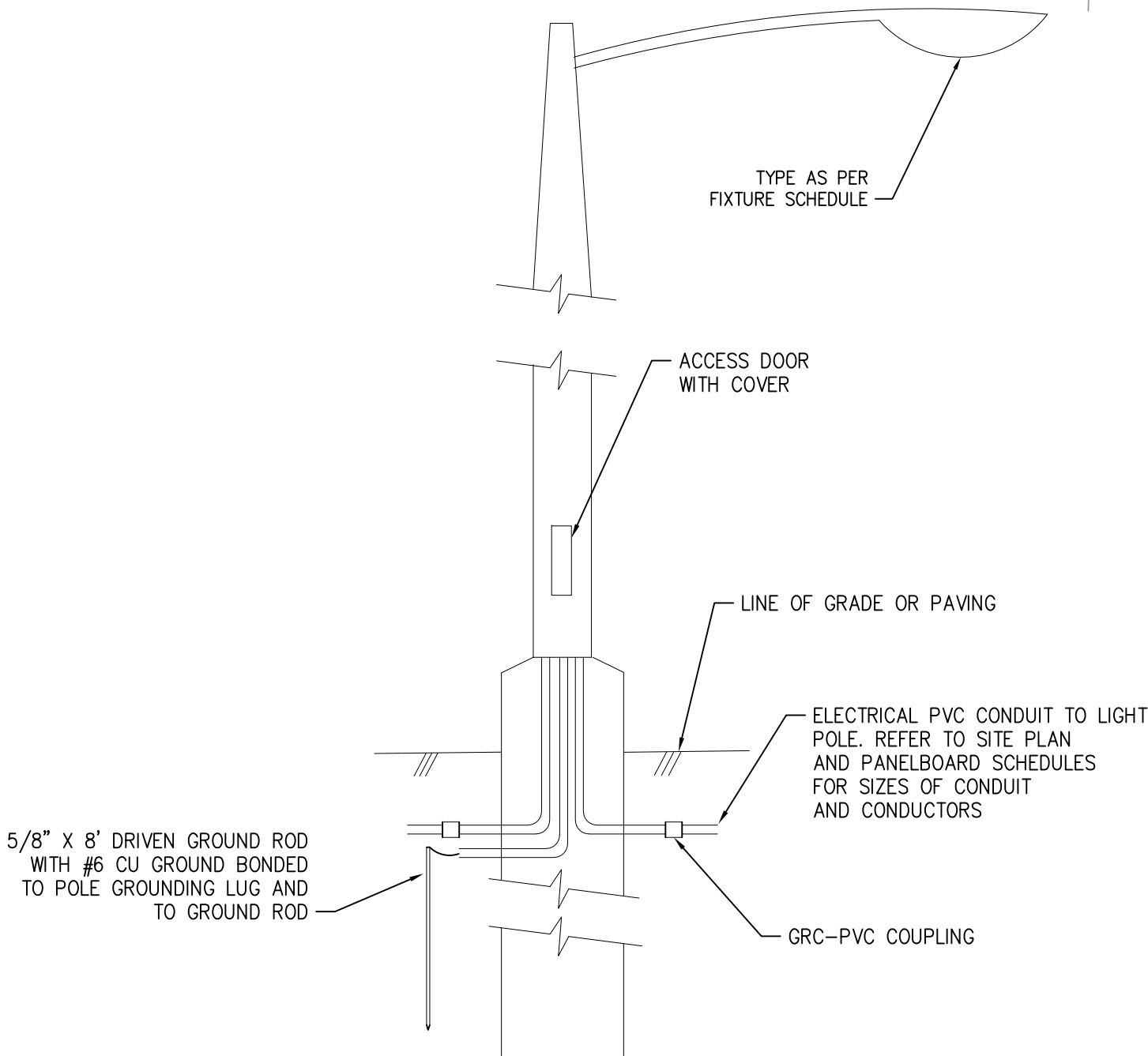


GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- D. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- E. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- F. ROUTE ALL EXPOSED, RIGID CONDUIT TIGHT TO STRUCTURE, PARALLEL TO BUILDING LINES AND IN UNISTRUT CABLE/PIPE TRAY WHERE POSSIBLE. COORDINATE CONDUIT ROUTING AND INSTALLATION WITH OTHER TRADES PRIOR TO ROUGH-IN. SUPPORT CONDUIT FROM STRUCTURE NOT ROOF DECK. MAINTAIN 2" MIN SPACING FROM BOTTOM OF ROOF DECK TO PREVENT ROOFING SCREWS FROM PENETRATING CONDUITS.

# KEYED PLAN NOTES

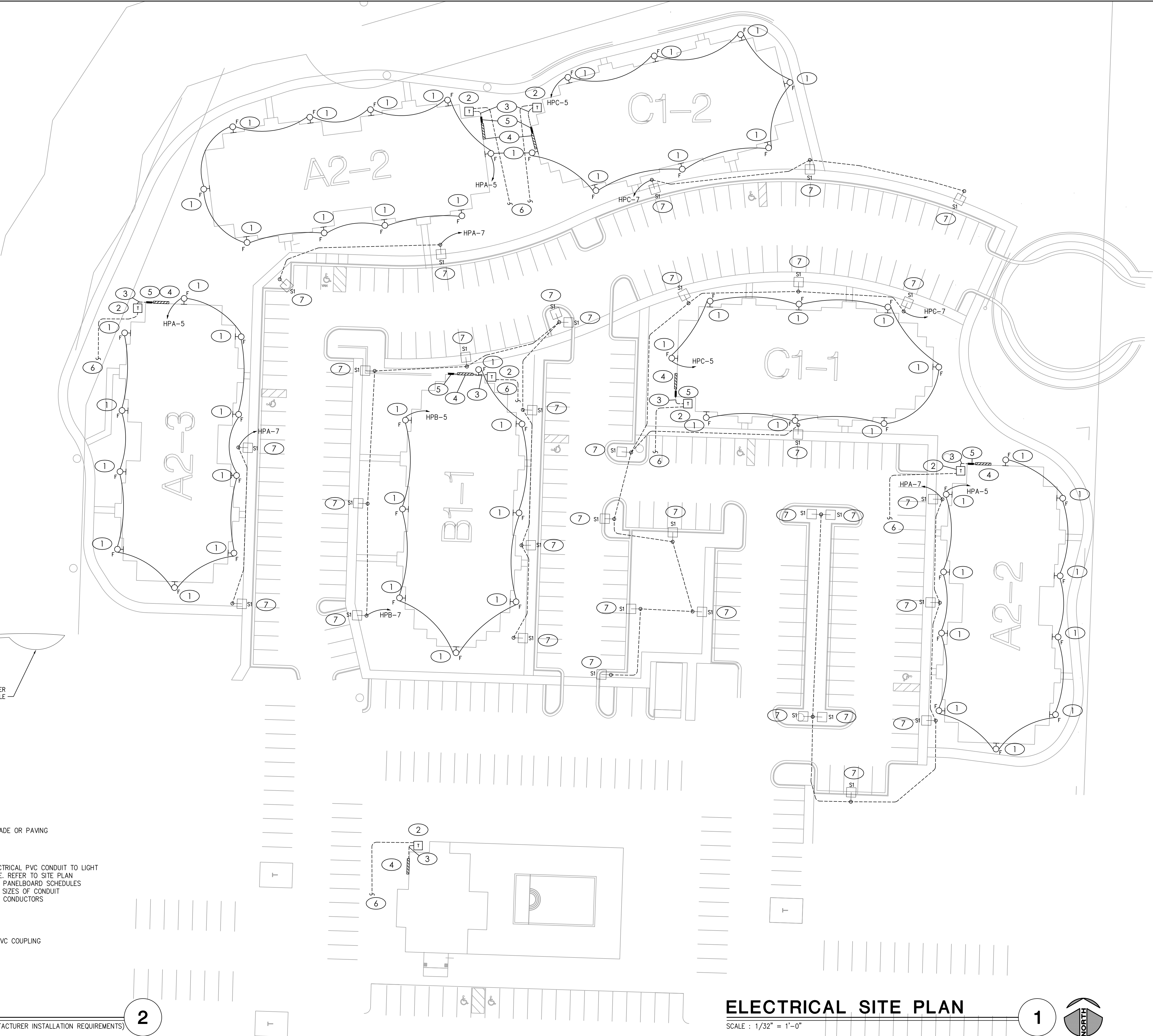
1. BUILDING EXTERIOR LIGHT FIXTURE. ROUTE EXTERIOR LIGHTING THROUGH PHOTOCELL. MOUNT PHOTOCELL ON ROOF AND POINT NORTH. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E301 FOR MORE INFORMATION.
2. PROPOSED UTILITY TRANSFORMER LOCATION. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
3. PROPOSED UTILITY SECONDARY CONDUIT/CONDUCTOR ROUTE. REFER TO SINGLE LINE DIAGRAM ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION. COORDINATE WITH UTILITY SERVICE EQUIPMENT LOCATIONS PRIOR TO CONSTRUCTION.
4. ELECTRICAL SERVICE ENTRANCE METER ENCLOSURES AND DISCONNECT. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
5. HOUSE PANEL LOCATION. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION.
6. PROPOSED UTILITY PRIMARY CONDUIT/CONDUCTOR ROUTE. REFER TO SINGLE LINE DIAGRAMS ON SHEETS E300, E301, E302, AND E303 FOR MORE INFORMATION. COORDINATE WITH UTILITY PRIOR TO CONSTRUCTION.
7. SITE LIGHTING POLE. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E301 FOR MORE INFORMATION.



POLE BASE DETAIL

NO SCALE (SPECIFIC DETAILS, FOUNDATION AND ANCHORING SHALL BE PER POLE MANUFACTURER INSTALLATION REQUIREMENTS)

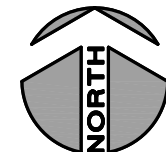
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ELECTRICAL SITE PLAN

SCALE : 1/32" = 1'-0"

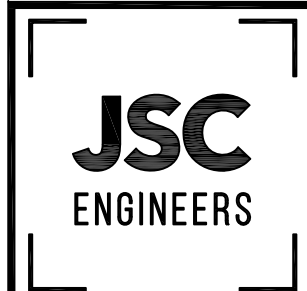
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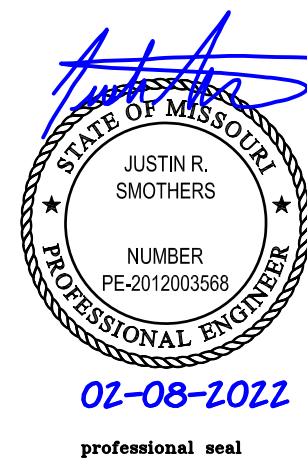
WWW.BCSARCHITECTS.COM  
19920 West 161st Street  
Olathe, Kansas 66062  
Phone: (913) 780-4820  
Fax: (913) 780-5088

MEP ENGINEER:



MO CON NO. 2012000786 / KS CON NO. E-0819  
KANSAS CITY, MO 64108  
PHONE: (816) 272-5855, email: jsmith@jscengineers.com

Summit Point Apartment Phase II  
504 NE Chipman Road  
Lee's Summit, Missouri 64063



PROJECT NO. : JSC 21-058  
DATE : 02.08.2022  
DRAWN BY : JSC  
REVIEWED BY : JRS

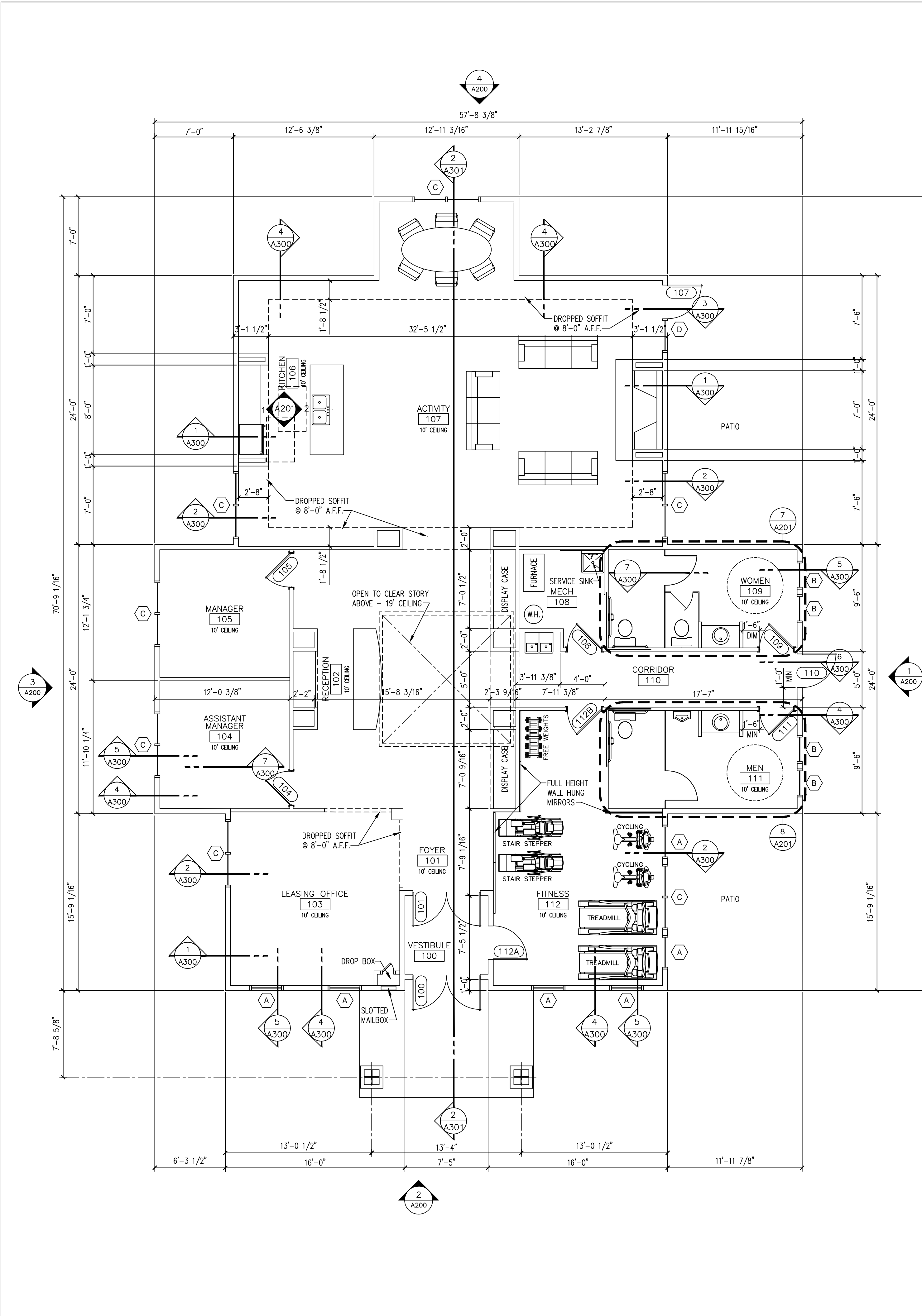
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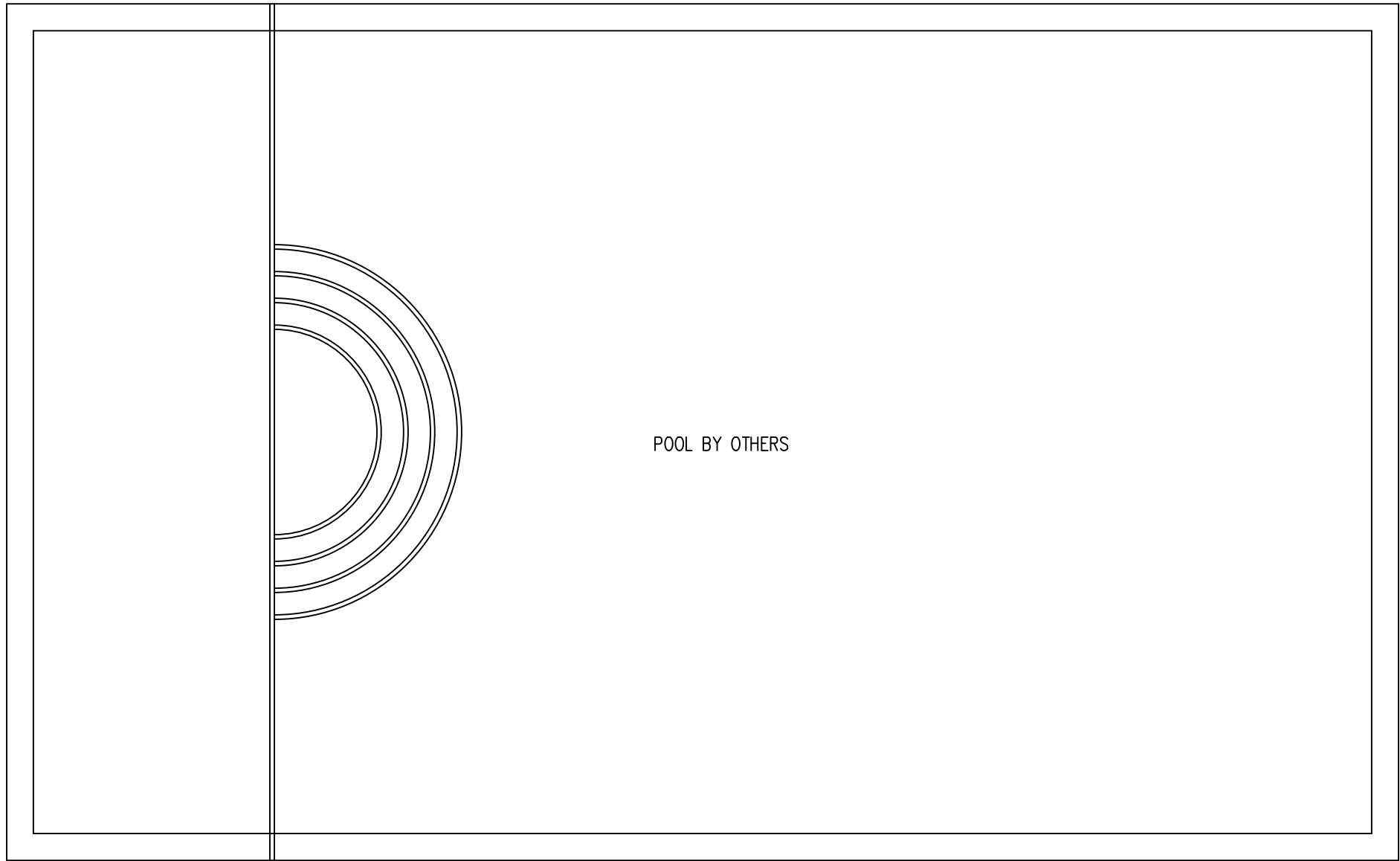
SHEET NO.

ELECTRICAL SITE PLAN

E100



2 CLUBHOUSE FLOOR PLAN  
3/16" = 1'-0" 3000 SQUARE FEET



DOOR SCHEDULE - CLUBHOUSE						
MARK	SIZE	ELEV	RATING	MATERIALS	GLAZING	NOTES
100	PR 3'-0" X 7'-0" X 1-3/4"	1A/A201	20 MIN.	INSUL MTL 2 PANEL	NONE	SMOKE GASKET SPRING HINGES ALUM. THRESHOLD
101	PR 3'-0" X 7'-0" X 1-3/4"	1A/A201	20 MIN.	HC MASONITE 2 PANEL	NONE	
104	3'-0" X 6'-8" X 1-3/8"	2C/A201		HC MASONITE 2 PANEL	NONE	
105	3'-0" X 6'-8" X 1-3/8"	2C/A201		HC MASONITE 2 PANEL	NONE	
107	3'-0" X 7'-0" X 1-3/4"	AD/A201		HC MASONITE 2 PANEL	NONE	SMOKE GASKET SPRING HINGES ALUM. THRESHOLD
108	3'-0" X 6'-8" X 1-3/8"	2C/A201		HC MASONITE 2 PANEL	NONE	
109	3'-0" X 6'-8" X 1-3/8"	2C/A201		HC MASONITE 2 PANEL	NONE	PUSH/PULL NO LEVER HANDL
110	3'-0" X 7'-0" X 1-3/4"	1A/A218	20 MIN.	INSUL MTL 2 PANEL	NONE	SMOKE GASKET SPRING HINGES ALUM. THRESHOLD
111	3'-0" X 6'-8" X 1-3/8"	2C/A201		HC MASONITE 2 PANEL	NONE	PUSH/PULL NO LEVER HANDL
112A	3'-0" X 7'-0" X 1-3/4"	1B/A201		FULL LITE SAFETY GLAZING	NONE	
112B	3'-0" X 6'-8" X 1-3/8"	2D/A201		FULL LITE SAFETY GLAZING	NONE	
NOTES: 1. ALL DOORS, FRAMES AND HARDWARE SHALL BE PROVIDED BY CM 2. ALL ENTRY DOORS TO HAVE LEVER HANDLES, AS ARE ALL DOORS (INTERIOR AND ENTRY) IN ACCESSIBLE UNITS						

1 DOOR SCHEDULE

**BCS Design, Inc.**  
A Full Service  
Architectural Firm  
WWW.BCSARCHITECTS.COM  
19920 West 161st Street  
Olathe, Kansas 66062  
Phone: (913) 780-4820  
Fax: (913) 780-5088

CLUBHOUSE BUILDING

**Summit Point Apartments Phase II**  
504 NE Chipman Road  
Lee's Summit, Missouri 64063

professional seal

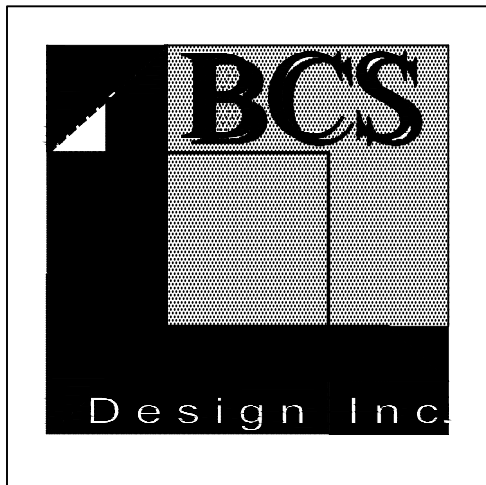
PROJECT NO. : 2021-08  
DATE : 12.15.2021  
DRAWN BY : BCS STAFF  
REVIEWED BY :  
REVISED:

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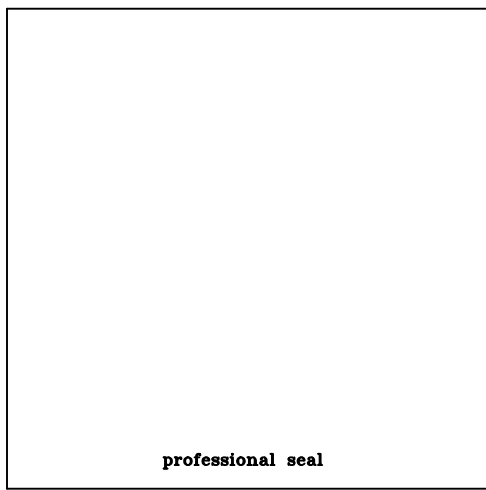




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Architectural Firm  
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19920 West 161st Street  
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CLUBHOUSE BUILDING

Summit Point Apartments Phase II  
504 NE Chipman Road  
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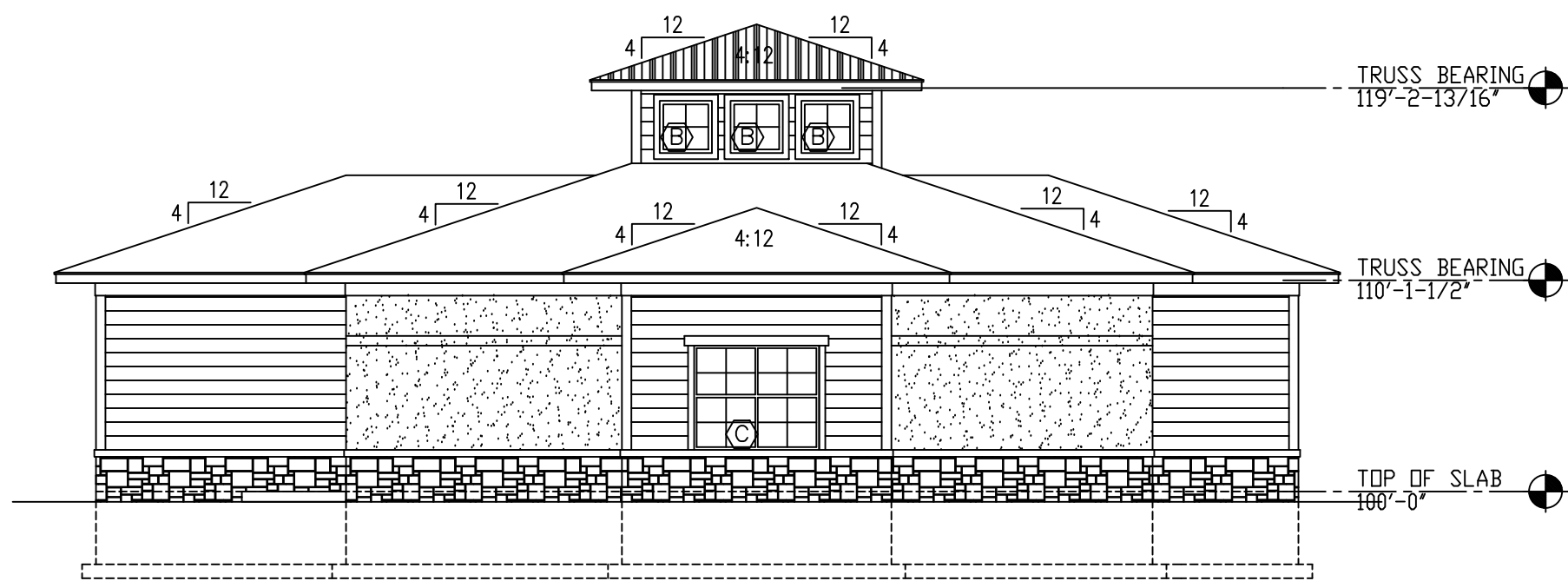
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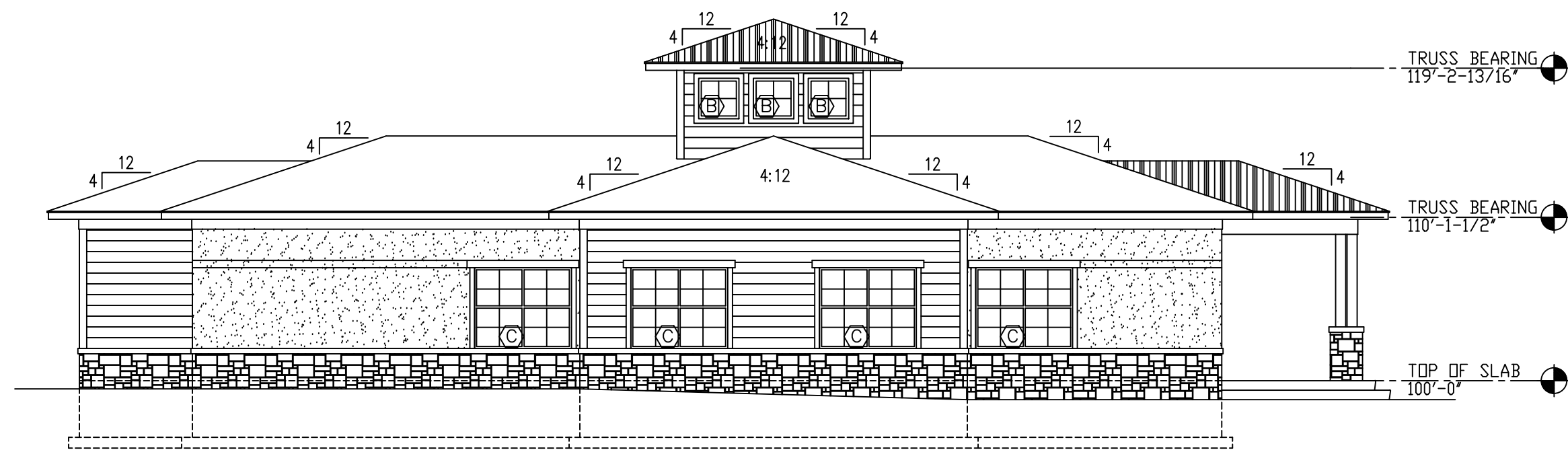
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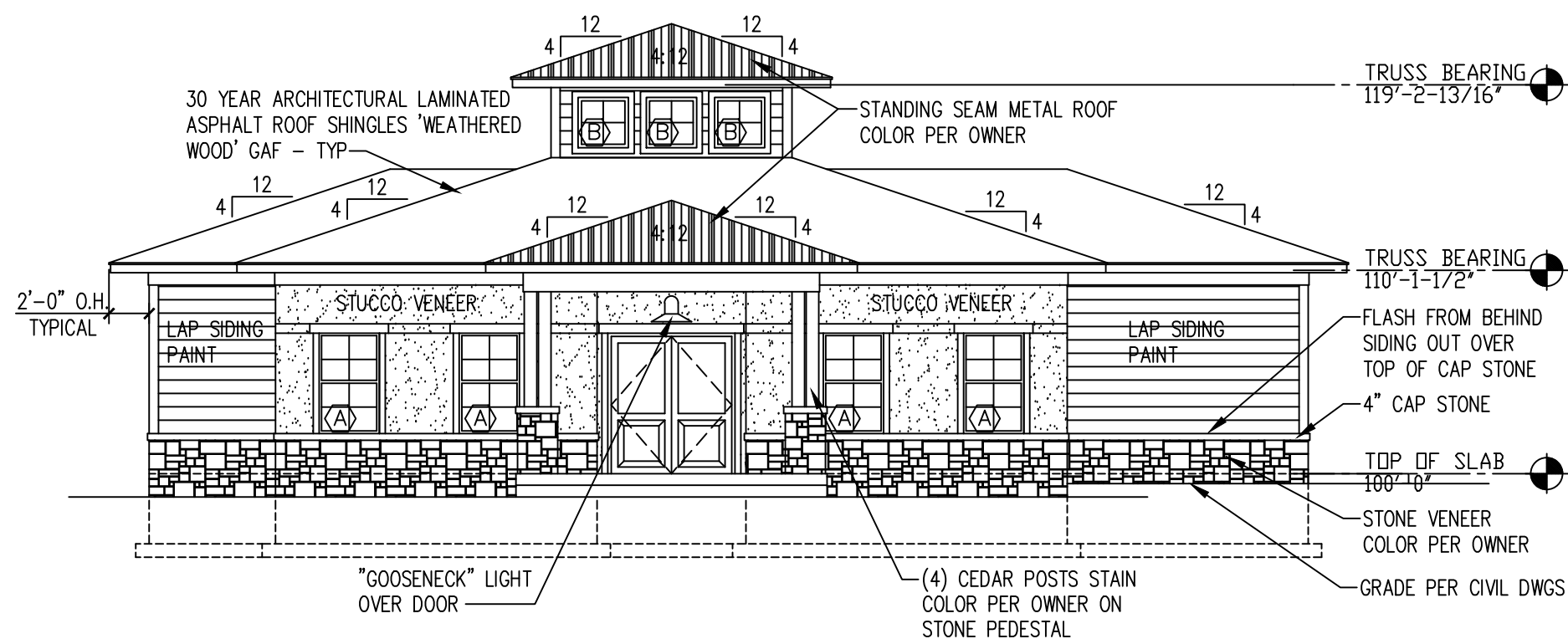
Preliminary - Not for Construction



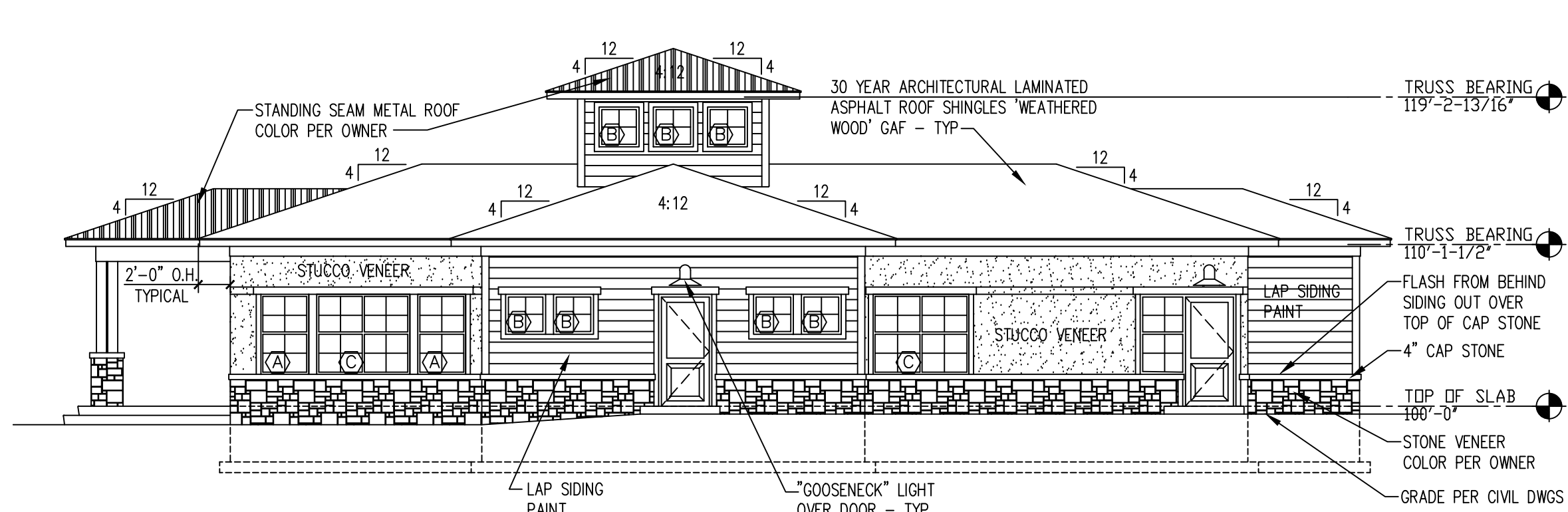
4 BACK ELEVATION  
1/8" = 1'-0"



3 LEFT ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"

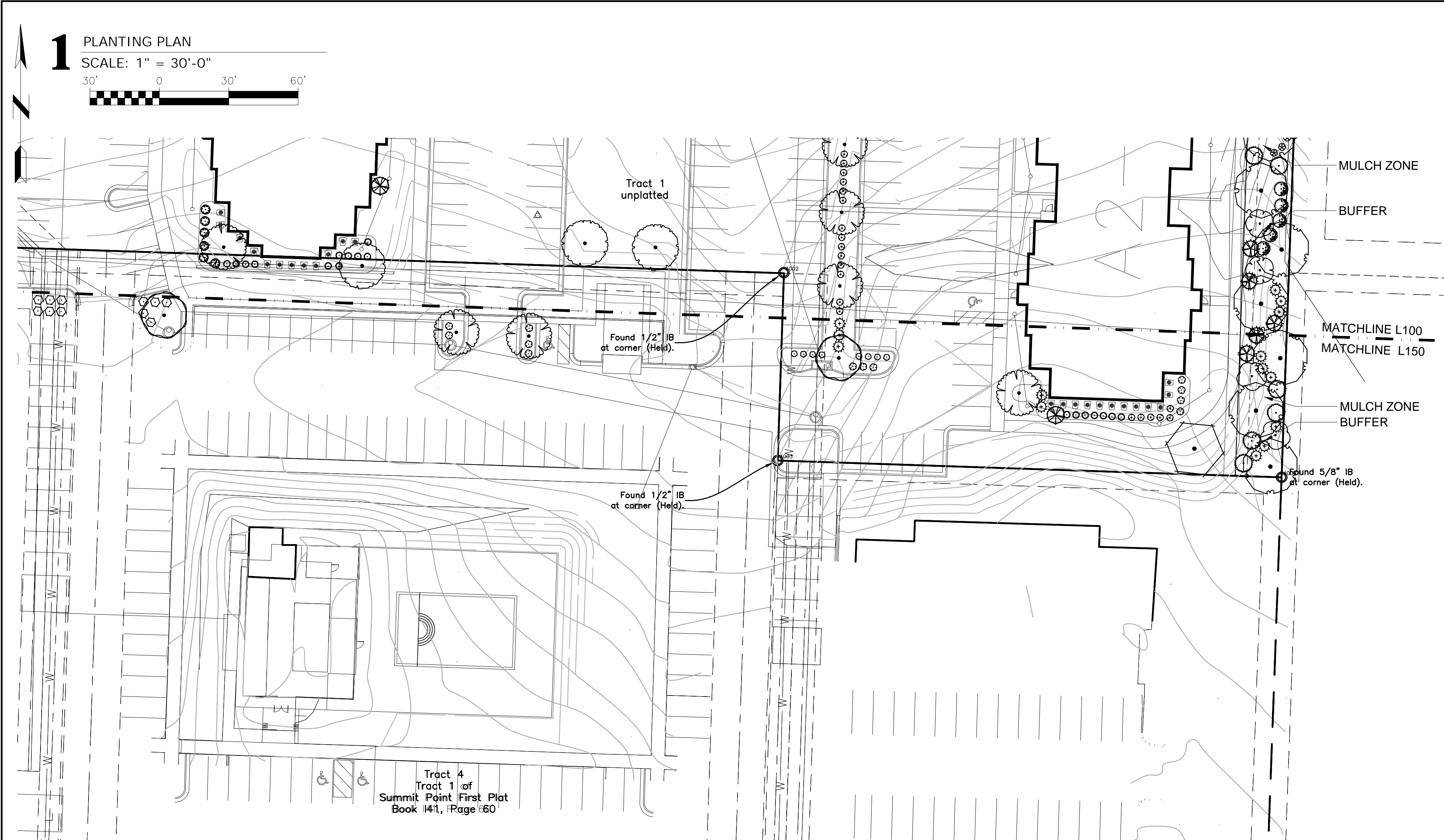


1 RIGHT ELEVATION  
1/8" = 1'-0"









## Landscape Requirements:

### SEC. 8.750. - ACCEPTABLE PLAN MATERIALS

- Medium shrubs, 18- to 24-inch balled and burlapped or two-gallon container
- Large shrubs, 24- to 30-inch balled and burlapped or 5-gallon container.
- Ground cover, two and one-half-inch peat pot.
- Deciduous trees shall be a minimum of three-inch caliper, measured at a point 6 inches above the ground or top of the root ball, at planting.
- Evergreen trees shall be a minimum height of eight feet at planting.

The American Standard for Nursery Stock, published by the American Association for Nurserymen, shall be the standard reference for the determination of plant standards. Publications of the University Extension, University of Missouri System, the Missouri Department of Conservation, and other authorities acceptable to the Director also may be used.

### SEC. 8.790. - LANDSCAPING - MINIMUM REQUIREMENTS

Street frontage - Provide one tree for each 30 feet of street frontage, public or private, within the landscaped setback abutting said street frontage. A minimum 20-foot-wide landscape strip shall be provided along the full length of any street frontage. Provide one shrub for each 20 feet of street frontage. (PROVIDED)

Open yard areas - The minimum open yard area landscaping requirements shall be two shrubs per 5,000 square feet of total lot area, excluding building footprint area. All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope. In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of one tree for every 5,000 square feet of lot area not covered by buildings/structures.

CALCULATION: Lot Area (292,384 SF) - Building (66,259) = 226,125

Trees Required = 46 Trees (56 PROVIDED)

Shrubs Required = 92 Shrubs (248 PROVIDED)

- Sod all disturbed areas not mulched

### SEC. 8.790. - LANDSCAPING - MINIMUM REQUIREMENTS

Trash storage containers - A detailed drawing of enclosure and screening methods to be used in connection with trash storage containers on the property shall be included with the landscaping plan. (See Detail 4 on Sheet L200)

#### Sec. 8.810. - Parking lot landscaping and trees.

- Deciduous shade trees shall be provided within any parking lot designed. - PROVIDED.
- Landscape islands within the parking lot shall be at least five percent of the entire area - PROVIDED.
- Provide a landscaping island at the end of every parking bay no less than 9' wide - PROVIDED.
- All parking lot landscape islands shall be curbed - PROVIDED.

#### Sec. 8.820. - Screening, parking lot.

For any parking lot that is visible from a street right-of-way, a visual screen shall be provided.

Provide screening to a height of 2.5 feet along the edge of the parking lot or loading area closest to and parallel to the street. Planted screen requires at least 12 shrubs per 40 linear feet. Shrubs must be at least 18 inches tall at the time of planting.

#### Sec. 8.880. - Buffer design standards.

- Provide a natural buffer with evergreen, deciduous or perennial vegetation to provide an opaque visual screen during all seasons of the year to a height of 6'
- Plant 3" caliper trees at a density of no less than one tree for each 30 feet of buffer length.
- Provide 20' buffer on side lots and rear lot lines

#### Sec. 8.900. - Required typical impact screens.

REQUIRED - on the East Lot Line, provide a Medium impact screening that provides:

Shade trees 1/500 SF  
Ornamental trees 1/750 SF  
Evergreen trees 1/300 SF  
Shrubs 1/200 SF





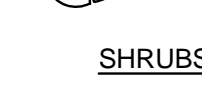







CALCULATION: East Lot line is 500 LF or 10,000 SF. Requires

Shade trees 1/500 SF = 20 Trees (20 PROVIDED)  
Ornamental trees 1/750 SF = 14 Trees (14 PROVIDED)  
Evergreen trees 1/300 SF = 34 Trees (34 PROVIDED)  
Shrubs 1/200 SF = 50 Shrubs (50 PROVIDED)

### (East Buffer Only)

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	ACE STA	Acer miyabei 'State Street' / Miyabei Maple	3" Cal.	B&B	5	6' Tall Min.
	GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	3" Cal.	B&B	6	6' Tall Min.
	QUE BIC	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	5	6' Tall Min.
	QUE CRI	Quercus robur x alba 'Crimson Spire' / Crimson Spire Oak	3" Cal.	B&B	5	6' Tall Min.
CONIFEROUS TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
	JUN CAN	Juniperus virginiana 'Canaertii' / Canaerti Juniper	6" Ht.	B&B	17	
	JUN TAY	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	6" Ht.	B&B	17	
FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	CER OKL	Cercis canadensis 'Oklahoma' / Oklahoma Redbud	2" Cal.	B&B	4	6' Tall Min.
	MAL ROY	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	2" Cal.	B&B	1	6' Tall Min.
	PRU CHA	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	2" Cal.	B&B	5	6' Tall Min.
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	B&B	4	6' Tall Min.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	HYD RUB	Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea	3 gal	Container	1	24" Tall Min.
	JUN SEA	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper	3 gal.	Container	25	24" Tall Min.
	LAG MPE	Lagerstroemia indica '18LI' TM / Black Diamond Purely Purple Crape Myrtle	3 gal	Container	11	24" Tall Min.
	PHY TIN	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal.	Container	14	24" Tall Min.

### (Open Yard and Parking Lot Areas)

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	ACE WAR	Acer platanoides 'Warrenred' TM / Pacific Sunset Maple	B & B	2"Cal	16	6' Tall Min.
	GIN AUT	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2"Cal	7	6' Tall Min.
	QUE BIC	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	9	6' Tall Min.
	QUE CRI	Quercus robur x alba 'Crimson Spire' / Crimson Spire Oak	3" Cal.	B&B	10	6' Tall Min.
FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	MAL JEW	Malus floribunda 'Jewelcole' TM / Red Jewel Crabapple	2" Cal	B&B	8	6' Tall Min.
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	B&B	6	6' Tall Min.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	BUX VEL	Buxus microphylla koreana 'Green Velvet' / Korean Boxwood	5 gal	Container	61	18" Tall Min.
	BUX GRA	Buxus sempervirens 'Graham Blandy' / Graham Blandy English Boxwood	5 gal	Container	33	24" Tall Min.
	FOT GAR	Fothergilla gardenii / Dwarf Fothergilla	3 gal.	Container	27	18" Tall Min.
	HYD RUB	Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea	3 gal	Container	47	24" Tall Min.
	HYP AME	Hypericum kalmianum 'Ames' / Ames St. Johns Wort	2 gal	Container	36	18" Tall Min.
	JUN HUG	Juniperus horizontalis 'Hughes' / Hughes Juniper	2 gal	Container	17	18" Tall Min.
	JUN SEA	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper	3 gal.	Container	8	24" Tall Min.
	LAG END	Lagerstroemia 'PILLAG-V' / Enduring SummerTM Red Crape myrtle	3 gal	Container	26	24" Tall Min.
	NEP WAL	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	5 gal	Container	14	18" Tall Min.
	PHY TIN	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal.	Container	24	24" Tall Min.
	WEI BRA	Weigela florida 'Bramwell' / Fine Wine Weigela	3 gal.	Container	35	24" Tall Min.
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	HEIGHT
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Foerster's Feather Reed Grass	2 gal	Container	41	18" Tall Min.

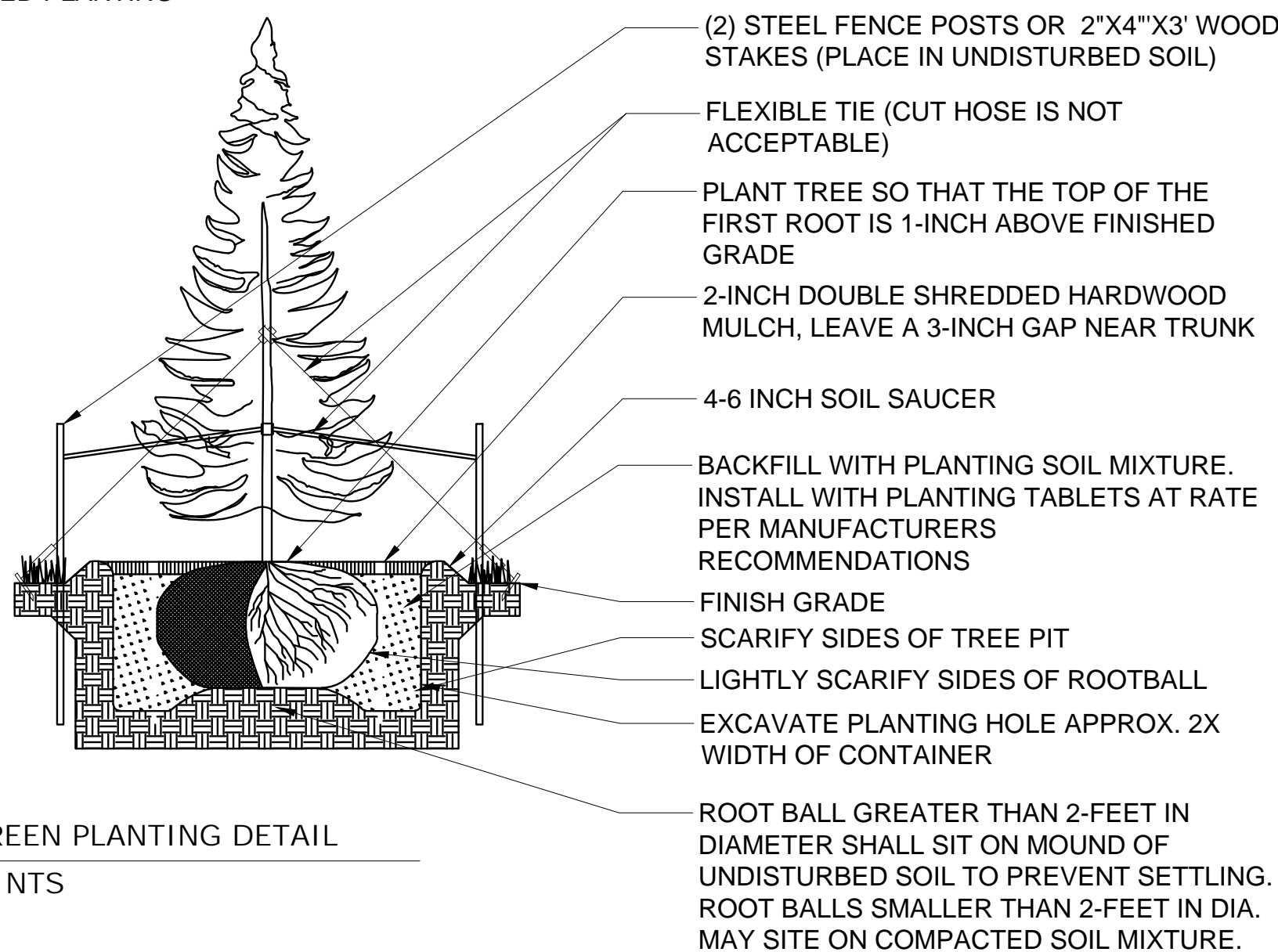


*Landscape Notes:*

1. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE. ANY DAMAGE TO UTILITIES OR OTHER SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR WILL BE REPAIRED AT NO COST TO THE OWNER. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR PROPOSED UTILITY LOCATIONS AND EXTERIOR LIGHTING LOCATIONS.
3. THE CONTRACTOR SHALL KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO WIND AND SUN. DO NOT SHAVE ROOT BALL. ALL WIRE BASKETS SHALL BE CUT AND REMOVED FROM THE ENTIRE TOP AND 2/3 OF SIDES OF ROOT BALLS PRIOR TO INSTALLATION.
4. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL TYPE, SIZE, AND / OR QUANTITY. CONTRACTOR CANNOT SUBSTITUTE PLANT MATERIAL WITHOUT WRITTEN APPROVAL OF THE OWNER.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
6. ALL PLANT MATERIAL MUST CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE (ANLA) ANSI Z60.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
7. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S. ALL SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED FREE OF CHARGE.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN LIVE AND HEALTHY CONDITION FOR ONE FULL YEAR AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH SAME GRADE AND SPECIES.
10. THE LOCATION OF PLANT MATERIAL IS CRITICAL AND SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS. STAKE OR MARK LOCATION OF ALL PLANT MATERIAL AND BED LINE LOCATIONS. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF ALL MATERIAL.
11. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS DETRIMENTAL TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
12. PROVIDE DOUBLE SHREDDED HARDWOOD MULCH IN ALL TREE SAUCERS AND PLANTING BEDS TO A 2-INCH MINIMUM DEPTH. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
13. ALL SOIL SURFACES NOT DESIGNATED FOR PLANTING OF TREES, SHRUBS, AND/OR GROUNDCOVERS PER THIS PLAN ARE TO BE SODDED WITH A TURF-TYPE TALL FESCUE BLEND.
14. SOD ALL DISTURBED AREAS. INSTALL BERMUDA GRASS IN SUNNY AREAS AND A FESCUE BLEND SOD IN SHADY AREAS.
15. THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING

AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.

16. THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
17. FINAL GRADE OF PLANTER SOIL SURFACES ARE TO BE 2 INCHES BELOW ADJACENT CURBING, WALKS, PAVEMENTS AND TURF AREAS TO ACCOMMODATE A TOP DRESSING OF MULCH AND 1-INCH FOR SOD AREAS.
18. REMOVE AND DISPOSE OF ALL PLANT MATERIAL ON PROJECT AREA INCLUDING BUT NOT LIMITED TO: TURF, SHRUBS, AND GROUND COVER.
19. DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
20. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE THE OWNER WITH HORTICULTURAL INFORMATION AS A GUIDE TO THE MAINTENANCE OF ALL PLANTS IN THIS PLAN FOR OPTIMUM GROWTH AND VIGOR.
21. THE TERMS AND CONDITIONS OF A WARRANTY PERIOD GUARANTEEING THE SURVIVAL OF THE PLANTS OF THIS PLAN SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR AND AGREED TO BY THE OWNER. THE OWNER SHALL PROVIDE FOR THE MAINTENANCE OF PLANTINGS PER THIS PLAN COMMENCING WITH THE END OF THE WARRANTY PERIOD.
22. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS OF GROWTH THAT HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT PLANTING SEASON.
23. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING HIS SCOPE OF WORK UNTIL FINAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, WATERING, MULCHING, SPRAYING, WEEDING, AND FERTILIZING PLANTING AND TURF AREAS.
24. PLANTING SCHEDULE:  
TREE PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 31  
SHRUB PLANTING: APRIL 15 - JUNE 15 OR AUGUST 15 - OCTOBER 15  
SOD/SEED PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 1
25. METAL EDGER - STEEL EDGING, SIZE: 3/16-INCH WIDE BY 4-INCH DEEP, 15-INCH LONG STAKES, FINISH: GREEN POWDERCOATED, ACCEPTABLE MANUFACTURERS INCLUDE: BORDER CONCEPTS, RUSSEL, J.D. COMPANY (THE), OR SURE-LOC EDGING CORPORATION.
26. SEE TREE PLANTING DETAILS FOR TREE MYCORRHIZAL FUNGI/SOIL CONDITIONER APPLICATION REQUIREMENTS.
27. ALL PLANTING METHODS SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS.

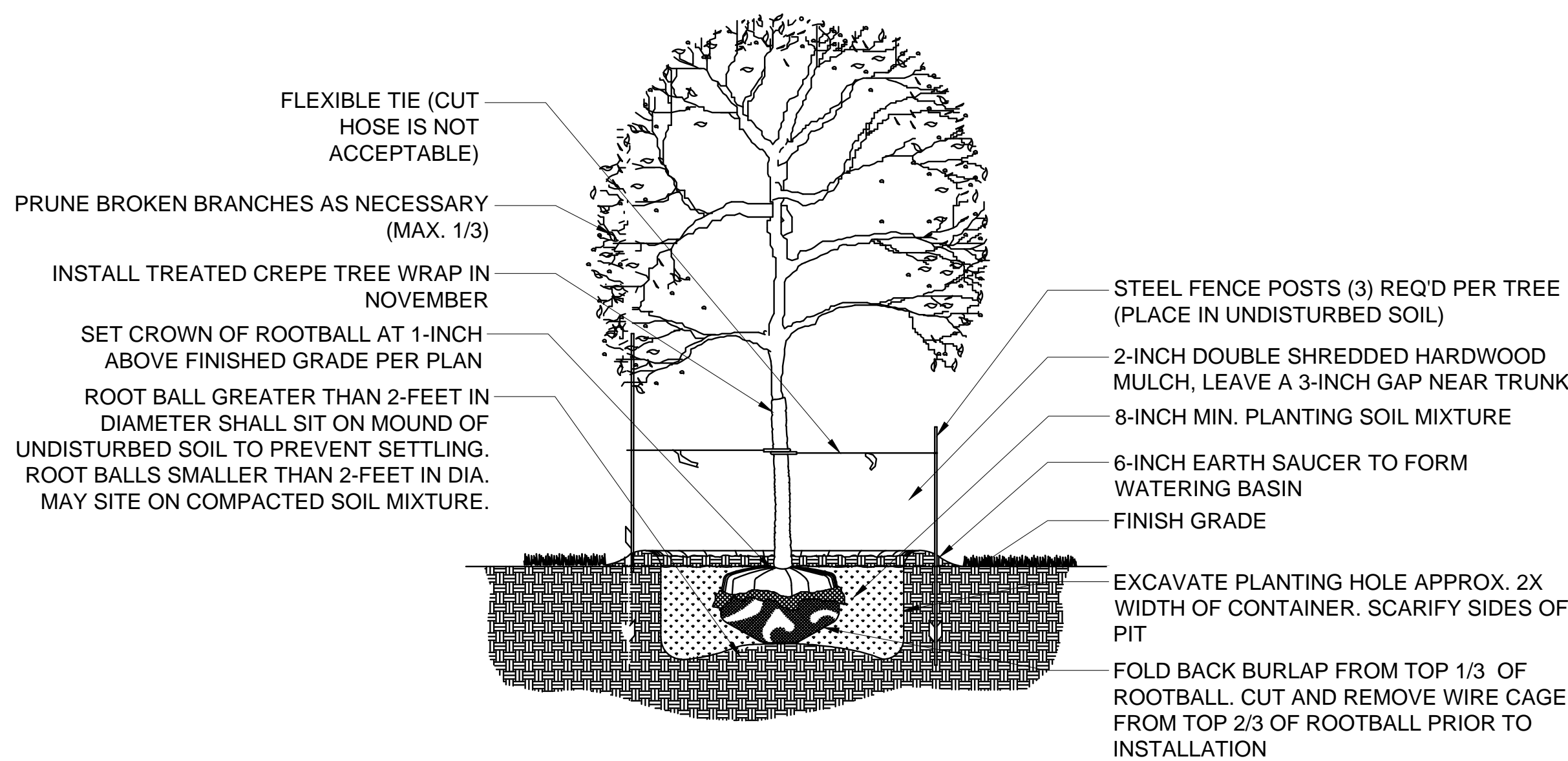


## 2 EVERGREEN PLANTING DETAIL

SCALE: NTS

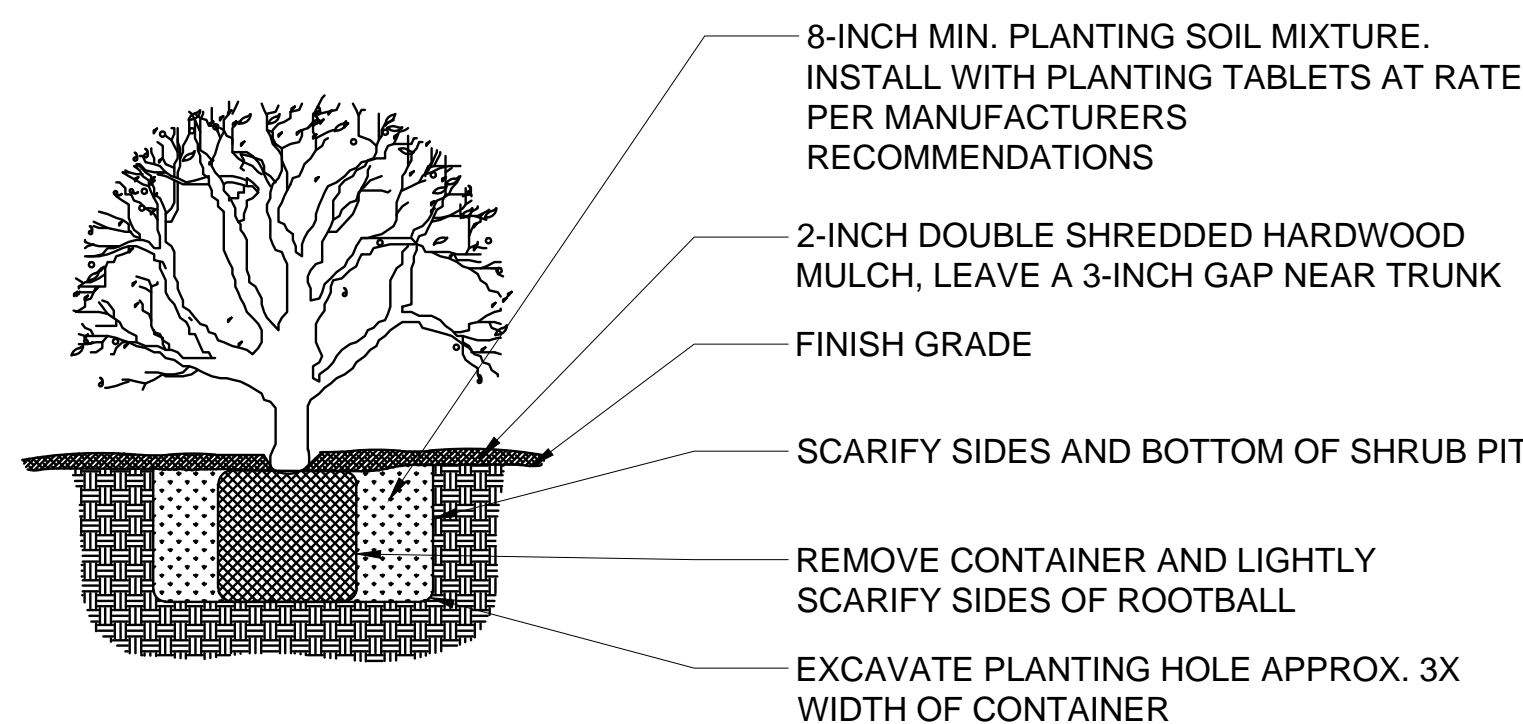
*Tree Planting Notes:*

1. EXCAVATE A PIT WHICH IS AT LEAST TWICE THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOT BALL, NOT THE TRUCK. BE SURE THE ROOT BALL RESTS ON SOLID GROUND.
2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING. CRACKED OR OTHERWISE DAMAGED ROOT BALLS SHALL BE REJECTED.
3. BACKFILL WITH PLANTING SOIL
4. INSTALL MYCORRHIZAL FUNGI/SOIL CONDITIONER AT EVERY TREE. INSTALL ONE 3 OUNCE PACKET PER CALIPER OF TREE. ACCEPTABLE MANUFACTURERS INCLUDE BEBANON SEABOARD CORPORATION, PHC TREE SAVER OR GROW-POWER, INC GROWLIFE.
5. SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
6. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
7. REMOVE EXCESS DEBRIS FROM AROUND ROOT COLLAR/FLARE IS LEVEL OR SLIGHTLY ABOVE (1" MAX) ADJACENT UPHILL GRADE.
8. COVER SMOOTHED SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUCK. KEEP MULCH WEEDED. REPLACE AS NEEDED.
9. PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
10. CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.
11. WATER THOROUGHLY FOLLOWING PLANTING.



## 1 TREE PLANTING DETAIL

SCALE: NTS



### 3 SHRUB PLANTING DETAIL

SCALE: NTS

### Planting Bed Installation Notes:

1. ALL PLANTATION BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1000 SQUARE FEET. FILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2000 SQ. FT.
2. AFTER PLANTING HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH OR ROCK APPLICATION.
3. PLANT PIT BACKFILL FOR SHRUBS SHALL BE 25% COTTON BOLL COMPOST AND 25% TOP SOIL AND 50% EXISTING SOIL. TOP SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREAS. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY NOT BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
4. PLANTING TABLETS: INSTALL MANUFACTURER GRO-POWER, INC. PRODUCT: GROPOWER TABLETS, SIZE: 7-GRAM TABLETS, RATE: 1 TABLETS PER 1-GALLON CONTAINER AND 4 TABLETS PER 3-GALLON CONTAINER AND 7 TABLETS PER 5-GALLON CONTAINER.
5. PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FOLLOWING CURVES. SUDDEN CURVES OR SHARP ANGLE SHOULD BE AVOIDED.