

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR F.I.T. MUSCLE AND JOINT CLINIC ON LAND LOCATED AT 413 NW MURRAY ROAD, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2021-464 submitted by F.I.T. Muscle and Joint Clinic, LLC, requesting approval of a preliminary development plan on land located at 413 NW Murray Road was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on January 27, 2022, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on February 22, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

LOT 3, J.K.V. EAST COMMERCIAL DEVELOPMENT, a subdivision in Sec. 1, TWP 47N, Range 32W, Lee's Summit, Jackson County Mo.

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated January 12, 2022 and attached as Exhibit A.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

BILL NO. 22-21

ORDINANCE NO. 9347

PASSED by the City Council of the City of Lee's Summit, Missouri, this 8th day of March, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



William A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 9th day of March, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



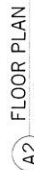
William A. Baird
Mayor William A. Baird

APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head

DEMO NOTE: Si

DEMO NOTE: Si



ARCHITECT OF RECORD

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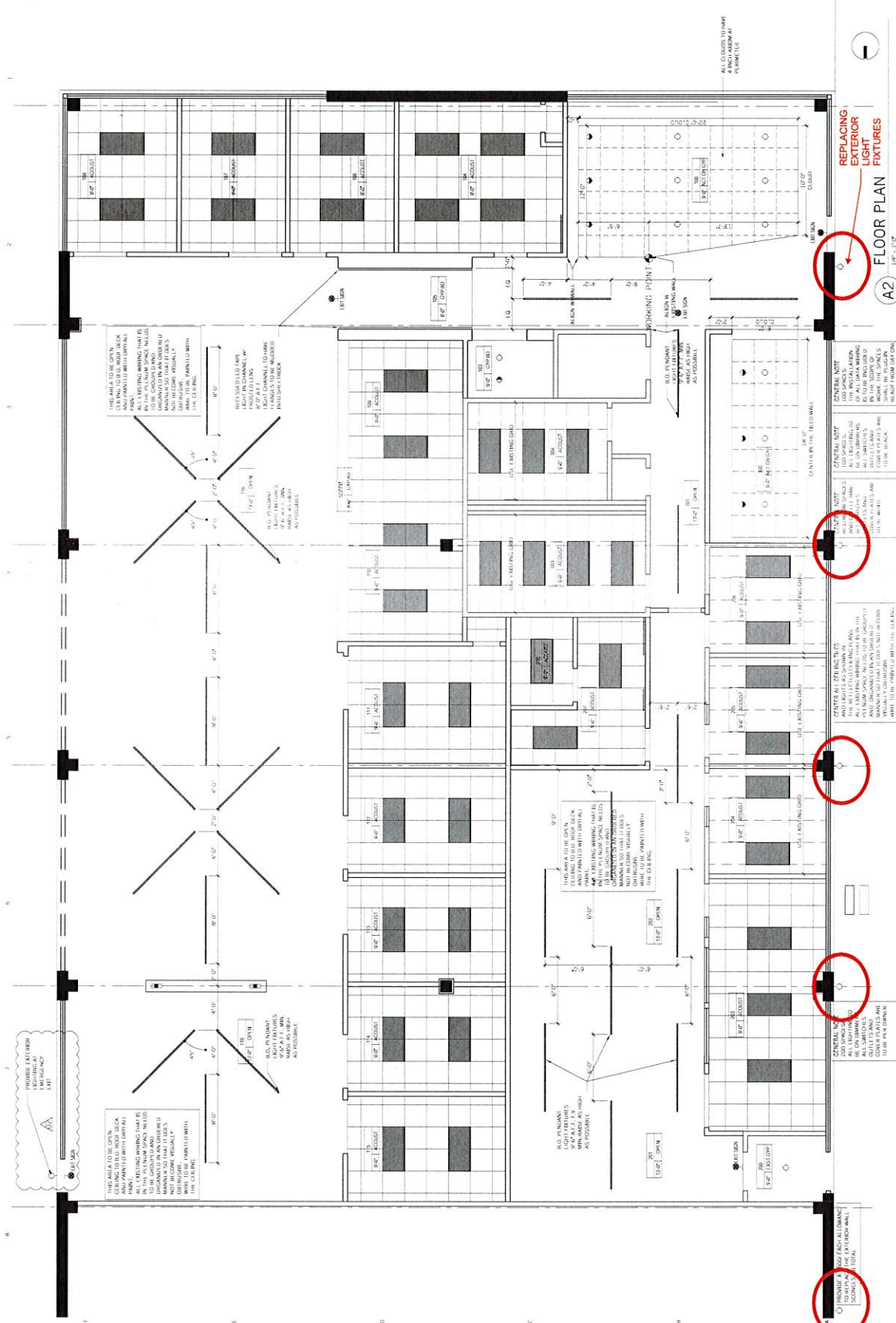
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NOTES

1. THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR PROVIDING THE NECESSARY INFORMATION TO THE ARCHITECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND FOR REPAIRING ANY DAMAGE TO SUCH UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT AREAS AND FOR PROVIDING ADEQUATE SAFETY MEASURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND FOR PROVIDING ADEQUATE STORAGE FOR SUCH MATERIALS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF ALL WORK DONE AND FOR PROVIDING SUCH RECORDS TO THE ARCHITECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND FOR PROVIDING ADEQUATE TRAINING FOR SUCH LABOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT AND FOR PROVIDING ADEQUATE MAINTENANCE FOR SUCH EQUIPMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUBCONTRACTORS AND FOR PROVIDING ADEQUATE SUPERVISION FOR SUCH SUBCONTRACTORS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND FOR PROVIDING ADEQUATE COVERAGE FOR SUCH INSURANCE.
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ELECTRICAL ENGINEER

CIVIL ENGINEER

ENVIRONMENTAL ENGINEER

LANDSCAPE ARCHITECT

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PAINTER

PLUMBER

ROOFER

CONCRETE FINISHER

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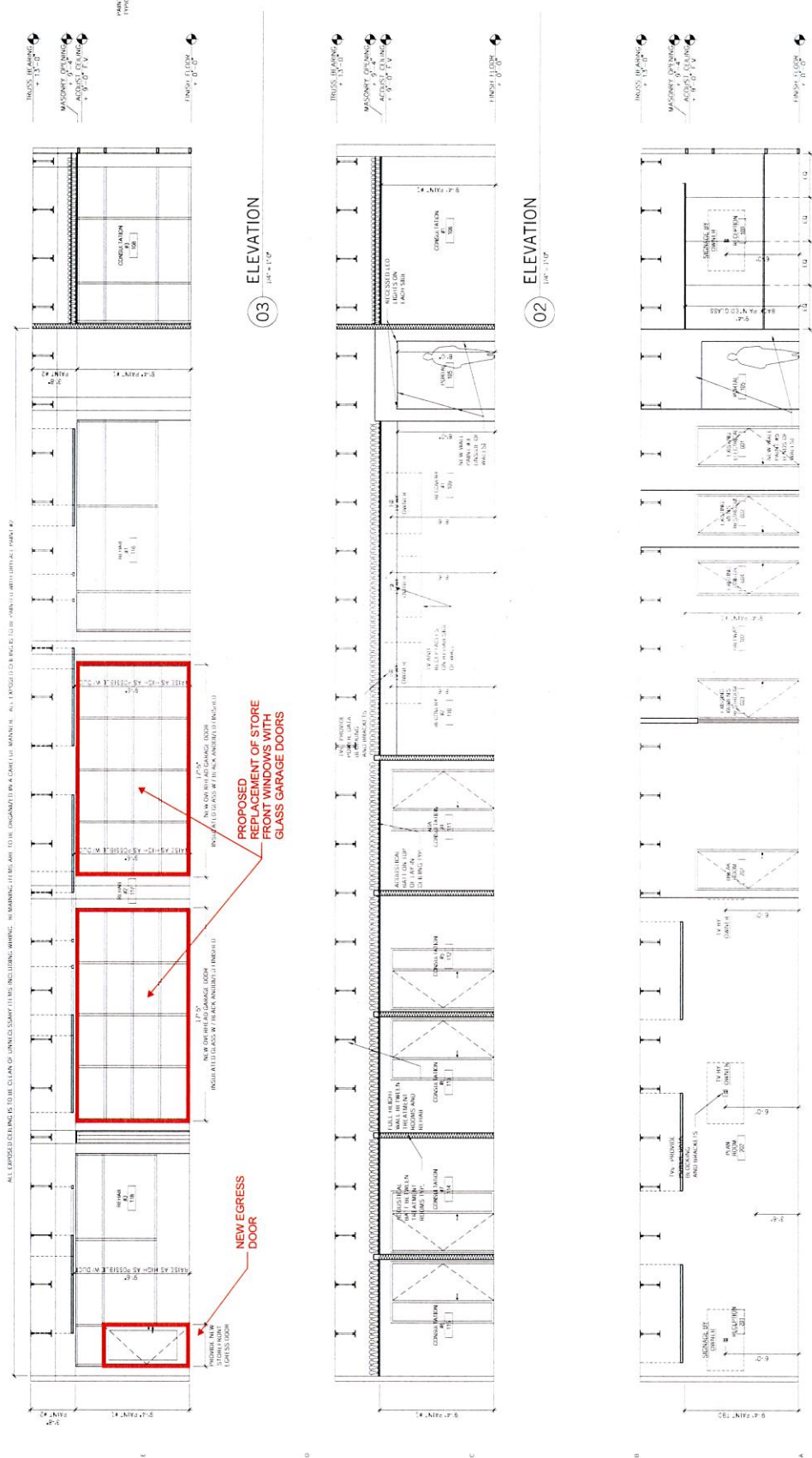
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1800 E 29th Street

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ELEVATION 01

ELEVATION 02

ELEVATION 03

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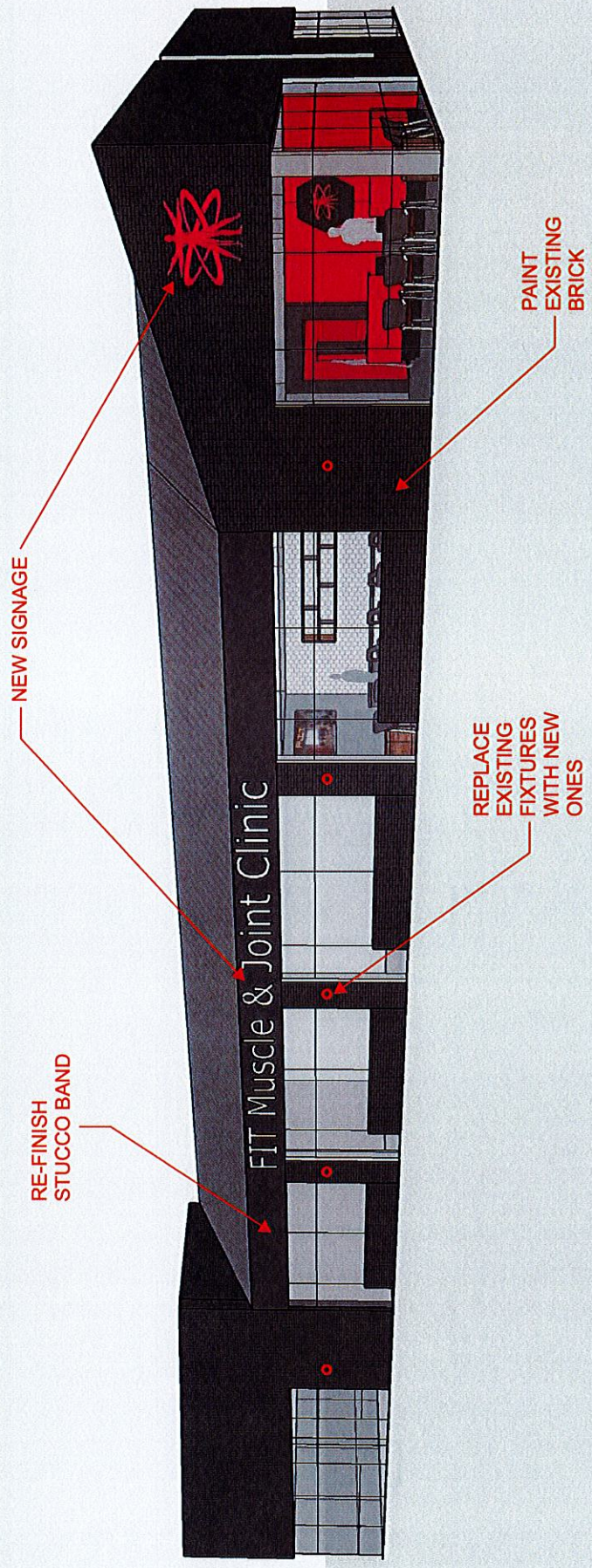
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PROJECT
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INTERIOR ELEVATIONS
A201



WEST ELEVATION

NEW SIGNAGE

RE-FINISH
STUCCO BAND

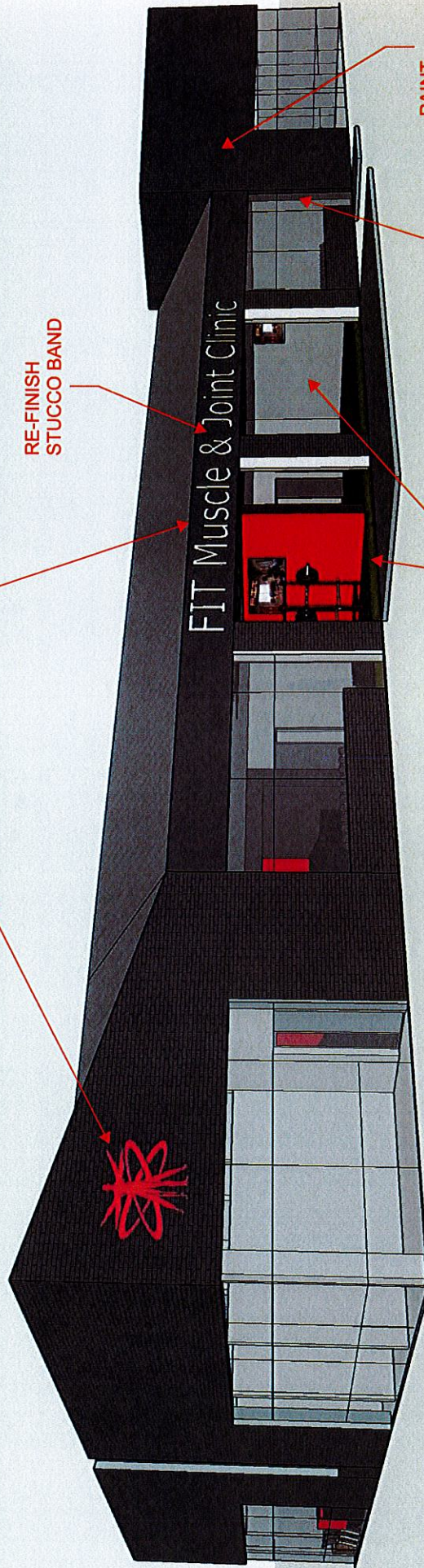
FIT Muscle & Joint Clinic

PAINT
EXISTING
BRICK

NEW EGREES
DOOR

PROPOSED
REPLACEMENT OF STORE
FRONT WINDOWS WITH
GLASS GARAGE DOORS

EAST ELEVATION



PL2021-464 F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY RD
PRELIMINARY DEVELOPMENT PLAN

