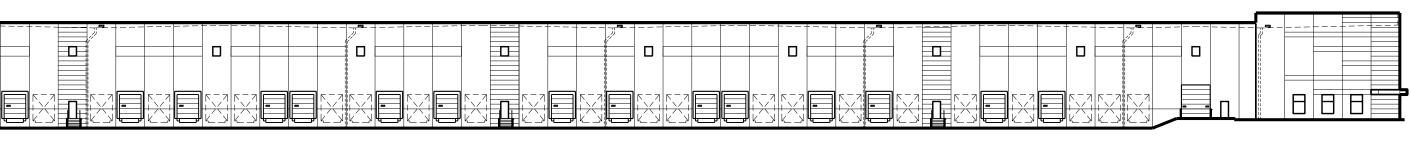


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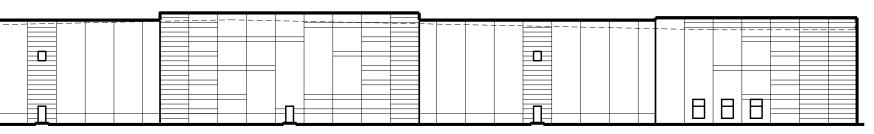
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OVERALL NORTH ELEVATION 2



OVERALL WEST ELEVATION 3

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CERTIFICATION



02.08.22

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PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS BUILDING A LOT I

> NW CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

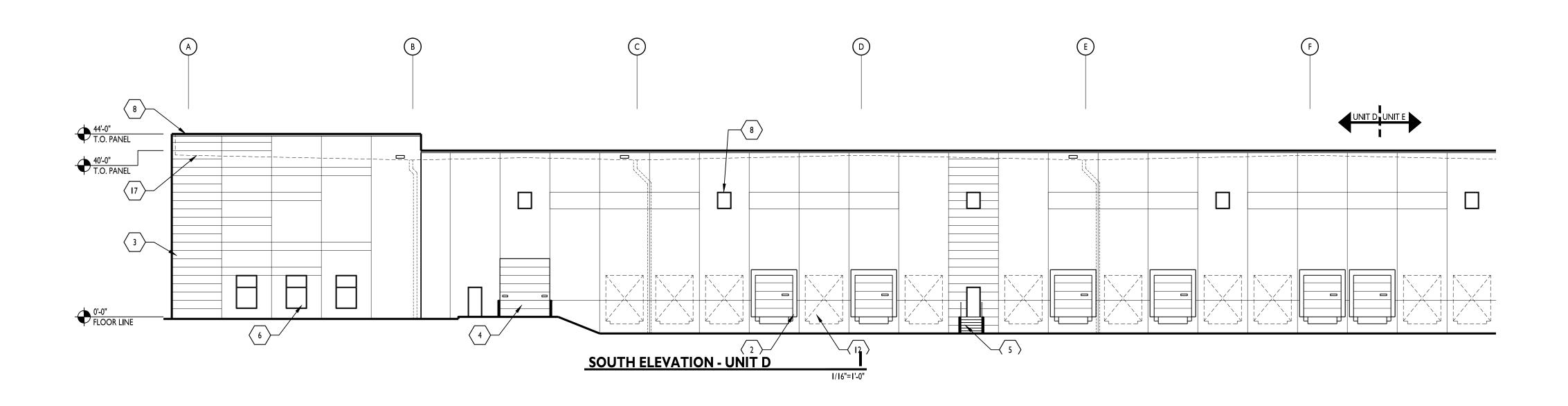
ISSUE DATES

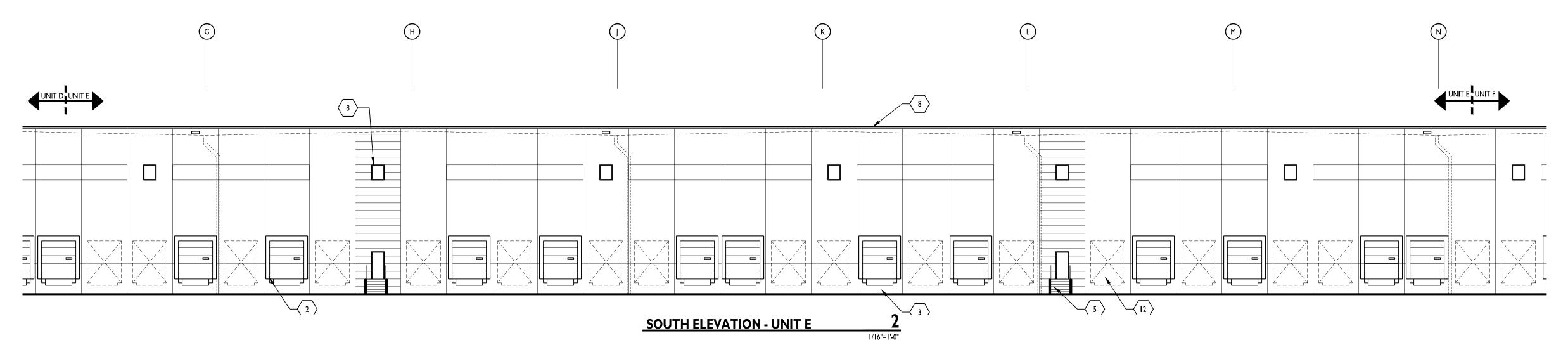
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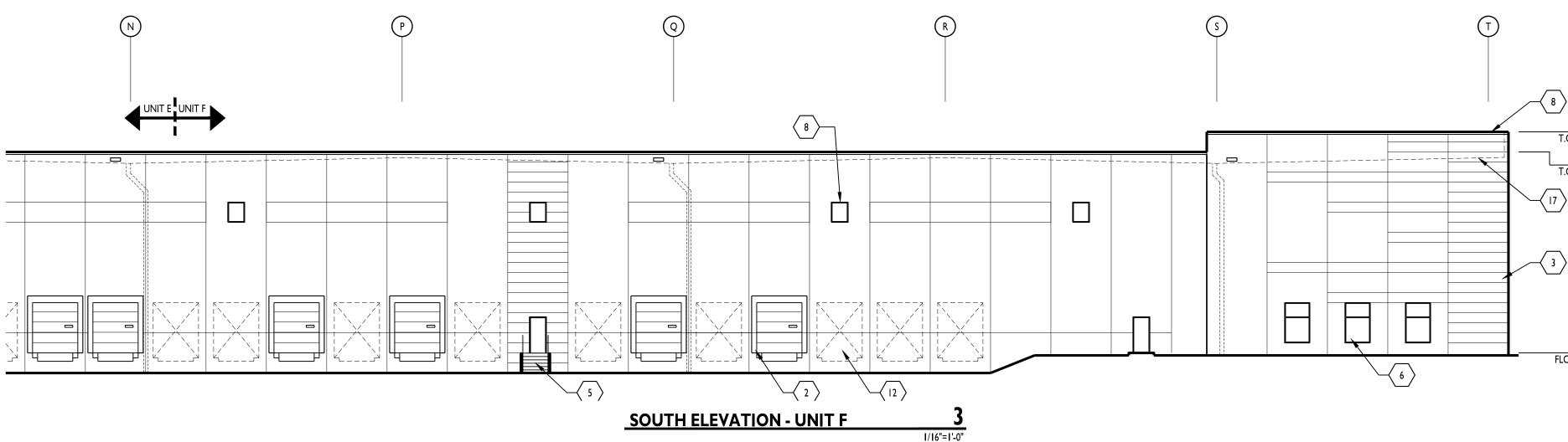




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GENERAL PRECAST PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS, TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
- B. PRECASTER TO VERIFY AND CONFIRM TO GENERAL CONTRACTOR THAT ALL BOND BREAKERS HAVE BEEN REMOVED FROM THE FACE OF THE CONCRETE VIA PRESSURE WASHING OR SAND BLASTING. PROCESS IS DEPENDENT ON THE TYPE OF BOND BREAKER USED. PRECASTER TO SUPPLY A LETTER CONFIRMING THAT BOND BREAKER IS REMOVED.
- C. PRIOR TO PAINTING, VERIFY THAT PRECAST CONCRETE MOISTURE LEVEL IS 15% OR LOWER.
- D. ALL ACRYLIC PAINTS TO BE 100% ACRYLIC SHERWIN WILLIAMNS A-100, SUPER PAINT OR EQUAL.
- E. ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLEX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS RO 30 + MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
- F. BASE LINE SPECIFICATION FOR THIS PROJECT: PRIMER COAT: LOXON SEALER A24W8300 FIRST COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES SECOND COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES

KEYED NOTES

- I. INSULATED STEEL DOOR. SEE DOOR SCHEDULE. VERIFY PAINT COLOR WITH OWNER.
- 2. TYPICAL DOCK DOOR AND EQUIPMENT. SEE DOOR SCHEDULE
- 3. INSULATED TILT WALL CONCRETE PANEL W/ PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR
- ADDITIONAL DETAIL.4. TYPICAL OVERHEAD DRIVE IN DOOR. SEE DOOR SCHEDULE.
- 5. DOCK STAIR AND BOLLARDS.
- 6. ANODIZED ALUMINUM STOREFRONT. LOW-E GLASS.
- TYPICAL ANODIZED ALUMINUM STOREFRONT DOOR. GLASS AND ALUMINUM COLOR TO MATCH STOREFRONT. SEE DOOR SCHEDULE.
- 8. PRE-FINISHED COPING/ROOF EDGE. SEE ROOF PLAN.
- 9. ANODIZED ALUMINUM STOREFRONT CLERESTORY. LOW-E GLASS. SEE DOOR SCHEDULE. CENTERED IN PANEL.
- 10. GRADE LEVEL., SEE CIVIL PLANS FOR MORE INFORMATION.
- II. MANUFACTURED PAN & GUTTER AWNING EQUAL TO MAPES LUMIDECK OR EQUAL. COORDINATE SCUPPER/DRAIN LOCATIONS IN THE FIELD WITH FINAL LANDSCAPE PLAN.
- 12. KNOCK OUT PANEL IN TILT WALL, CENTERED IN PANEL. SIZED FOR 9'-0" × 10'0-" W/ REVEALS. PROVIDE REVEAL ALONG KNOCKOUT. 6" SOLID SECTION OF PANEL CENTERED ON REVEAL.
- 13. FUTURE STOREFRONT OPENING LOCATIONS. SAME AS SFI. INSET PANEL TO ROUGH OPENING DIMENSIONS AND PROVIDE 6" SOLID SECTION OF PANEL CENTERED ON REVEAL.
- 14. REVEALS @ CAST IN PANEL. SEE WALL SECTIONS FOR DETAIL & HEIGHTS.
- 15. WALL MOUNTED WALL PACK LIGHT FIXTURE MOUNTED AT 29'-8" AFF TO CENTER OF FIXTURE. SEE ELECTRICAL PLANS AND SITE LIGHTING PHOTOMETRIC PLANS FOR FURTHER INFORMATION. CENTER ON PANEL.
- 16. TYPICAL PAINTED STEEL BOLLARDS.
- 17. DASHED LINE INDICATES SLOPE OF ROOF LINE BEYOND. SEE ROOF PLAN FOR MORE INFORMATION.
- 18. ROOF MEMBRANE AT BACK OF PARAPET OF WALL. SEE WALL SECTIONS.
- 19. 24" WIDE x 8" TALL OVERFLOW SCUPPER OPENING IN WALL. BOTTOM TO BE AT 34'-0" AFF WITH CENTER OF OPENING 48" AWAY FROM COLUMN LINE AS SHOWN. COORDINATE WITH FINAL ROOF FRAMING ELEVATIONS.



CURRAN ARCHITECTURE 5719 LAWTON LOOP E. DR. #212 INDIANAPOLIS, IN 46216

O :: 317.288.0681 F :: 317.288.0753



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> NW CORNER OF NE TUDOR RD & MAIN ST LEE'S SUMMIT, MO 64086

> > **ISSUE DATES**

ISSUE

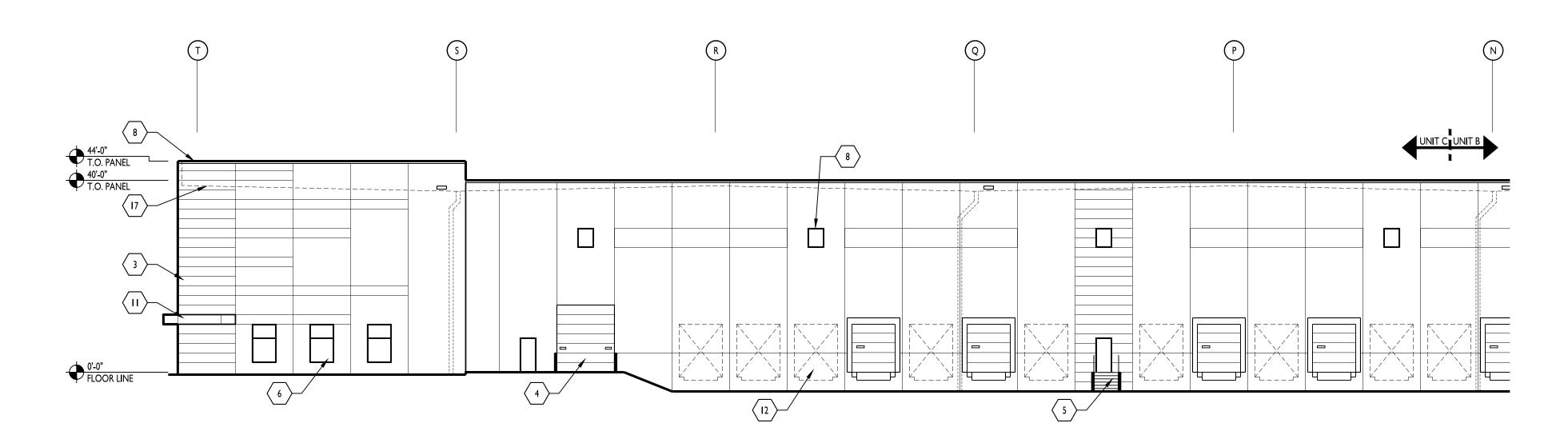
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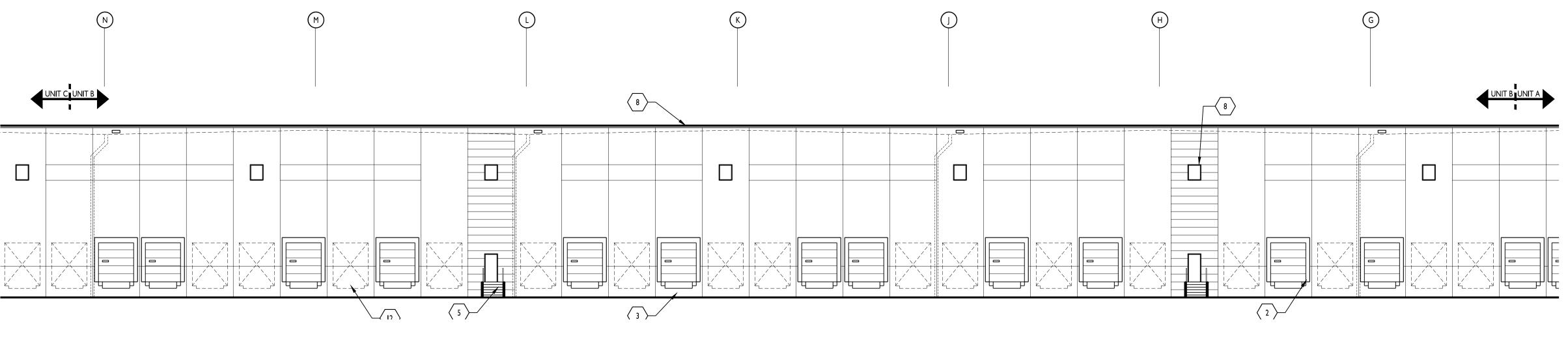
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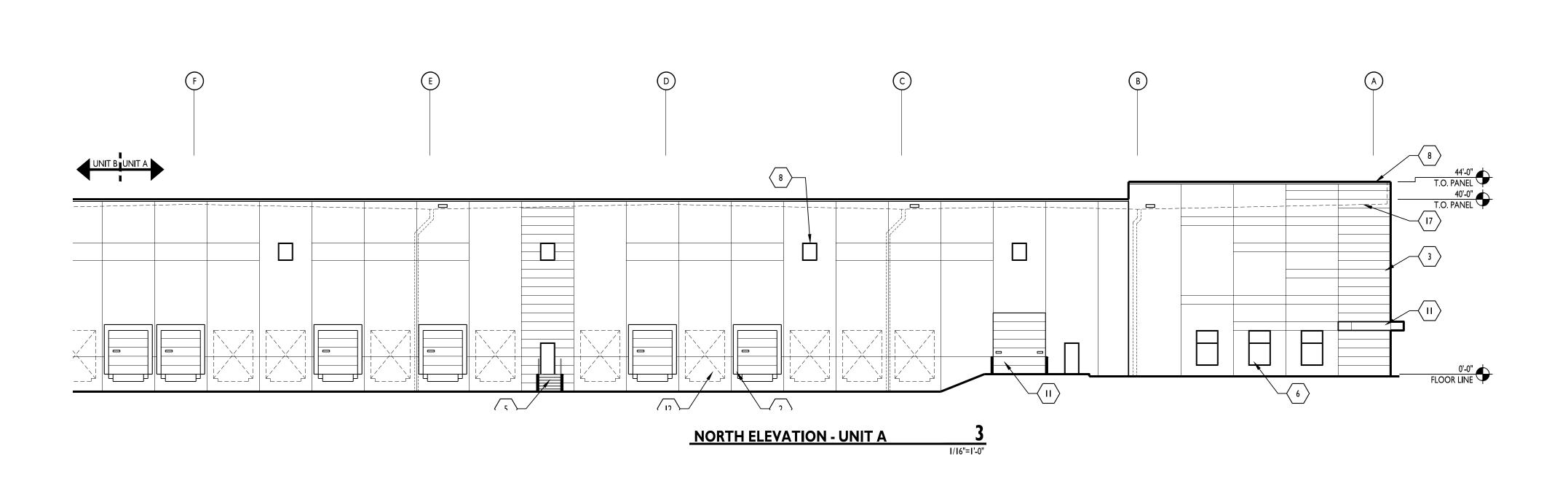
210300 EXTERIOR ELEVATIONS





1/16"=1'-0"





NORTH ELEVATION - UNIT B



GENERAL PRECAST PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS, TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
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F.	BASE LINE SPECIFIC	CATION FOR THIS PROJECT:
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	FIRST COAT:	A-100 EXTERIOR LATEX FLAT A6 SERIES
	SECOND COAT:	A-100 EXTERIOR LATEX FLAT A6 SERIES

KEYED NOTES

- I. INSULATED STEEL DOOR. SEE DOOR SCHEDULE. VERIFY PAINT COLOR WITH OWNER.
- 2. TYPICAL DOCK DOOR AND EQUIPMENT. SEE DOOR SCHEDULE
- 3. INSULATED TILT WALL CONCRETE PANEL W/ PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR
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F :: 317.288.0753

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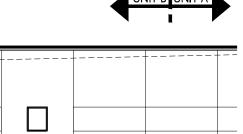
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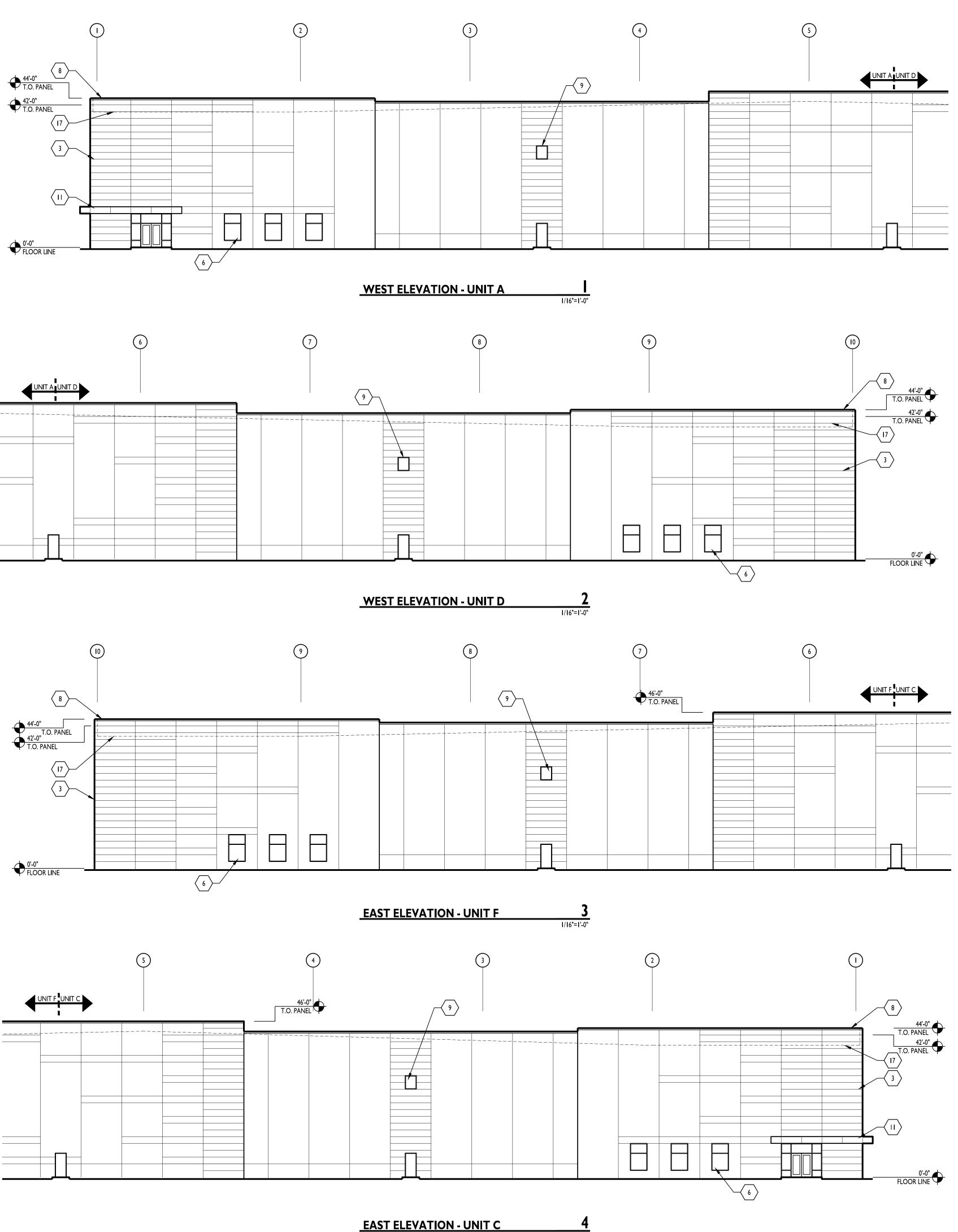
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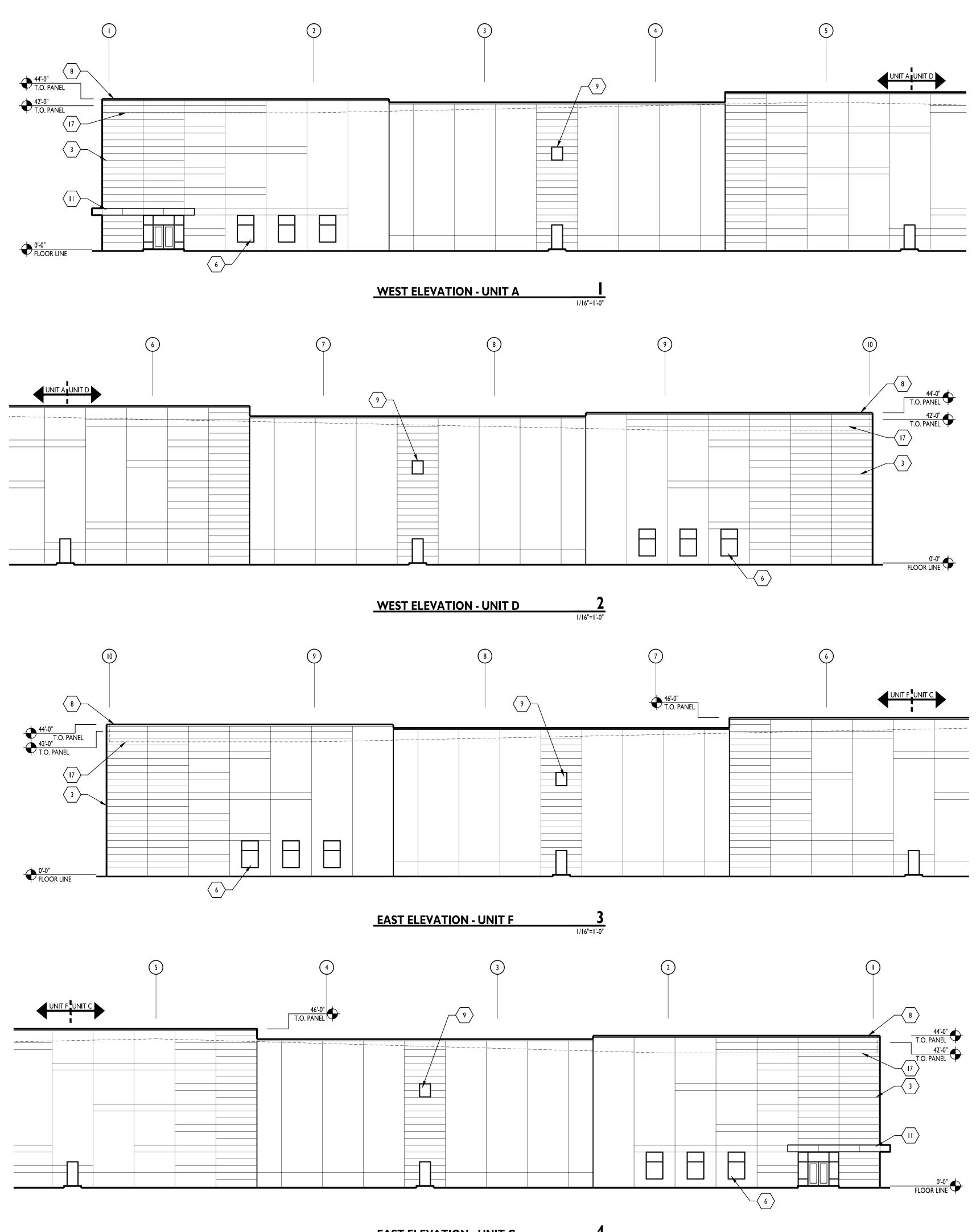
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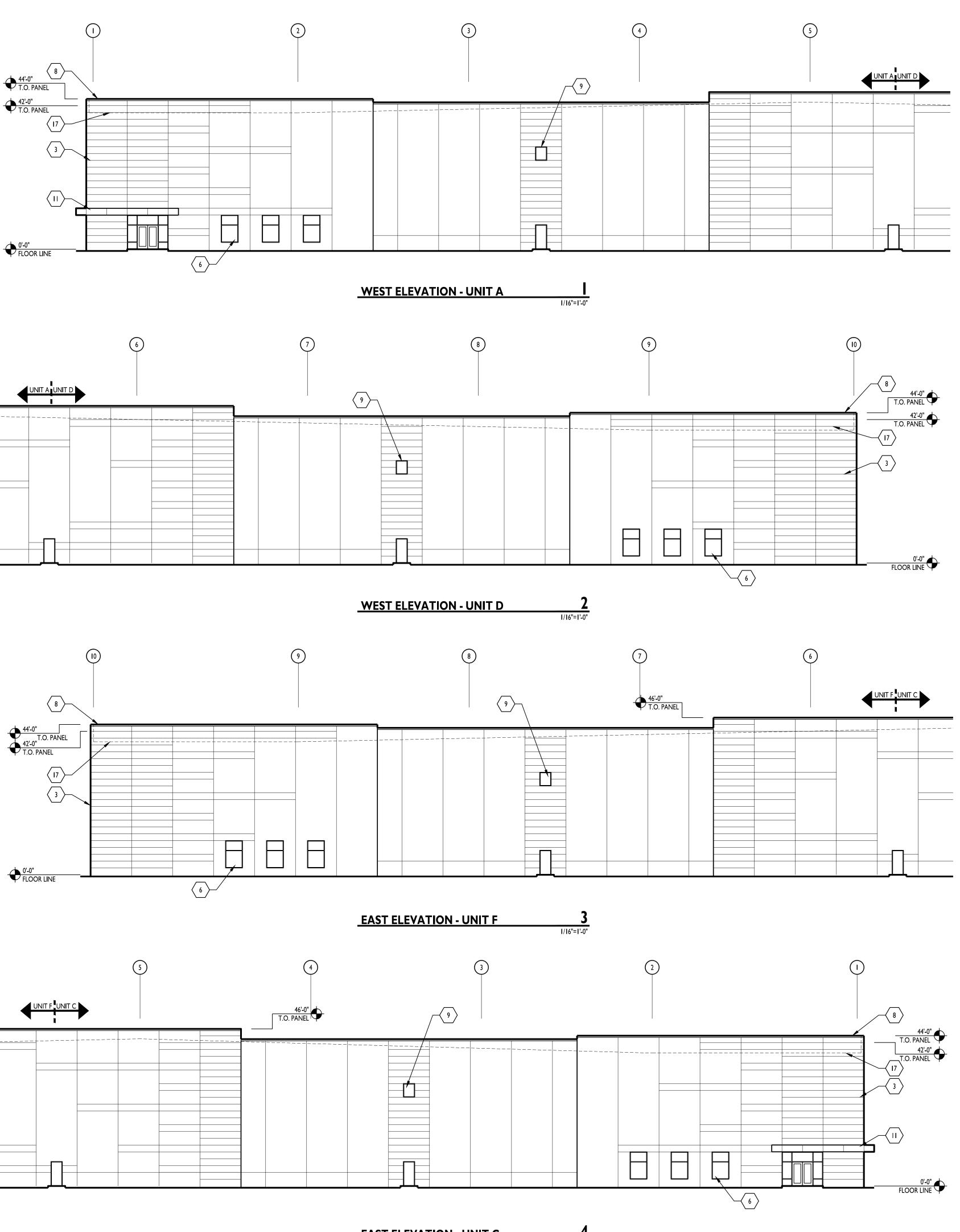
210300 EXTERIOR ELEVATIONS



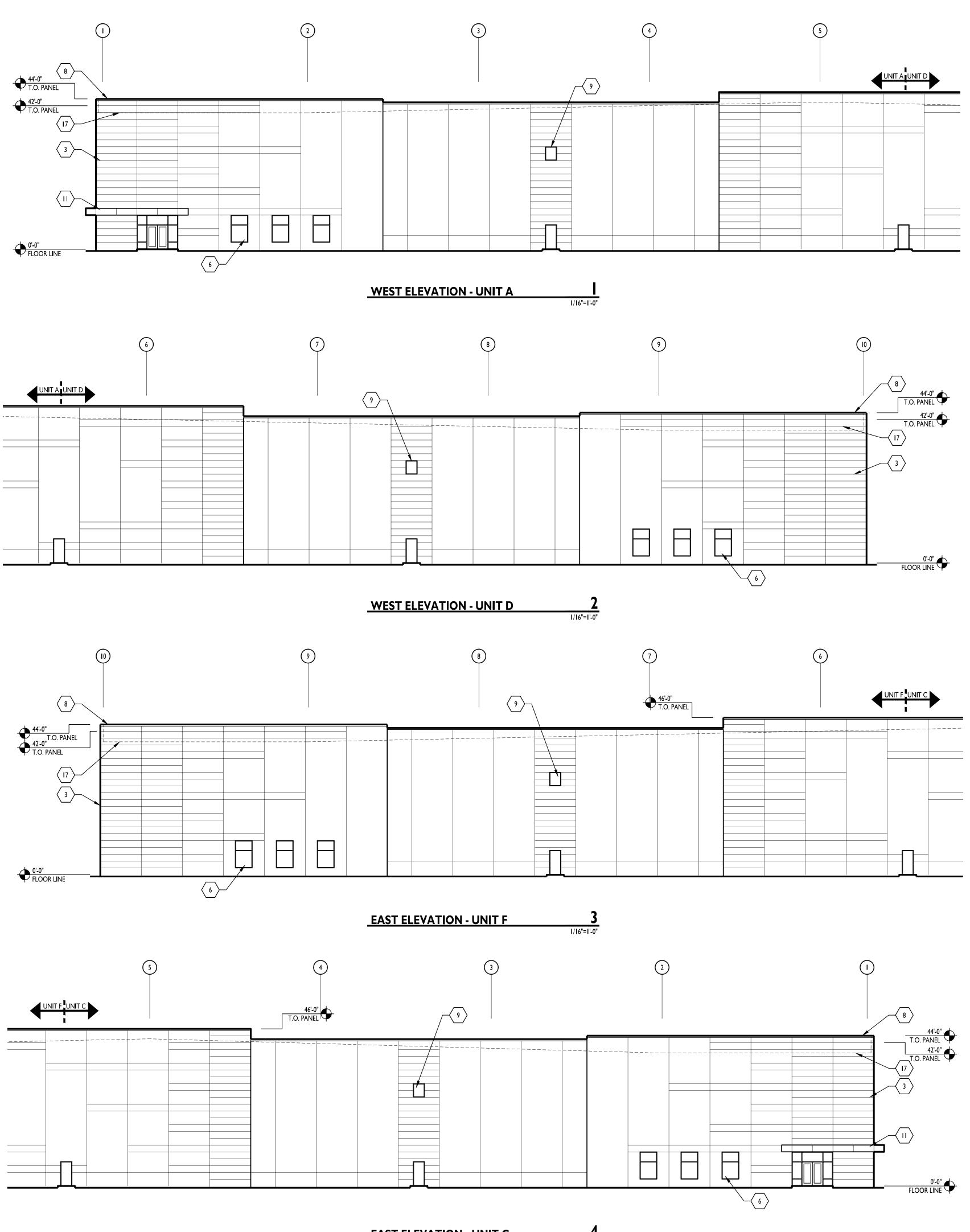








1/16"=1'-0"

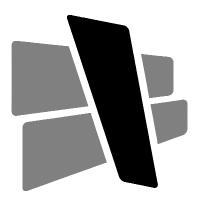


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