

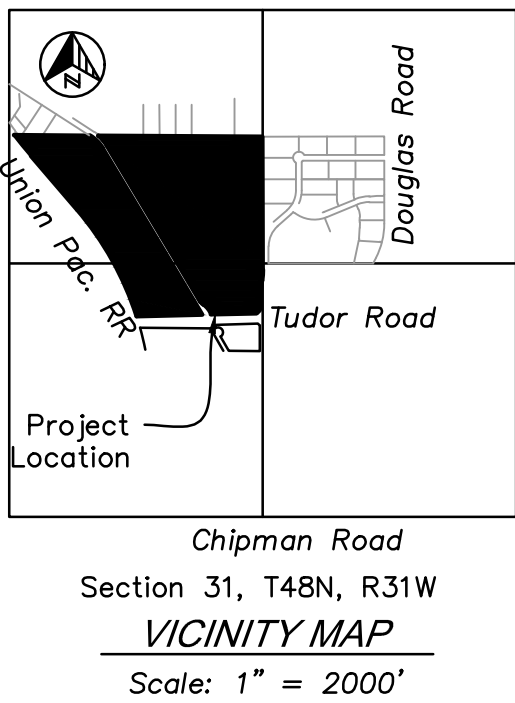
DWG: F:\2021\04001-04500\021-04157\40-Design\AutoCAD\Final Plans\Sheets\GNV\PHASE 1\Land Disturbance\C\_TTL\_02104157.dwg  
DATE: Mar 01, 2022 4:06pm USER: moore

# LAND DISTURBANCE PLANS FOR SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS

AN UNPLATTED PARCEL IN THE WEST HALF OF SECTION 31, TOWNSHIP 48  
NORTH, RANGE 31 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY,  
MISSOURI

UTILITY AND GOVERNING AGENCY CONTACT INFORMATION	
CITY OF LEE'S SUMMIT, MO	
CITY OF LEE'S SUMMIT: CITY HALL	220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PH: 816-969-1200
LEE'S SUMMIT DEVELOPMENT SERVICES:	220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PH: 816-969-1800
LEE'S SUMMIT PUBLIC WORKS:	220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PH: 816-969-1800
LEE'S SUMMIT UTILITIES SERVICE CENTER:	1200 SE HAMLEN ROAD LEE'S SUMMIT, MO 64081 PH: 816-969-1900
LEE'S SUMMIT R-7 SCHOOL DISTRICT	KINZIE WOODERSON 301 NE TUDOR ROAD LEE'S SUMMIT, MO 64086 PH: 816-966-1050 KINZIE.WOODERSON@LRS7.NET
CABLE/FIBER/TELEPHONE SERVICE	
AT&T	RON GIFFERT 500 E. 8TH STREET, ROOM 1146 KANSAS CITY, MO 64106 PH: 816-275-1550 EMAIL: RG7910@ATT.COM
CONSOLIDATED COMMUNICATIONS	JOHN CASTLOW 14859 W. 95TH STREET LENEXA, KS 66215 PH: 913-322-9785 EMAIL: JOHNCASTLOW@CONSOLIDATED.COM
GOOGLE FIBER	LAUREN MARCUCCI 1814 WESTPORT ROAD KANSAS CITY, MO 64111 PH: 913-663-1900 EMAIL: LMARCUCCI@GOOGLE.COM
CHARTER/SPECTRUM	TROY PREWITT 8221 W. 119TH STREET OVERLAND PARK, KS 66213 PH: 816-401-3573 EMAIL: TROY.PREWITT@CHARTER.COM
ELECTRIC SERVICE	
EVERGY	JEFF R. WILLIAMS - ENGINEER CENTRAL DIVISON 401 SE BAILEY ROAD LEE'S SUMMIT, MO 64081 PH: 816-347-4310 EMAIL: JEFF.WILLIAMS@KCPL.COM
GAS SERVICE	
SPIRE GAS	RICHARD FROCK 3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 PH: 816-472-3489 EMAIL: RICHARD.FROCK@SPIREENERGY.COM

DEVELOPMENT TEAM CONTACT INFORMATION	
OWNER/DEVELOPER	
SHAUN COFER SCANNELL PROPERTIES #436, LLC	8801 RIVER CROSSING BLVD SUITE 300 INDIANAPOLIS, IN 46240 PH: 317-218-1648 EMAIL: Shaunc@scannellproperties.com
CIVIL ENGINEER	
SETH REECE/LUKE MOORE CJ SHIPWRIGHT, PE OLSSON	7301 W. 133RD STREET SUITE 200 OVERLAND PARK, KS 66213 PH: 913.381.1170 EMAIL: sreece@olsson.com/luke@olsson.com EMAIL: cshipwright@olsson.com



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.



LOCATION MAP  
NOT TO SCALE

## PROPERTY DESCRIPTION:

TRACT 1:

THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 LYING EAST OF MISSOURI-PACIFIC RAILROAD RIGHT-OF-WAY IN SECTION 31, TOWNSHIP 48, RANGE 31, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT A TRACT DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4, LYING EAST OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY IN SECTION 31, TOWNSHIP 48, RANGE 31 DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 48, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE SOUTH ALONG THE EAST LINE OF SAID 1/4 1/4 SECTION, A DISTANCE OF 914.5 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID 1/4 1/4 SECTION, 411.0 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED, SAID TRUE POINT OF BEGINNING BEING IN THE WESTERLY LINE OF PUBLIC ROAD; THENCE NORTH 31 DEGREES 00 MINUTES WEST ALONG AND WITH THE WESTERLY LINE OF PUBLIC ROAD, A DISTANCE OF 267.0 FEET TO A POINT 688.79 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE WEST PARALLEL TO SAID NORTH LINE OF 1/4 1/4 SECTION, 731.4 FEET TO A POINT IN THE EASTERLY LINE OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTHEASTERLY WITH SAID RAILROAD RIGHT OF WAY, ALONG A CURVE TO THE RIGHT (HAVING A RADIUS OF 3175.4 FEET), A DISTANCE OF 234.0 FEET TO A POINT 914.5 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE EAST ALONG THE SOUTH LINE OF 25.5 ACRES TRACT, 812.7 FEET TO THE TRUE POINT OF BEGINNING, AND EXCEPT THAT PART IN STREETS AND ROADS.

TRACT 2:

ALL THAT PART OF LOT 2 OF THE SOUTHEAST QUARTER (SW 1/4) (AS SHOWN ON THE GOVERNMENT SURVEY) OF SECTION 31, TOWNSHIP 48, RANGE 31 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING EAST OF THE MISSOURI PACIFIC RAILROAD COMPANY RIGHT-OF-WAY, EXCEPT THAT PART IN STREETS AND ROADS.

TRACT 3:

ALL OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 LYING EAST OF RAILROAD RIGHT-OF-WAY IN SECTION 31, TOWNSHIP 48, RANGE 31, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART IN STREETS AND ROADS.

Sheet List Table	
Sheet Number	Sheet Title
LD0.0	COVER SHEET
LD0.1	GENERAL NOTES
LD1.0	PHASE A - EROSION CONTROL PLAN
LD1.1	PHASE B - EROSION CONTROL PLAN
LD1.2	PHASE C - EROSION CONTROL PLAN
LD1.3	PHASE D - EROSION CONTROL PLAN
LD1.4	SEDIMENT BASIN #1 DETAIL
LD1.5	SEDIMENT BASIN #2 DETAIL
LD2.0	EROSION CONTROL DETAILS
LD2.1	EROSION CONTROL DETAILS
LD2.2	EROSION CONTROL DETAILS
LD2.3	EROSION CONTROL DETAILS
LD2.4	EROSION CONTROL DETAILS

COLIN JENNINGS SHIPWRIGHT, P.E.  
CIVIL ENGINEER  
MO # PE-2021039302

DATE

- ☐ NOT FOR CONSTRUCTION
- ☒ REVIEWED FOR CONSTRUCTION

PL2021410  
PRSUBD20220125

RELEASED FOR  
CONSTRUCTION  
As Noted on Plans Review  
Development Services Department  
Lee's Summit, Missouri  
03/01/2022

olsson

SCANNELL  
PROPERTIES



REVISIONS	
REV. NO.	DESCRIPTION

COVER SHEET  
LAND DISTURBANCE PLANS  
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET  
LEE'S SUMMIT, MISSOURI

drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
checked by: ENG  
project no.: 021-04157  
drawing no.: C\_TTL\_02104157.dwg  
date:

SHEET  
LD0.0

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Overland Park, KS 66213-7755  
TEL 913.381.1170  
www.olsson.com



THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-RITE", (800)344-7483 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !STOP!! CALL BEFORE YOU DIG!!

2. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.

3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITH THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.

5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AMERICAN PUBLIC WORKS ASSOCIATION - KANSAS CITY METROPOLITAN CHAPTER (APWA-KC) AND THE CITY OF LEE'S SUMMIT, MO, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.

7. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF MISSOURI STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.

8. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.

9. THE CONTRACTOR SHALL LIMIT THE REMOVAL OF TREES TO THE LIMITS OF DEMOLITION SHOWN ON THE DEMOLITION PLAN.

10. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

11. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.

12. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.

14. ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

15. IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.

19. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO CITY STANDARDS.

20. THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.

21. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.

20. NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

23. THE CONTOUR LINES SHOWN ARE FOR MASS GRADING PURPOSES.

24. EXISTING CONTOURS REPRESENT MASS FINISH GRADE ELEVATIONS.

25. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS OTHERWISE SHOWN BY CONTOURS OR SPOT ELEVATIONS.

26. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE IN THE BORROW AREA.

27. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.

28. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.

29. BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON (OLSSON), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE PROPERTY OF OLSSON AND IS PROVIDED TO THE USER OF THE SOFTWARE AND SEALED ORIGINAL DOCUMENTS PREPARED BY OLSSON AND THE ELECTRONIC FILES AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT INFORMATION NEEDED BY THE RECIPIENT, THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OLSSON, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OLSSON OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OLSSON.

30. DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE REQUIREMENTS GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR APPROPRIATING THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT RELY UPON THE DESIGN PROFESSIONAL REVIEW CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.

31. GENERAL CONSTRUCTION NOTE REGARDING SEQUENCING OF EROSION CONTROL - ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK STRUCTURE ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN, EXCEPT THAT SILT FENCE WHICH IS TO BE PLACED ALONG THE BACK OF CURB FOR PROTECTION OF THE STREET, SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR UNTIL ALL UTILITIES ARE IN PLACE. THE SILT FENCE THAT IS PLACED ALONG THE BACK OF THE CURB OR RIGHT -OF-WAY WILL BE REMOVED IMMEDIATELY AFTER CURB IS COMPLETED. EROSION AND SEDIMENTATION MONITORING IS TEMPORARY AND MUST BE REMOVED BY THE CONTRACTOR AFTER CONSTRUCTION IS COMPLETE AND THE DISTURBED AREA IS AT LEAST 70% PERMANENTLY VEGETATED.

32. HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGNAGE AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS. SPECIFICATIONS OF THE APWA/KC, CITY OF LEE'S SUMMIT ADA STANDARDS, AND SHALL NOT EXCEED 2.0 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT AND ADA RAMP HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 8.33 PERCENT.

33. ALL WATER LINES SHALL BE INSTALLED PER THE LATEST STANDARDS AND SPECIFICATIONS OF THE APWA-KC AND THE CITY OF LEE'S SUMMIT, MO. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.

34. ALL WATER LINES SHALL BE INSTALLED PER CITY STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOW HEREIN.

35. ALL EXTERIOR CONCRETE SHALL BE KCMBB-4K AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, SHALL MEET KCMBB STANDARDS AND SPECIFICATIONS, AND SHALL BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.

36. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.

37. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):

A. CONTROL JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET AND TOOLED TO 1/3 THE SLAB THICKNESS.

B. CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.

C. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NONEXTRUDED FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOLSONDR, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.

D. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JUNG SEALANT MATERIAL.

38. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SLOPE WITH SERVICE PROVIDER.

39. ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS.

41. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.

38. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.

- THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
40. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY.
41. INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
42. CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
43. CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTER AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS.
44. CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES.
45. REFERENCE MEP PLANS FOR BUILDING CONNECTIONS.
46. CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
47. BACK FLOW PREVENTION TO BE PROVIDED INSIDE BUILDING. SEE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
48. LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
49. CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
50. WATER METER CANNOT BE INSTALLED IN THE BUILDING.
51. CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
52. ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MO, STANDARDS AND SPECIFICATIONS.
53. CONTRACTOR TO COORDINATE POWER ROUTING TO MONUMENT SIGNS NOT SHOWN ON PLANS.
54. ALL ROOF DRAIN AND DOWNSPOUT HEADER PIPES SHALL BE 12" HDPE PIPE AND INSTALLED AT 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN. ALL BENDS AND FITTINGS NEEDED TO BUILD ROUTING AS SHOWN SHALL BE INCLUDED IN BID.
55. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS. ALL ROOF DRAIN AND DOWNSPOUT CONNECTIONS / FITTINGS, INCLUDING BUT NOT LIMITED TO BENDS AND TEES, SHALL BE MADE OF HDPE PIPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN.
56. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR (816.969.1200) PRIOR TO ANY LAND DISTURBANCE WORK.
57. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH THESE SIGNAGE ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.

1. CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
2. CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS AND PROPOSED IMPROVEMENTS.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT KANSAS ONE CALL AT 1-800-344-7233 IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
4. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS.
5. REMOVAL AND DISPOSAL OF BUSHES AND TREES SMALLER THAN 12" IN DIAMETER SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID FOR CLEARING AND GRUBBING.
6. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OFF SITE BY THE CONTRACTOR.
7. DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
8. DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
9. ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ADJUTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
10. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
11. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
12. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIME WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE CITY.
13. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
14. DEMOLITION OF BUILDINGS SHALL INCLUDE THE BUILDING STRUCTURE, PAD, FOOTINGS, FOUNDATIONS, BASEMENT WALLS, BASEMENT FLOORS, TRUCK DOCKS, STEPS, DECKS, ALL ITEMS REMAINING IN BUILDING, ALL BUILDING UTILITY SERVICES, AND SIDEWALKS AND DRIVEWAYS TO REMAIN. REMAINING EXCAVATIONS, BASEMENTS AND TRENCHES PER SPECIFICATIONS.
15. ALL LIGHT POLE DEMOLITION SHALL INCLUDE FIXTURES, BASES AND WIRING.
16. ALL UTILITY DEMOLITION SHALL INCLUDE METERS, MANHOLES AND OTHER STRUCTURES ASSOCIATED WITH THE UTILITY SERVICE LINE.



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

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Development Services Department  
Lee's Summit, Missouri  
03/09/2022

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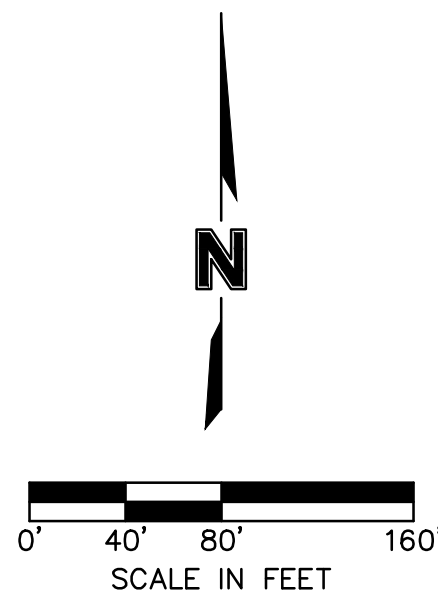
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DATE: Mar 01, 2022 4:07pm XREFS: C\_PBASE\_02104157 C\_TBLK\_02104157 C\_PSURF\_ER001\_02104157 C\_ERC\_LEGEND\_02104157



**LEGEND**

- PROPERTY LINE
- SURROUNDING PROPERTY LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEMPORARY SEDIMENT FENCE
- INSTALL TEMPORARY REINFORCED SILT FENCE SLOPE BARRIER
- INSTALL TEMPORARY WATTLE/BIOGRADABLE LOG
- LIMITS OF DISTURBANCE (34.24 ACRES)
- DRAINAGE BOUNDARIES
- TEMPORARY DIVERSION BERM (REFERENCE DETAILS) (18" DEEP BERM W/ "ECB S32
- INSTALL TEMPORARY SWALE
- STABILIZATION, "LANDLOK (S2)" (EROSION CONTROL BLANKET) SHALL BE USED OR APPROVED EQUAL CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL. SEED WITH PERENNIAL SEEDING TO MEET SWPPP REQUIREMENTS. INSTALL PER DETAIL AND MANUFACTURER RECOMMENDATIONS.
- TEMPORARY CONSTRUCTION ENTRANCE
- TEMPORARY STAGING/STOCKPILE AREA
- CONCRETE WASHOUT
- TEMPORARY GRAVEL FILTER BAGS
- EROSION CONTROL REFERENCE NUMBER

EROSION CONTROL STAGING CHART				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRE-CONSTRUCTION	A1	INSTALL SWPPP SIGN	D	INSTALL AS INDICATED ON PLANS
	A2	TEMPORARY CONSTRUCTION ENTRANCE	C	INSTALL AS INDICATED ON PLANS
	A3	TEMPORARY CONCRETE WASHOUT	C	INSTALL AS INDICATED ON PLANS
	A4	TEMPORARY STAGING/STOCKPILE AREA	C	INSTALL AS INDICATED ON PLANS
	A5	TEMPORARY SEDIMENT FENCE	C	INSTALL AS INDICATED ON PLANS
	A6	TEMPORARY SEDIMENT BASIN	C	INSTALL AS SHOWN. SEE SHEETS LD1.4 & LD1.5 FOR DETAILS.
	A7	END SECTION PROTECTION (RIPRAP)	C	INSTALL AS SHOWN. SEE SHEETS LD1.4 & LD1.5 FOR DETAILS.
	A8	TEMPORARY SLOPE STABILIZATION (EROSION CONTROL BLANKET)	C	INSTALL AS INDICATED ON PLANS
	A9	EXISTING INLET PROTECTION (CONDITION B)	C	INSTALL AS INDICATED ON PLANS
	A10	TEMPORARY WATTLE/BIOGRADABLE LOG	C	INSTALL AS INDICATED ON PLANS
	A11	TEMPORARY DIVERSION BERM	C	INSTALL AS INDICATED ON PLANS
	A12	TEMPORARY REINFORCED SILT FENCE SLOPE BARRIER	C	INSTALL AS INDICATED ON PLANS
	A13	TEMPORARY SWALE	B	INSTALL AS SHOWN. SEE SHEETS LD1.4 & LD1.5 FOR DETAILS.
	A14	TEMPORARY STREAM CROSSING	B	INSTALL AS INDICATED ON PLANS
B - CLEARING, MASS GRADING, AND CONSTRUCTION OF SANITARY SEWER	B1	TEMPORARY DIVERSION BERM	B	INSTALL AS INDICATED ON PLANS
	B2	TEMPORARY SEDIMENT FENCE	C	INSTALL AS INDICATED ON PLANS
	B3	TEMPORARY SLOPE STABILIZATION (EROSION CONTROL BLANKET)	C	INSTALL AS INDICATED ON PLANS
C - CONSTRUCTION: BUILDING, PAVEMENT & STORM SEWER AND UTILITIES	C1	TEMPORARY SLOPE STABILIZATION (EROSION CONTROL BLANKET)	C	INSTALL AS INDICATED ON PLANS
	C2	TEMPORARY CURB INLET PROTECTION (CONDITION A)	C	INSTALL AS INDICATED ON PLANS
	C3	TEMPORARY AREA INLET/JUNCTION BOX PROTECTION (CONDITION A)	C	INSTALL AS INDICATED ON PLANS
	C4	TEMPORARY LANDSCAPE DRAIN PROTECTION (CONDITION A)	C	INSTALL AS INDICATED ON PLANS
	C5	TEMPORARY CURB INLET PROTECTION (CONDITION B)	C	REMOVE AS INDICATED ON PLANS
	C6	TEMPORARY AREA INLET/JUNCTION BOX PROTECTION (CONDITION B)	C	INSTALL AS INDICATED ON PLANS
	C7	TEMPORARY LANDSCAPE DRAIN PROTECTION (CONDITION B)	C	INSTALL AS INDICATED ON PLANS
	C8	END SECTION PROTECTION (RIPRAP)	N/A	REFERENCE STORM SEWER SHEETS FOR DESIGN AND INSTALLATION INFORMATION
	C9	REMOVE SEDIMENT BASIN	N/A	REMOVE AS INDICATED ON PLANS
D - POST CONSTRUCTION: FINAL STABILIZATION	D1	CONVERT SEDIMENT BASINS TO FINAL CONDITION (DRY DETENTION BASIN)	N/A	REFERENCE GRADING AND STORM SHEETS FOR FINAL DESIGN INFORMATION
	D2	REPLACE TOP SOIL, SEED MULCH, SOD, LANDSCAPE	N/A	ESTABLISH PERENNIAL VEGETATION WITH A 70% DENSITY OVER 100% OF THE DISTURBED AREA. REFERENCE LANDSCAPE UNDERSTORY PLANS FOR DETAILS. INTERNAL TO THE LIMITS OF SEEDING PER THE LEGEND ABOVE.



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7301 West 133rd Street, Suite 200  
Overland Park, KS 66213-7755  
TEL 913.381.1170  
www.olsson.com

SCANNELL PROPERTIES

BY: \_\_\_\_\_  
REV. NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
REVISIONS DESCRIPTION \_\_\_\_\_  
2021

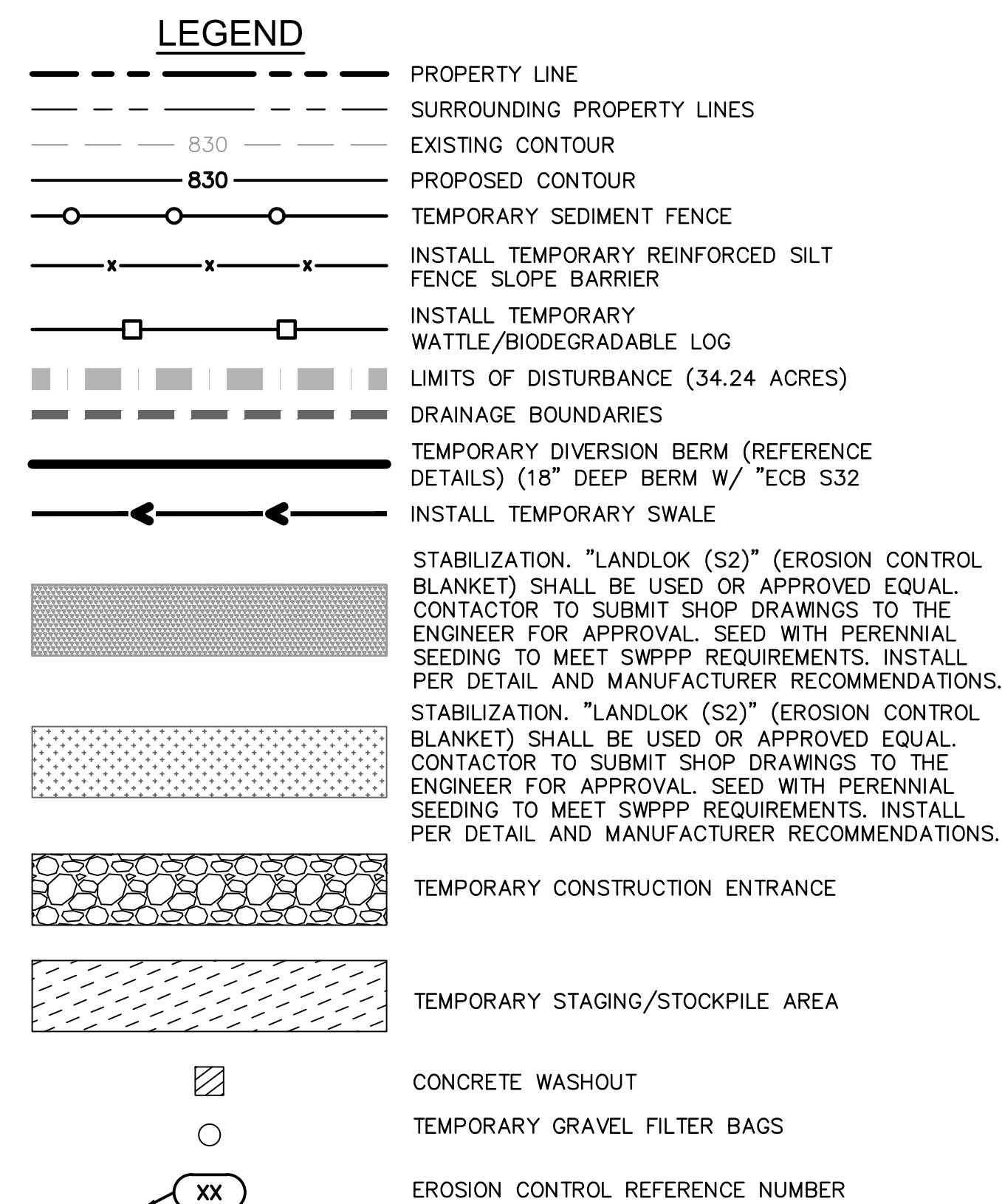
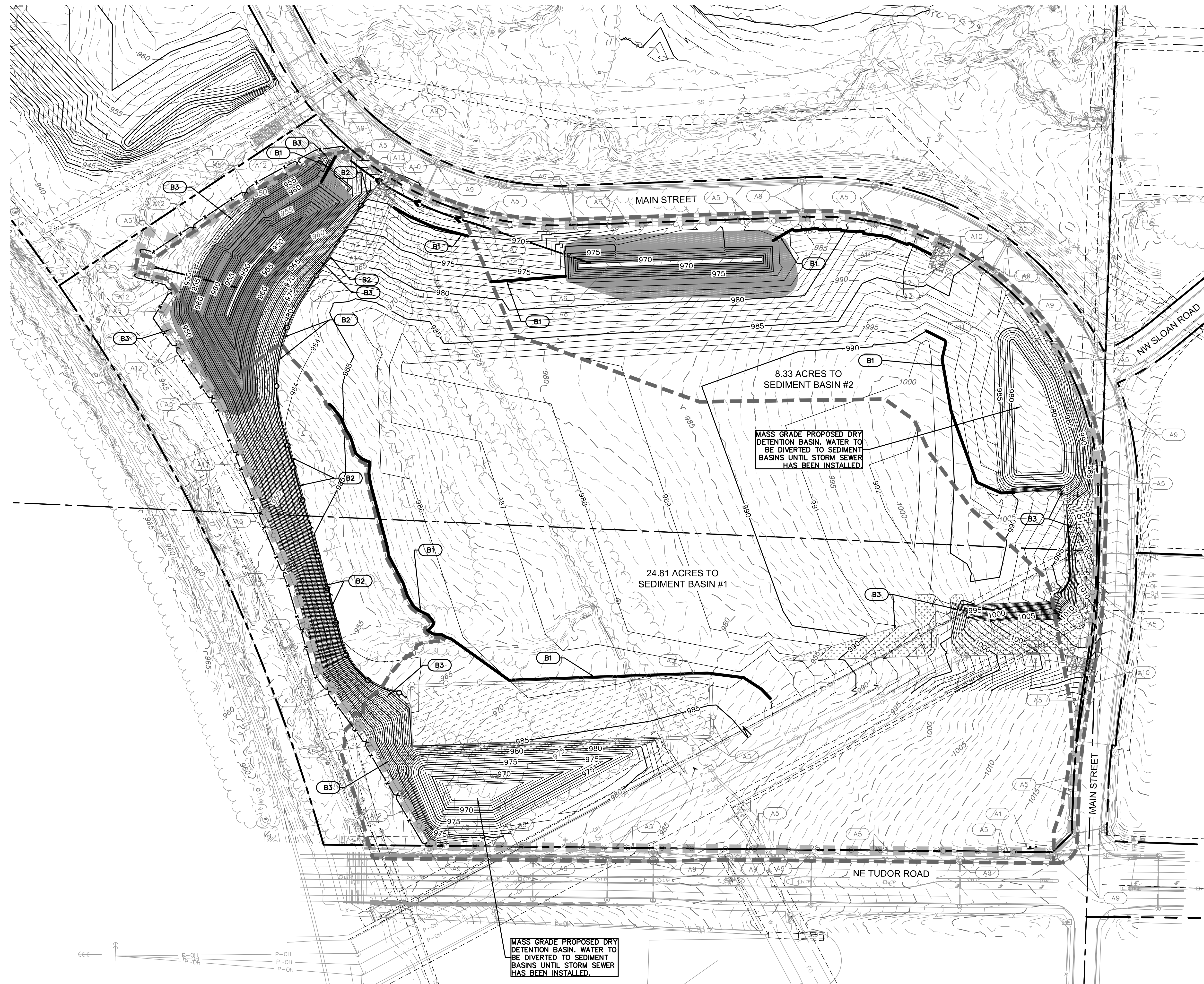
PHASE A - EROSION CONTROL PLAN  
LAND DISTURBANCE PLANS

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET  
LEE'S SUMMIT, MISSOURI

drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
QA/QC by: ENG  
project no.: 021-04157  
drawing no.: 02104157.dwg  
date: 03/09/2022

SHEET  
LD1.0





EROSION CONTROL STAGING CHART				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
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	D2	REPLACE TOP SOIL, SEED MULCH, SOD, LANDSCAPE	N/A	ESTABLISH PERENNIAL VEGETATION WITH A 70% DENSITY OVER 100% OF THE DISTURBED AREA. REFERENCE LANDSCAPE UNDERSTORY PLANS FOR DETAILS INTERNAL TO THE LIMITS OF SEEDING PER THE LEGEND ABOVE.









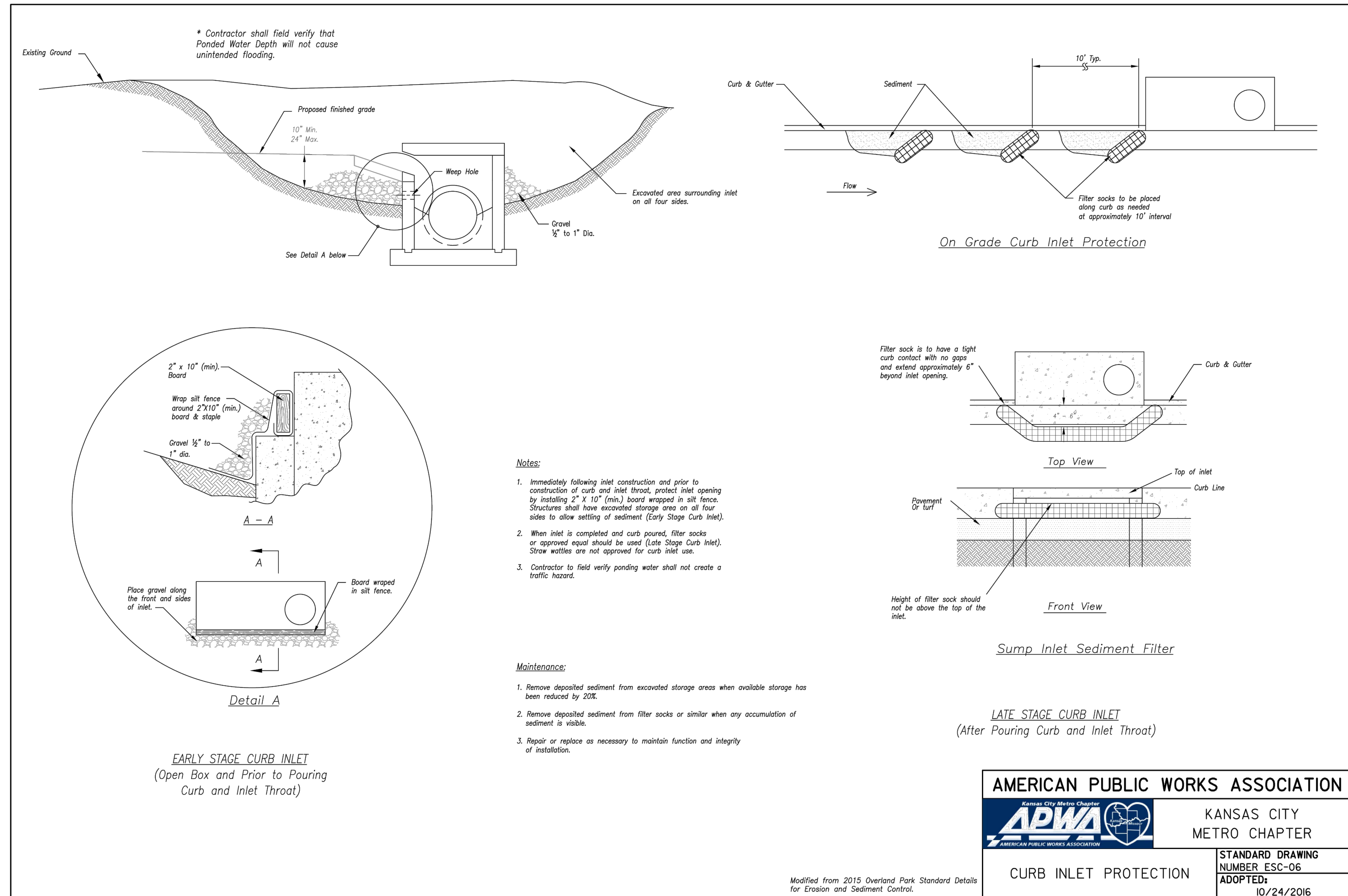
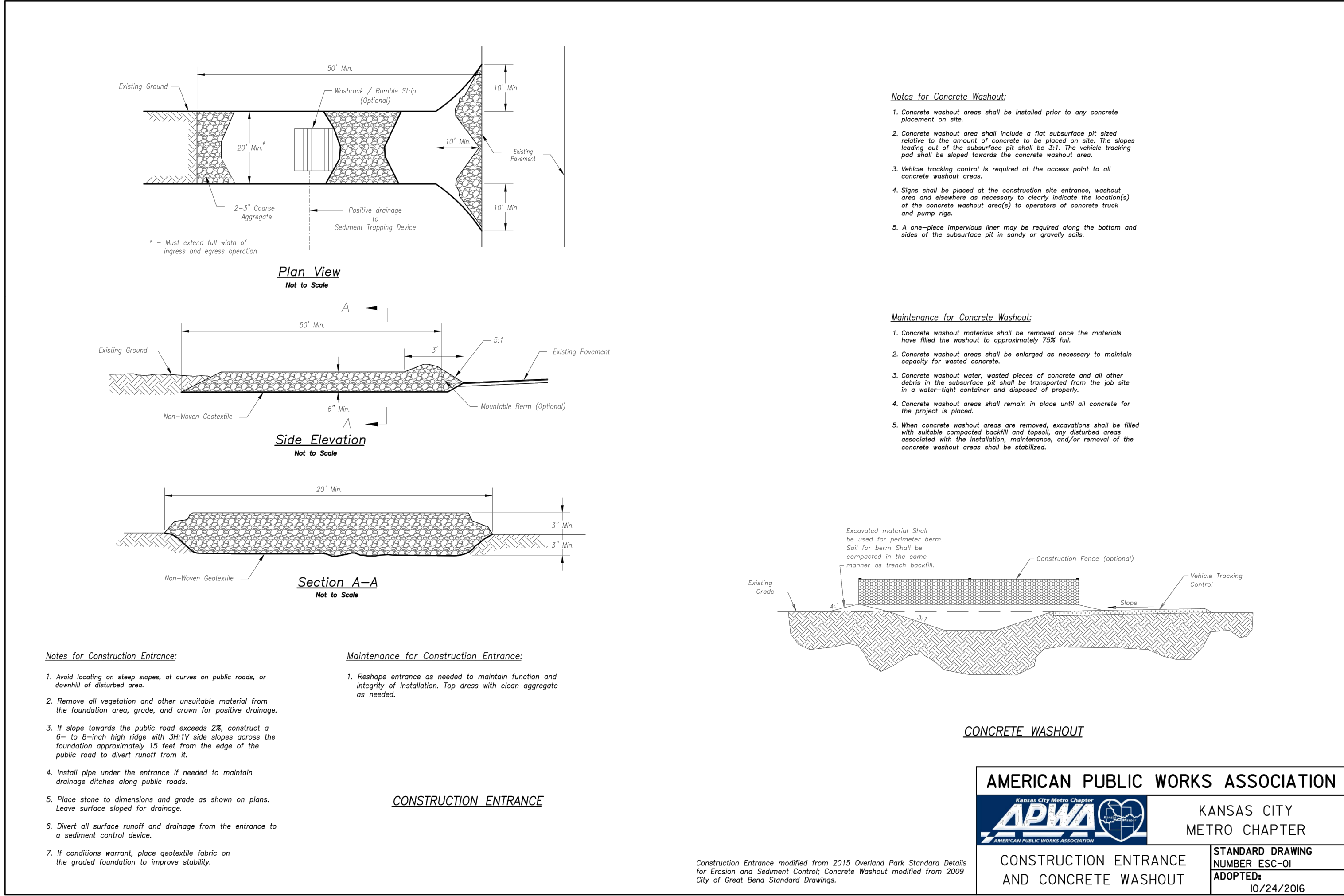
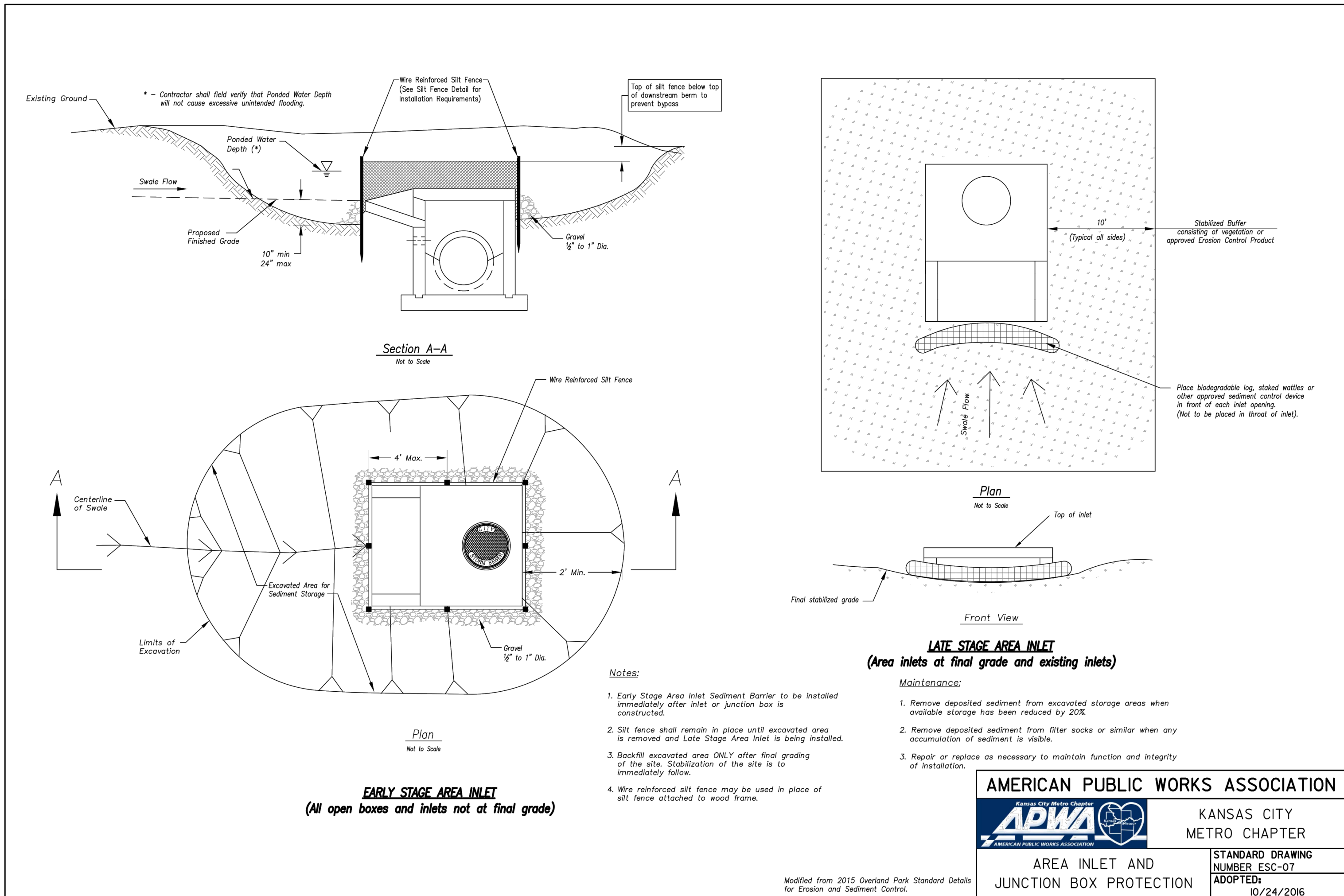




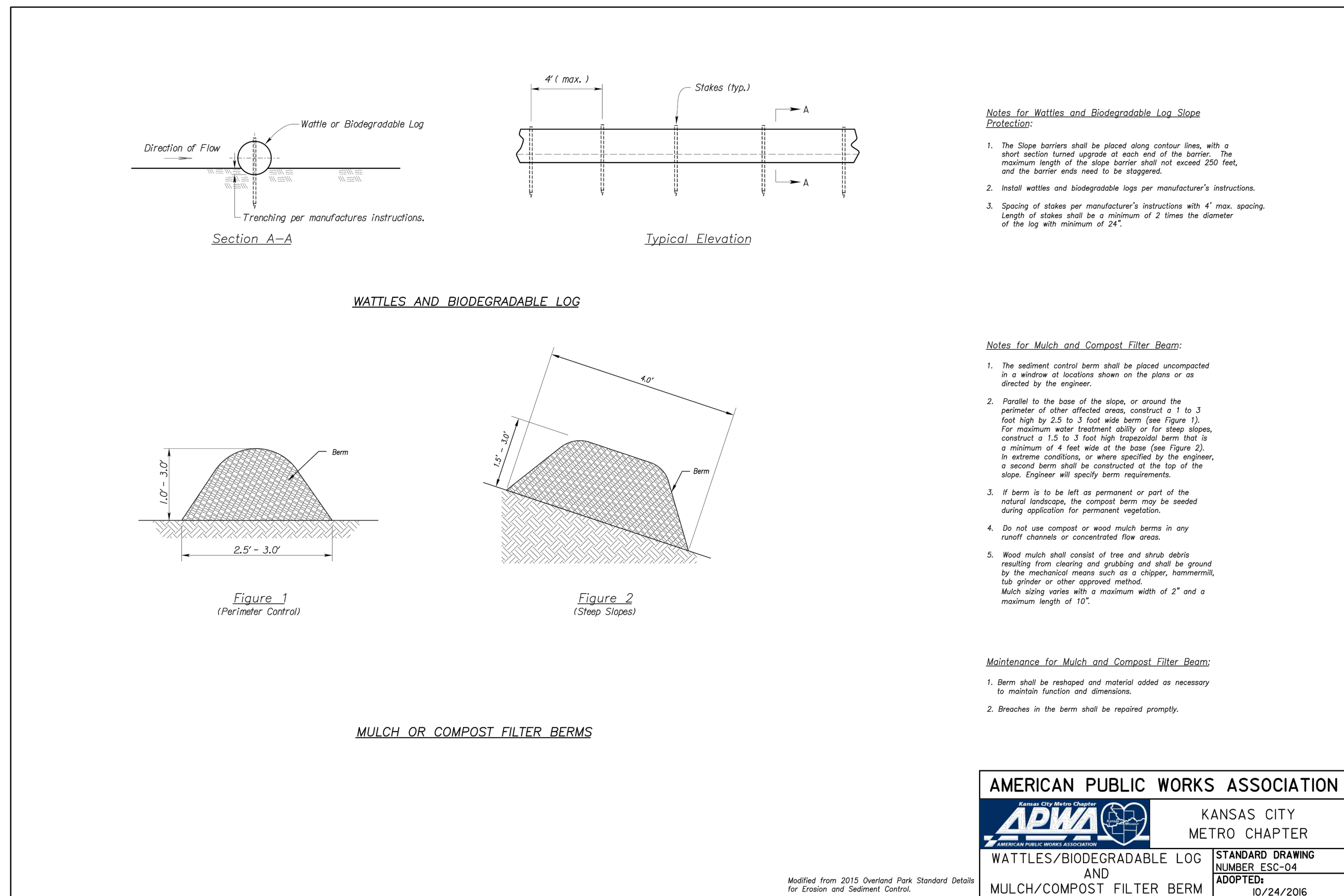
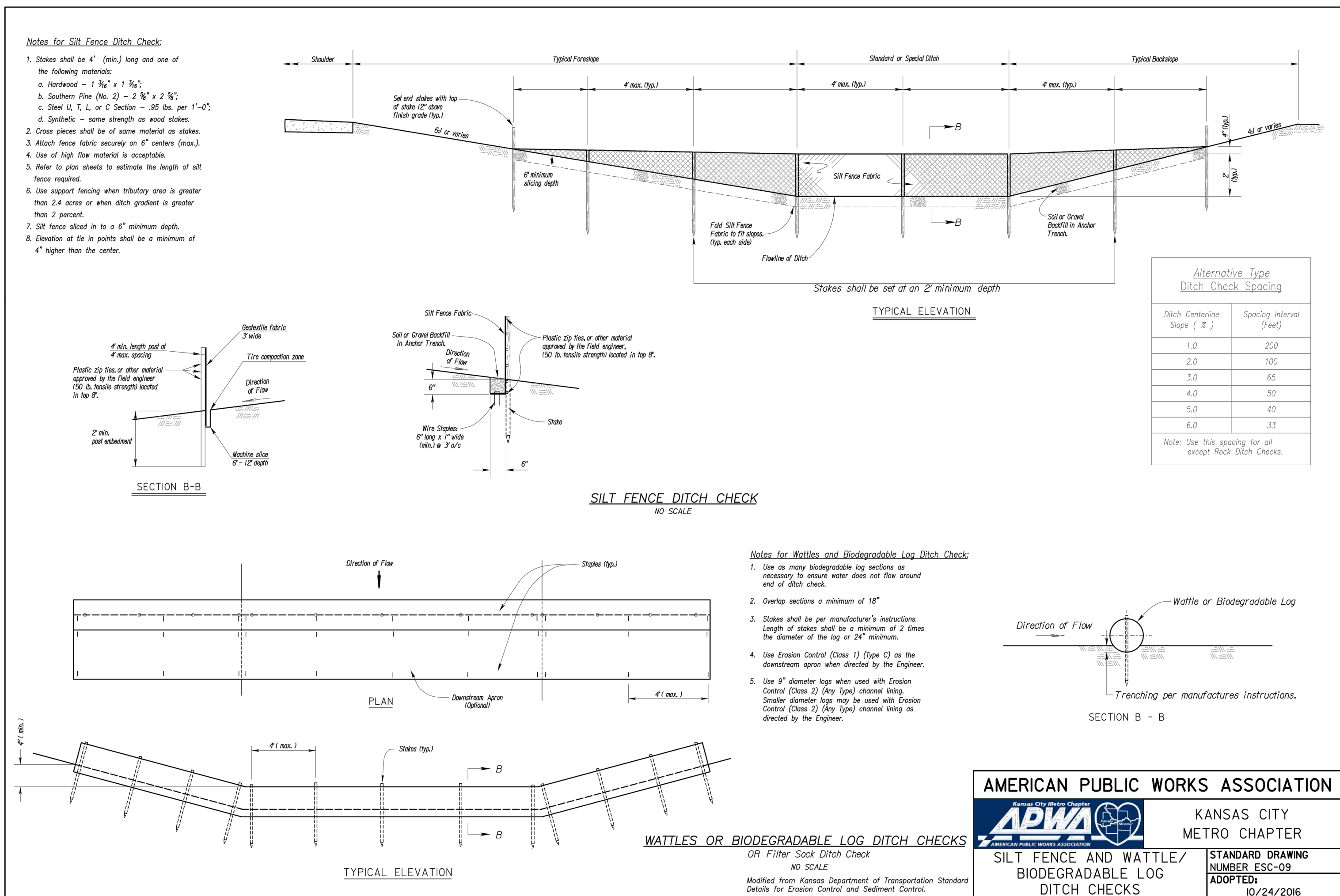
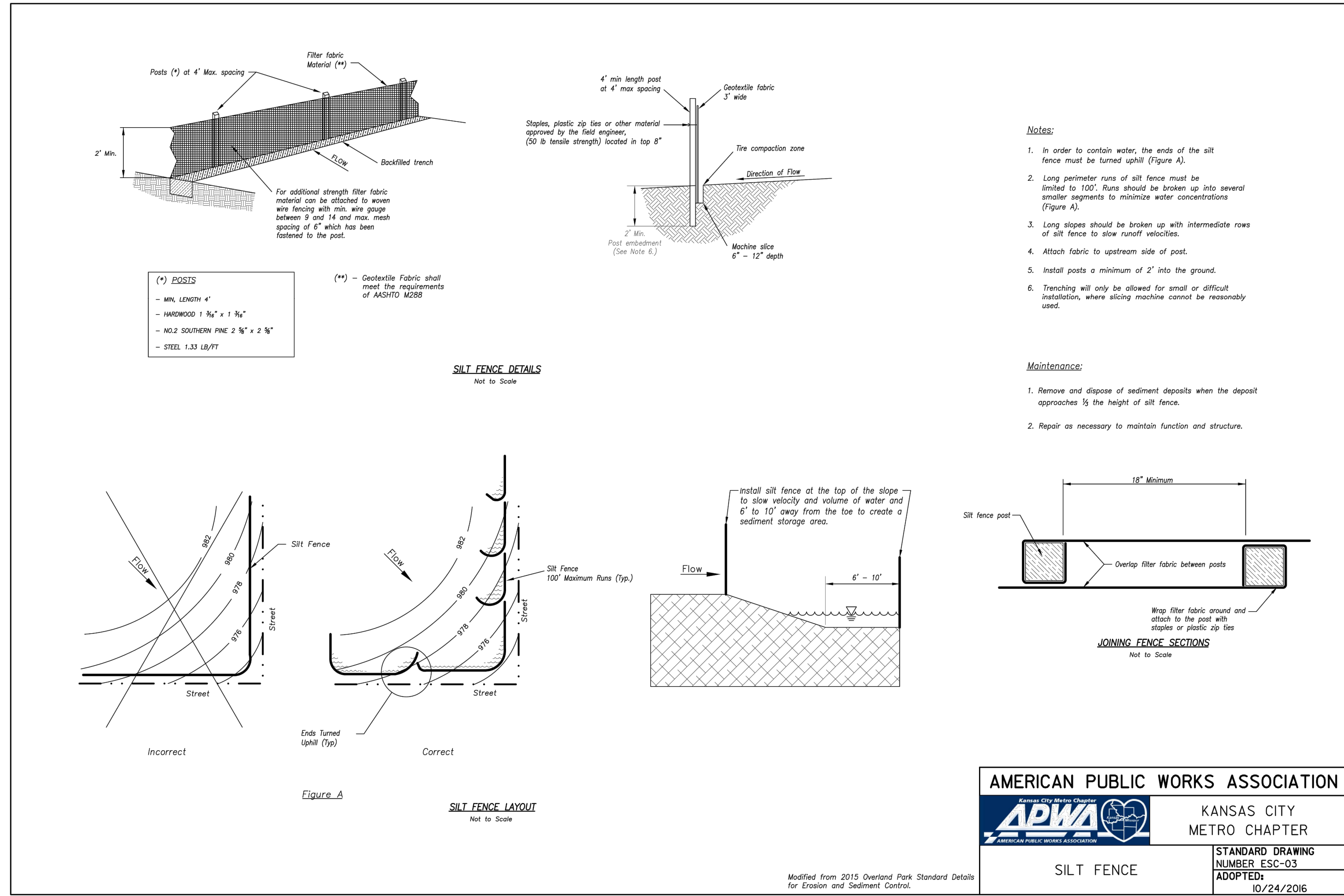
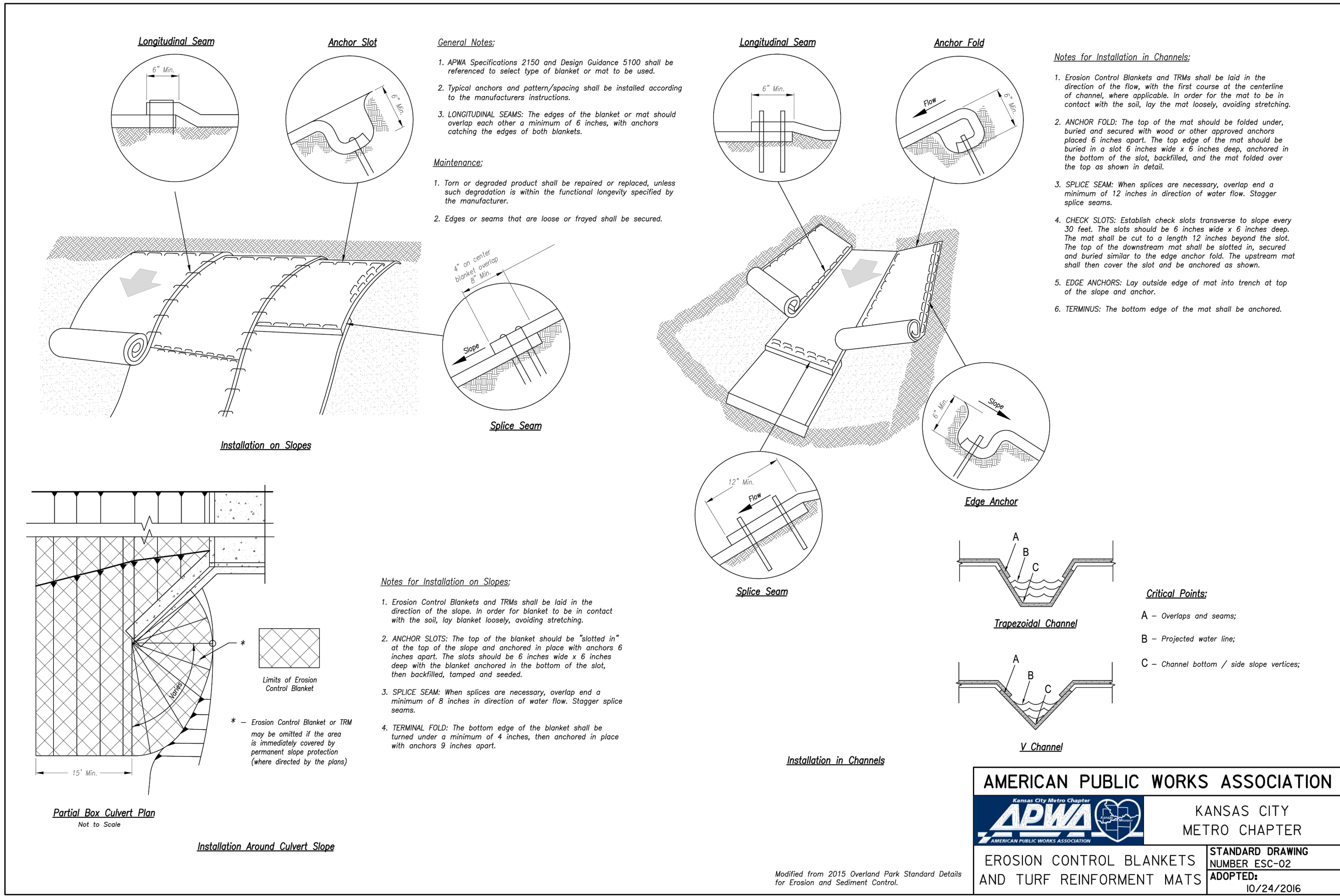




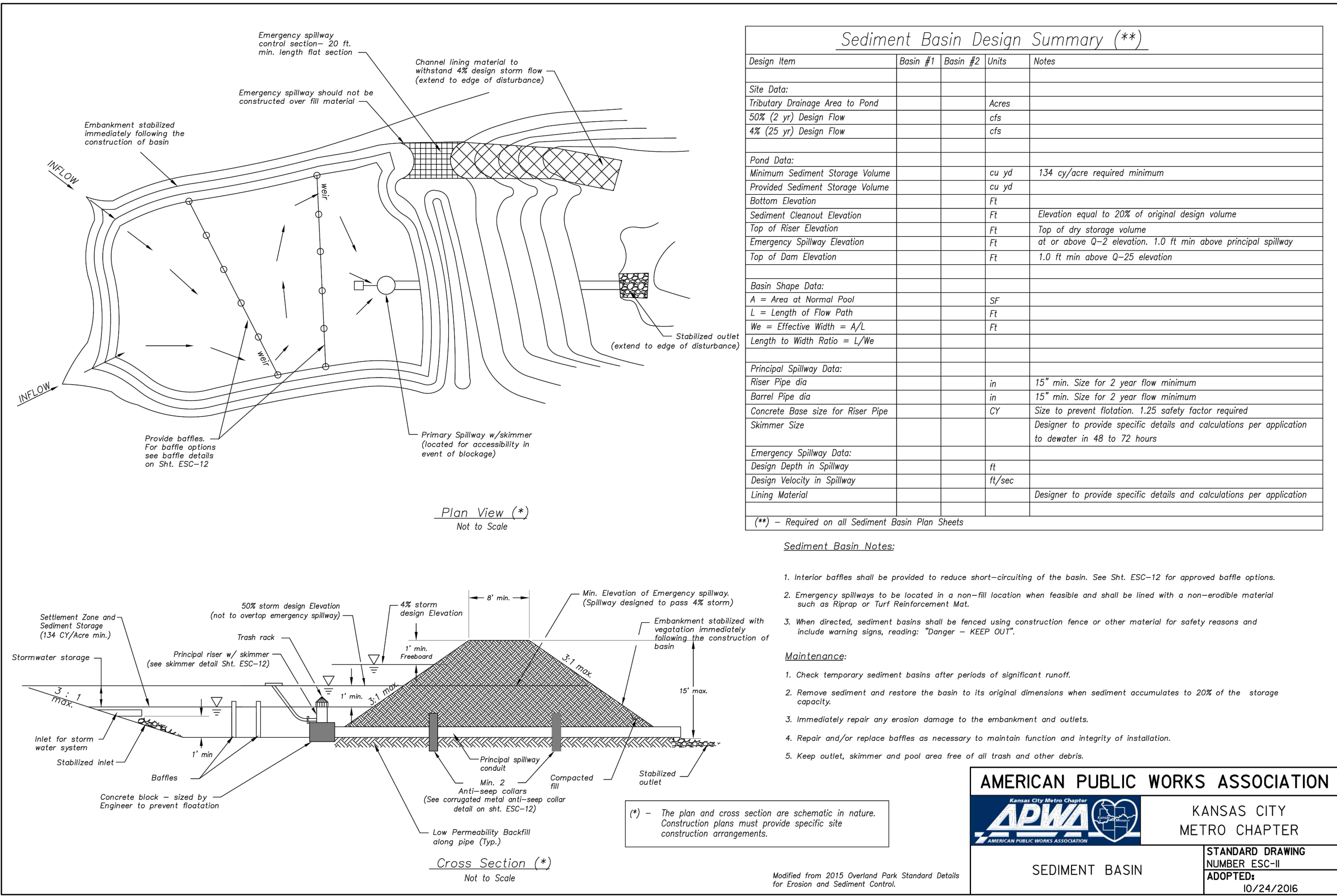






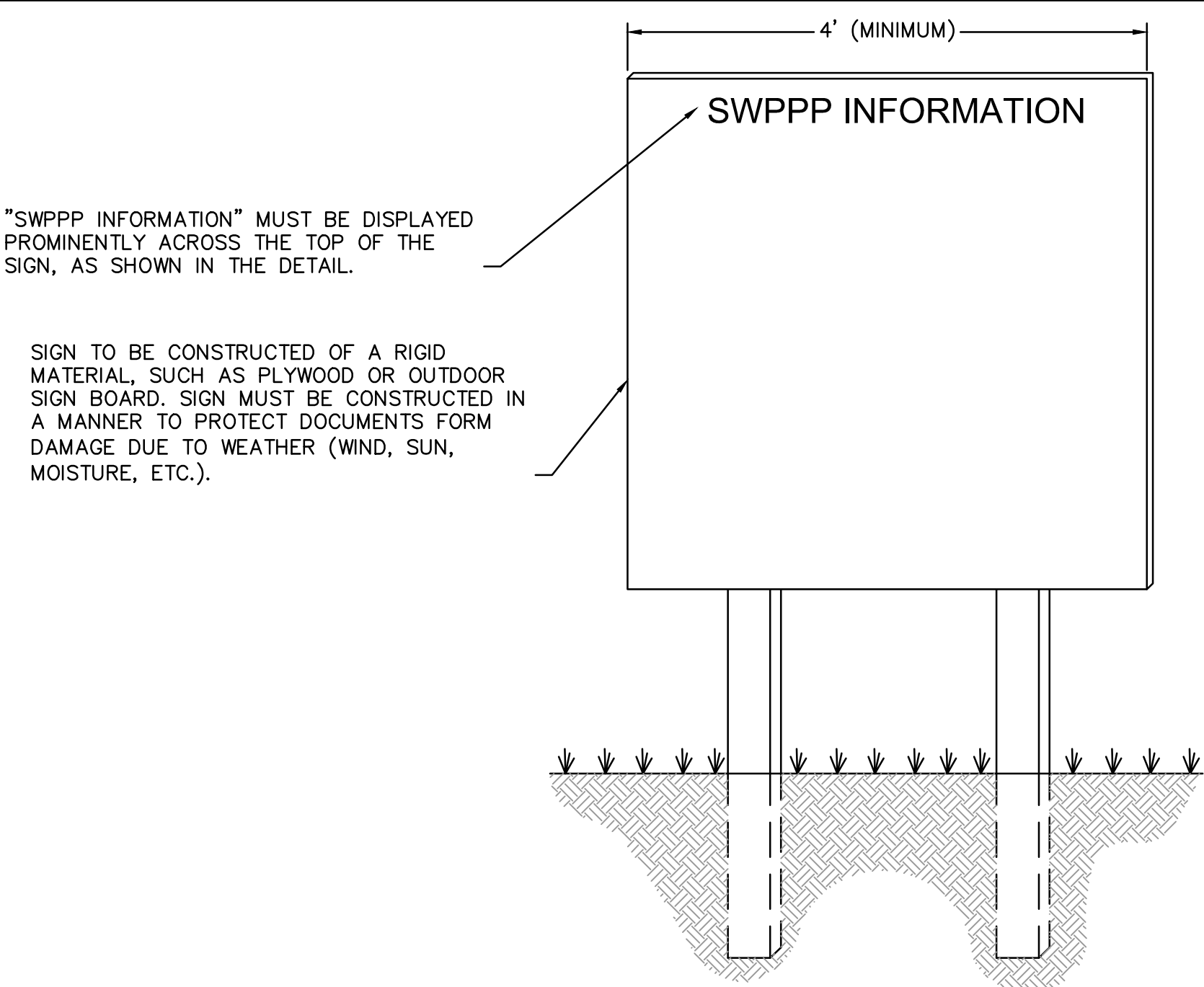
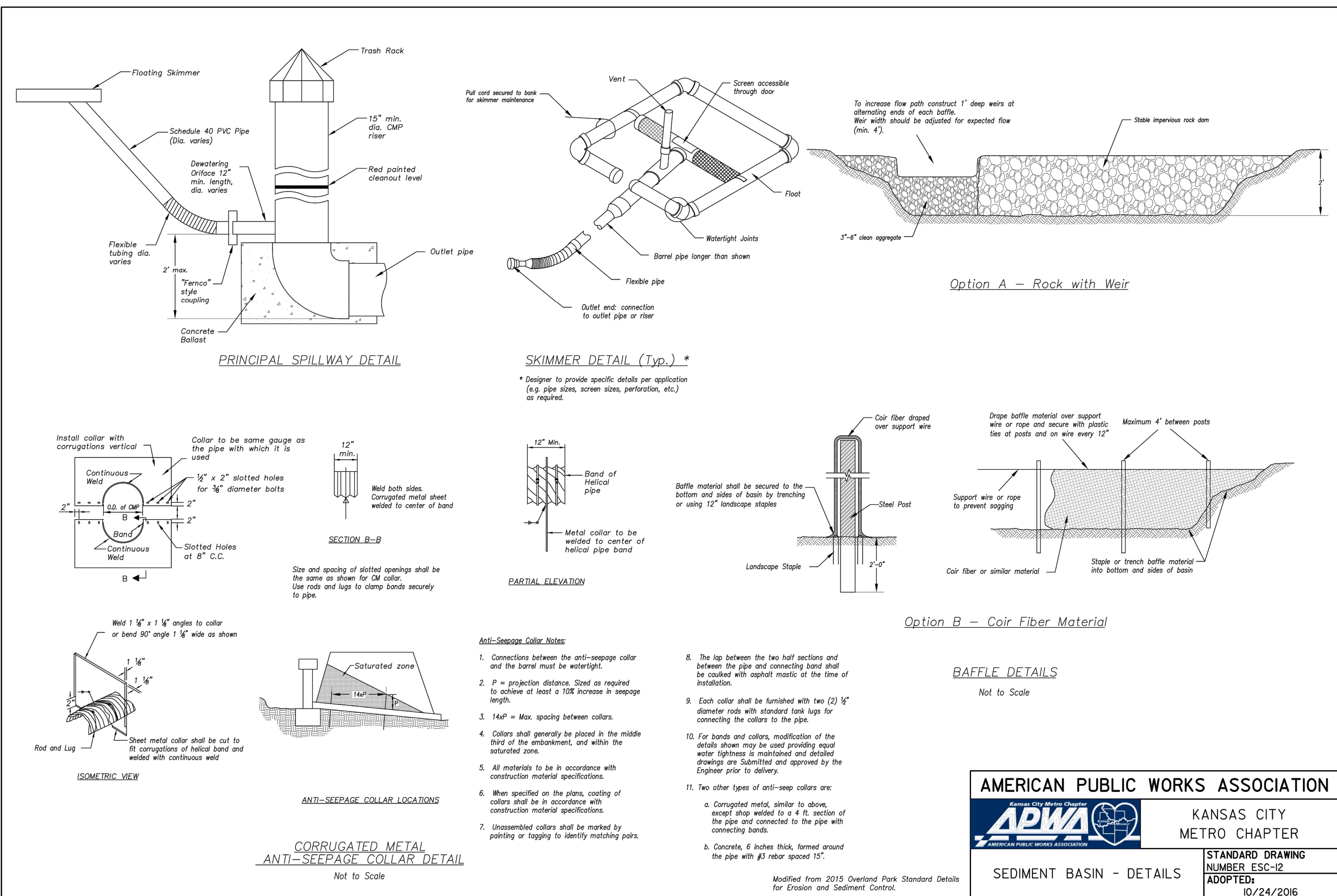






SEDIMENT BASIN DESIGN DATA SUMMARY				
TITLE:	Lee's Summit - Phase 1			
JOB #:	021-04157			
Design Item:	Basin 1	Basin 2	Units	Notes:
Site Data:				
Tributary Drainage Area to Pond:	25.00	8.50	Acres	
Disturbed Tributary Drainage Area to Pond:	25.00	8.50	Acres	
50% (2 yr) Design Flow:	47.34	16.10	cfs	
4% (25 yr) Design Flow:	82.12	27.93	cfs	
Pond Data:				
Minimum Sediment Storage Volume:	3350	1139	cu. yd.	134 cu/acre minimum
Provided Sediment Storage Volume:	3798	1356	cu. yd.	134 cu/acre minimum
Bottom Elevation:	949.00	969.00	Ft	
Sediment Cleanout Elevation:	952.96	970.57	Ft	Elevation Equal to 20% of Original Design Volume.
Top of Riser Elevation:	958.50	973.50	Ft	Top of Dry Storage Volume
Emergency Spillway Elevation:	960.00	974.25	Ft	at or Above Q-2 elev. 1.0 ft min above principal spillway
Top of Dam Elevation:	961.50	975.50	Ft	1.0 ft min above Q-25 elev.
Basin Shape Data:				
A= Area at Normal Pool	19480.00	11605.00	SF	
L = Length of Flow Path	230.00	320.00	Ft	
We = Effective Width = A/L	84.70	36.27	Ft	
Length to Width Ratio = L/We	2.72	8.82		If Length to Width Ratio is less than 2, baffles are required
Principal Spillway Data:				
Riser Pipe Diameter:	48.00	42.00	in	15-inch min. Size for 2 year flow minimum
Barrell Pipe Diameter:	30	30	in	15-inch min. Size for 2 year flow minimum
Concrete Base size for Riser Pipe	9.18	8.18	cu. yd.	Size to Prevent Flotation. 1.25 safety factor required.
Skimmer Size:	4.00	4.00	in	Designer to provide specific details and calculations per application to dewater in 48 to 72 hours
Emergency Spillway Data:				
Design Width of Spillway:	90.00	90.00	Ft	
Design Depth in Spillway:	0.49	0.24	Ft	Use Q25yr=CsbH <sup>1/3</sup> (3/2) where C=2.63, b is the Width of Spillway
Design Velocity in Spillway:	1.88	1.31	Ft/sec	
Lining Material:	LANDLOK S2 ERC	LANDLOK S2 ERC	N/A	

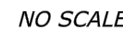
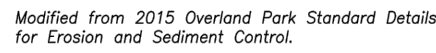
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#### EROSION CONTROL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- EROSION CONTROL IS THE CONTRACTOR'S RESPONSIBILITY. THIS PLAN SHOULD BE USED AS A GUIDE AND REPRESENTS THE MINIMUM EROSION CONTROL DEVICES REQUIRED.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND REPAIRING ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL EVENT.
- THE CONTRACTOR SHALL PROVIDE ANY FURTHER EROSION CONTROL MEASURES IN ADDITION TO THOSE LISTED TO ENSURE THAT SILT WILL NOT LEAVE THE PROJECT CONFINES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY STABILIZATION AS REQUIRED.
- THE CONTRACTOR SHALL LEAVE THE EROSION CONTROL DEVICES AROUND ALL FIELD INLETS AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AN INGRESS/EGRESS TRACKING PAD FOR VEHICULAR TRAFFIC AT A LOCATION APPROVED BY THE OWNERS REPRESENTATIVE.
- ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS, CITY OF KANSAS CITY, MISSOURI AND THE MISSOURI DEPARTMENT OF HEALTH & ENVIRONMENT, WATER POLLUTION CONTROL DIVISION, MOST CURRENT EDITIONS.
- AT ANY TIME DURING CONSTRUCTION THE CITY ENGINEER MAY REQUIRE ADDITIONAL EROSION/SILTATION CONTROL MEASURES TO BE INSTALLED IN ORDER TO ADDRESS PROBLEM SITUATIONS OBSERVED ON THE SITE, WHEN REQUIRED SUCH MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF THE CITY ENGINEER'S VERBAL OR WRITTEN ORDER.
- PROPOSED CONTOURS SHOWN ARE TO FINISH GRADE AND REFLECT SURFACE ELEVATIONS OF PAVEMENT AND LANDSCAPED AREAS AROUND BUILDINGS. THE CONTRACTOR SHALL ADJUST FOR PAVEMENT AND LANDSCAPED MATERIALS AS REQUIRED.
- THE CONTRACTOR SHALL PLACE SEED AND TURF REINFORCEMENT EXCELSIOR BLANKETS (OR OTHER APPROVED EQUAL EROSION CONTROL BLANKETS) ON ALL SLOPES 6:1 AND GREATER.
- SEED ALL DISTURBED AREA PER CITY STANDARDS AND SPECIFICATIONS.





### STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE PLAN VIEW FOR  
-LOCATION OF STAGING AREA(S)  
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM LOCAL JURISDICTION
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703. AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROPORTIONATE TO THE EFFECTIVE LIFE OF BMPs AS SOON AS POSSIBLE (AND ALWAYS WITH 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTORS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGARDED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE AND UNLOADING/LOADING OPERATIONS.
6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. ALL STABILIZED MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEED, MULCH, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)



## STOCKPILE PROTECTION INSTALLATION NOTES

- SEE PLAN FOR:
  - LOCATION OF STOCKPILES
  - TYPE OF STOCKPILE PROTECTION
- 2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING LOGS, ROCKS, LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE PRESENT SLOPE OF THE STOCKPILE, THE TYPE OF STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
- 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR STOCKPILE STOCKPILING FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDING AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30–60 DAYS).
- 4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

### STOCKPILE PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

### STOCKPILE PROTECTION MAINTENANCE NOTES

4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROL BY THE END OF THE WORKDAY.
5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

(DETAILS ADAPTED FROM PARKER, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



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USER: moore

### Channel Report

Hydrow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

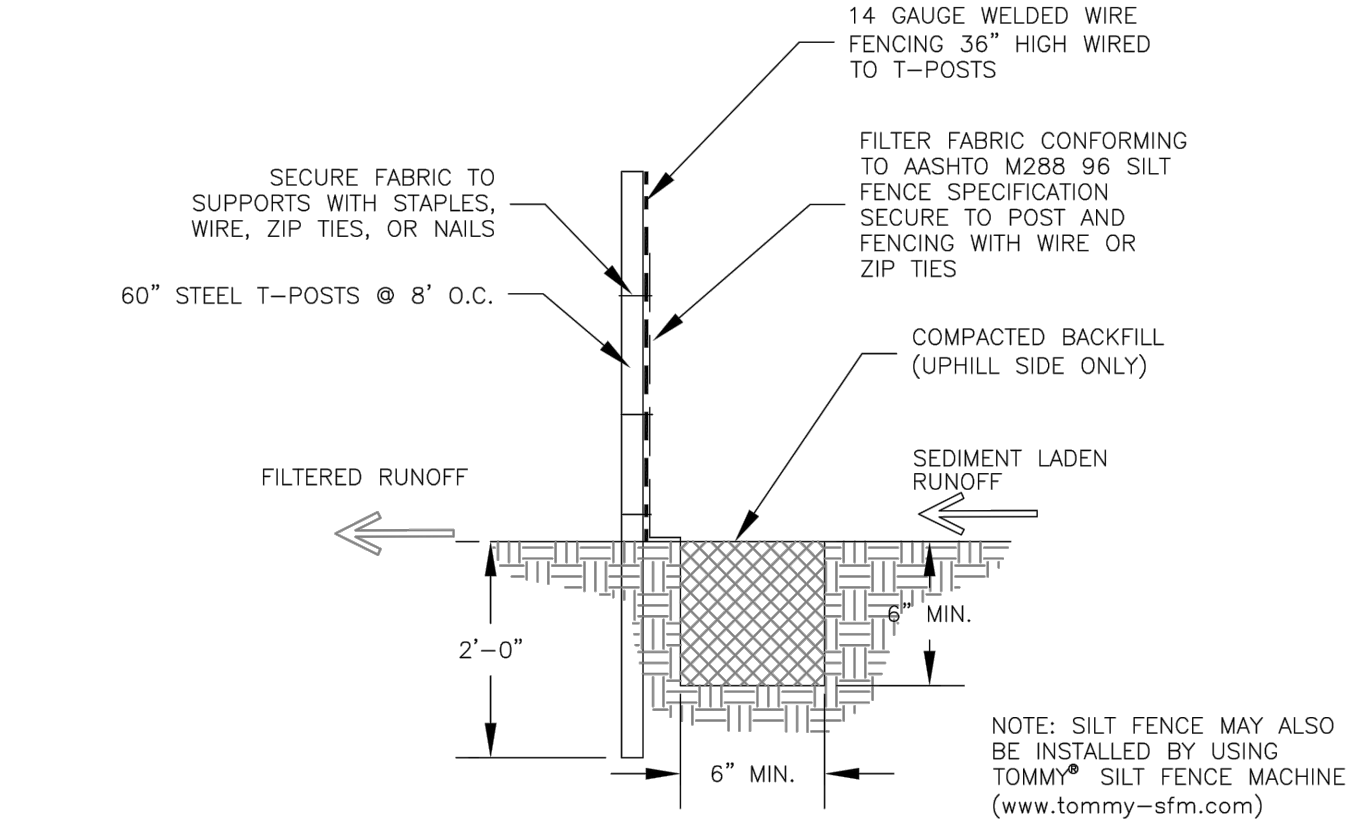
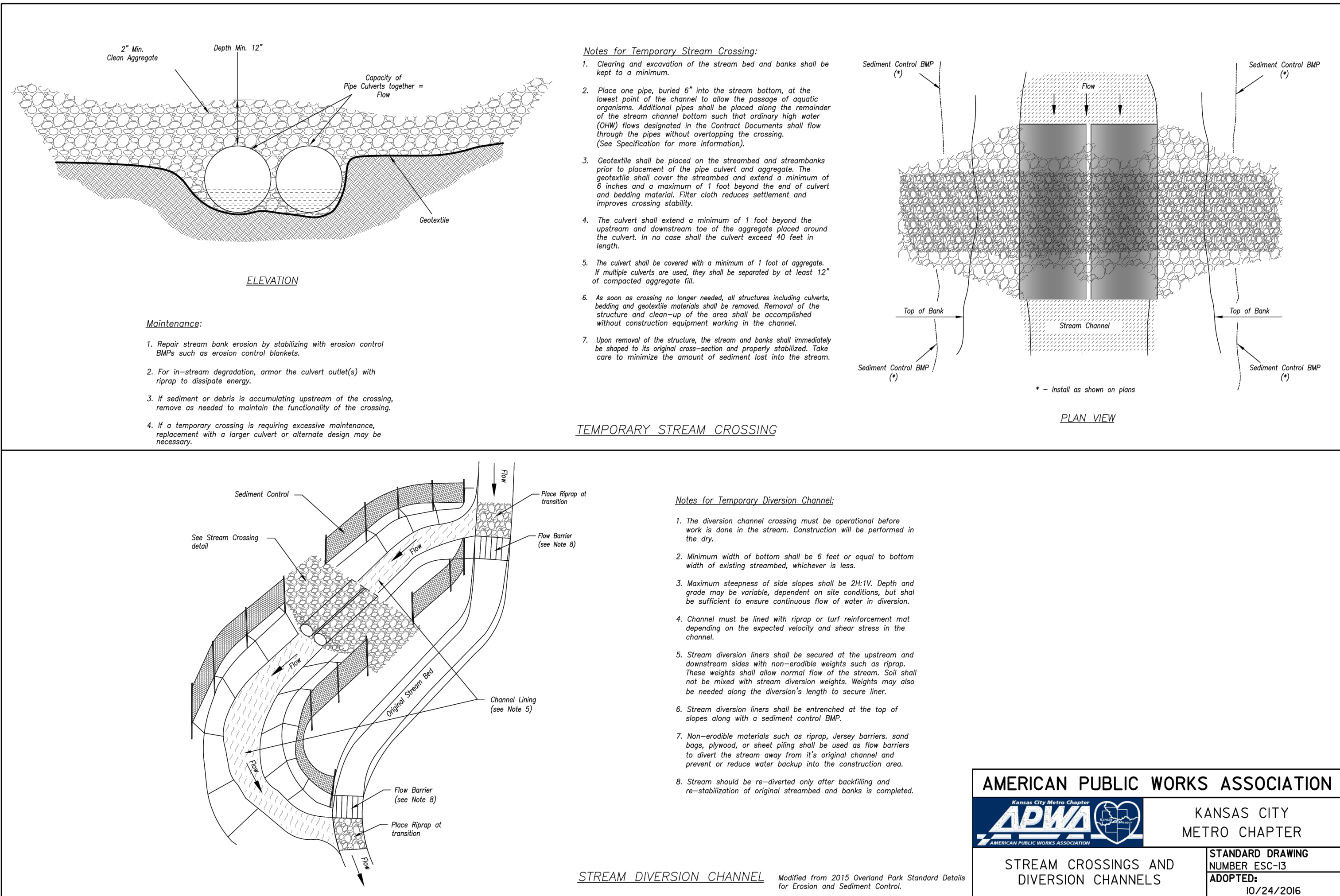
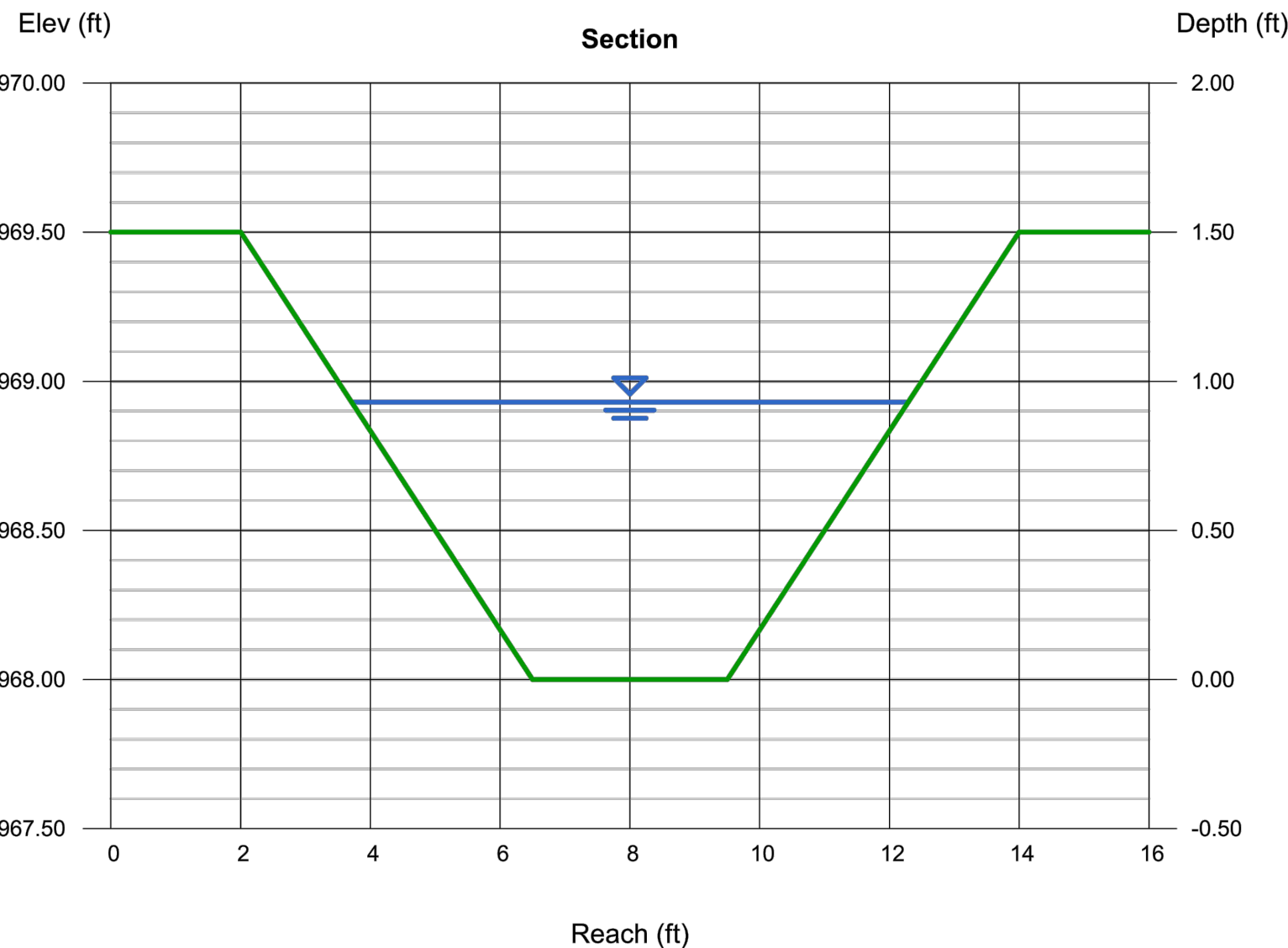
Friday, Oct 8 2021

#### Swale for Basin #2

**Trapezoidal**  
Bottom Width (ft) = 3.00  
Side Slopes (z:1) = 3.00, 3.00  
Total Depth (ft) = 1.50  
Invert Elev (ft) = 968.00  
Slope (%) = 2.50  
N-Value = 0.030

**Calculations**  
Compute by: Known Q  
Known Q (cfs) = 30.00

**Highlighted**  
Depth (ft) = 0.93  
Q (cfs) = 30.00  
Area (sqft) = 5.38  
Velocity (ft/s) = 5.57  
Wetted Perim (ft) = 8.88  
Crib Depth, Yc (ft) = 1.05  
Top Width (ft) = 8.58  
EGL (ft) = 1.41



REINFORCED SILT FENCE SLOPE BARRIER DETAIL  
NO SCALE

### EROSION CONTROL NOTES:

- ALL WORK IN PUBLIC EASEMENTS AND RIGHT-OF-WAY AND ALL EROSION CONTROL WORK MUST COMPLY WITH THE LATEST EDITION OF THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS, OF LEE'S SUMMIT, MISSOURI. IF ANY OF THE GENERAL NOTES CONFLICT WITH THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS LEE'S SUMMIT SHALL OVERRIDE.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION CONTROL. KEEP THE STREETS CLEAN OF MUD AND DEBRIS, AND PREVENT SOIL FROM LEAVING THE PROJECT SITE. THE CONTRACTOR'S EROSION CONTROL MEASURES SHALL CONFORM TO LEE'S SUMMIT, MISSOURI TECHNICAL PROVISIONS SPECIFICATIONS, AND THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN, A COPY OF WHICH SHALL BE MAINTAINED AND UPDATED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES BEFORE STARTING ANY CONSTRUCTION ACTIVITY. REFERENCE PRE-CONSTRUCTION PHASE IN STAGING TABLE.
- GOOD HOUSEKEEPING, INCLUDING SPILL RESPONSE SHALL BE PERFORMED IN ACCORDANCE WITH THE KANSAS CITY CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS, SECTION 2150.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL EROSION CONTROL MEASURES OR MODIFICATIONS IF THE PLAN FAILS TO SUBSTANTIALLY CONTROL EROSION OR OFFSITE SEDIMENTATION.
- THE CONTRACTOR SHALL TEMPORARILY SEED, MULCH, OR OTHERWISE STABILIZE ANY DISTURBED AREA WHERE THE LAND DISTURBANCE ACTIVITY HAS CEASED FOR A PERIOD OF FOURTEEN (14) CALENDAR DAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL A MINIMUM OF 70% OF PERMANENT VEGETATION HAS BECOME STABILIZED AND ESTABLISHED. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE 70% ESTABLISHED VEGETATION IS MET, OR THE DURATION OF THE PROJECT, WHICHEVER IS THE LATER DATE.
- THE CONTRACTOR SHALL HAVE A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE AT ALL TIMES. INSPECTION LOGS AND ANY CHANGES TO EROSION CONTROL MEASURES SHALL BE ADDED TO THE SWPPP.
- REMOVE SEDIMENT AND RESTORE THE SEDIMENT BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO 20% OF THE STORAGE CAPACITY. CONTRACTOR SHALL CLEAN OUT SEDIMENT BASIN BEFORE FINAL GRADING OF DETENTION BASIN AND DRY DETENTION BASINS. CONTRACTOR TO HAVE DETENTION BASIN AND DRY DETENTION BASINS STAKED BEFORE FINAL GRADING PER GRADING PLAN. AFTER CONTRACTOR HAS COMPLETED FINAL GRADING, AS-BUILT SHOTS AND VOLUME STORAGE CAPACITY CALCULATIONS SHALL BE PROVIDED TO THE ENGINEER TO CONFIRM COMPLIANCE WITH DESIGN PLANS AND UG STANDARDS.

RELEASED FOR  
CONSTRUCTION  
As Noted on Plans Review  
Development Services Department  
Lee's Summit, Missouri  
03/09/2022

olsson

7301 West 133rd Street, Suite 200  
Overland Park, KS 66213-4750  
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www.olson.com

SCANNELL  
PROPERTIES

STATE OF MISSOURI  
COLIN EMMINGS  
SHIPWRIGHT  
NUMBER  
PE-2021038302  
03/03/2022

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

2021

REVISIONS

EROSION CONTROL DETAILS  
LAND DISTURBANCE PLANS

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET  
LEE'S SUMMIT, MISSOURI

drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
GNOC by: ENG  
project no.: 021-04157  
drawn by: ENG  
date: 03/09/2022

SHEET  
LD2.4