

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR PERGOLA PARK 6TH PLAT AND LUMBERMAN'S ROW AT NEW LONGVIEW LAND LOCATED AT 3221 SW PERGOLA PARK DRIVE, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2021-436 submitted by NLV Development Company, LLC, requesting approval of a preliminary development plan on land located at 3221 SW Pergola Park Drive was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on January 27, 2022, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on February 22, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

A replat of Part of lot 118C, "MINOR PLAT OF PERGOLA PARK LOTS 118A, 118B AND 118C, a subdivision on the City of Lee's Summit, Jackson County, Missouri, In the Southeast One-Quarter of Section 9, the Southwest One-Quarter of Section 10 and the Northwest One-Quarter of Section 15, all in Township 57 North, Range 32 West being more particularly described as follows:

Beginning at the Southeast corner of the Southeast One-Quarter of Section 9, the Southwest corner of the Southwest One-Quarter of Section 10 and the Northwest corner of the Northwest One-Quarter of Section 15, Township 57 North, Range 32 West: thence North 21 degrees 51 minutes 36 seconds East, a distance of 125.82 feet; thence North 32 degrees 22 minutes 15 seconds West, a distance of 144.66 feet; thence North 21 degrees 51 minutes 20 seconds East, a distance of 138.20 feet to a point on the East line of said Southeast One-Quarter of Section 9, and the West line of the said Southwest One-Quarter of Section 10; thence along said line, North 03 degrees 14 minutes 50 seconds East, a distance of 1049.86 feet to a point of curvature; thence along a curve to the right, having an initial tangent bearing of North 53 degrees 50 minutes 54 seconds West, a radius of 177.00 feet, a central angle of 14 degrees 39 minutes 05 seconds and an arc length of 45.26 feet to a point of compound curvature; thence along a curve to the right, having an initial tangent bearing of North 40 degrees 30 minutes 18 seconds West, a radius of 15.00 feet, a central angle of 88 degrees 53 minutes 00 seconds and an arc length of 23.27 feet to a point of reverse curvature; thence along a curve to the left,

having an initial tangent bearing of North 48 degrees 22 minutes 42 seconds East, a radius of 235.00 feet, a central angle of 12 degrees 20 minutes 52 seconds and an arc length of 64.22 feet to a corner point on the South line of MADISON PARK-1ST PLAT, LOTS 201 THRU 273 AND TRACTS A THRU J, a subdivision in the City of Lee's Summit, Jackson County, Missouri; thence along the South line of said subdivision the following nine courses, South 59 degrees 57 minutes 45 seconds East, a distance of 25.68 feet; thence South 89 degrees 09 minutes 15 seconds East, a distance of 180.99 feet to a point of curvature; thence along a curve to the right, tangent to the previous course, having a radius of 1589.00 feet, a central angle of 09 degrees 19 minutes 35 seconds and an arc length of 258.65 feet; thence South 79 degrees 49 minutes 40 seconds East, a distance of 59.58 feet; thence South 77 degrees 00 minutes 26 seconds East, a distance of 81.10 feet to a point of curvature; thence along a curve to the right, tangent to the previous course, having a radius of 15.00 feet, a central angle of 48 degrees 46 minutes 38 seconds and an arc length of 12.77 feet; thence South 28 degrees 13 minutes 48 seconds East, a distance of 41.96 feet; thence South 59 degrees 12 minutes 05 seconds West, a distance of 10.34 feet to a point of curvature; thence along a curve to the left, tangent to the previous course, having a radius of 476.00 feet, a central angle of 02 degrees 53 minutes 07 seconds and an arc length of 23.97 feet; thence North 33 degrees 41 minutes 04 seconds West, a distance of 5.00 feet; thence South 56 degrees 18 minutes 58 seconds West, a distance of 83.04 feet to a point of curvature; thence along a curve to the left, tangent to the previous course, having a radius of 228.00 feet, a central angle of 08 degrees 32 minutes 29 seconds and an arc length of 33.99 feet; thence North 58 degrees 55 minutes 21 seconds West, a distance of 26.70 feet to a point of curvature; thence along a curve to the left, tangent to the previous course, having a radius of 324.00 feet, a central angle of 02 degrees 45 minutes 46 seconds and an arc length of 15.62 feet; thence South 28 degrees 18 minutes 52 seconds West, a distance of 48.00 feet to a point of curvature; thence along a curve to the right having an initial tangent bearing of South 61 degrees 41 minutes 08 seconds East, a radius of 276.00 feet, a central angle of 02 degrees 45 minutes 46 seconds, and an arc length of 13.31 feet; thence South 58 degrees 55 minutes 21 seconds East, a distance of 17.74 feet to a point of curvature; thence along a curve to the left having an initial tangent bearing of South 35 degrees 59 minutes 41 seconds West, a radius of 478.00 feet, a central angle of 40 degrees 37 minutes 02 seconds and an arc length of 338.86 feet to a point of reverse curvature; thence along a curve to the right having an initial tangent bearing of South 04 degrees 37 minutes 21 seconds East, a radius of 247.00 feet, a central angle of 04 degrees 49 minutes 04 seconds and an arc length of 20.77 feet; thence South 41 degrees 52 minutes 13 seconds West, a distance of 78.28 feet; thence South 80 degrees 38 minutes 45 seconds West, a distance of 21.89 feet to a point of curvature; thence along a curve to the right, tangent to the previous course, having a radius of 157.00 feet, a central angle of 08 degrees 45 minutes 59 seconds and an arc length of 24.02 feet; thence South 00 degrees 36 minutes 35 seconds East, a distance of 56.00 feet to a point of curvature; thence along a curve to the left having an initial tangent bearing of North 89 degrees 24 minutes 23 seconds East, a radius of 213.00 feet, a central angle of 08 degrees 45 minutes 38 seconds and an arc length of 32.57 feet; thence South 27 degrees 12 minutes 52 seconds East, a distance of 20.43 feet; thence South 21 degrees 51 minutes 20 seconds West, a distance of 107.64 feet; thence South 68 degrees 08 minutes 40 seconds East, a distance of 93.00 feet; thence North 21 degrees 51 minutes 20 seconds East, a

distance of 131.05 feet to a point of curvature; thence along a curve to the right, tangent to the previous course, having a radius of 76.00 feet, a central angle of 31 degrees 36 minutes 45 seconds and an arc length of 41.93 feet; thence South 68 degrees 08 minutes 40 seconds East, a distance of 216.16 feet to a point on the West line of Lot 118A of said MINOR PLAT OF PERGOLA PARK LOTS 118A, 118B AND 118C; thence along the said West line of Lot 118A the following six courses, South 20 degrees 10 minutes 48 seconds West, a distance of 95.46 feet; thence South 27 degrees 32 minutes 22 seconds West, a distance of 174.50 feet; thence South 16 degrees 19 minutes 52 seconds West, a distance of 177.48 feet; thence South 26 degrees 14 minutes 11 seconds West, a distance of 110.35 feet; thence South 17 degrees 25 minutes 19 seconds West, a distance of 65.31 feet; thence South 20 degrees 59 minutes 20 seconds West, a distance of 354.45 feet to the Southwest corner of said Lot 118A; thence North 67 degrees 13 minutes 33 seconds West, a distance of 407.71 feet to the Point of Beginning, and containing 18.20 acres, more or less.

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated January 12, 2022 attached as Exhibit A.
2. Development shall be in accordance with the design guidelines for Pergola Park 6th Plat – New Longview, attached as Exhibit B and Lumberman's Row addendum – New Longview, dated November, 2021, attached as Exhibit C.
3. The proposed building setbacks for Pergola Park 6th and Lumberman's Row shall be established as stated within the City Staff Letter dated January 27, 2022. The following setbacks shall apply:

Proposed Setbacks – Pergola Park, 6th Plat

Yard		Max allowable appurtenance encroachment
Front	20' (home)	8'
Side	5' (home)	2'
Street Side	12' (home)	5'
Rear	3' (home)	2'

Proposed Setbacks - Lumberman's Row

Yard		Max allowable appurtenance encroachment
Front	50' (home)	10'
Side	5' (home)	2'
Street Side	15' (home)	5'
Rear	20' (home)	0'

BILL NO. 22-23**ORDINANCE NO. 9348**

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 8th day of March, 2022.

ATTEST:

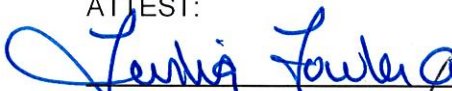

City Clerk Trisha Fowler Arcuri




Mayor William A. Baird


APPROVED by the Mayor of said city this 9th day of March, 2022.

ATTEST:


City Clerk Trisha Fowler Arcuri



APPROVED AS TO FORM:

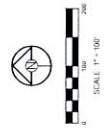

City Attorney Brian W. Head


Mayor William A. Baird



- LEGEND:**
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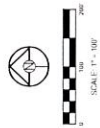
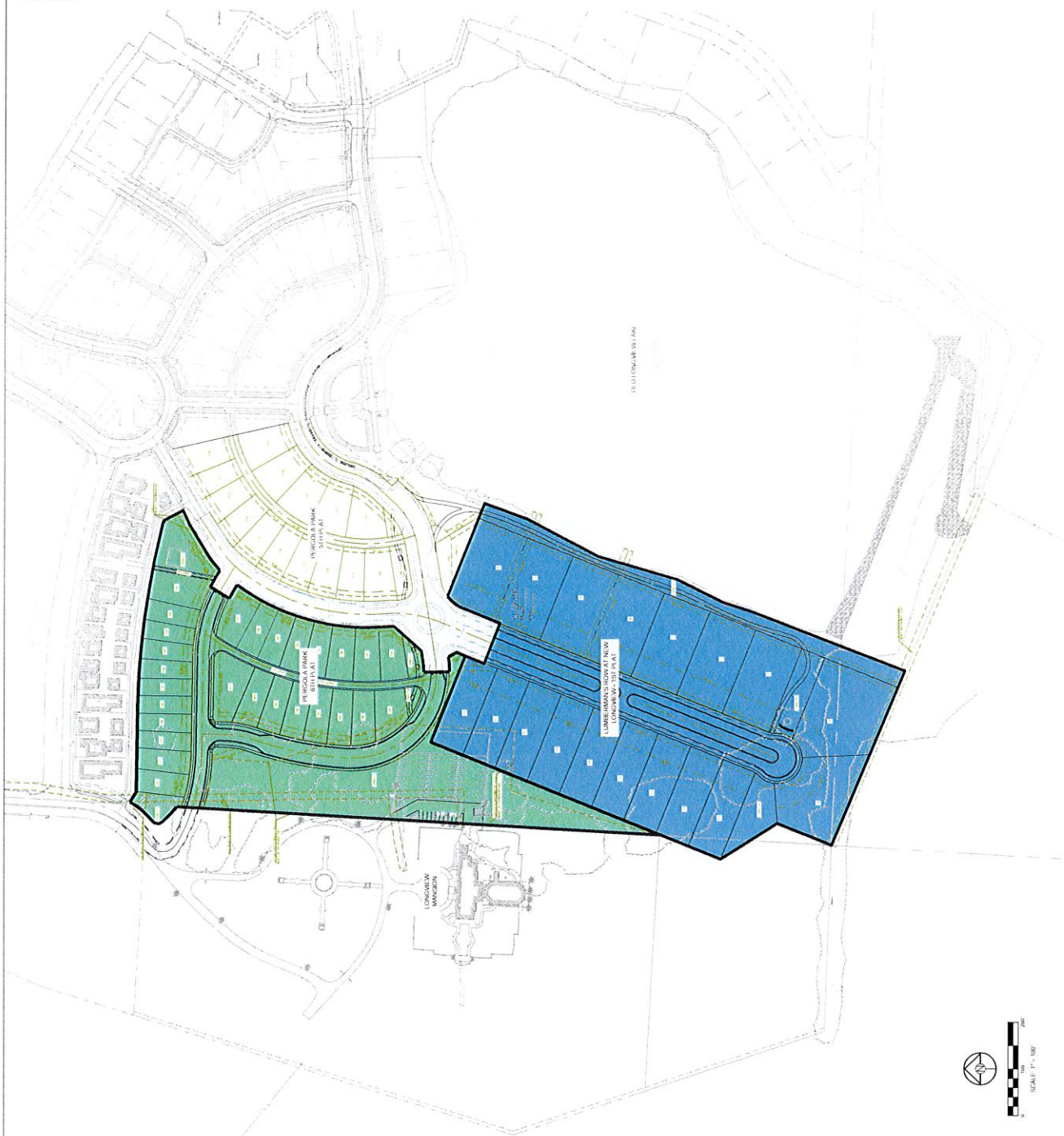
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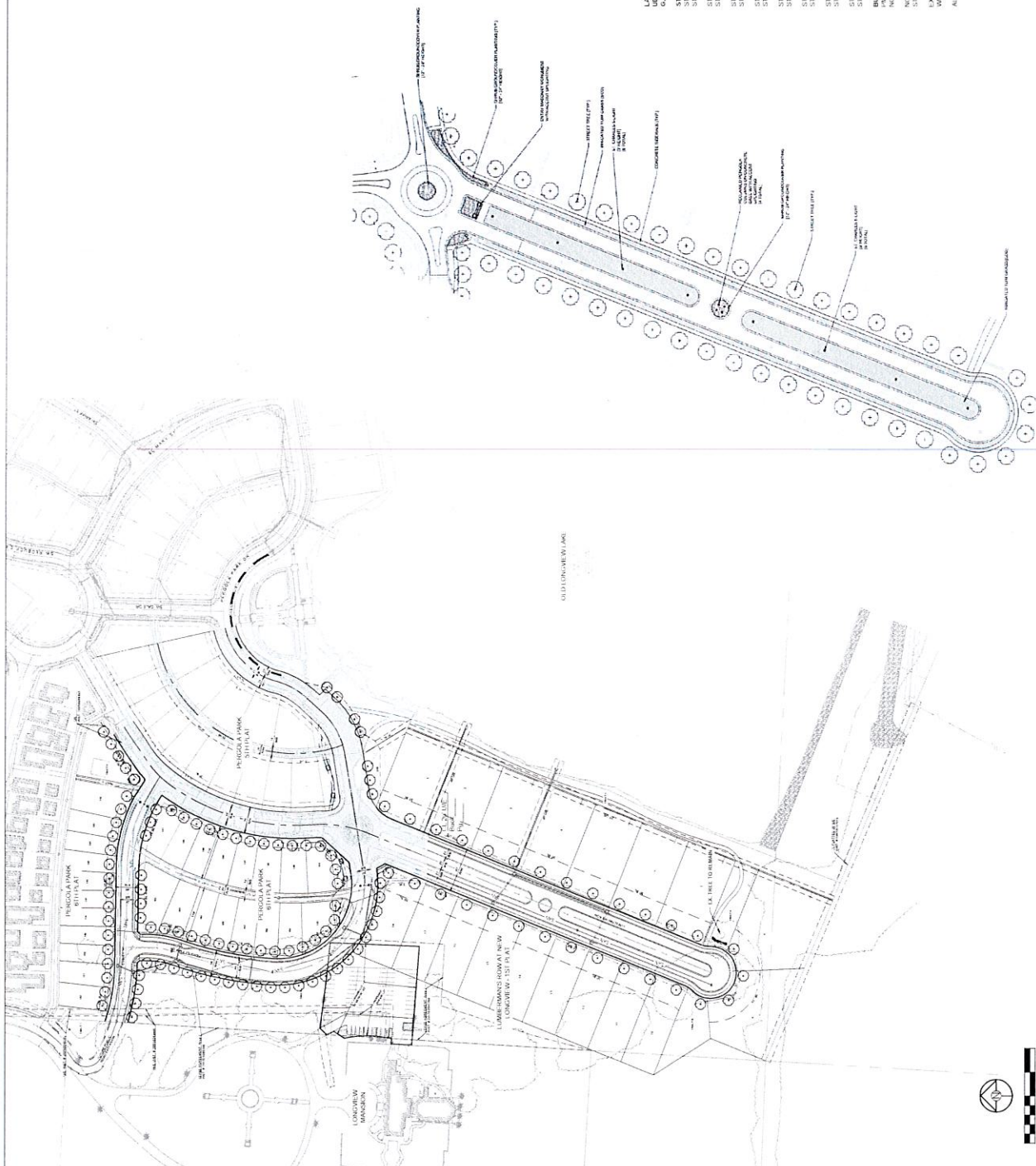
- 9 75X197'
- 7 110X190'
- 19 40X116'
- 8 40X119'

- LUMBERMAN'S ROW 1ST PLAT
- LUMBERMAN'S ROW 1ST PLAT
- PERGOLA PARK 6TH PLAT
- PERGOLA PARK 6TH PLAT

PHASE 1 10.46 AC
 LUMBERMAN'S ROW 1ST PLAT 18

PHASE 2 7.84 AC
 PERGOLA PARK 6TH PLAT 27



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Keywords: *child abuse, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation*

 $4.5 \cdot 10^4 = 100$ [illegible]

NOTE:
STREET TREES TO MEET DESIGN GUIDELINE MINIMUM
WHENEVER TREES PROVIDE BUFFER IN MOST AREAS, ADDITIONAL TREES AND SHRUBS PROPOSED
WHERE EXISTING TREES ARE NOT ON THE PARCEL.
ALL DISTURBED AREAS TO BE RESTORED TO PREVIOUS TYPE, TURN

- SHADE TREE 25' CAL.
- EVERGREEN TREE 5' H
- ORNAMENTAL TREE 2' CAL



DESIGN
BOOK

The New Longview Design Book

Updated November, 2021

“AN INTELLIGENT CITY PLAN
THINKS IMPARTIALLY FOR ALL
PARTS OF THE CITY AT THE
SAME TIME, AND DOES NOT
FORGET THE GREATER NEEDS
OF TOMORROW IN THE PRESS
OF TODAY.”
- J.C. Nichols

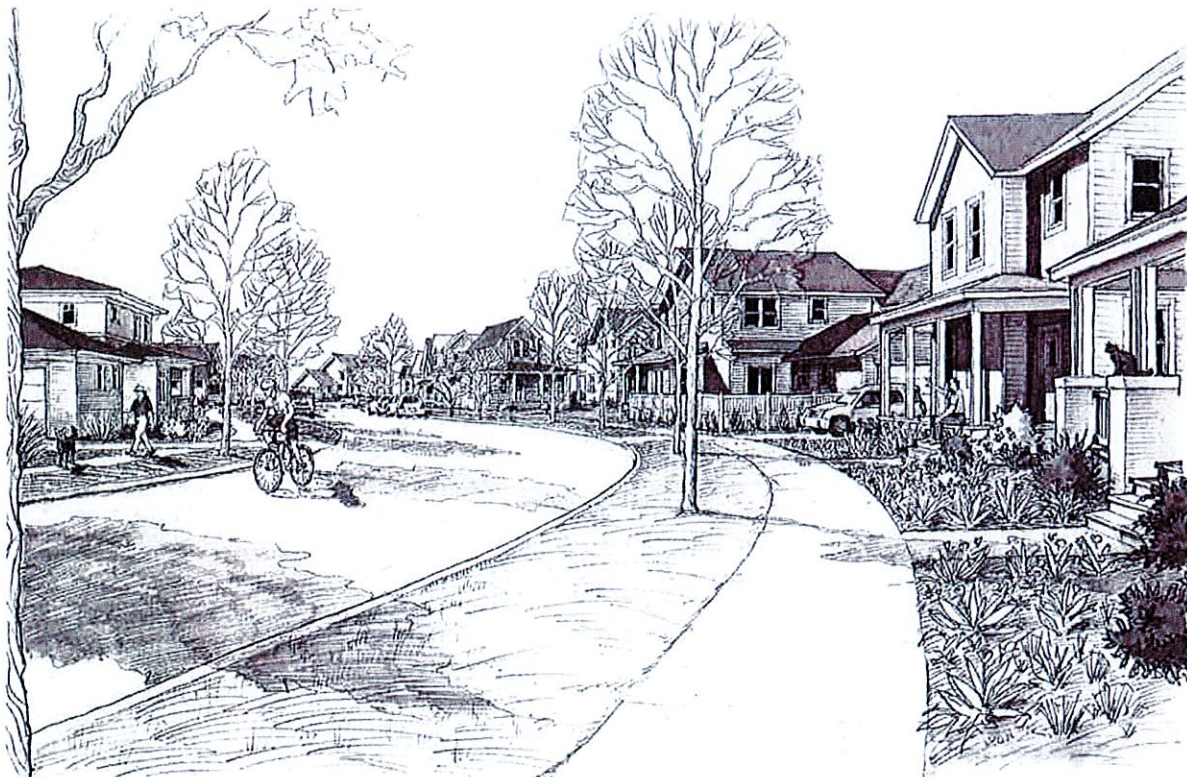
Community Vision

The New Longview community takes inspiration from notable historic Kansas City neighborhoods developed between 1890-1940 including **Brookside, Sunset Hill, Hyde Park, and Rockhill Gardens**. These neighborhoods have largely stood the test of time, boasting strong communities of socially active families driven to protect and enhance their way of life.

It is from these great communities that New Longview takes notes. This is not a replica project – it is something altogether unique, a modern spin on classic historic elements. All the charm but built with modern materials and methods.

Principals of 'New Urbanism' design include a focus on **walkability, connectivity, a diverse mix of housing options and uses, quality architecture, discernable 'centers' of activity, and an increased focus on shared open spaces, sustainability, and overall quality of life**. These ideals are woven into the very fabric of New Longview, presenting as **shared alleyways, curated streetscapes, community mailboxes, and large open greenspaces**, all carefully nestled on a historic farmstead noteworthy for its own original focus on beauty, quality, and design. The result of having every design decision being focused on supporting overall happiness and well-being of the residents cannot be understated.

The New Longview Design Book is intended as a guide to help future designers, builders, and residents apply the same New Urbanism ideals to future phases of the project.



Neighborhood Design

1. Single-Family Homes

There are three lot types for Single-Family homes in Pergola Park: **Cottage**, **Village**, and **Neighborhood**. Each home type is designed to respond to the needs of different households and provide diversity in home size and price.

The largest homes with the most generous yards and views are located on the **Neighborhood** lots. **Village** homes are the most common size in Pergola Park and include a comfortable yard with a lot sized for a 3-car garage. **Cottage** homes are somewhat smaller, oriented towards first-time buyers, young families, couples, and singles.



Cottage

Cottage homes range from 1,600 to 1,800 SF



Village

Village homes range from 1,600 to 2,700 SF



Neighborhood

Neighborhood homes range from 2,500 to 3,300 SF

2. Streetscape Diversity

Many of the best historic neighborhoods in Kansas City combine consistent streetscape elements with diversity of architecture. While the whole composition is unified, individual homes present considerable variation in style, massing, detailing and color.

- Each block face must contain at least three different models. Difference models are defined as those with significant variation in floor plan configuration and massing, and minor variation in size or number of bedrooms.
- Similar models with similar architectural styles may not be placed next to one another.
- Not more than two of the same model with the same architectural style shall be employed on the same block face.
- Color schemes shall be varied from one model to another to further differentiate.



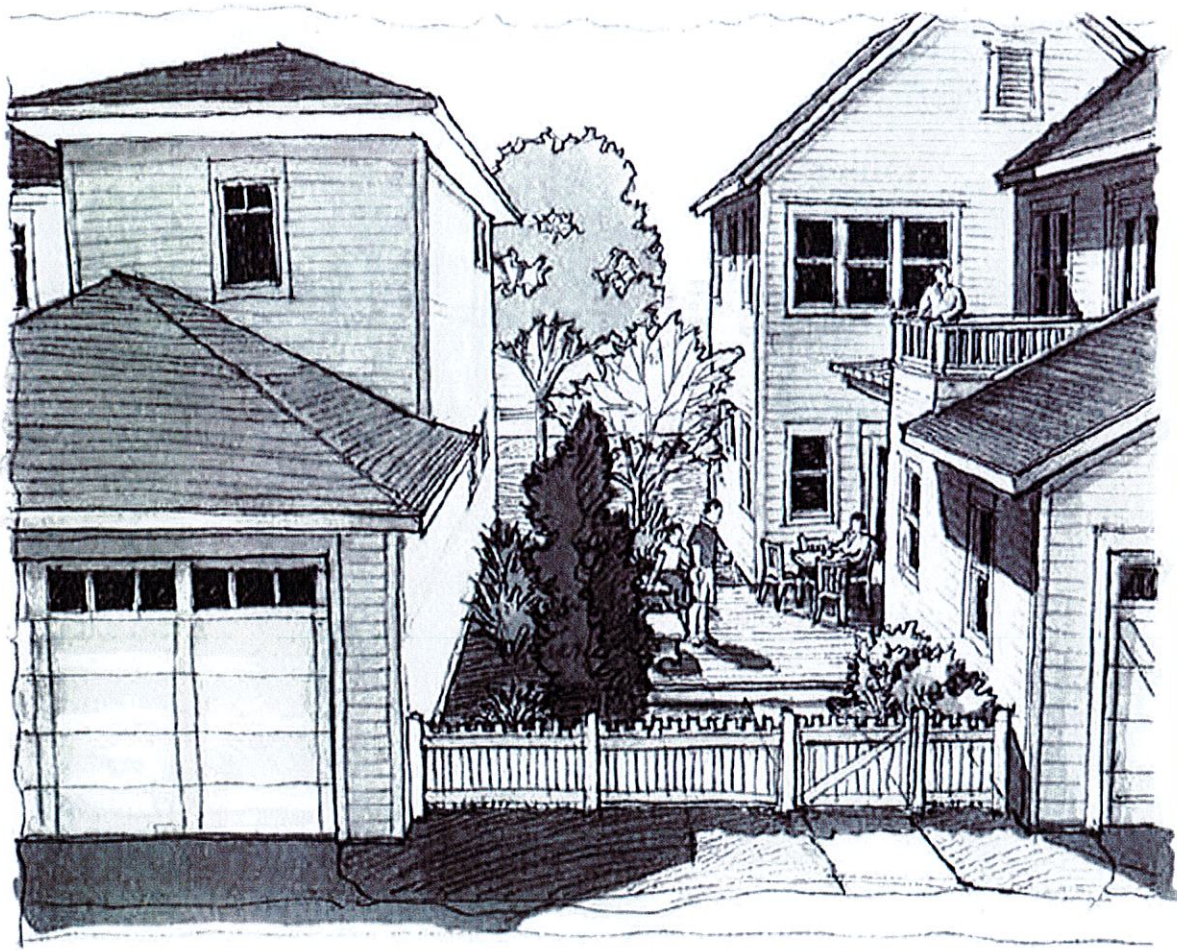
Streetscape diversity is achieved through the use of different models and architectural styles.

3. Active and Passive Sides

Side yards are important in creating usable outdoor space and ensuring privacy. An active and passive side for each home establishes a supportive relationship between adjacent buildings.

The "active side" contains the most and the largest windows and has the most usable side yard. "Passive sides" have fewer and smaller windows to ensure greater privacy for the neighbors.

- a. On lots 50 feet and less in width, each building must have an active and passive side.
- b. Where possible, orient active sides towards the **South** or **East**.
- c. For side drive lots, the active side should be the home wall adjacent to the side drive.



4. Presentation at Corners

Houses on corners have a special relationship to the streets and greens that define them. They present two facades to the public. It is important that both facades feel like fronts. Architectural features such as bays, porches, and building articulations should be used on both of these facades.

- a. Buildings on corner lots must have appealing facades facing both sidewalks.
- b. On corner lots, side yard privacy fences must be set back from the property line a minimum of 15 feet, however a larger setback is encouraged to improve the pedestrian experience.
- c. When possible, have "front" entries face the side street or green space on corner lots.
- d. Wrap-around porches are encouraged on corner lots.



The front entry of this home faces the side street. Its porch wraps around the corner to provide a welcoming face to the other street.

5. Semi-Detached Garages

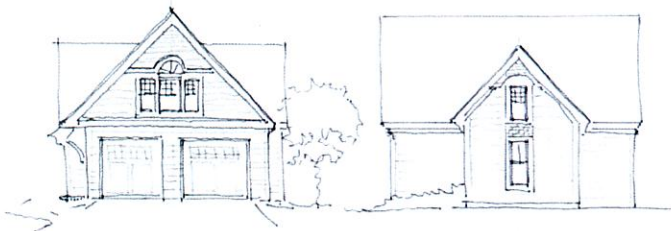
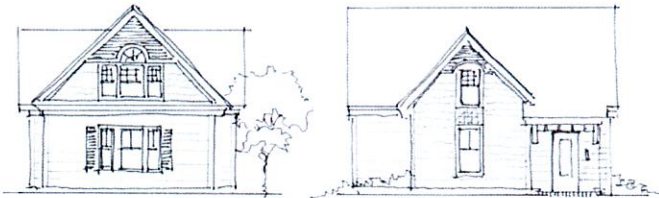
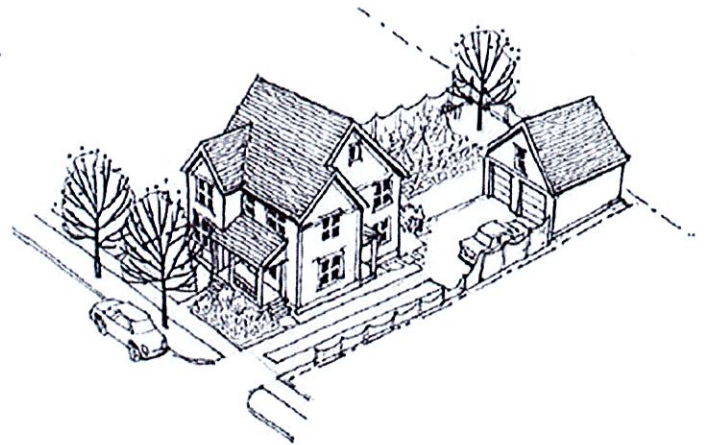
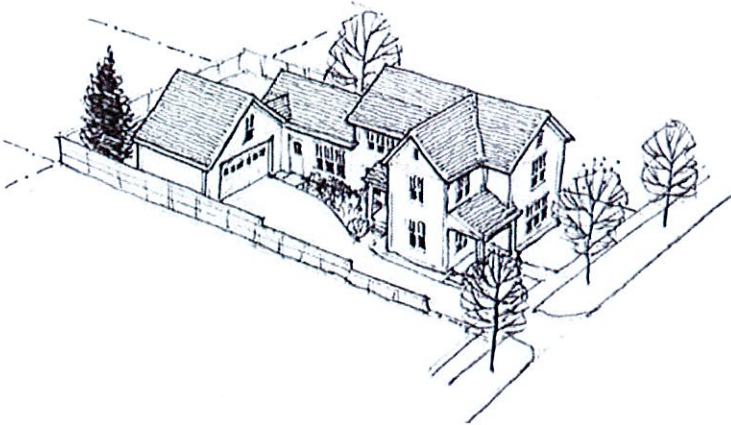
When semi-attached garages are combined with detached garages, alleyscapes become more varied and interesting. Builders are encouraged to employ detached and semi-detached garages in equal proportions.

- a. Semi-attached garages have a connector between the garage and principal house, often known as a 'breezeway' or 'hyphen'.
- b. The 'massing' of the home should be designed in such a way that the main home, connector (if existing), and garage are clearly separate functions.
- c. The connector must be single-story unless also connecting to a usable area on top of the garage and may be open, screened, or fully enclosed.



6. Side Drive Garages

- a. Lots that are accessed directly from the street require a layout that lessens the visual impact of garage doors and parked cars facing the street. The preferred solution is the side drive. This allows cars to slip by the side of the house on a narrow drive with garage doors and cars placed well beyond the façade.
- b. When it is well designed, the place where the driveway widens becomes a valuable and protected play space for children or additional outdoor living area.
- c. Garages on side drive lots may be detached or semi-detached, as shown below.
- d. Provide a single drive lane up to 11 feet in width along the side yard. At a distance of not less than 30 feet from the front property line, the drive may widen to 20 or 30 feet to provide double or triple car garage access, as the case may be.
- e. No two side drives may be placed next to one another. Provide at least 30 feet between driveways to allow for parking for at least one car on the street between curb cuts. This also allows for regular street tree placement.
- f. The curb flare shall be 3 feet.



7. Carriage Units / Accessory Structures

Carriage Units are located above detached and semi-detached garages. They can provide the perfect home for a teenager or grandparent, a home office, or family room. Carriage units enliven alleys with activity and architectural interest.

Certain lots with interesting lake or greenspace views are encouraged to build carriage units or rooftop patios above their garage and/or breezeway.

- a. Carriage Units are permitted only over detached or semi-detached garages.
- b. The maximum size of a carriage unit is 750 SF.



Carriage units enliven the alley while providing another housing option.

8. Setback Variation

In historic neighborhoods the homes on a typical block face often have varied setbacks. This has a more natural and organic feel than when every house is lined up with the same setback. Even a small amount of variation has a noticeable effect.

- a. To the extent possible, when laying out the site plans along a block face, vary the setbacks of the principal building facades by 2 to 5 feet.
- b. The same rule should be applied to porch setbacks along a block face.

9. Lot Types

Cottage

Cottage lots in Pergola Park are sized to accommodate homes ranging from 1,600 to 1,800 SF and support a 2 or 3 bedroom home with a 2 car semi-attached or detached garage.

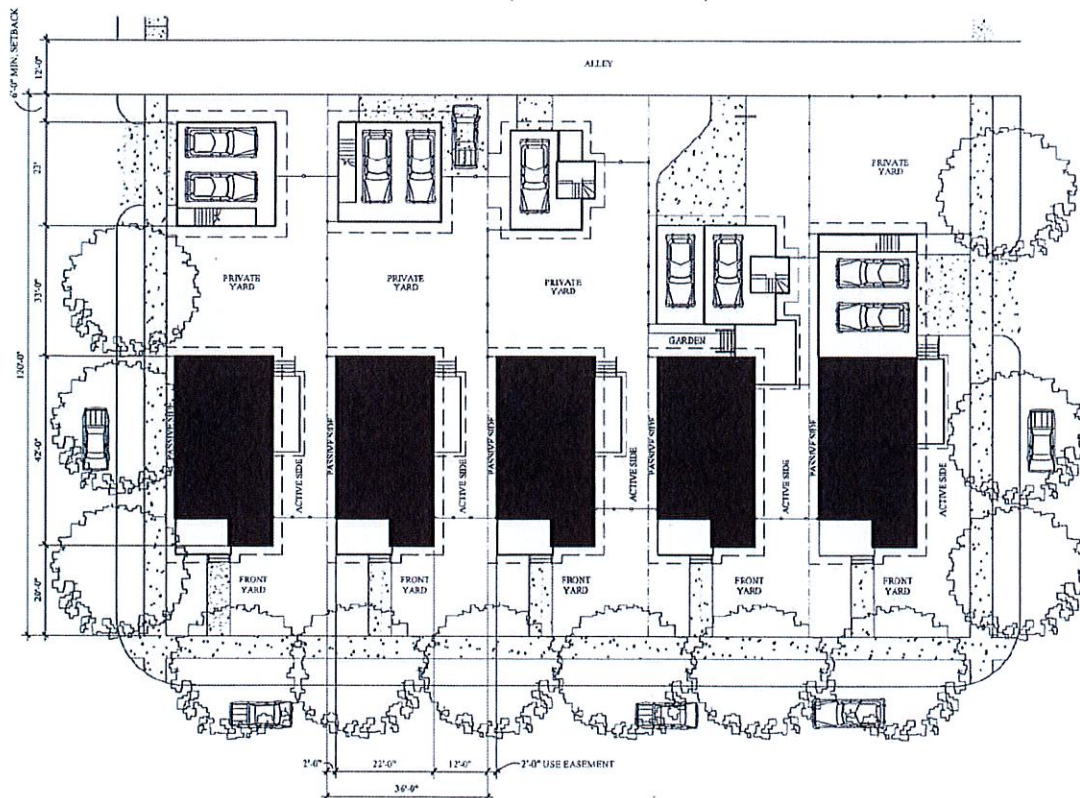


Typical Cottage Lot Characteristics:

- a. Width: 38 - 44 feet
- b. Depth: 115 - 125 feet

Principal Home Setbacks:

- c. Front: 20 feet from back of curb (porch can encroach)
- d. Side: 5 feet
- e. Side Yard Along a Street: 12 feet
- f. Rear: 6 feet (to foundation)



Village

Village lots are the most common type of lot in New Longview and are sized to support homes 1,600 to 2,700 SF. Each lot is sized to accommodate a 3 to 5 bedroom home with a 2 or 3 car garage and a comfortable yard. The majority of Village lots in Pergola Park are oriented to allow 2nd story views, encouraging the use of carriage units and/or garage-top patios.

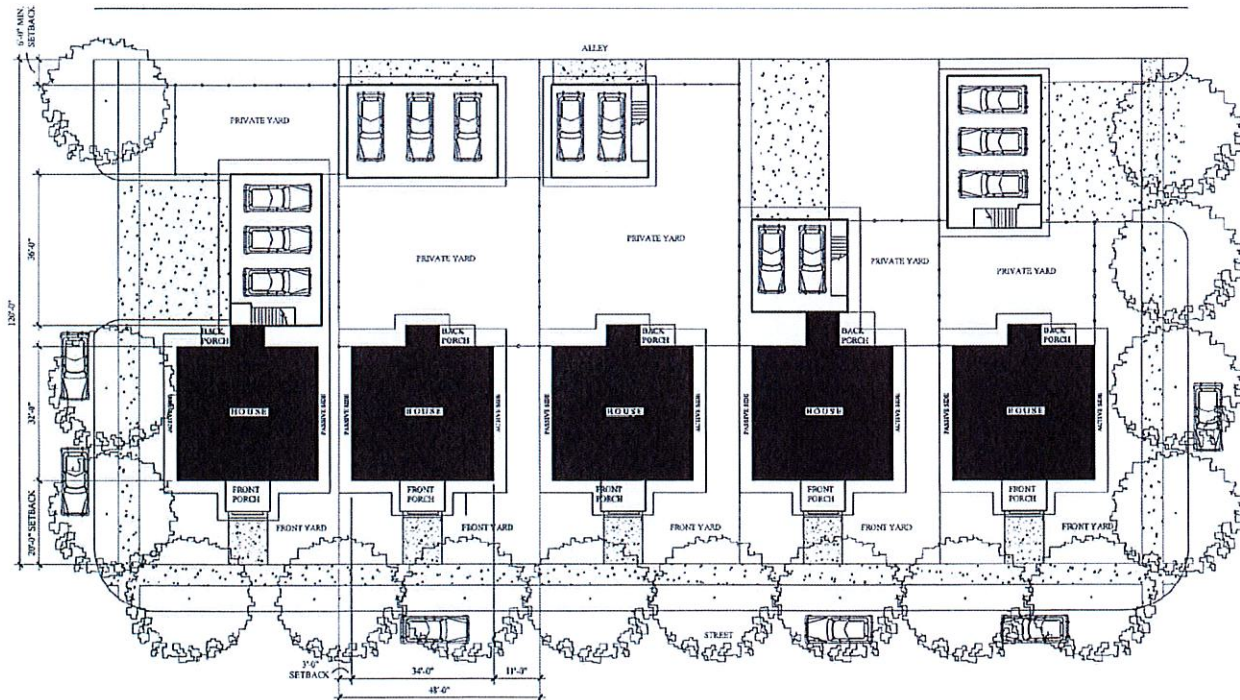


Typical Village Lot Characteristics:

- a. Width: 42 - 60 feet
- b. Depth: 115 - 125 feet

Principal Home Setbacks:

- c. Front: 20 feet from back of curb (porch can encroach)
- d. Side: 5 feet
- e. Side Yard Along a Street: 12 feet
- f. Rear: 6 feet (to foundation)



Neighborhood (standard)

Neighborhood lots allow for higher-end homes ranging from 2,500 to 3,200 SF and each is oriented to have premier lake, greenspace, and/or Pergola views. Neighborhood lots are expansive and include the largest yard and outdoor space options within Pergola Park.

Carriage units are discouraged on lots 113 to 117 and 119 to 123 in order to accommodate lake views from other homes; this restriction does not apply to garage-top patios.

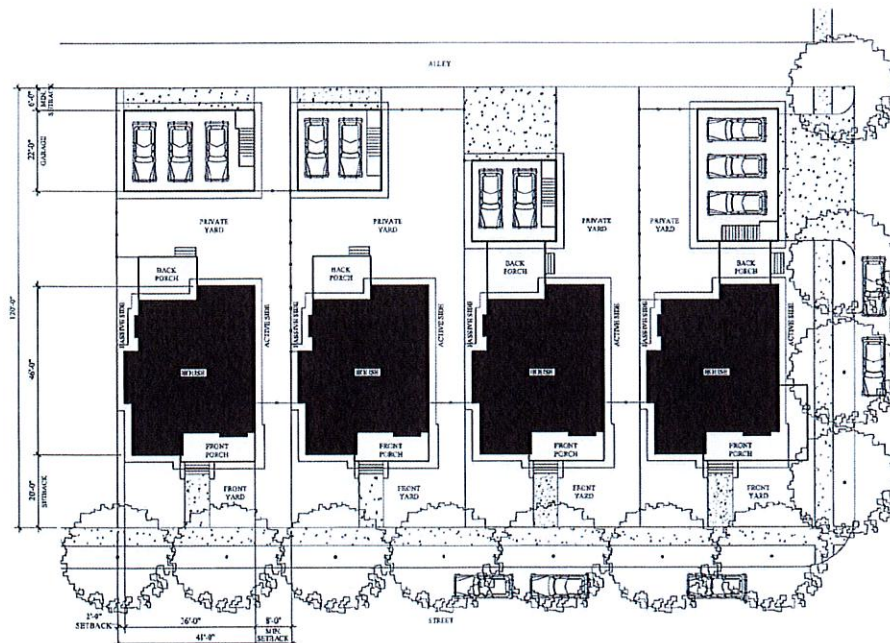


Typical Neighborhood Lot Characteristics:

- a. Width: 50 - 75 feet
- b. Depth: 115 - 125 feet

Principal Home Setbacks:

- c. Front: 20 feet from back of curb (porch can encroach)
- d. Side: 5 feet
- e. Side Yard Along a Street: 12 feet
- f. Rear: 6 feet (to foundation)



Architectural & Landscape Design

10. Massing and Roof Characteristics

Much of a neighborhood's character derives from the simplicity of the roof forms. Great variety can be achieved with a handful of primary roof forms combined with smaller secondary accents.

When designing a new plan, it is highly recommended to start with a simple rectangular box and then work back and forth with the floorplan adding rectangular volumes that resolve into the primary mass. This approach is more likely to result in a simplified structure and therefore a more cost-effective layout.

- a. **Massing** of a home should closely relate to the architectural style chosen.
- b. **Roof pitch (slope)** shall be governed by the architectural style and are recommended to be higher or lower than exactly 45 degrees (to avoid appearing 'static').
 - o **Traditional roof slopes** were set as a ratio between the span and king post, most commonly 1:5, 2:5, or 3:5.
- c. **Hip roofs** shall use 45-degree angles when viewed from above and shall have center ridges greater in length than sloping portion.
- d. **Gables** shall be symmetrical and either extend to the opposite side of a volume or terminate into the side of another roofline. When setting a gable against a hip roof, lower the gable pitch to avoid appearing taller than hipped portion.
- e. **Pediments** (roofs over porches or other small projections) should have a pitch between 21 to 26.6 degrees, most commonly 22.5.
- f. **Shed roofs** are appropriate only in certain instances and should be used sparingly.
- g. **Side wings** with a lower volume shall not appear to overpower the main home and shall match the roof slope if the pitch is equal to or less than 7:12 or have a lower slope if the pitch is higher than 7:12.
- h. **Livable area** on second floors shall not project out beyond livable area on the first floor. Certain exceptions to this may be considered by the review committee.
- i. **Roofs** shall be clad with an architectural shingle with a 50year composition such as CertainTeed Landmark.
- j. **Roof shingles** shall generally be neutral gray or brown. The following colors would be considered:
 - o Colonial Slate, Georgetown Gray, Granite Gray, Pewter, Pewterwood, Driftwood, Heather Blend, Weathered Wood



The same model and floor plan can be expressed with different architectural treatments.

- k. **Other roof materials** including slate, lightweight concrete tile, and metal (when used as an accent) may be acceptable with prior approval.
- l. **Gutters, leaders, flashing, and metal roof accents** shall be painted aluminum or copper. In the absence of gutters, brick, gravel, or other appropriate landscape elements shall be placed at the drip line.
- m. **Ancillary roofs** (attached to walls at the upper portion) may be sheds sloped no less than 3:12.
- n. **Flat roofs** shall be occupiable and have controlled access from an interior room or patio area. Flat roofs shall have a railing or parapet wall.
- o. **Parapets** shall be horizontal in elevation when viewed from the street, unless articulated in a traditional symmetrical composition that masks a gable end, either parallel to the gable slope, stepped, or authentic Dutch.
- p. **Dormers**, if provided, shall have gable or hipped roofs with a slope matching the principal roof or shed roof with a minimal slope of 3:12. Dormers shall be set back from the wall below by at least 1 foot.
- q. **Roof penetrations** such as plumbing and heating vents shall be placed on the rear slope and painted to match the color on the roof. Metal roof penetrations may be left unpainted. A continuous ridge vent or individual vents shall ventilate the attic space.
- r. **Skylights and solar panels** shall be flat and mounted parallel to the slope of the roof. All roof panel frames shall coordinate with the roof color. Only tempered or Lexan glass are allowed on skylights. Skylights and solar panels must be approved by the ARC prior to installation.

11. Symmetry & Asymmetry

The placement of solids (walls) and voids (windows and doors) on a building's façade is called a 'composition' and has profound impact on the character of a home. Arranging elements symmetrically or asymmetrically is largely driven by the architecture style.

Symmetry is often equated to beauty at a subconscious level. Unity is achieved in symmetrical compositions by having an odd number of openings which leads the eye directly to the center. Duality is achieved when there is an even number of openings and should be reserved for secondary/side façades.

Asymmetrical compositions have two layers of design: overall massing, and the arrangement of elements within each volume. An asymmetrical arrangement of elements within a volume ties the entire composition together, each volume depending on the others. It is this interconnection that allows for a whole greater than the sum of its parts.

12. Primary Façade

Much of a neighborhood's character is derived from elevations that face the street. When homes 'play by the same rules', gracious streetscapes can be created.

Each home represents a welcoming face to the street. Each façade along the street should contribute to the visual quality of the neighborhood. Special attention and care should be taken to create appealing side elevations as well as the front façade.

- a. **Front Doors** should be an easily identifiable focal point of the primary façade.
- b. **Ceiling height** of the main floor shall be at least 9'.
- c. **Front porches** are encouraged to extend over the front building setback line.



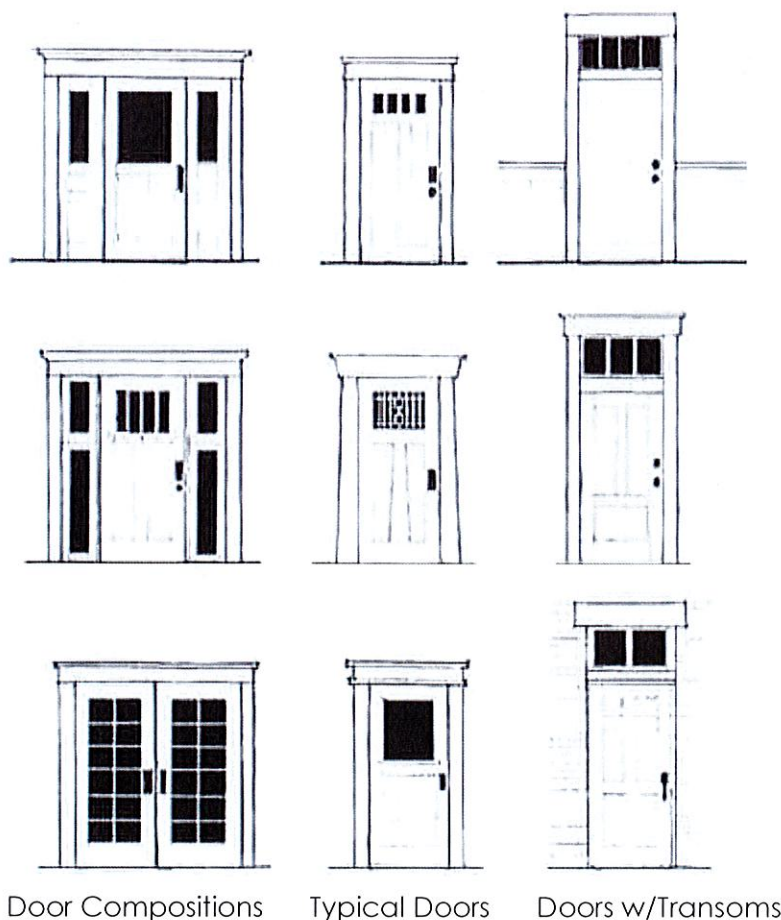
Single-Family homes with a variety of architectural treatments create an attractive streetscape.

13. Doors

Doors create a human scale for the buildings and serve as a welcoming feature for each home. Care should be given to the type, scale, and quality of each selection.

- a. **Doors, including garage doors**, shall be wood or painted steel and the type and color should coordinate with the architectural style chosen.
- b. **Door window glazing** (if present) shall be clear.
- c. **Double front doors** shall only be used on Neighborhood homes.

- d. **Security doors and window grills** require prior approval.
- e. **Openings in upper stories** shall be centered directly above openings on the first floor. Openings on the gable ends must be centered. Openings shall be minimum of 2 feet from building corners, except continuous banks of windows on sun porches.
- f. **Arcade openings** shall be vertical in proportions.
- g. **Porch openings** may have square or vertical proportions, with the exception of craftsman or bungalow types.
- h. **Glazed area** on frontage facades shall not exceed 40% of the total surface.
- i. **Exterior doors** shall be hinged, except garage doors. All doors shall have raised panels (not flush with applied trim).
- j. **Windows in doors** must be rectangular and vertical in orientation.
- k. **Garage doors** facing the street shall be a minimum of 9 feet in width. Garage doors on alleys must be at least 9 feet and not more than 20 feet in width. Garage doors facing an alley shall have wall-mounted light fixtures on both sides of the door(s) activated by a photocell.



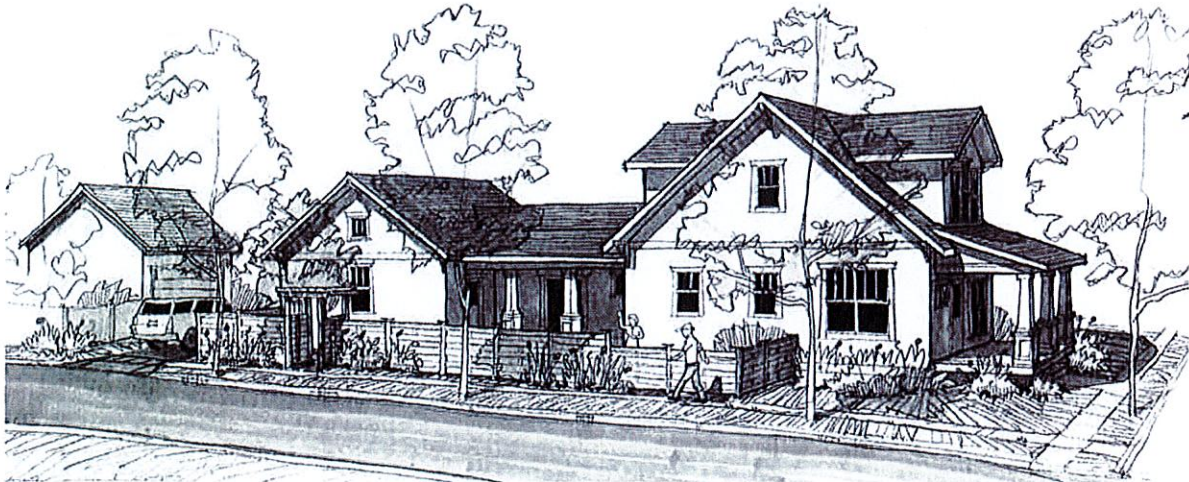
14. Window Types and Composition

Window type, composition and proportion are key character-giving elements of the building façade.

- a. **Windows** shall be made of painted aluminum or vinyl and shall be glazed with clear glass. Basement and attic windows are subject to the same requirements as other windows.
- b. **Frosted glass** may be used at the side or rear of the home with prior approval.
- c. **Windows** shall be single-hung or double-hung, with a vertical proportion of no less than 1:1.6. Operable casement windows may be allowed with prior approval.
- d. **Transoms** above doors may be oriented horizontally with vertical muntins giving the appearance of vertically proportioned pieces of glass.
- e. **Window muntins** are required on front facades and shall be true or simulated divided lights and shall create panels of square or vertical proportions. Attention should be given to match the "style" of the home (i.e. craftsman, colonial, etc.).
- f. **Operable Shutters** may be installed on windows to match the opening provided they are installed on all windows on a given wall.

15. Wall Materials

Kansas City's older neighborhoods benefit from a simple vocabulary of materials including brick, stone, stucco, and wood clapboard and drop siding patters. Today, there are many modern building materials that simulate older-style materials, often with lower maintenance and cost. In general, harmony is achieved by limiting the number of materials chosen on a given house.



- a. Homes must be "**four sided**" with the same material used on each elevation.
- b. **Walls** shall be finished in cementitious lap siding, treated/engineered wood clapboard (for example LP SmartSide), drop siding, board and batten, brick,

traditional three-coat stucco with smooth sand finish, or indigenous stone. Colored precast concrete may be used for trim pieces with indigenous stone or brick. Vinyl, plywood siding panels (example: T1-11), and similar panelized products are not permitted.

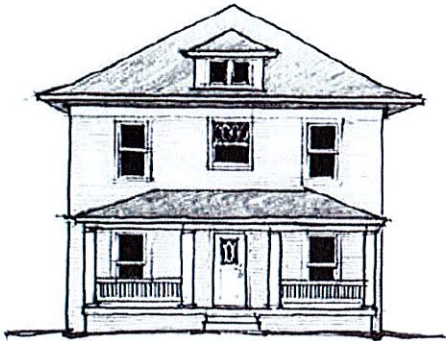
- c. **Walls** may be built of no more than two primary materials and one accent material with a preference for changing materials along a horizontal line. Example: shakes may be combined with siding when the material change occurs horizontally, typically at a floor line or at a gable end. Heavier materials should be placed below the lighter, i.e., brick or stone below stucco.
- d. **Siding** shall be horizontal with a maximum of 6" exposed vertically to the weather.
- e. **Siding** shall be painted; brick and stone shall be left unpainted.
- f. **Brick or Stone** used as a primary wall surface should have appropriate articulation for visual appeal. Any horizontal accent bands should wrap around the home on all four sides, or to an interior corner as approved by the ARC.
- g. **Foundation walls and piers** shall be finished with an indigenous stone, brick veneer, colored concrete, or painted to match the primary home.
- h. **Foundation walls** shall be exposed a minimum of 18" and a maximum of 48" above grade. Exceptions may be made in consideration of groundwater conditions.
- i. **Cementitious shakes** are often used in the gables (separated by a horizontal member) as an accent.
- j. **Shingles** shall be exposed a minimum of 10" vertically.
- k. **Stucco treatment** around openings shall not protrude from the finished wall face.
- l. **Garden walls** shall be finished in stone, brick, or stucco matching the principal home. Gates shall be wood, aluminum, or wrought iron design.
- m. **Garden walls** shall be a minimum of 8" thick and have posts at ends and corners.
- n. **Awnings** require prior approval.

16. Brick and Stone Application

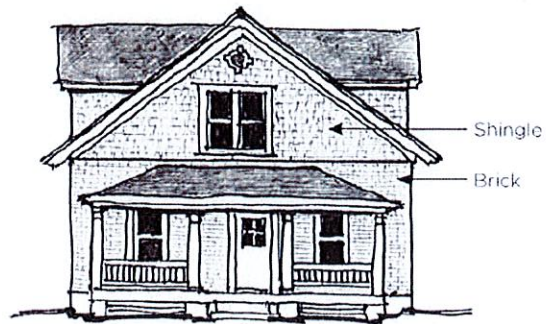
A major characteristic of Kansas City's older neighborhoods is the widespread use of brick and stone. Homeowners and builders chose the material due to its availability, reasonable cost, beauty, and durability. One hundred years later, masonry is still a desirable material, however construction methods have evolved. Recognizing cost concerns, there are ways to reduce the amount of brick on a home while still promoting character and authenticity.

Traditionally, brick was used as a load-bearing material with exterior walls consisting of two or three wythes. In contrast, contemporary veneering techniques sometimes result in the brick or stone appearing 'false' or applied to the wall surface. When properly detailed, such as returning material to an inside corner, brick veneer has the same load-bearing character as traditional buildings.

- a. **Windowsills and lintels** over doors and windows should be expressed with load-bearing stone, steel, and/or brick header details, such as rowlock, soldier, sailor, or decorative brick treatments.
- b. **Horizontal transitions** between masonry and other wall materials must be detailed with banding, molding, or soffit/eave treatments.
- c. **Vertical transitions** between masonry and other wall materials, such as stucco or siding, should occur at inside corners only.
- d. When possible, masonry should be employed to **appear loadbearing**, rather than as a veneer.



Buildings can be rendered in one material. Historically, the Foursquare was often finished in full brick.



Material changes generally occur along a horizontal line. The "lighter" material, shingle, is above the "heavier" material, brick.

17. Building Articulation

Kansas City's historic neighborhoods derive their character from the simplicity of architectural forms. Homes within Pergola Park should emphasize one primary architectural form with supporting articulations. Too much complexity of competing primary forms will undermine this goal.

An articulation is defined as: the connection of an open porch to the building, a dormer facing the street, a well-defined entry element, a horizontal offset of at least 2 feet in the principal building wall for a minimum of 4 feet in width, or a change in the height of front elevation roof lines by at least one story.

- a. **Primary building elevations** should have between one to three articulations.
- b. **Side elevations** facing a street are subject to the same requirements as Primary elevations.
- c. **Side elevations** shall have at least one articulation.

18. Exterior Color

The use of color is a critical factor in creating the overall character of New Longview. The color palette for Pergola Park is inspired by colors that can be found in great historic neighborhoods of Kansas City.

- a. **Homes** should have a minimum of one and maximum of two primary home colors, a subtle contrasting trim color, a contrasting accent color for doors, and a contrasting accent color for shutters. One notable exception to this is a single-color composition (ex: all white) which provides an interesting counterpoint to the bold colors around it.
- b. **Color schemes** should remain uniform around all sides of the home, including front and rear accent door colors.
- c. **Paint and stain colors** shall not be similar to any other home within view or to a large number of existing homes throughout the neighborhood.
- d. **Exterior** doors shall all be painted the same accent color.
- e. **Trim** shall not be the same color as main body color.
 - o White trim and white body color is permitted in the Modern Farmhouse style.
- f. If the home contains an **accent material** such as cementitious shakes in the gables it should be painted an accent color, even if similar to the base color.
- g. **All foundations** shall be painted to 6 inches below grade to match the home.
- h. **All colors** must be submitted to the Architectural Review Committee for approval.
- i. **Sample colors test swatches** are encouraged for comparison/selection.

19. Exterior Trim and Embellishments

Trim elements, like windows and doors, contribute to a building's expression of style and quality.

- a. **Trim** should be 1" cementitious.
- b. All **trim** for wood walls shall be attached directly to the sheathing.
- c. **Board trim** at corners and around openings shall not exceed 6" in width, except at the front door surround which may be any approved size or configuration.
- d. **Horizontal banding** that separates a material change or articulates a floor line or gable may not exceed 12".
- e. **Facia and soffits** should be a similar material to the existing homes.
- f. **Columns, piers, and arches** shall be made of brick, wood, stone, or stucco. Pre-manufactured fiberglass, glass-fiber reinforced concrete, or synthetic stone components are not acceptable without prior approval.
- g. **Chimneys** shall be finished with brick, or indigenous stone.

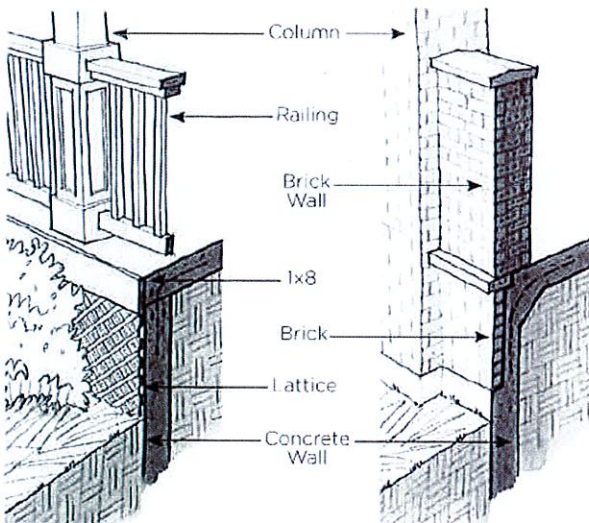
- o Wider base of the chimney shall be approximately 1/3 the total height.
- h. **Porches, balconies, posts, railings, spindles, brackets, and balusters** shall be made of wood. Porches may be enclosed with glass or screens, however, glass enclosures are not permitted at frontages. Porches may have exposed rafters or a horizontal ceiling of wood decking, board and batten, or beaded panel. Stoops may have wrought iron railings. Pre-manufactured fiberglass, glass-fiber reinforced concrete, or synthetic stone components are not acceptable without prior approval.
- i. **Stoops** shall be made of wood, brick, indigenous stone, or concrete. If concrete, a stoop shall have brick or stucco cheek walls.
- j. **Decks** shall be made of cedar. Other decking material may be acceptable with prior approval. Decks shall be located in rear yards where not easily visible from streets or paths.
- k. **Wood elements** shall be painted or stained except for walking surfaces which may be left natural if desired.
- l. **Columns** shall have proper proportions and profiles.
- m. **Arches** shall be no less than 12" in wall thickness.
- n. **Piers** shall be no less than 12"x12".
- o. **Keystones** shall be functional and not decorative.
- p. **Porches** shall be no less than 6 feet in depth and shall have between 18" and 48" of foundation wall exposed above grade. Porches shall be lit with incandescent wall or ceiling-mounted fixtures. Porches and arcades shall be one or two stories superimposed but not two stories clear height. Screens shall be framed in wood installed behind or aligned with porch railings.
- q. **Posts** shall be no less than 6"x6" nominal.
- r. **Railings** shall have top and bottom rails. Wood top rails shall be eased at edges and bottom rails shall have a vertical rectangular section.
- s. **Spindles and balustrades** on railings shall not allow the passage of a 4" sphere per building codes.
- t. **Bay windows** at frontages shall be framed as part of the building wall, have a minimum of 3 sides and be habitable, and extending to the floor inside, ground level bay windows shall extend to the ground.
- u. **Open balconies** shall be supported by visible brackets.
- v. **Balconies** shall not exceed 2 feet in depth.

20. Porch Characteristics

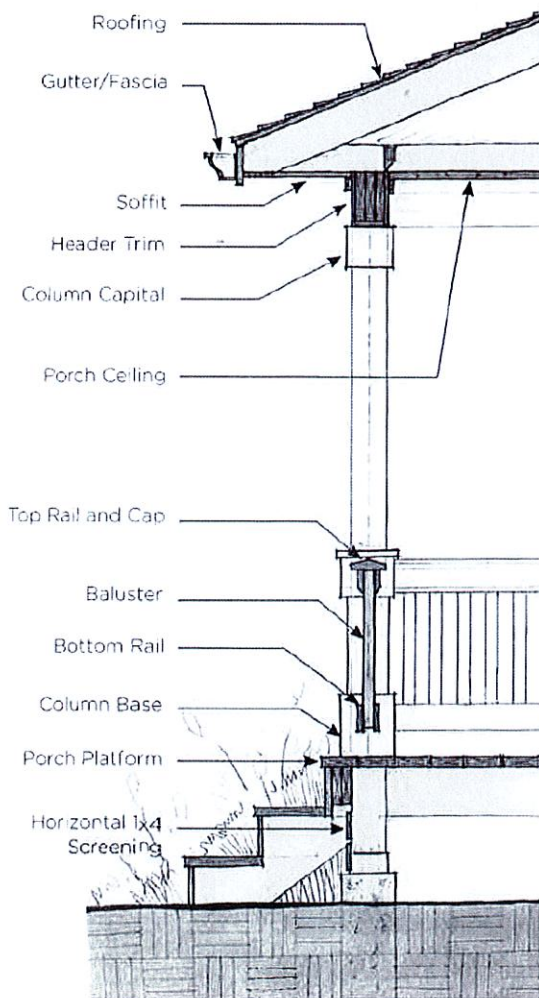
The front porch provides a transition from the outdoors to the indoors. It is an extension of the house that can be considered an outdoor room. It should be large enough to provide cover from the elements as well as accommodate seating. The semi-private/semi-public space promotes neighborly interactions.



Life on the porch and activity on the sidewalk have a synergistic relationship.

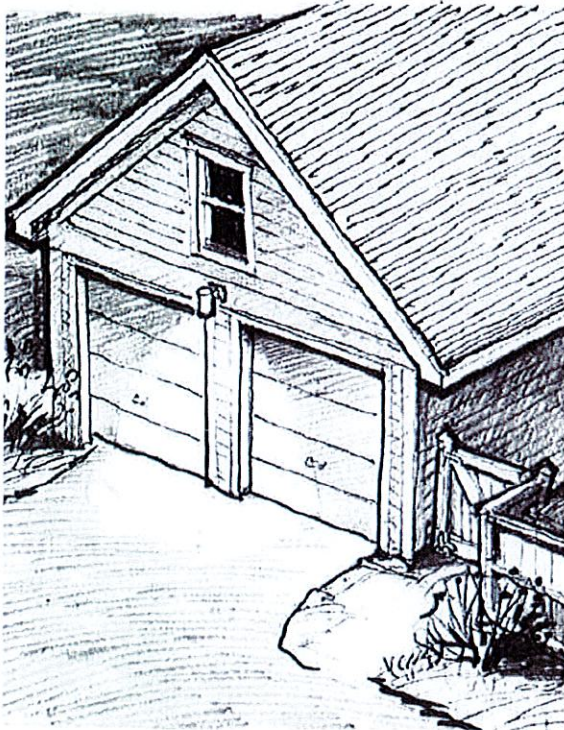


Two examples of ways to screen exposed concrete porch foundation walls.



21. Lighting

- a. **Exterior light fixtures** shall be mounted to the wall or ceilings and may not exceed one of the following: One 25 watt incandescent light at each door (except garages which can have two), plus one additional for each 10 linear feet of covered porch. Fixtures shall not produce glare or shed light on adjacent properties.
- b. **Exterior light fixtures** shall be approved in advance of installation.



Along alleys, a simple wall-mounted down-light, controlled by a photocell and timer, provides adequate lighting without creating a nuisance.



Details provide an elegant signature for the home's front entry.

22. Architectural Styles

Between 1890 and 1940 many of the homes in prominent historic Kansas City neighborhoods borrowed architecture styles from a variety of earlier time periods, a practice known as **revival architecture**. For instance, the Tudor style is loosely based on 16th-century English cottages and manors, while Colonial Revival and Neoclassical styles drew inspiration from English and Dutch homes along the Atlantic Seaboard. The practice of applying contemporary spins on historic architecture styles was so widespread that the period became known as '**the eclectic era**' of home construction.

New Longview employs **neotraditional design standards**, which is a contemporary interpretation of historic design styles. As we are basing these homes on styles that were themselves based on previous styles, it might be most appropriate to refer to New Longview as a '**revival revival**' project.

- a. Homes in Pergola Park must employ enough characteristic design elements for the style of the home to be easily identified.
- b. Homes should not attempt to replicate historic materials or employ false weathering, etc.; instead, think about honoring the **intent** of each style using contemporary (current) materials and methods – much the same way home designers during the eclectic era interpreted previous historic styles.
- c. Other neotraditional architecture styles and subtypes will be considered, provided they can be identified as having been used during the eclectic era in historic Kansas City neighborhoods on similar size homes as those in Pergola Park.

Victorian

Common Identifying Features

- a. Steeply pitched roof, usually with a dominant front gable
- b. Asymmetrical façade with partial or full-width porch, usually one-story high and extended along one or both side walls
- c. Gable, hip, shed, or special dormers are typically employed to provide additional floor area, daylight, and architectural interest
- d. Symmetrically placed, vertically proportioned double or single-hung windows



Typical Massing

- e. Hipped roof with lower cross-gables
- f. Cross-gabled roof
- g. Front-gabled roof

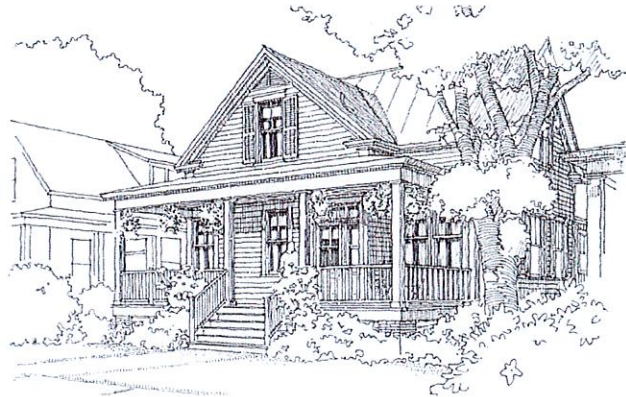
Typical Detailing

- h. Simplified ornamentation at porches, gable ends, and special features such as bays
- i. Delicate turned porch supports and ornamentation, detailing in gables and under wall overhangs left by cutaway bays, lacy spandrels, knob-like beads
- j. Classical columns as porch supports (either full height or raised to level of porch railing) commonly grouped in twos or threes, Palladian windows, dentils, cornice-like details, garlands, and other classical details
- k. Oriel or bay windows
- l. Brick, horizontal lap, and/or board and batten siding

Modern Farmhouse

Common Identifying Features

- a. Shares geometric shape with Victorian style
- b. Contemporary warm materials replace more traditional elements
- c. Vertical bays or feature elements often utilizing board & batten, painted brick, and/or stucco



Typical Massing

- d. Hipped roof with lower cross-gables
- e. Cross-gabled roof
- f. Front-gabled roof

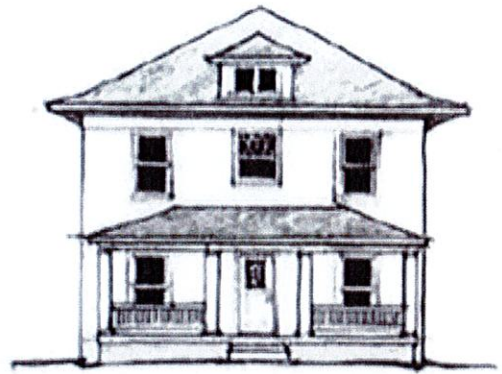
Typical Detailing

- g. Metal accent and roof porches
- h. Natural exposed/stained wood accents
- i. Neutral color pallet (often all-cream colored exterior including trim, but bright bold colors can be paired with cream)
- j. Black-framed windows

Foursquare

Common Identifying Features

- a. Front and side elevation height-to-width ratio of about one to one
- b. Simple two-story 'box' with symmetrical front facade
- c. Four rooms on main floor, four rooms on second floor



Typical Massing

- d. Front-gabled roof
- e. Side-gabled roof
- f. Hip roof
- g. Hip roof with second story hipped side wings

Typical Detailing

- h. Foursquare is technically a 'shape' and not a style, as such should utilize style elements from one of the following: Prairie School, Colonial Revival, Victorian, or Craftsmen
- i. Main sections of the floorplan should be mostly square
- j. Rear sections should be narrower and/or lower to provide a secondary appearance
- k. Entry or full-width porches

Tudor Revival: 1890-1940

Common Identifying Features

- a. Steeply pitched roof, usually side-gabled
- b. Façade dominated by one or more prominent front-facing gables
- c. Tall narrow windows, usually in multiple groups with multi-pane glazing
- d. Front and/or entry porch with round or Tudor arch



Typical Massing

- e. Front-gabled roof
- f. Multiple-façade gables
- g. Symmetrical paired gables
- h. Front facing gable with wing
- i. Single dominant mid-façade gable
- j. Parapeted gables

Typical Detailing

- k. Massive chimneys, sometimes crowned by decorative chimney pots
- l. Half-timbering
- m. Full-height masonry parapets
- n. Brick and stone accents, particularly on front facade
- o. Simple round-arched doorways with heavy wooden front doors
- p. Small entry porches with round or Tudor arch
- q. Deep one-story sitting porch supported by squared piers, often off to one side under the main roof form
- r. Combination of casement and double-hung windows, often in series of three or more
- s. Large elaborate chimneys, sometimes more than one
- t. Upper stories and gables may overhang lower stories

Colonial Revival: 1880-1955

Common Identifying Features

- a. Simple one or two-story rectangular 'box', commonly wider than depth
- b. Symmetrically balanced façade with balanced windows and center door
- c. Accentuated front door, normally with decorative crown supported by pilasters, or extended forward and supported by slender columns

Typical Massing

- d. Hipped roof with full-width porch
- e. Hipped roof without porch
- f. Side-gabled roof
- g. Centered gable
- h. Gambrel roof

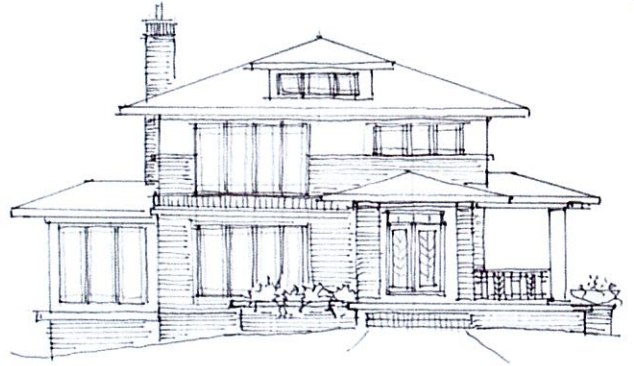
Typical Detailing

- a. Doors commonly have overhead fanlights or sidelights
- b. Windows frequently in pairs with double-hung sashes
- c. Georgian or Federal-inspired doorways
- d. Cornice detailed with dentils or modillions
- e. Siding or red brick

Prairie School: 1900-1920

Common Identifying Features

- a. Façade detailing emphasizing horizontal lines
- b. Low-pitched roof, usually hipped with wide overhanging box eaves
- c. Two stories with one-story wings
- d. Massive square porch supports



Typical Massing

- e. Hipped roof, symmetrical, with front entry
- f. Hipped roof, asymmetrical
- g. Gabled roof

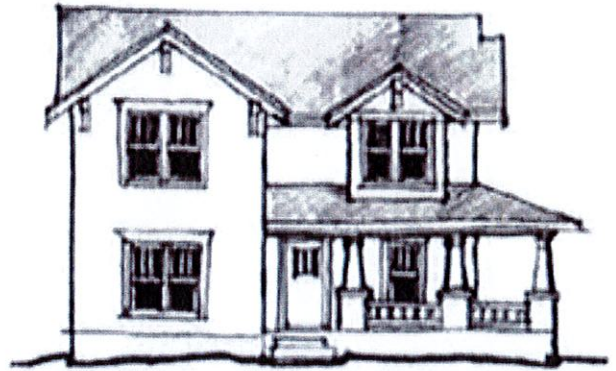
Typical Detailing

- h. Massive square or rectangular porch supports
- i. Contrasting caps on porch and balcony railings
- j. Contrasting wood trim between stories
- k. Horizontal board and batten siding
- l. Contrasting colors on eaves and cornice
- m. Tall casement windows
- n. Top half of upper story emphasized by continuous sill line below windows and/or different materials
- o. Flattened pedestal urns
- p. Broad, flat chimneys
- q. Swept-back gables
- r. Horizontal rows of windows, sometimes wrapping around corners
- s. Decorative door surrounds

Craftsmen: 1905-1930

Common Identifying Features

- a. Low to moderate pitch gable roofs with wide overhangs
- b. Decorative (false) beams or braces under gables
- c. Generous porches with substantial columns and bases
- d. Commonly 1 or 1-1/2 stories
- e. Wood detailing in gables or porch eaves



Typical Massing

- f. Front-gabled roof
- g. Cross-gabled roof
- h. Side-gabled roof
- i. Hipped roof

Typical Detailing

- j. Ornamentation is restrained
- k. Windows and doors similar to Prairie School
- l. Structural members are exposed where possible
- m. Wall materials include stone, brick, stucco, shingles, and horizontal siding
- n. Tapered or square porch columns, commonly extending to the ground
- o. Gabled or shed dormers
- p. Cottage windows (large lower pane, smaller transom above)
- q. Line of three or more windows
- r. Multiple roof planes

23. Landscape Requirements

Landscape standards ensure quality development of a pedestrian-friendly community. For Pergola Park, vertically layered landscape elements from ground-level through eye level and up to overhead will shape the public realm and enhance the pedestrian environment. Below are the minimum landscape standards for each lot:

- a. Front Yard: 2-4 types of perennials, ornamental grasses and/or groundcovers planted in groups of 3-7 min. 2-4 shrub types used in groupings or hedge of similar plants. 1 ornamental tree.
- b. Corner lot side yard: 1 canopy or ornamental tree
- c. Alley utility easement: 50% coverage with native and drought-resistant groundcover and/or shrubs

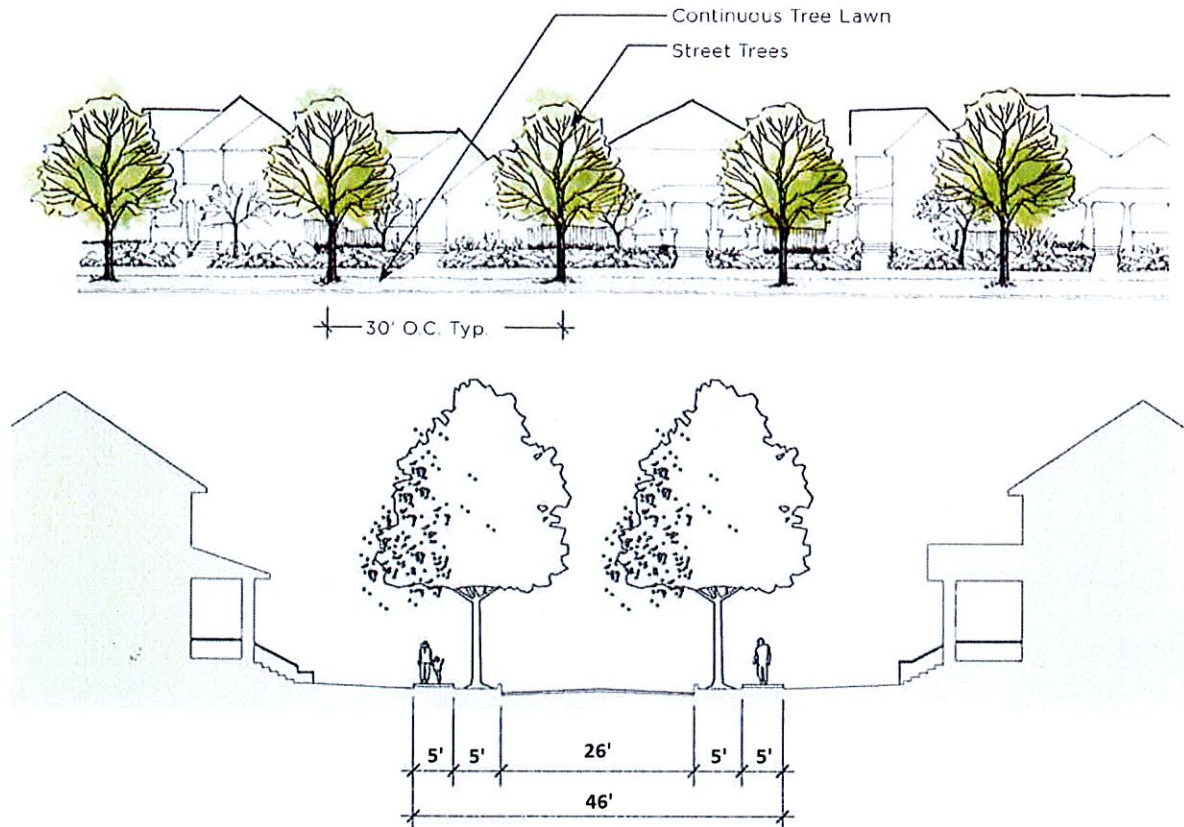


24. Street Trees and Sidewalk

Street trees have a significant impact on the overall experience of a neighborhood. They not only create a relaxing, beautiful, pedestrian-scale environment; street trees also provide energy savings for adjacent homes, wildlife habitat and a reduction in air pollutants.

- a. Builders must provide street trees aligned in straight rows, parallel to the curb and centered in the tree lawn; typically at 30' on center.
- b. Street trees shall be of 2-1/2" caliper minimum.
- c. Builders must provide a front Sidewalk of 4' width adjacent to the tree lawn.

- d. Builder is required to notify all utility companies before excavation and installation of trees. All street trees must be at least 10 feet from adjacent utility structures and 20 feet from street lights.
- e. Tree lawns shall be planted with sod.
- f. Tree type shall be selected from the New Longview Approved Tree List.

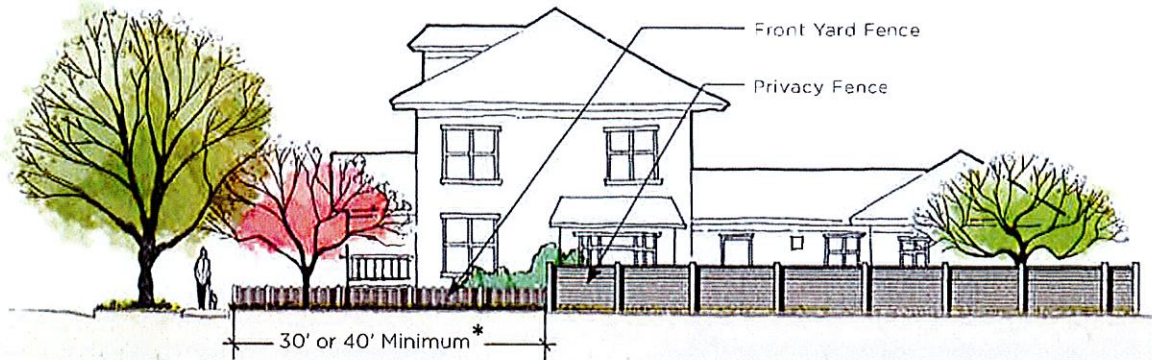


25. Fencing Design

Fences and walls further define the private areas around a residential home. Coordinate the design and materials of these elements with the architecture style, materials, color, quality, and scale of the house.

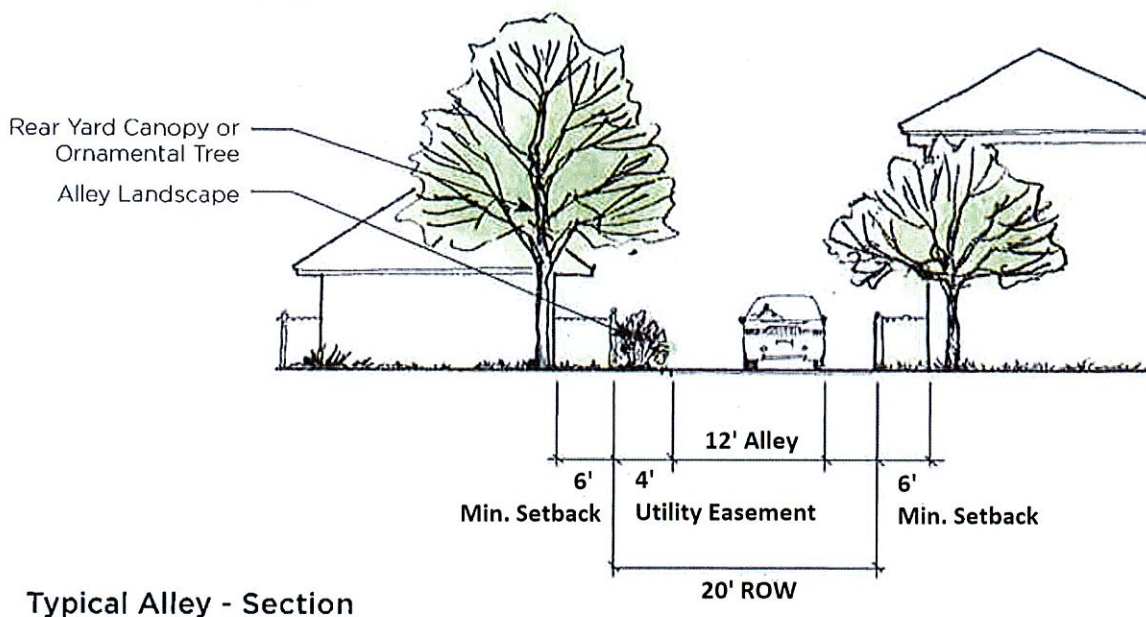
- a. **Fences** shall be made of painted or stained wood pickets, decorative aluminum, or wrought iron design. Materials and workmanship shall be of equal quality to exterior home finishes. If painted, wood fences shall be white. Fences may have brick or stone piers. Chain link fences are not permitted.
- b. **Picket fences** shall be 2.5-3 feet high at front yards. Picket fences shall have a ½"-4" gap between pickets. Picket fencing on any given lot shall vary from neighboring lots in one or more of the following ways: 1) picket style, 2) post gap, 3) height or 4) picket spacing.
- c. **Privacy board fences** of 5 feet height may be used for side and rear yards, with possible height exception up to 6 feet granted if the top 12-18 inches is comprised of lattice or has some sort of change in articulation.

- d. **Fences** shall transition from a front fence to a privacy fence at around 30'-40' from the front of the lot. The front of the fence shall be set back 18" from the sidewalk.
- e. **Fences** must run to property line except to avoid utility boxes.



26. Typical Alley Layout

Pergola Park alleys exist in the public/semi-public realm and are characterized by several traffic-calming features that improve safety and utility of the area for vehicles and pedestrians. The 20' alleyway includes 12 feet of centered alley pavement flanked by two 4' zones for utilities and plants. Shrubs and groundcover create seasonal color and texture while backyard trees provide shade, movement, and special structure. The alley design will slow traffic and minimize the area of driving surface shaded during the winter.



27. General / Other

- a. Homes should be designed with appropriate concern given to handicap accessibility, visitability, and energy efficiency. Each home must meet or exceed the current building code and municipal energy efficiency requirements.
- b. The following shall be permitted only in rear yards and where not easily visible from streets or paths and subject to prior approval in all cases: HVAC equipment, utility meters, antennas, permanent grills, permanent play equipment, and in or out-of ground hot tubs.
- c. The following are not permitted without express permission: quoins, curved windows, window air-conditioning units, permanent or semi-permanent above-ground swimming pools, signs of any type.
- d. **Driveways** may be brick, concrete, or concrete pavers.
- e. **Flagpoles** under 6 feet in height may be mounted at 45-degree angles to the home (one per lot).
- f. **Direct vent fireplaces** shall be allowed only if set entirely within the interior space or if chimney is extended to the roof.
- g. **Variances or waivers** to any of the architectural requirements herein may be granted on the basis of architectural merit.



DESIGN BOOK

Addendum

Lumberman's Row

Lumberman's Row Design Book Addendum

Updated November, 2021

“AN INTELLIGENT CITY PLAN
THINKS IMPARTIALLY FOR ALL
PARTS OF THE CITY AT THE
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- J.C. Nichols

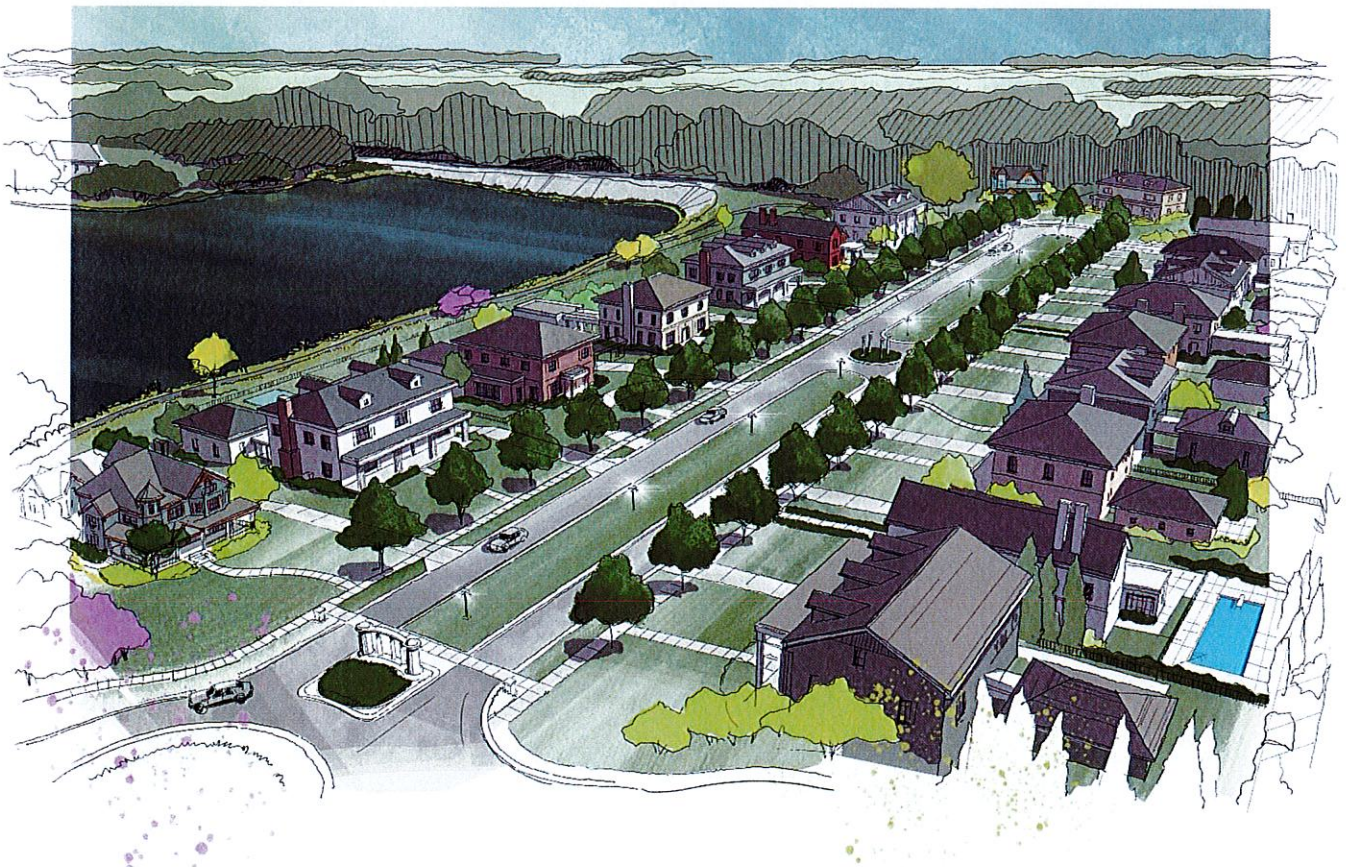
Community Vision

Lumberman's Row at New Longview is comprised of expansive Estate lots nestled between the Longview Mansion and New Longview Lake on a beautiful split-lane boulevard inspired by Janssen Place in Hyde Park.

Janssen Place was Kansas City's first private road and was nicknamed 'Lumberman's Row' due to the number of business owners in the construction industry who originally built and lived there. Janssen Place remains one of Kansas City's most desirable addresses.

a. This Addendum applies only to the Lumberman's Row platted lots and incorporates and expands upon the requirements included within the main New Longview Design Book. It is encouraged that designers and home buyer review both set of design guidelines.

b. All of the guidelines within the New Longview Design Book apply to Lumberman's Row, however where conflicts exist, this Addendum shall govern.



Neighborhood Design

1. Single-Family Homes

- a. There is one lot type for Single-Family homes in Lumberman's Row: **Estate**.
- b. Homes on Estate lots must have a **minimum of 3,200 square feet** of livable area above-grade and a **minimum of 1,000 square feet on the second story**, not including accessory structures.
 - o **Maximum home size** is determined by city code.
- c. Homes on Estate lots must have a **minimum of two and a maximum of three stories** of livable area.



2. Streetscape Diversity

- a. No more than three homes in Lumberman's Row 1st Plat shall share the same **architecture style**.
- b. **Architectural styles** of each home shall vary significantly from adjacent homes and those immediately across the street.
- c. **Color and material schemes** shall vary significantly from adjacent homes, homes immediately across the street, and other homes in Lumberman's Row with the same architecture style.

3. Active and Passive Sides

- a. [Not applicable in Lumberman's Row]

4. Presentation at Corners

- a. **Front entries** for all lots shall face the street.

5. Semi-Detached Garages

- a. **Garage doors** shall not be directly visible from an adjacent street.
 - o In layouts where the main garage faces the street, the front of the garage shall be set back from the front of the lot a minimum of 100' and utilize some combination of porticos, landscaping, hardscaping, and/or rear-facing garage(s) to shield from view.
- b. **Garage doors** shall be individual and no larger than 10'x10' (9'x9' is common).
- c. **No more than three garage doors** allowed per primary garage (maximum of five garage doors allowed per lot if utilizing a courtyard layout).

6. Side Drive Garages

- a. Drive lanes may be no more than 12' in width along the side yard.
- b. The driveway may widen to 20 or 30 feet beginning at the front building line.
- c. Lots with at least 100 feet of width along the street front may employ a U-shaped driveway and/or a circle-drive.
 - a. U-shaped driveways and circle drives have additional requirements and require prior approval from the Architectural Review Committee to ensure harmonious implementation.
- d. All side drives must have the primary curb-cut on the South side of homes.
- e. The curb flare shall be 3 feet.

7. Carriage Units / Accessory Structures

- a. [Same guidelines as New Longview Design Book]

8. Setback Variation

- a. [Same guidelines as New Longview Design Book]

9. Lot Types

Estate

Estate lots in Lumberman's Row at New Longview are inspired by some of the most cherished neighborhoods in Kansas City. They allow for respectable larger homes all the way up to sprawling estates.

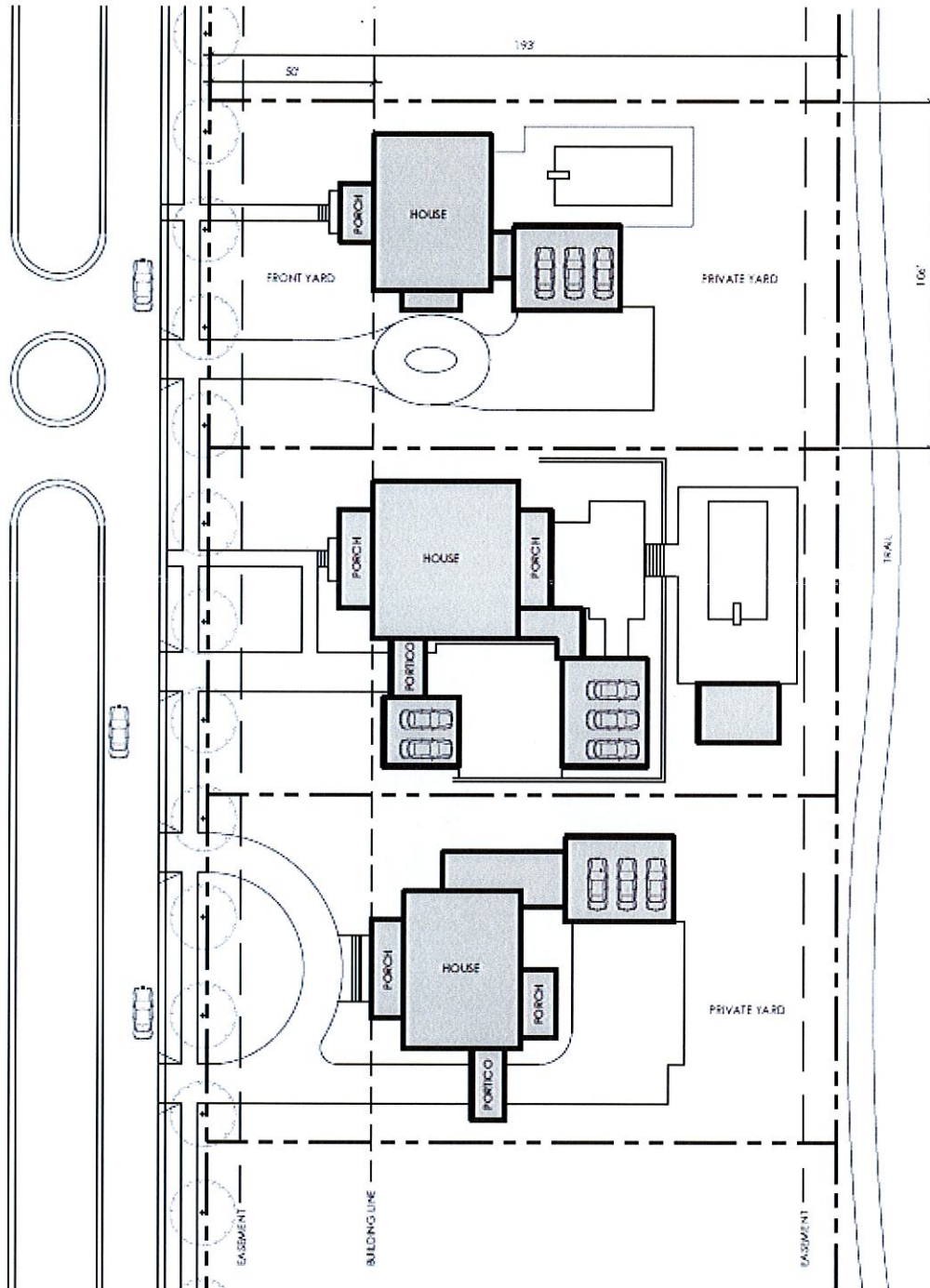
Typical Estate Lot Characteristics:

- a. Width: 76 feet (West), 106 feet (East)
- b. Depth: 197-200 feet

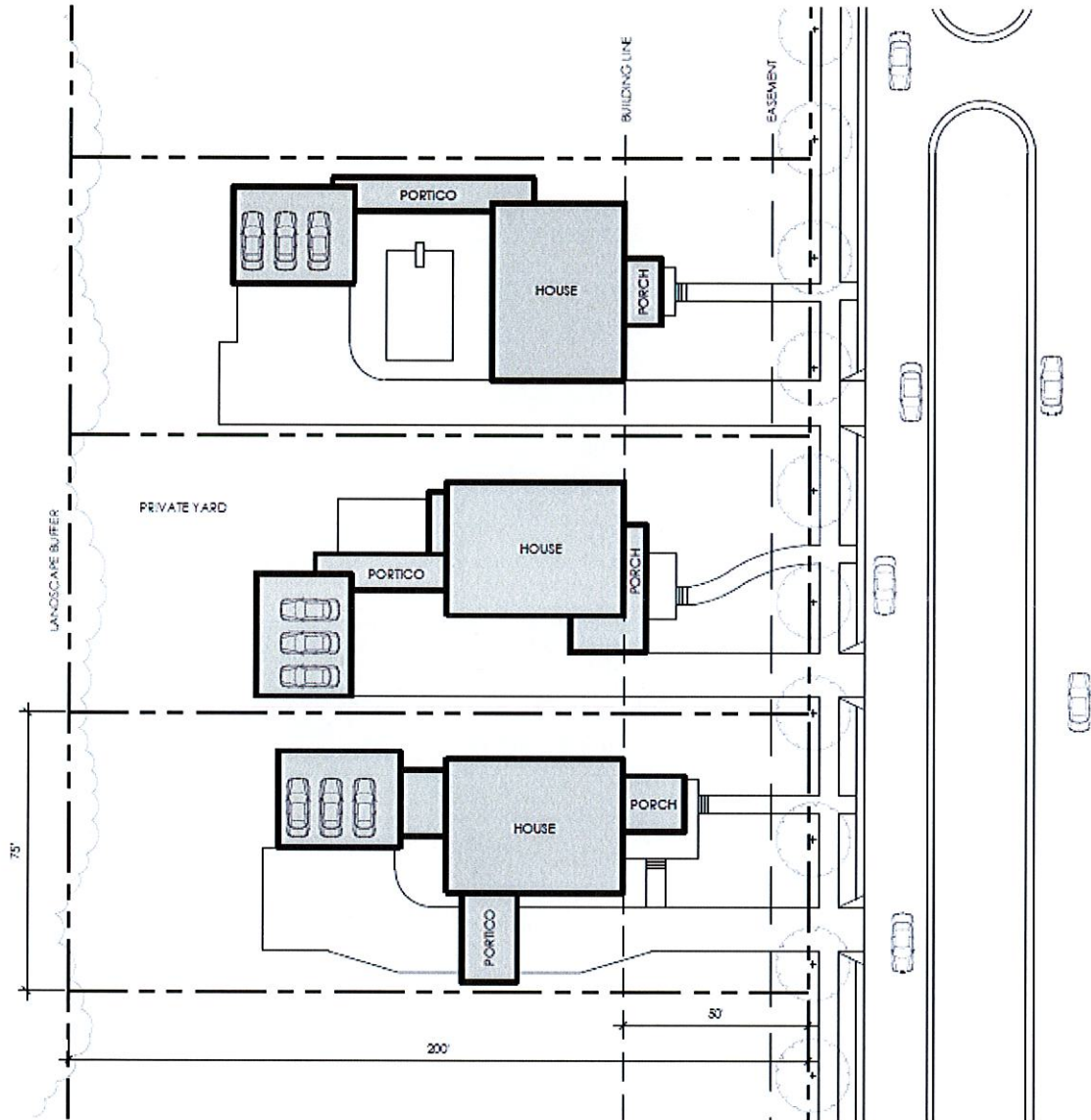
Principal Home Setbacks:

- c. Front: 50 feet from back of curb (porch can encroach)
- d. Side: 10 feet (driveway can encroach)
- e. Side Yard Along a Street: 15 feet
- f. Rear: 15 feet (to foundation)

Estate Lot Layout Examples (East)



Estate Lot Layout Examples (West)



Architectural & Landscape Design

10. Massing and Roof Characteristics

- a. [Same guidelines as New Longview Design Book]

11. Symmetry & Asymmetry

- a. [Same guidelines as New Longview Design Book]

12. Primary Façade

- a. [Same guidelines as New Longview Design Book]

13. Doors

- a. [Same guidelines as New Longview Design Book]

14. Window Types and Composition

- a. [Same guidelines as New Longview Design Book]

15. Wall Materials

- a. [Same guidelines as New Longview Design Book]

16. Brick and Stone Application

- a. [Same guidelines as New Longview Design Book]

17. Building Articulation

- a. [Same guidelines as New Longview Design Book]

18. Exterior Color

- a. [Same guidelines as New Longview Design Book]

19. Exterior Trim and Embellishments

- a. [Same guidelines as New Longview Design Book]

20. Porch Characteristics

- a. [Same guidelines as New Longview Design Book]

21. Lighting

- a. [Same guidelines as New Longview Design Book]

22. Architectural Styles

Between 1890 and 1940 many of the homes in prominent historic Kansas City neighborhoods borrowed architecture styles from a variety of earlier time periods, a practice known as **revival architecture**. For instance, the Tudor style is loosely based on 16th-century English cottages and manors, while Colonial Revival and Neoclassical styles drew inspiration from English and Dutch homes along the Atlantic Seaboard. The practice of applying contemporary spins on historic architecture styles was so widespread that the period became known as '**the eclectic era**' of home construction.

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- c. Other neotraditional architecture styles and subtypes will be considered, provided they can be identified as having been used during the eclectic era in historic Kansas City neighborhoods on similar size homes as those in Lumberman's Row.

Queen Anne Victorian

Common Identifying Features

- a. Steeply pitched roof of irregular shape, usually with a dominant front gable
- b. Asymmetrical façade with partial or full-width porch, usually one-story high and extended along one or both side walls
- c. Patterned shingles, cutaway bay windows, towers, overhangs, projections, and wall materials of varying texture to avoid a smooth-walled appearance
- d. Large panes of glass bounded by smaller panes of often-colored glass
- e. Round or polygonal towers of varying height, either rising from ground level or cantilevered out at second story
- f. Simple door and window trim



Typical Massing

- g. Hipped roof with lower cross-gables
- h. Cross-gabled roof
- i. Front-gabled roof

Typical Detailing

- j. Spindlework – delicate turned porch supports and ornamentation, detailing in gables and under wall overhangs left by cutaway bays, lacy spandrels, knob-like beads
- k. Free Classic – classical columns as porch supports (either full height or raised to level of porch railing) commonly grouped in twos or threes, Palladian windows, dentils, cornice-like details, garlands and other classical details
- l. Half-Timbered – decorative half-timbering in gables or upper story walls, heavy turned posts with solid spandrels, windows grouped in threes or more
- m. Patterned Masonry – masonry walls with patterned brick or stonework, minimal wood accents/trim, decorative panels of terra-cotta or stone, shaped parapeted gabled dormers, oriel or bay windows

Italianate Revival

Common Identifying Features

- a. Low-pitched roof with moderate to widely over-hanging eaves and decorative brackets
- b. Tall, narrow windows, rectangular, arched or curved above
- c. Large eave cornices arranged singly or in pairs on a deep trim band
- d. Windows with one or two panes and elaborate crowns, often an inverted U-shape
- e. Square cupola or tower



Typical Massing

- f. Simple hipped roof
- g. Centered gable
- h. Asymmetrical
- i. Towered
- j. Front-gabled roof

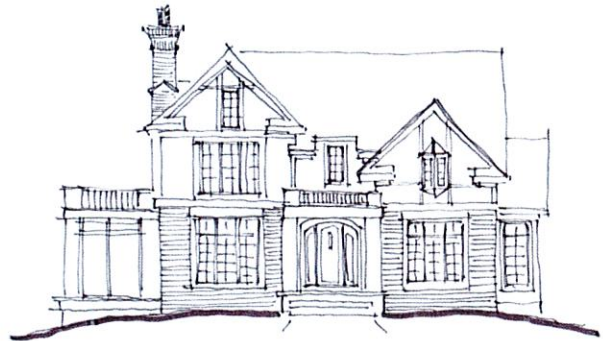
Typical Detailing

- k. Paired or triple windows
- l. One and two-story bays
- m. Single-story small restrained entry porches or full-width with square beveled posts
- n. Single or paired doorways with large panes and frames similar to windows

Tudor-Jacobethan Revival

Common Identifying Features

- a. Steep, complex roof gables
- b. Emphasis on architectural unity (composition)
- c. Flattened Tudor arches
- d. Terra-cotta brickwork, half-timber woodwork, and stucco
- e. Contrasting lighter stone trim around windows and doors



Typical Massing

- f. Cross-gabled
- g. Multiple-façade gables
- h. Symmetrical paired gables
- i. Front facing gable with wing
- j. Single dominant mid-façade gable

Typical Detailing

- k. Balustrades, towers, and parapets
- l. Large groups of rectangular windows
- m. Porches with pillar supports
- n. High chimneys with decorative treatments
- o. Oriel or bay windows

Neogeorgian

Common Identifying Features

- a. Simple two-story 'box' with windows and doors in strict symmetry
- b. Windows aligned horizontally and vertically in symmetrical rows (never in pairs), typically three, five, or seven 'bays' per floor on front
- c. Paneled front door, usually centered and capped by elaborate decorative crown supported by decorative pilasters (flattened columns) with a row of small rectangular glass panes beneath crown



Typical Massing

- d. Side-gabled roof
- e. Gambrel roof
- f. Hipped roof
- g. Centered gable

Typical Detailing

- h. Red or painted brick with stone accents
- i. Cornice with decorative molding and small tooth-like dentils
- j. Double-hung windows with multiple divided lights (usually 9 or 12 per sash)

Neocolonial

Common Identifying Features

- a. Façade dominated by full-height porch with roof supported by classical columns
 - o Columns can either be fluted with ornate capitals or slender square columns without capitals (if utilizing full-façade porch)
- b. Symmetrically balanced windows and center door



Typical Massing

- c. Full-height entry porch
- d. Full height entry porch with lower full-width porch
- e. Front gabled roof
- f. Full-façade porch

Typical Detailing

- g. Elaborate, decorative door surrounds
- h. Boxed eaves with moderate overhang, frequently with dentils or modillions
- i. Rectangular double-hung windows
- j. Side and wing porches
- k. Full-width raised terrace-style porch
- l. Cornice-like balustrades
- m. Wide frieze band beneath cornice

Shingle

Common Identifying Features

- a. Aims to be a complex shape with a smooth surface
- b. Walls clad in shingles without interruptions at corners (entire home or second story only)
- c. Asymmetrical façade
- d. Irregular, steeply pitched roof
- e. Intersecting cross-gables and multi-level eaves
- f. Extensive porches



Typical Massing

- g. Hipped roof with cross-gables
- h. Side-gabled roof
- i. Front-gabled roof
- j. Cross-gabled roof
- k. Gambrel roof

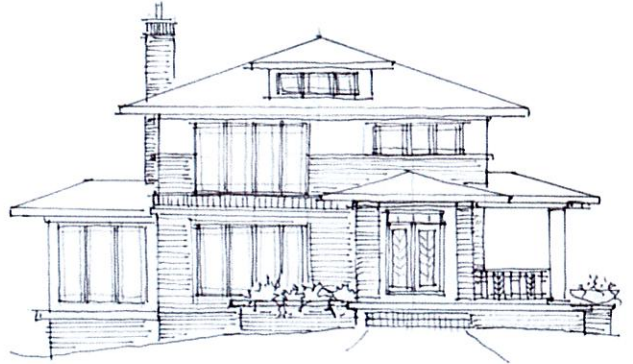
Typical Detailing

- l. Half-towers and tower 'bulges' (blended into roofline)
- m. Minimal decorative elements
- n. Slender simple wooden column porch supports or massive stone pillars
- o. Bay windows, multiple windows, walls curving into windows
- p. Massive Romanesque or Syrian arches on porches or entrances
- q. Palladian windows, strips of three or more windows, double-hung windows with multi-pane above and single below
- r. Porches under main roof line
- s. Rustic stone foundations, lower stories, towers, and/or porch supports

Prairie School

Common Identifying Features

- a. Façade detailing emphasizing horizontal lines
- b. Low-pitched roof, usually hipped with wide overhanging box eaves
- c. Two stories with one-story wings
- d. Massive square porch supports



Typical Massing

- e. Hipped roof, symmetrical, with front entry
- f. Hipped roof, asymmetrical
- g. Gabled roof

Typical Detailing

- h. Massive square or rectangular porch supports
- i. Contrasting caps on porch and balcony railings
- j. Contrasting wood trim between stories
- k. Horizontal board and batten siding
- l. Contrasting colors on eaves and cornice
- m. Tall casement windows
- n. Top half of upper story emphasized by continuous sill line below windows and/or different materials
- o. Flattened pedestal urns
- p. Broad, flat chimneys
- q. Swept-back gables
- r. Horizontal rows of windows, sometimes wrapping around corners
- s. Decorative door surrounds

Mediterranean (Spanish/Italian)

Common Identifying Features

- a. Low-pitched hip roof with ceramic or concrete tiles or flat roof
 - o NOTE: Red tile roofs are not permitted to avoid encroaching on historic Longview Farm building design
- b. Upper story windows smaller and less elaborate than main floor windows
- c. Round arches above doors, first-story windows, or porches
- d. Recessed entry porches accented by small classical columns or pilasters



Typical Massing

- e. Symmetrical hipped roof
- f. Symmetrical hipped roof with projecting wings
- g. Asymmetrical
- h. Flat roof

Typical Detailing

- i. Walls clad in stone, stucco, or stone-colored brick (wood/fiber not allowed)
- j. Roofline balustrades
- k. Pedimented windows
- l. Classical door surrounds
- m. Different window treatments on each story, with smallest windows in top story

23. Landscape Requirements

- a. [Same guidelines as New Longview Design Book]

24. Street Trees and Sidewalk

- a. Builders must provide street trees aligned in straight rows, parallel to the curb and centered in the tree lawn at 60' on center.
- b. Street trees shall be of 2-1/2" caliper minimum.
- c. Builders must provide a front Sidewalk of 4' width adjacent to the tree lawn.
- d. Builder is required to notify all utility companies before excavation and installation of trees. All street trees must be at least 10 feet from adjacent utility structures and 20 feet from street lights.
- e. Tree lawns shall be planted with sod.
- f. Tree type shall be selected from the New Longview Approved Tree List.

25. Fencing Design

- a. **Fences** shall be made of decorative aluminum, wrought iron design, or masonry. Materials and workmanship shall be of equal quality to exterior home finishes. Fences may have brick or stone piers. Wooden or chain link fences are not permitted.
- b. **Front yards** in Lumberman's Row may not be fenced.
- c. **Privacy board fences** of 5 feet height may be used for side and rear yards, with possible height exception up to 6 feet granted if the top 12-18 inches is comprised of lattice or has some sort of change in articulation.
- d. **Fences** must run to property line except to avoid utility boxes.

26. Typical Alley Layout

- a. [Not applicable in Lumberman's Row]

27. General / Other

- a. Homes should be designed with appropriate concern given to handicap accessibility, visitability, and energy efficiency. Each home must meet or exceed the current building code and municipal energy efficiency requirements.
- b. The following shall be permitted only in rear yards and where not easily visible from streets or paths and subject to prior approval in all cases: HVAC equipment, utility meters, antennas, permanent grills, permanent play equipment, in or out-of ground hot tubs, permanent in-ground swimming pools.

- c. The following are not permitted: quoins, curved windows, window air-conditioning units, signs of any type.
- d. **Driveways** may be brick, concrete, or concrete pavers.
- e. **Flagpoles** under 6 feet in height may be mounted at 45-degree angles to the home (one per lot).
- f. **Direct vent fireplaces** shall be allowed only if set entirely within the interior space or if chimney is extended to the roof.
- g. **Variances or waivers** to any of the architectural requirements herein may be granted on the basis of architectural merit.

PL2021-436 PERGOLA 6TH PLAT AND LUMBERMAN'S ROW
3221 SW PERGOLA PARK DR
PRELIMINARY DEVELOPMENT PLAN

