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FEE: \$30.00

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INSTRUMENT NUMBER / BOOK & PAGE

2022E0005322

Book: Page:
Diana Smith, Recorder of Deeds

RIGHT OF WAY DEED (Limited Liability Company)

THIS AGREEMENT, made this 30th day of December, 2021, by Douglas Station, LLC, **Grantor**, a Limited Liability Company organized and existing under the laws of the State of Missouri, and the City of Lee's Summit, Missouri, a Municipal Corporation with a mailing address of 220 S.E. Green, Jackson County, Lee's Summit, Missouri 64063, **Grantee**.

WITNESSETH, that the **Grantor**, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration to it paid by the **Grantee**, the receipt and sufficiency of which is hereby acknowledged, does by these presents grant, bargain, sell, convey, and confirm unto said **Grantee**, its successors and assigns, a Right of Way easement for the construction, improvement, reconstruction and maintenance of a right of way for public use as a street, roadway or thoroughfare, including but not limited to, the use of conduits, water, gas, sewer pipes, poles, wires, surface drainage facilities, ducts, cables on, over, along, across, and under the following described lots, tracts, or parcels of land lying, being and situated in the County of Jackson, and the State of Missouri, to-wit:

See Attached Exhibit "A" for Legal

GRANTOR further states that it is lawfully seized of title to the land through which said easement is granted and that it has good and lawful right to convey said easement to the **Grantee** herein.

GRANTOR, to the fullest extent allowed by law, including, without limitation, section 527.188, RSMo. (2006), hereby waives any right to request vacation of the easement herein granted.

THIS GRANT and easement shall, at all times be deemed to be and shall be, a continuing covenant running with the land and shall be binding upon the successors and assigns of the **Grantor**.

TO HAVE AND TO HOLD THE SAME, together with all appurtenances and immunities thereunto belonging or in any way appertaining, unto the City of Lee's Summit, Missouri, a Municipal Corporation, and to its successors and assigns forever.

IN WITNESS WHEREOF, **Grantor**, has caused these presents to be signed by its Executive Member and attested by its Secretary, this 30th day of December, 2021:

Douglas Station, LLC

By: 

Signature

Michael Atcheson, Executive Member

[Printed name and title]

ATTEST:


Secretary

Pegge Zeller

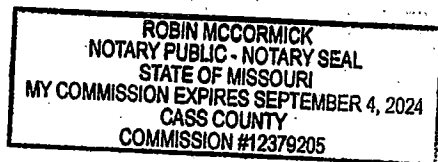
Printed Name

ACKNOWLEDGMENT

STATE OF MISSOURI

COUNTY OF JACKSON

On this 30 day of December in the year 2021 before me, a Notary Public in and for said state, personally appeared Michael D. Atcheson (name of manager or member) of Douglas Station LLC (Name of LLC), known to me to be the person who executed the within Right of Way easement in behalf of said limited liability company and acknowledged to me that he or she executed the same for the purposes therein stated and further stated that said acknowledged said instrument to be the free act and deed of Douglas Station, LLC (Name of LLC).




Notary Public Signature

EXHIBIT "A"
(Page 1 of 3)

File No. 021-04157
Douglas Station, LLC
December 21, 2021
V_EXH4_2104157

Right-of-Way #1 (ROW #1) Description:

All that part of Tract "A", Douglas Station Commercial Park Lots 1 through 10 & Tract "A", a subdivision in the City of Lee's Summit, Jackson County, Missouri, as described by Patrick Ethan Ward, MO PLS-20050071, of Olsson MOLC-366, on December 21, 2021, and being more particularly described as follows:

COMMENCING at the Northwest corner of said Tract "A"; thence South 01 degree 53 minutes 07 seconds West, on the West line of said Tract "A", a distance of 276.69 feet, to a point on a non-tangent curve, said point also being the POINT OF BEGINNING of the ROW #1 Description; thence Easterly and Northeasterly, departing the West line of said Tract "A", and along a curve to the left, whose initial tangent bearing is North 66 degrees 13 minutes 28 seconds East, having a radius of 320.00 feet, and through a central angle of 15 degrees 38 minutes 21 seconds, an arc length of 87.35 feet, to a point of tangency; thence North 50 degrees 35 minutes 07 seconds East, a distance of 54.91 feet, to a point on the Northwesterly Right-of-Way line of NW Sloan Street, as established with said Douglas Station Commercial Park Lots 1 through 10 & Tract "A", said point also being on a non-tangent curve; thence Southwesterly and Southerly, on the Northwesterly Right-of-Way line of said NW Sloan Street, and along a curve to the left, whose initial tangent bearing is South 50 degrees 35 minutes 07 seconds West, having a radius of 335.00 feet, and through a central angle of 48 degrees 41 minutes 37 seconds, an arc length of 284.70 feet, to the Southernmost corner of said Tract "A"; thence North 01 degree 53 minutes 30 seconds East, departing the Northwesterly Right-of-Way line of said NW Sloan Street, a distance of 167.36 feet, to the POINT OF BEGINNING of said ROW #1, containing 3,494 square feet or 0.0802 acres, more or less.

AND ALSO:

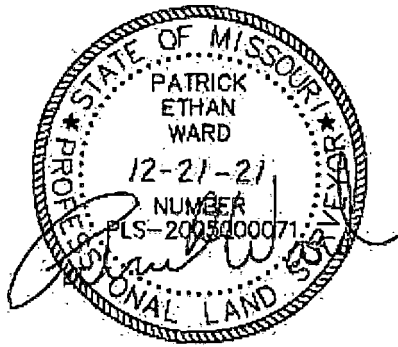
Right-of-Way #2 (ROW #2) Description:

All that part of Lot 10, Douglas Station Commercial Park Lots 1 through 10 & Tract "A", a subdivision in the City of Lee's Summit, Jackson County, Missouri, as described by Patrick Ethan Ward, MO PLS-20050071, of Olsson MOLC-366, on December 21, 2021, and being more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 10, said point also being on the East Right-of-Way line of NW Sloan Street, as established with said Douglas Station Commercial Park Lots 1 through 10 & Tract "A"; thence North 01 degree 53 minutes 30 seconds East, on the East Right-of-Way line of said SW Sloan Street, a distance of 146.60 feet, to a point on a non-tangent curve; thence Southerly, departing the East Right-of-Way line of said SW Sloan Street, and along a curve to the right, whose initial tangent bearing is South 04 degrees 51 minutes 28 seconds East, having a radius of 544.00 feet, and through a central angle of 06 degrees 26 minutes 34 seconds, an arc length of 61.17 feet, to a point of tangency; thence South 01 degree 35 minutes 06 seconds West, a distance of

EXHIBIT "A"
(Page 2 of 3)

85.59 feet, to a point on the South line of said Lot 10; thence North 87 degrees 53 minutes 08 seconds West, on the South line of said Lot 10, a distance of 4.22 feet, to the POINT OF BEGINNING of said ROW #2, containing 491 square feet or 0.0113 acres, more or less.



Olsson, Inc.
7301 West 133rd Street
Suite 200
Overland Park, Kansas 66213
(913) 381-1170

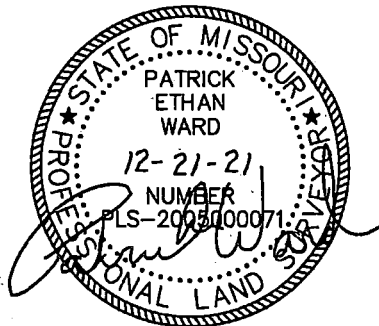


Exhibit "B"

Lot 9

Douglas Station Commercial Park
Lots 1 Through 10 & Tract "A"

POINT OF COMMENCING
(ROW #1)
NW Corner of Tract "A"

Tract "A"

Owner:
Douglas Station, LLC

NW Sloan Street
Public R/W (Width Varies)

Douglas Station
Commercial Park
Lots 1 Through 10
& Tract "A"

Lot 10

Owner:
Douglas Station, LLC

L=61.17' R=544.00'
Δ=6°26'34" ITB=S04°51'28"E

S1°35'06"W 85.59'

Lot 1A

Lee's Summit Police
and Court Facility

S01°53'30"W 276.69'

N50°35'07"E 54.91'

L=87.35' R=320.00'
Δ=15°38'21" ITB=N66°13'28"E

POINT OF BEGINNING
(ROW #1)

N1°53'30"E 167.36'

L=284.70' R=335.00'
Δ=48°41'37" ITB=S50°35'07"W

0' 50' 100'
SCALE IN FEET

Southernmost Corner
of Tract "A"

N1°53'30"E 146.60'

SW Corner of the NE 1/4,
Sec. 31-T48N-R31W

POINT OF BEGINNING
(ROW #2)
SW Corner of Lot 10

N87°53'08"W 4.22'

ROW #1: ±3,494 sq. ft. or 0.0802 acres
ROW #2: ±491 sq. ft. or 0.0113 acres

PROJECT NO: 021-04157

DRAWN BY: TLF

DATE: 12/21/2021

Right-of-Way
Exhibit

olsson

7301 West 133rd Street
Suite 200
Overland Park, KS 66213-4750
TEL 913.381.1170

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