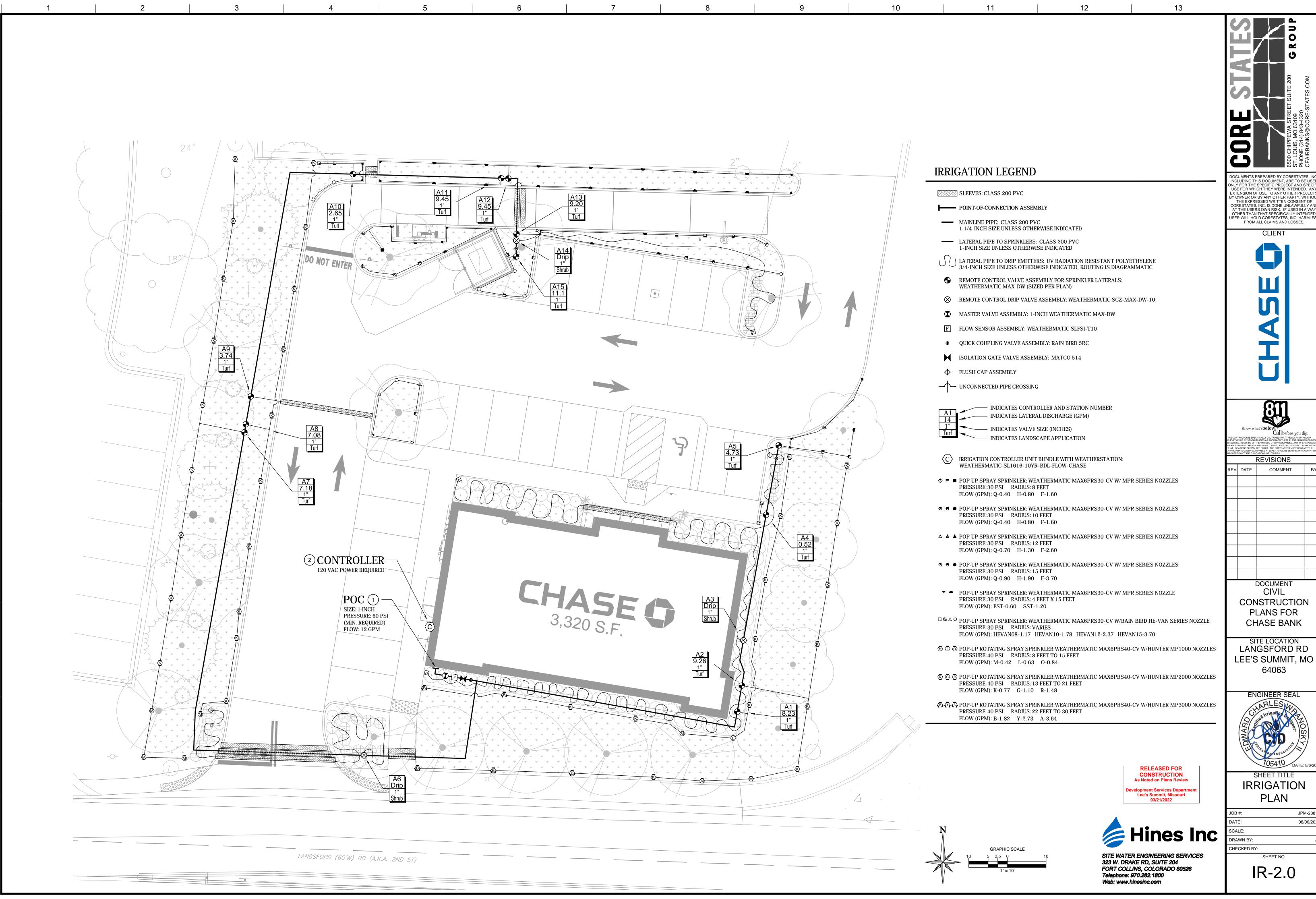
DOCUMENT CIVIL CONSTRUCTION PLANS FOR **CHASE BANK**

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063



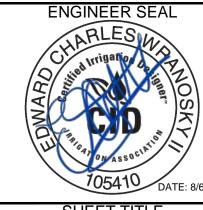
IRRIGATION LEGEND & NOTES

IR-1.0

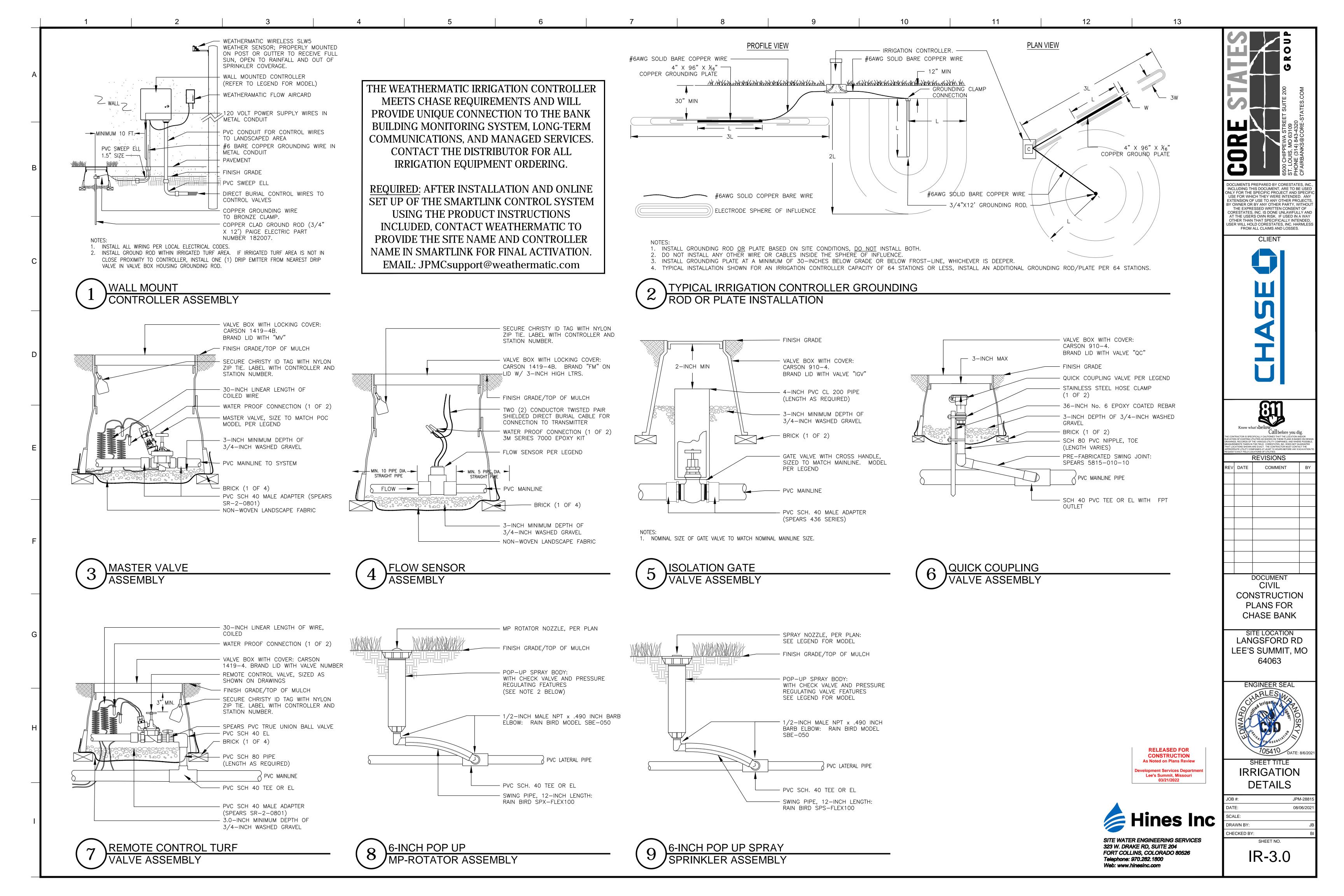


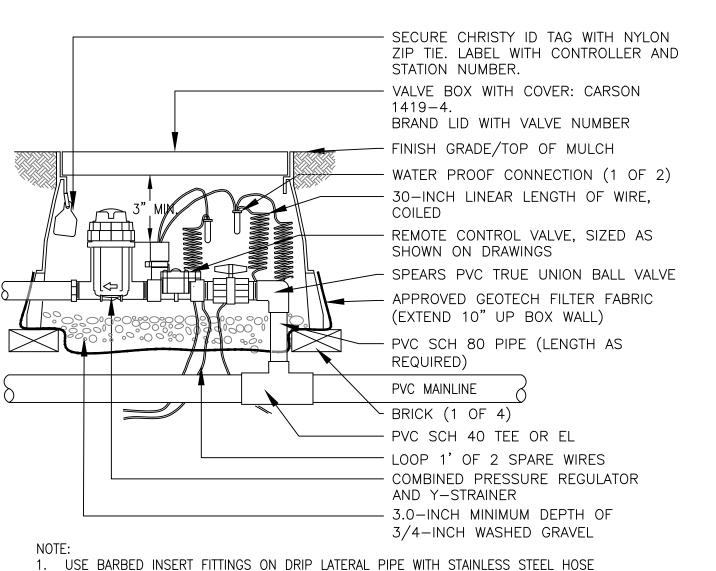
DOCUMENTS PREPARED BY CORESTATES, IN NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS Y OWNER OR BY ANY OTHER PARTY, WITHOL THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED,

CONSTRUCTION



JPM-2881





REMOTE CONTROL DRIP VALVE ASSEMBLY

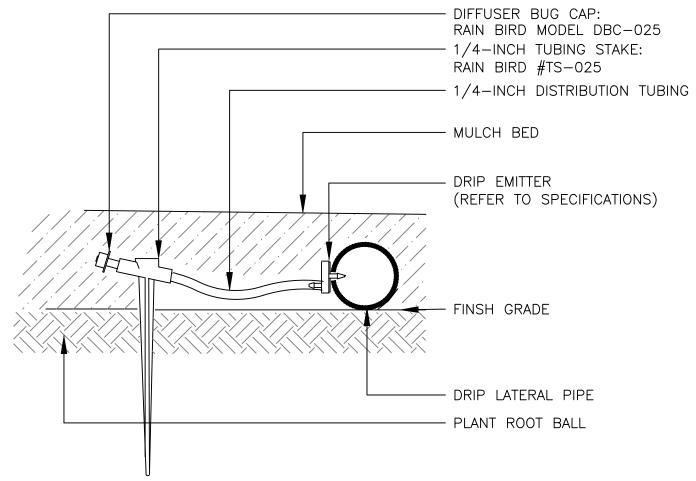
PINCH CLAMPS ARE NOT ACCEPTABLE.

DI ANT TVDE	EMITTERS PER	GPH PER EMITTER	TOTAL GPH PER
PLANT TYPE	PLANT	GPH PER EMITTER	PLANT
TREES 2" CAL	4 SINGLE	1 GPH	4 GPH
LARGE SHRUBS 5 GAL	2 SINGLE	1 GPH	2 GPH
SMALL SHRUBS 1 GAL	1 SINGLE	1 GPH	1 GPH
GC/PERENNIAL	1 SINGLE	1 GPH	1 GPH
CACTI	1 SINGLE	0.5 GPH	0.5 GPH

CLAMPS. PLACE CLAMPS ON DRIP TUBING DIRECTLY OVER BARBED AREA OF FITTING.

- 1. ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL.
- 2. ALL EMITTER QUANTITIES AND FLOW RATES ARE FOR RECOMMENDATION ONLY. THE CONTRACTOR SHALL CONSULT AND CONFIRM WITH LOCAL PRACTICE PRIOR TO INSTALLATION.





PIPE AND WIRE

SLEEVING

— PIPE

— WIRING

SLEEVE SLEEVE

CONCRETE SLAB ---

SINGLE OUTLET DRIP

—FINISH GRADE——

EXCAVATED MATERIAL

--- WARNING TAPE

TYPICAL TRENCHING

1. SLEEVE ALL PIPE AND WIRE SEPARATELY.

AT ALL CHANGES OF DIRECTION OVER 30 DEGREES.

AND BETWEEN PIPES.

BEDDING & COVER MATERIAL

3. ALL 120-V WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE

2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS."SNAKE" UNSLEEVED

REQUIREMENTS. TAPE AND BUNDLE 24-V WIRE EVERY 10' AND PROVIDE LOOSE 20" LOOP

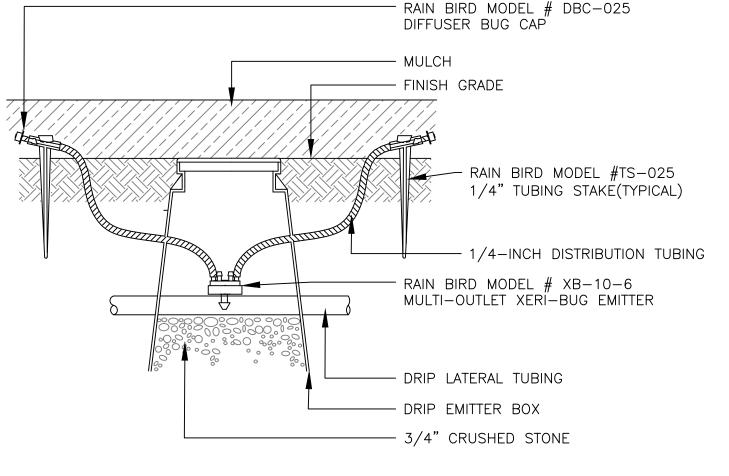
PLASTIC PIPE IN TRENCH. PROVIDE A MINIMUM OF 2" CLEARANCE TO SIDE OF TRENCH

LATERAL PIPE

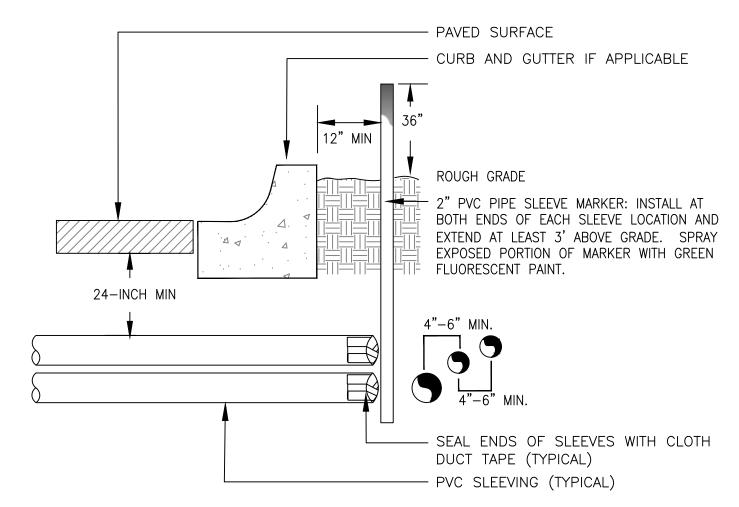
MAINLINE, LATERAL

& 24-V WIRE

O

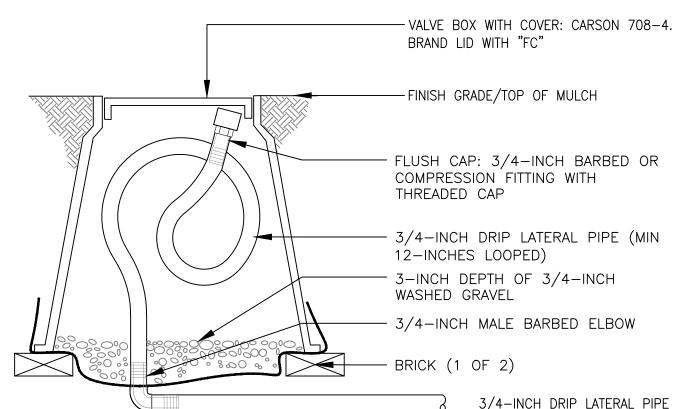


MULTI-OUTLET DRIP EMITTER ASSEMBLY FOR TREES IN BEDS



1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED. 2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES

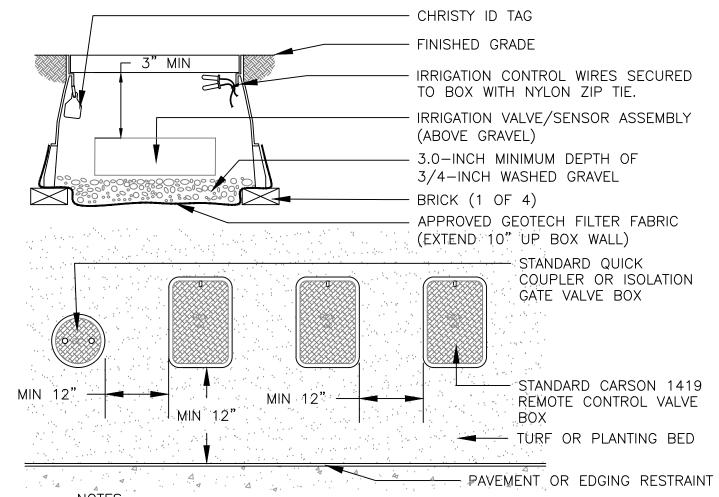
TYPICAL SLEEVING



12

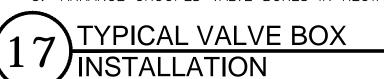
1. LOOP IRRIGATION DRIP TUBING INSIDE VALVE BOX FOR EXTENSION OUTSIDE OF BOX DURING BLOWOUT.

DRIP FLUSH CAP



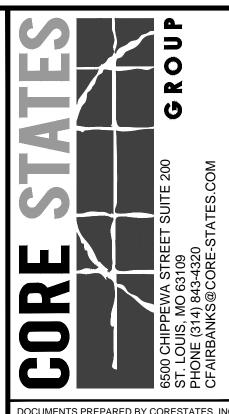
1. INSTALL ONLY ONE RCV TO VALVE BOX. LOCATE AT LEAST 12-INCHES FROM AND ALIGN WITH NEARBY WALLS OR EDGES OF PAVED AREAS. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL.

4. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL, BUT AVOID GROUPING MORE THAN THREE (3) STANDARD VALVE BOXES TOGETHER IN A SERIES. 5. ARRANGE GROUPED VALVE BOXES IN RECTANGULAR PATTERNS.



RELEASED FOR CONSTRUCTION As Noted on Plans Review Lee's Summit, Missouri





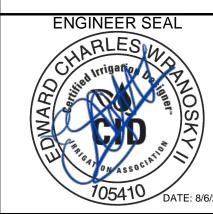
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CLIENT

SI Know what's belov Call before you dig. REVISIONS COMMENT DOCUMENT

CIVIL CONSTRUCTION PLANS FOR **CHASE BANK**

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063



IRRIGATION

DETAILS

SHEET NO. IR-3.1

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Web: www.hinesinc.com