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# FINAL DEVELOPMENT PLAN

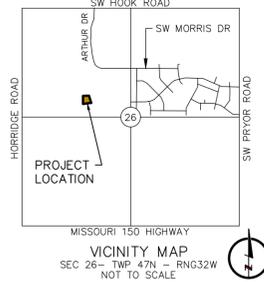
## TRACT D, SUMMIT VIEW FARMS 4TH PLAT

### 3132 SW SUMMIT VIEW TRL

### NEIGHBORHOOD SWIMMING POOL

**LAMP RYNEARSON**

LAMPRYNEARSON.COM  
 OMAHA, NEBRASKA  
 14710 W. DODGE RD., STE. 100 (402)466.2498  
 FORT COLLINS, COLORADO  
 4715 INNOVATION DR., STE. 100 (970)226.0342  
 KANSAS CITY, MISSOURI  
 9001 STATE LINE RD., STE. 200 (816)361.0440



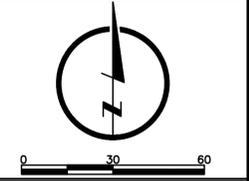
**LEGEND:**

DRIVEWAY CONCRETE PAVEMENT	
SIDEWALK CONCRETE PAVEMENT	
ASPHALTIC CONCRETE PAVEMENT	

RELEASED FOR CONSTRUCTION

As Noted on Plans Review

Development Services Department  
Lee's Summit, Missouri  
01/10/2022



MARK DANIEL MCGHEE, JR.  
 PE - 2008019568

- NOTES:**
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, AS STATED IN ORDINANCE NO. 5813.
  - THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT ENGINEERING FIELD ENGINEERING INSPECTORS AT 816-969-1200 PRIOR TO ANY LAND DISTURBANCE.
  - THE CONTRACTOR SHALL CONTACT THE CITY'S RIGHT-OF-WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT-OF-WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
  - PERMITS ARE ISSUED BY THE DEVELOPMENT ENGINEERING DIVISION AFTER PLANS ARE APPROVED FOR PERMITTING AND FEES ARE PAID.
  - WATER MAIN TAPS, 2-IN DIAMETER AND SMALLER, WILL BE MADE BY WATER UTILITIES, OPERATIONS DEPARTMENT 816-969-1900 WITH A FOURTY-EIGHT (48) HOUR PRIOR NOTICE TO SCHEDULE THE TAP.
  - ALL PERMANENT CONCRETE CURB SHALL BE STRAIGHT BACK CURB AND GUTTER (TYPE CG-1), WET OR DRY AS INDICATED, UNLESS SHOWN OTHERWISE.
  - ALL PRIVATE SANITARY SEWER LATERALS SHALL BE 4-IN PVC, SDR 26, AT 2.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE.
  - ALL WATER LINES SHALL HORIZONTALLY CLEAR STORM SEWER STRUCTURES BY 5-FT, SANITARY SEWER STRUCTURES BY 10-FT, AND PIPES BY 18-IN VERTICALLY.
  - AT THE HEAD OF EACH ACCESSIBLE PARKING SPACE, PROVIDE A SIGN MEETING THE REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE SIGN SHALL BE MOUNTED 60-IN (5-FT) ABOVE THE GROUND MEASURED FROM THE BOTTOM OF THE SIGN. THE SIGN SHALL BE 12-IN X 18-IN IN AREA.
  - THE SUBJECT SITE LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0531G, WITH A REVISED MAP DATE OF JANUARY 20, 2017.
  - THERE ARE NO ABANDONED OIL AND/OR GAS WELLS PRESENT WITHIN THE LIMITS OF THE TRACT, PER THE APPROXIMATE LOCATIONS GIVEN IN THE ONLINE MDNR OIL AND GAS DATABASE UPDATED NOVEMBER 7, 2019.
  - THE SUBJECT SITE IS ZONED R-1. THIS USE IS ALLOWED BY THE SINGLE FAMILY RESIDENTIAL ZONING DISTRICT.
  - ALL SIDEWALK PAVEMENT SURFACES AND CURB SHALL BE KCMMB4K CONCRETE.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, SECTION 5100, AS STATED IN ORDINANCE NO. 5813.
  - THE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE DESIGN SUMMIT VIEW FARMS 4TH PLAT LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE, WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.
  - SUMMIT VIEW FARMS 4TH PLAT PRIVATE INFRASTRUCTURE HAS NOT BEEN CONSTRUCTED. CONTRACTOR SHALL COORDINATE FINAL DEVELOPMENT PLAN IMPROVEMENTS WITH 4TH PLAT CONSTRUCTION.

SITE PLAN INFORMATION			
SITE AREA (SF), (AC)	49,874 SF 1.15 AC	TOTAL BUILDING AREA (SF)	1,220 SF
FLOOR AREA RATIO	0.015	IMPERVIOUS COVERAGE (SF), (%)	19,400 SF 38.9 %

PARKING TABLE				
USE	PARKING REQUIREMENT	LEE'S SUMMIT LOTS	CODE REQUIRED	PROVIDED*
SUBDIVISION POOL	1 PER 16 SUBDIVISION LOTS	120	8	18

\* 1 ACCESSIBLE PARKING SPACE REQUIRED AND PROVIDED

**APPLICANT CONTACT**  
 BILL KENNEY  
 SUMMIT VIEW FARMS  
 DEVELOPMENT GROUP, LLC  
 P.O. BOX 291  
 LEE'S SUMMIT, MO 64063  
 BILLKENNEY9@GMAIL.COM  
 (816) 838-0552

**CONSULTANT CONTACT**  
 DAN MCGHEE  
 LAMP RYNEARSON  
 9001 STATE LINE ROAD, SUITE 200  
 KANSAS CITY, MO 64114  
 DAN.MCGHEE@LAMPRYNEARSON.COM  
 (816) 361-0440

SITE PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL  
 CITY OF LEE'S SUMMIT, MISSOURI

**REVISIONS**

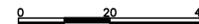
12-10-2021	- PER CITY COMMENTS
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**DESIGNER / DRAFTER**  
 MDW/AJM  
 DATE  
 OCTOBER 2021  
**PROJECT NUMBER**  
 0318050.02  
**BOOK AND PAGE**

**MISSOURI AUTHORIZATION NUMBER**  
 F01294734

**SHEET**  
 C1

L:\Engineering\318050\_SVPD\_Summit View Farms\_3rd Phs\318050\BASE MODELS\318050.02-POOL\_SIT.Plan\_12/10/2021 12:02:44 PM DAN MCGHEE, LAMP RYNEARSON



MARK DANIEL MCGHEE, JR.  
PE - 208019568

EROSION CONTROL PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



Know what's below.  
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**GENERAL NOTES:**

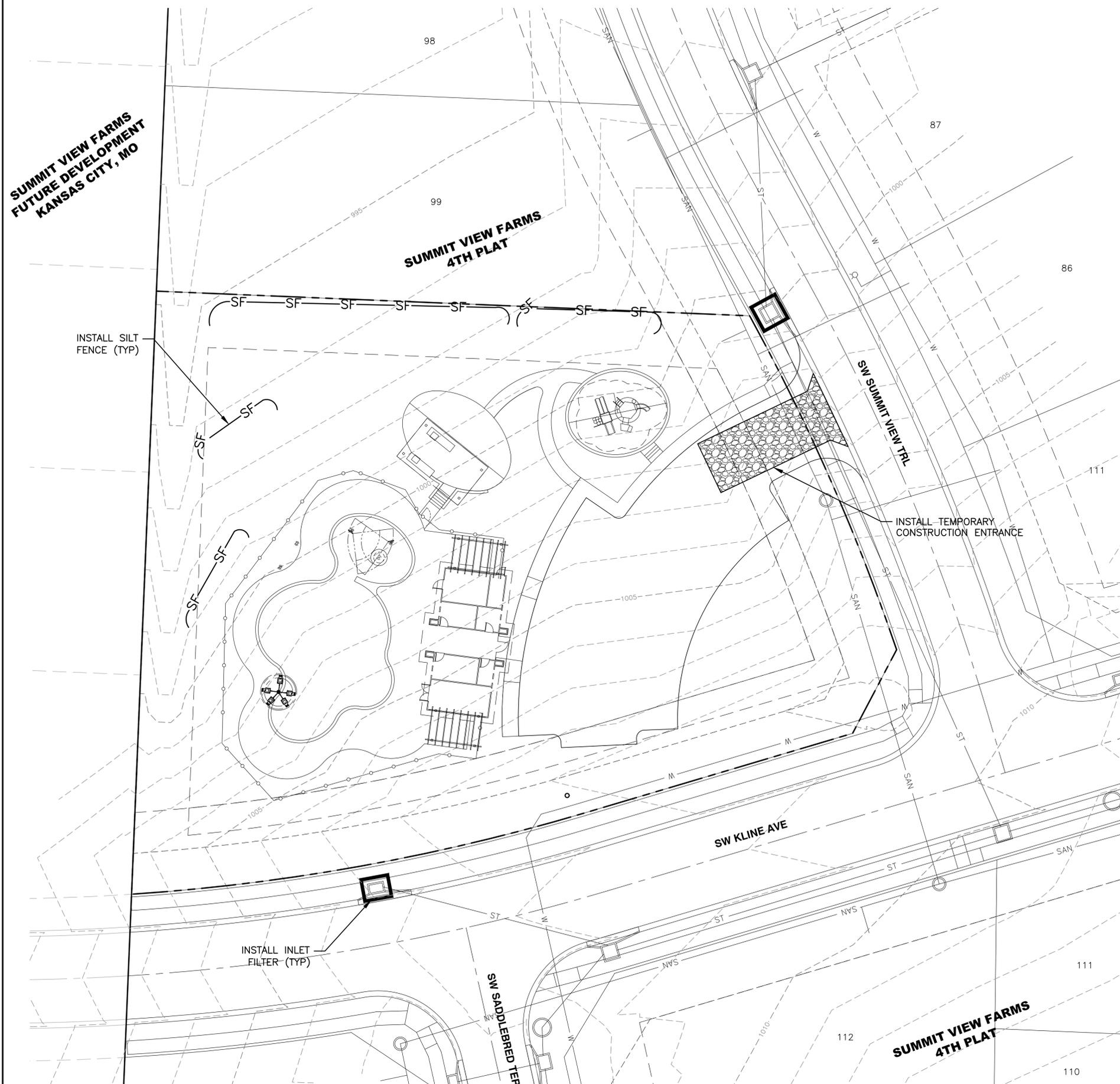
1. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT.
2. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
3. CONTRACTOR SHALL UTILIZE TEMPORARY CONSTRUCTION ENTRANCE(S) FOR ACCESS TO THE PROJECT AREA.
4. CONTRACTOR SHALL REFER TO THE SPECIFIC SWPPP AND MDNR LAND DISTURBANCE PERMIT FOR ADDITIONAL REQUIREMENTS AND BEST MANAGEMENT PRACTICES.
5. CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL INSTALLATIONS.

**EROSION AND SEDIMENT CONTROL SEQUENCING:**

1. IMPLEMENT PRE-CLEARING: ALL STRUCTURAL BMPs MUST BE IN PLACE BEFORE GENERAL CLEARING OPERATIONS. CLEARING NECESSARY TO PLACE STRUCTURAL BMPs IS THE MINIMUM REQUIRED FOR INSTALLATION. COORDINATE CLEARING NECESSARY TO PLACE STRUCTURAL BMPs WITH LOCAL WEATHER FORECAST SO THAT CLEARING AND PLACEMENT MAY BE COMPLETED WITHIN A FORECAST DRY PERIOD. STABILIZE ALL DIVERSION BERMS AND SEDIMENT TRAPS WITHIN 5 DAYS AFTER INSTALLATION.
2. CLEAR AND STABILIZE WORK AREAS: GRADE PARKING AND CONTRACTOR AREAS AND PLACE ALL-WEATHER SURFACE ON CONTRACTOR AREAS.
3. BUILDING TOP-OUT: COMPLETE BUILDING FOUNDATION, FRAMING, SEEDING AND ROOF INSTALLATION INCLUDING UTILITY SERVICES
4. IMPLEMENT STEEP SLOPE PROTECTION (AS APPLICABLE). DURING GRADING OPERATIONS, PLACE STEEP SLOPE PROTECTION AS SOON AS PRACTICABLE.
5. STABILIZE INACTIVE AREAS: THE GROUND COVER AND OTHER STRUCTURAL BMPs MUST BE PLACED WITHIN 14 DAYS OF CESSATION OF GROUND DISTURBING ACTIVITY AT THE LOCATION OF THE BMP. IN DETERMINING THE INACTIVE STATUS OF THE GROUND, EVALUATE EACH PORTION FOR THE SITE SEPARATELY. THE NEED FOR SUBSEQUENT PLACEMENT OF TRENCHED UTILITIES OR OTHER CONSTRUCTION IN AN OTHERWISE INACTIVE AREA IS NOT JUSTIFICATION FOR DELAY OF STABILIZATION.
6. COMPLETE PAVEMENT AND STORMWATER IMPROVEMENTS DEPICTED ON THE CONSTRUCTION PLANS.
7. IMPLEMENT FINAL STABILIZATION: COORDINATE REMOVAL OF CONSTRUCTION PHASE BMPs NECESSARY TO PLACE FINAL STABILIZATION WITH LOCAL WEATHER FORECAST SO THAT REMOVAL AND PLACEMENT MAY BE COMPLETED WITHIN A FORECAST DRY PERIOD. DOWN-SLOPE PERIMETER CONTROLS SHALL NOT BE REMOVED UNTIL FINAL STABILIZATION IS PLACED AND VEGETATIVE COVER IS ESTABLISHED OVER THE REMAINDER OF THE SITE.
8. ESTABLISHMENT AND FINAL CONSTRUCTION: ONCE THE REMAINDER OF THE SITE IS STABILIZED INCLUDING ESTABLISHMENT OF SEEDING COVER TYPES, REMOVE THE SEDIMENT CONTROLS AND THE REMAINING ACCESS CONTROLS. RESTORE AREA DISTURBED BY REMOVAL OF SEDIMENT CONTROLS.
9. PLAN MODIFICATION: THE CONTRACTOR MUST MODIFY THE PLAN IF THE PLAN FAILS TO SUBSTANTIALLY CONTROL EROSION AND OFFSITE SEDIMENTATION. THE CONTRACTOR MAY MODIFY THE PLAN OR CONSTRUCTION SEQUENCE IF IMPLEMENTATION IS INFEASIBLE FOR SITE CONDITIONS OR CONTRACTOR METHODS. ANY SUCH MODIFICATIONS SHALL CONTROL EROSION AND OFFSITE SEDIMENTATION TO THE MAXIMUM EXTENT PRACTICABLE. ANY SUCH MODIFICATIONS SHALL REQUIRE THE PRIOR APPROVAL OF THE PERMITTING AUTHORITY.

**LEGEND**

- TEMPORARY CONSTRUCTION ENTRANCE
- SILT FENCE
- INLET FILTERS



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MARK DANIEL MCGHEE JR.  
PE - 200919568

EROSION CONTROL DETAIL SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



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SHEET

**Plan View**  
Not to Scale

**Side Elevation**  
Not to Scale

**Section A-A**  
Not to Scale

**Notes for Concrete Washout:**

- Concrete washout areas shall be installed prior to any concrete placement on site.
- Concrete washout areas shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 2:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
- Vehicle tracking control is required at the access point to all concrete washout areas.
- Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
- A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

**Maintenance for Concrete Washout:**

- Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
- Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
- Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
- Concrete washout areas shall remain in place until all concrete for the project is placed.
- When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.

**CONSTRUCTION ENTRANCE**

**Notes for Construction Entrance:**

- Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed areas.
- Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1/4 side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage ditches along public roads.
- Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
- Divert all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

**Maintenance for Construction Entrance:**

- Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

**CONCRETE WASHOUT**

Excavated material shall be used for perimeter berm. Soil for berm shall be compacted in the same manner as trench backfill.

Construction Fence (optional)

Vehicle Tracking Control

**AMERICAN PUBLIC WORKS ASSOCIATION**

Kansas City Metro Chapter

KANSAS CITY  
METRO CHAPTER

**CONSTRUCTION ENTRANCE  
AND CONCRETE WASHOUT**

STANDARD DRAWING  
NUMBER ESC-01  
ADOPTED:  
10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

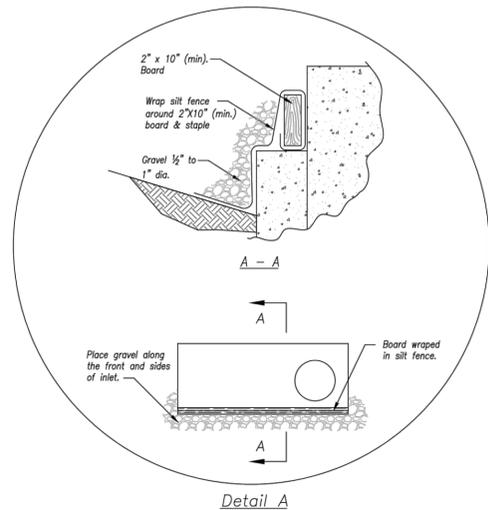
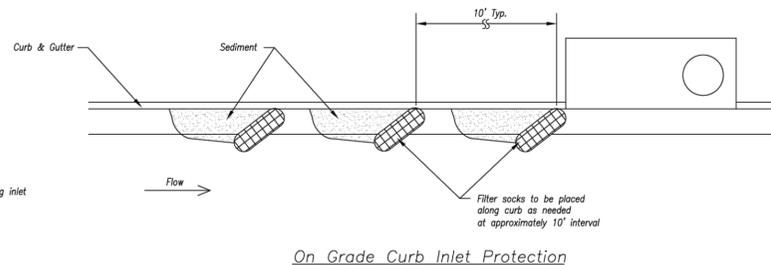
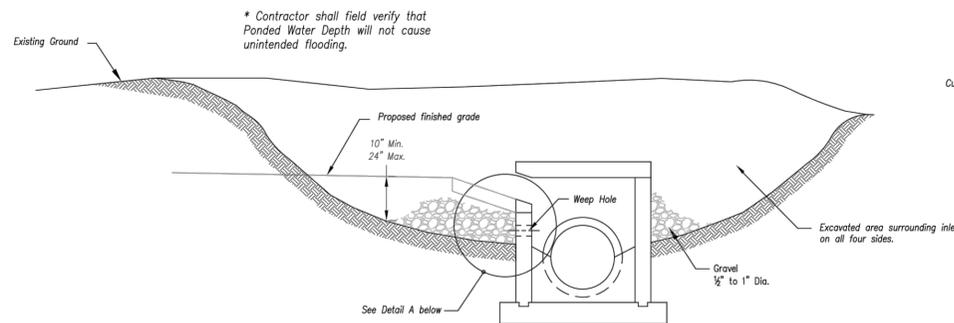
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PE - 2008019568

EROSION CONTROL DETAIL SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



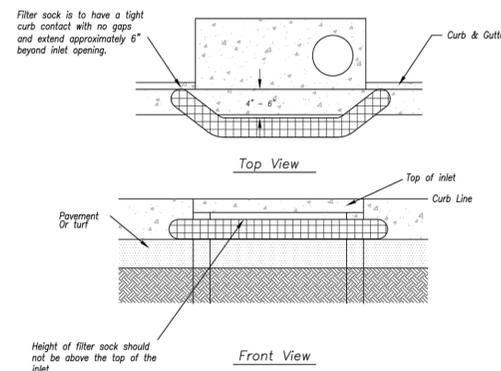
EARLY STAGE CURB INLET  
(Open Box and Prior to Pouring Curb and Inlet Throat)

**Notes:**

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

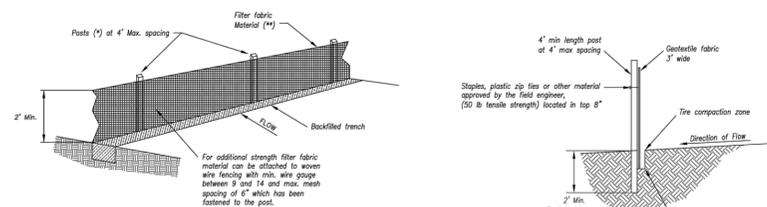
**Maintenance:**

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.



Sump Inlet Sediment Filter

LATE STAGE CURB INLET  
(After Pouring Curb and Inlet Throat)



- (\*) POSTS
- MIN. LENGTH 4'
  - HARDWOOD 1 3/4" x 1 3/4"
  - NO.2 SOUTHERN PINE 2 1/8" x 2 1/8"
  - STEEL 1.33 LB/FT
- (\*) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS  
Not to Scale

**Notes:**

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

**Maintenance:**

1. Remove and dispose of sediment deposits when the deposit approaches 1/3 the height of silt fence.
2. Repair as necessary to maintain function and structure.

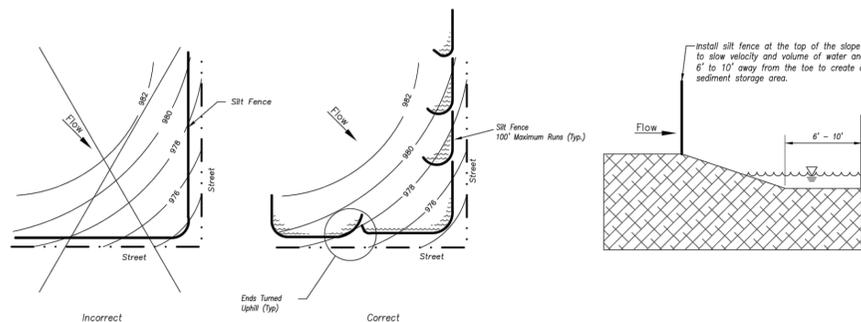


Figure A

SILT FENCE LAYOUT  
Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
SILT FENCE	STANDARD DRAWING NUMBER ESC-03
	ADOPTED: 10/24/2016
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06
	ADOPTED: 10/24/2016



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MARK DANIEL MCCHEE, JR.  
PE - 2008019568

DIMENSION PLAN SHEET

SUMMIT VIEW FARM 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



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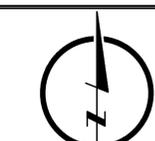
**GENERAL NOTES:**

1. ALL BUILDING DIMENSIONS SHOWN ON THIS SHEET ARE LOCATED AT OUTSIDE FACE OF WALL.
2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. REFER TO POOL AND ASSOCIATED HARDSCAPE IMPROVEMENT PLANS PREPARED BY LORAX DESIGN GROUP, FOR DIMENSIONS, ELEVATIONS AND DETAILS.

BACK OF CURB TABLE				
LINE #/CURVE #	LENGTH	DIRECTION/DELTA	RADIUS	NORTHING/EASTING
1	24.40	93.20	15.00	N=981856.66/E=2809196.423
2	9.26	S63° 26' 02.43"W		N=981864.13/E=2809175.95
3	5.34	3.03	101.00	N=981859.99/E=2809167.665
4	4.82	92.05	3.00	N=981857.48/E=2809162.955
5	12.44	S31° 38' 29.61"E		N=981853.29/E=2809161.88
6	91.47	61.30	85.50	N=981842.70/E=2809168.408
7	12.44	S87° 43' 53.44"W		N=981765.77/E=2809127.42
8	4.82	92.05	3.00	N=981765.28/E=2809114.994
9	1.92	S04° 51' 33.48"E		N=981762.05/E=2809112.12
10	28.02	S87° 16' 49.60"W		N=981760.14/E=2809112.28
11	2.06	N04° 21' 47.53"W		N=981758.81/E=2809084.29
12	4.63	87.78	3.02	N=981760.86/E=2809084.135
13	12.53	S87° 23' 47.21"W		N=981763.66/E=2809081.01
14	93.14	36.93	144.50	N=981763.09/E=2809068.484
15	12.53	S55° 40' 17.03"E		N=981851.14/E=2809093.50
16	4.64	88.70	3.00	N=981844.07/E=2809103.855
17	62.60	27.80	129.00	N=981844.80/E=2809107.986
18	10.31	N63° 26' 02.43"E		N=981885.03/E=2809155.14
19	23.85	91.11	15.00	N=981889.64/E=2809164.366



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MARK DANIEL MCGHEE JR.  
PE - 2008019568

GRADING PLAN

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI

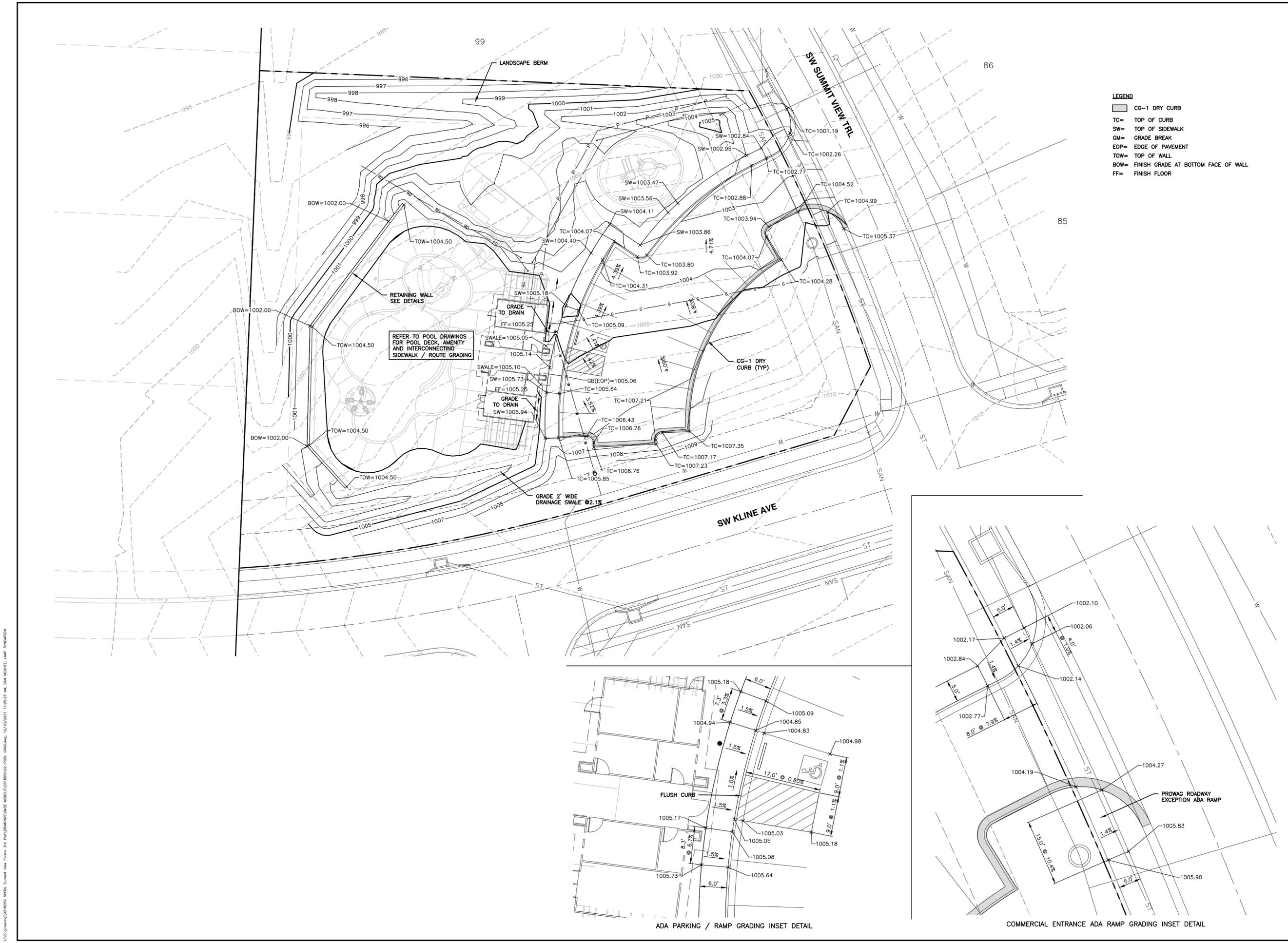


ALL UTILITIES ARE SHOWN BASED ON THE INFORMATION AVAILABLE TO THE ENGINEER. THERE IS NO GUARANTEE ALL FACILITIES ARE SHOWN OR THAT THE LOCATION, DEPTH, AND SIZE OF EACH FACILITY IS CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

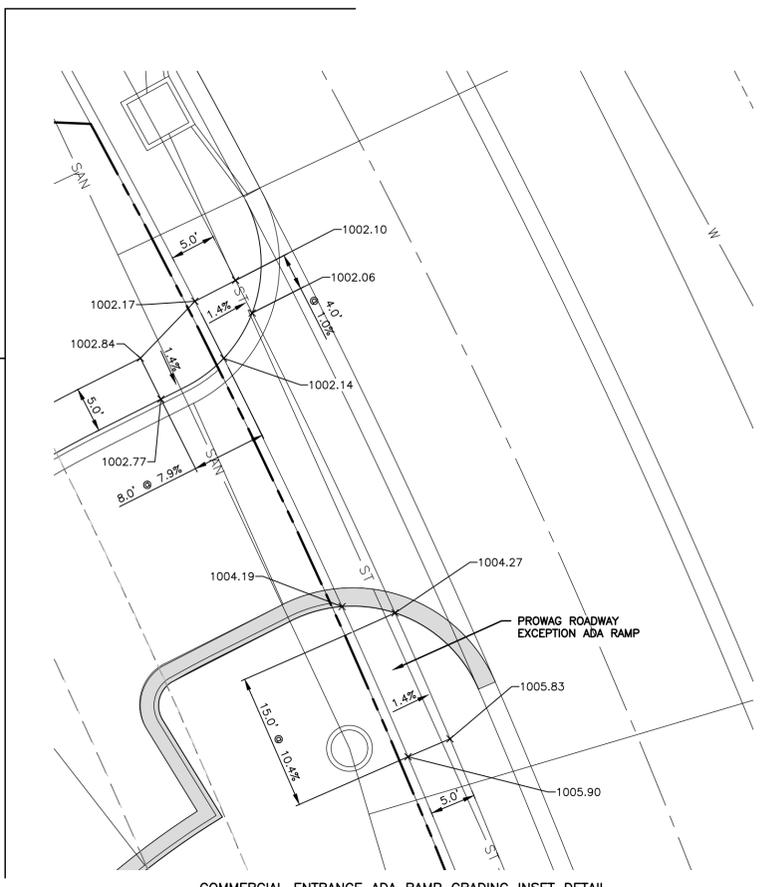
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ADA PARKING / RAMP GRADING INSET DETAIL



COMMERCIAL ENTRANCE ADA RAMP GRADING INSET DETAIL

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UTILITY PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



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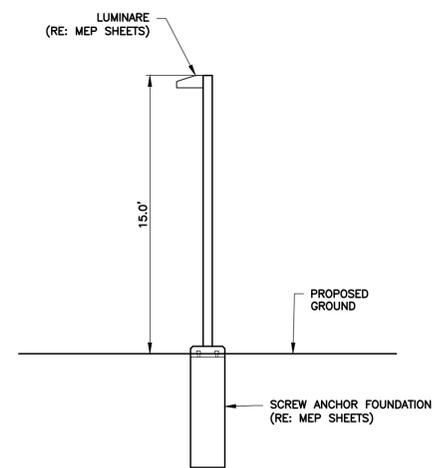
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BOOK AND PAGE	

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SHEET

**GENERAL NOTES:**

1. ALL UTILITIES SHOWN ARE DESIGN LOCATIONS. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR ALL LOCATIONS AND CONNECTIONS.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION TO THE DESIGN CAN BE MADE.
4. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND CITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION.
5. THE SANITARY SEWER SERVICE LATERAL SHALL MAINTAIN 10'-FT MIN. HORIZONTAL AND 18"-IN MIN. VERTICAL SEPARATION FROM WATER LINES. WATER LINES SHALL BE INSTALLED TO MAINTAIN A MINIMUM OF 42-INCHES OF COVER OVER THE PIPE.
6. THE SANITARY SEWER SHALL BE INSTALLED TO MAINTAIN POSITIVE SLOPE. THE CONTRACTOR SHALL VERIFY THAT EACH RUN OF PIPE CAN BE INSTALLED WITH POSITIVE SLOPE, ACHIEVING AT LEAST MINIMUM SLOPE, WITHOUT INTERFERENCE WITH OTHER UNDERGROUND UTILITIES OR OBSTRUCTIONS PRIOR TO INSTALLING THE LINE.
7. THIS PLAN DETAILS UTILITIES UP TO 5'-FT FROM THE BUILDING FACE. REFER TO THE BUILDING DRAWINGS FOR BUILDING CONNECTIONS.
8. WATER SERVICE COPPER PIPE SHALL BE TYPE K WITH COMPRESSION FITTINGS.
9. ALL SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-26 PIPE, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES. MINIMUM SLOPE IS 2% WITH AT LEAST 36 INCHES OF COVER.
10. ELECTRICAL SERVICE LINES SHALL BE INSTALLED IN CONDUITS IN ACCORDANCE WITH EVERY'S STANDARD REQUIREMENTS.
11. SUMMIT VIEW FARMS 4TH PLAT PRIVATE UTILITIES HAVE NOT BEEN CONSTRUCTED. CONTRACTOR SHALL COORDINATE FINAL DEVELOPMENT PLAN IMPROVEMENTS WITH 4TH PLAT CONSTRUCTION.
12. SEE SHEET ME-1 SHEET FOR LIGHT POLE LOCATIONS, ME-4 FOR LIGHT POLE FOUNDATION DETAIL, AND E-2 FOR LUMINARE CUT SHEETS, SCHEDULE AND LIGHTING STATISTICS.



LIGHT POLE HEIGHT DETAIL  
N.T.S.



L:\Engineering\318050 SWFD Summit View Farms 3rd Phs\318050\CONSTRUCTION\DRAWINGS\4TH PLAT\000-PLANS\0318050.02 - UTILITY.PLN - P001.dwg, 12/10/2021 11:23:59 AM, DAN MCDONALD, LAMP RYNEARSON



MARK DANIEL MCCHIE, JR.  
PE - 2008919568

CIVIL DETAILS

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



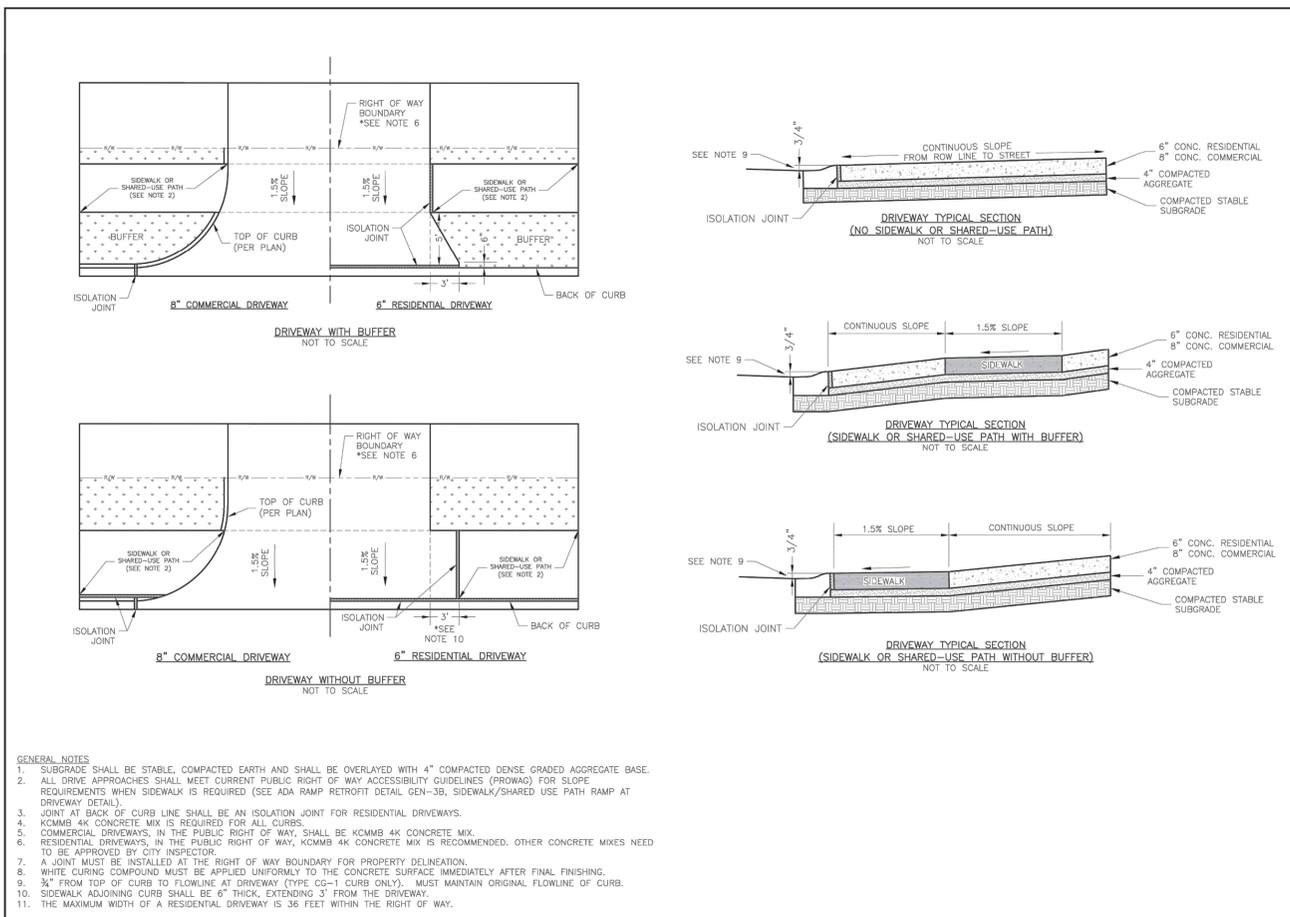
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REVISIONS

DESIGNER / DRAFTER  
MDM/AJM  
DATE  
OCTOBER 2021  
PROJECT NUMBER  
0318050.02  
BOOK AND PAGE

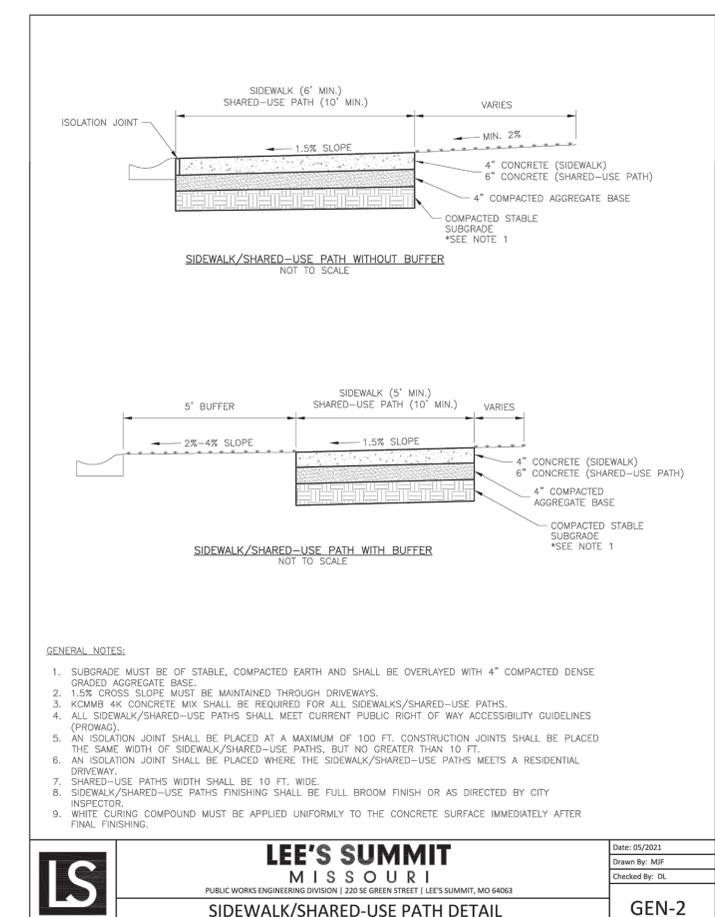
SHEET

C8



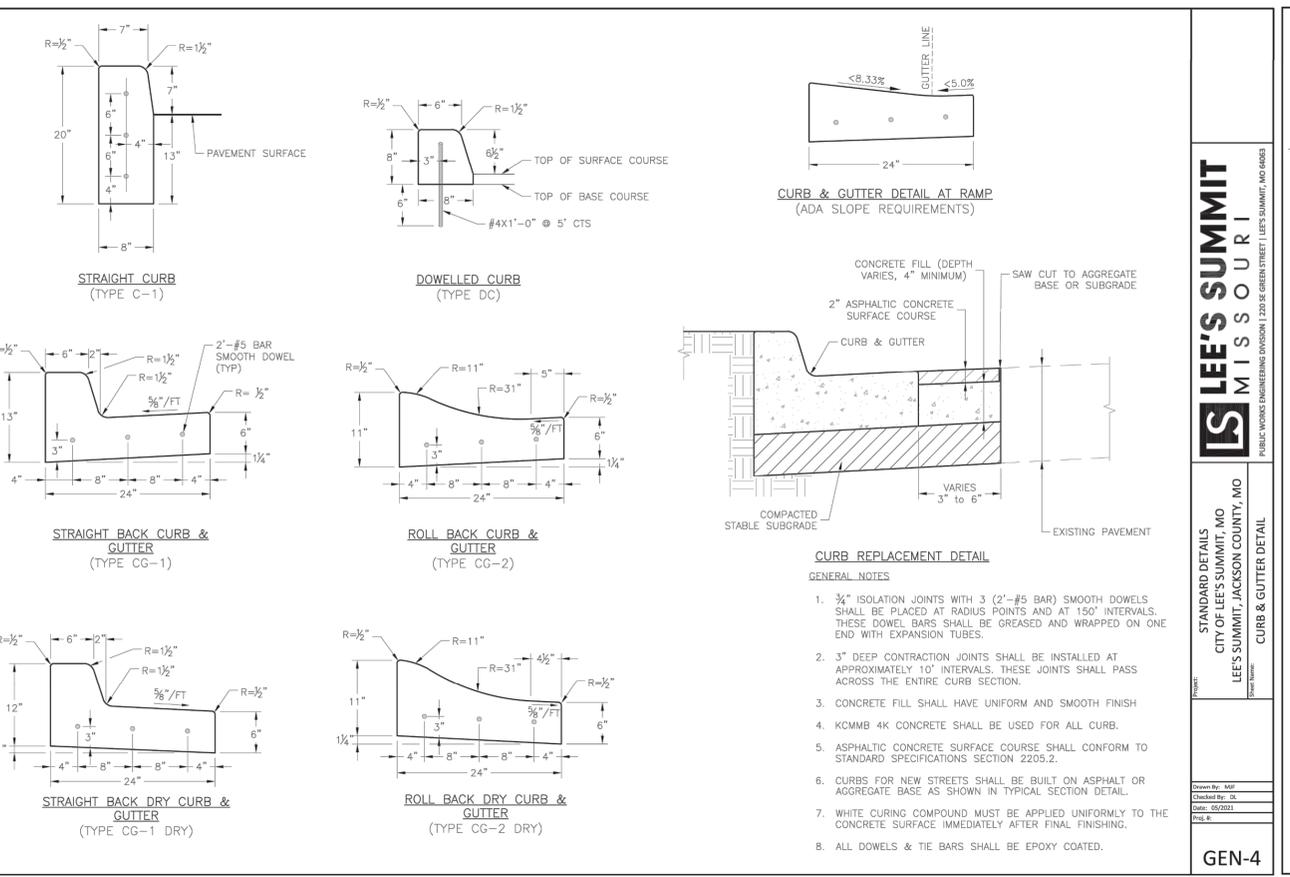
- GENERAL NOTES:**
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4\"/>
  - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-3B, SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL).
  - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
  - KCMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
  - COMMERCIAL DRIVEWAYS IN THE PUBLIC RIGHT OF WAY SHALL BE KCMMB 4K CONCRETE MIX.
  - RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMMB 4K CONCRETE MIX IS RECOMMENDED. OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
  - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
  - 3/4\"/>
  - SIDEWALK ADJOINING CURB SHALL BE 6\"/>
  - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
DRIVEWAY DETAIL  
GEN-1

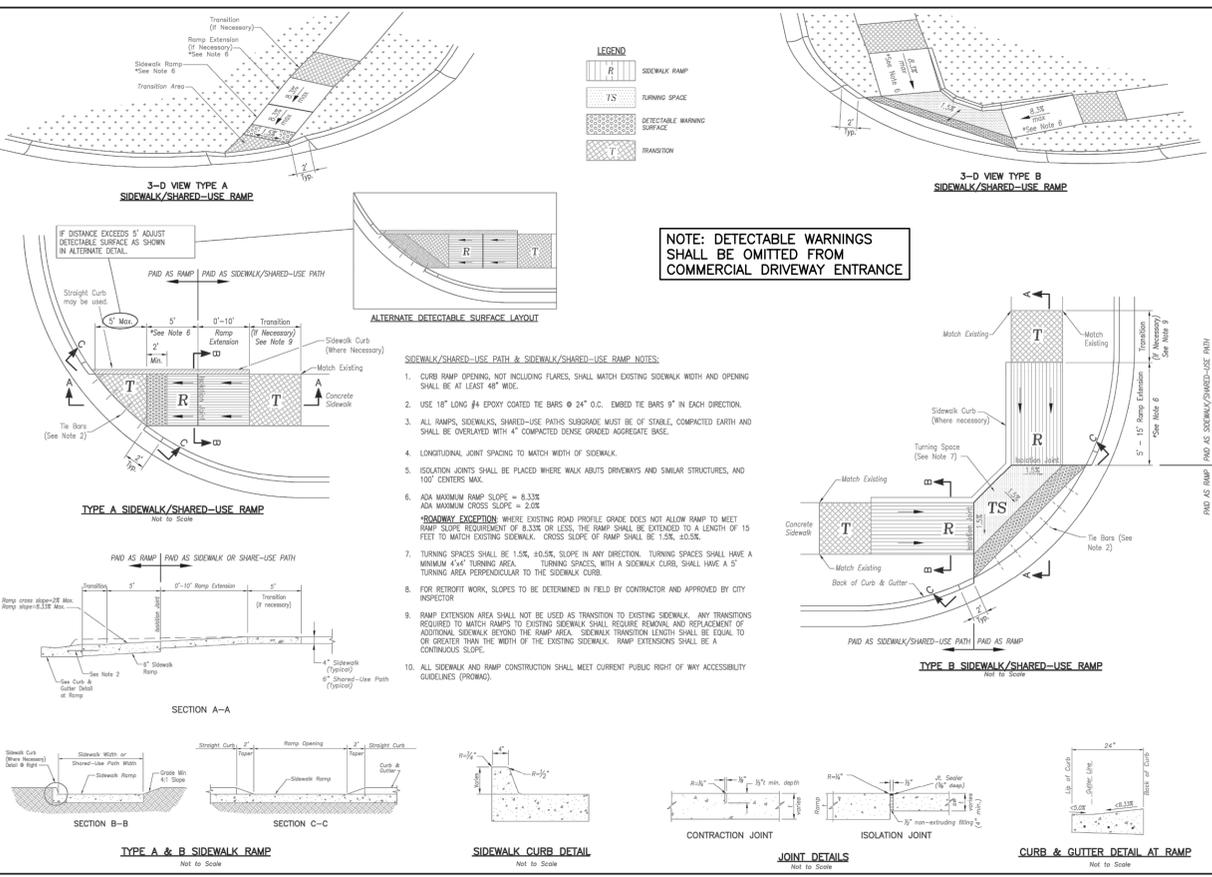


- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4\"/>
  - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
  - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
  - ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
  - AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
  - AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
  - SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
  - SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

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SIDEWALK/SHARED-USE PATH DETAIL  
GEN-2



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
CURB & GUTTER DETAIL  
GEN-4

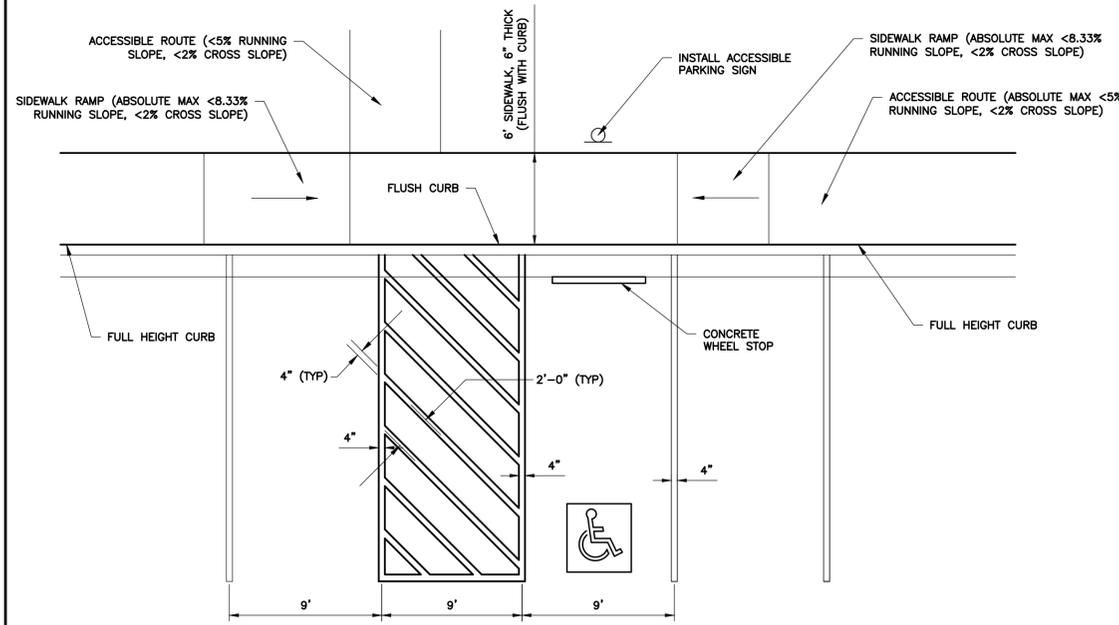


- LEGEND:**
- R SIDEWALK RAMP
  - TS TURNING SPACE
  - DETECTABLE WARNING SURFACE
  - T TRANSITION
- NOTE: DETECTABLE WARNINGS SHALL BE OMITTED FROM COMMERCIAL DRIVEWAY ENTRANCE**
- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:**
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48\"/>
  - USE 1\"/>
  - ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE 4\"/>
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ADJUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100\"/>
  - ADA MAXIMUM RAMP SLOPE = 8.33%  
ADA MAXIMUM CROSS SLOPE = 2.0%
  - ADDITIONAL DETAIL: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENTS, RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
  - FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
  - RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
  - ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

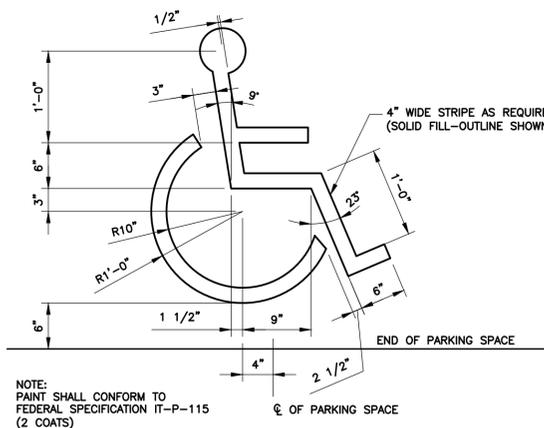
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
ADA RAMP RETROFIT DETAIL  
GEN-3A



MARK DANIEL MCCHEE, JR.  
PE - 2008919568



ADA PARKING SPACE LAYOUT



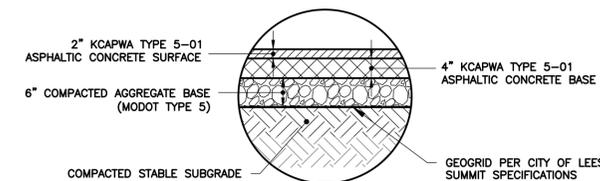
NOTE: PAINT SHALL CONFORM TO FEDERAL SPECIFICATION IT-P-115 (2 COATS)

PROVIDE PAINTED SYMBOL AT EACH DESIGNATED ACCESSIBLE PARKING STALL.

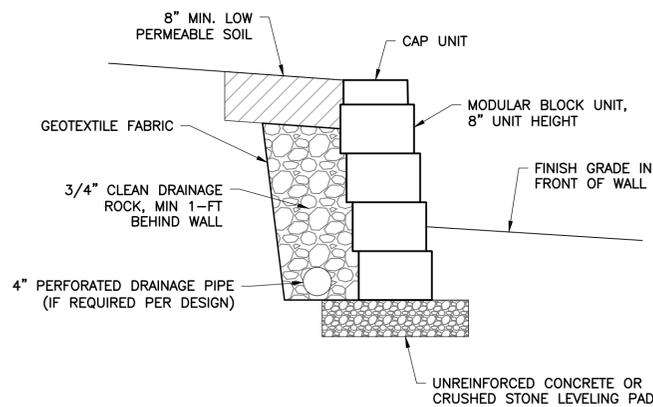
ACCESSIBLE PARKING SYMBOL  
NOT TO SCALE

RETAINING WALL NOTES:

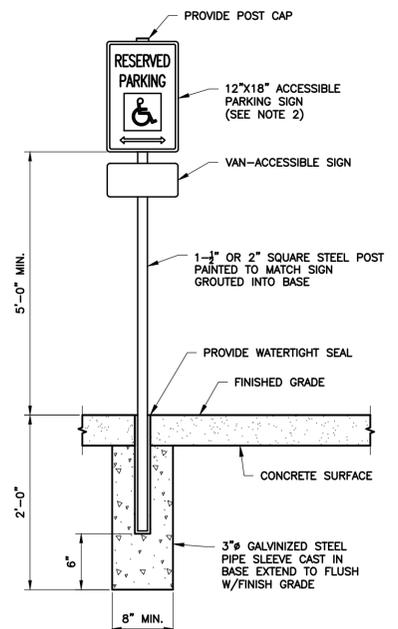
1. THE RETAINING WALL DETAILS PROVIDED HERE ARE FOR GENERAL GUIDANCE ONLY. IF WALL HEIGHT MEASURED FROM TOP OF WALL TO BOTTOM OF FOOTING EXCEEDS 4- FEET, CONTRACTOR SHALL SUBMIT AN ENGINEERED WALL DESIGN FOR PERMITTING / APPROVAL.
2. THE MODULAR WALL UNITS SHALL HAVE A STRAIGHT FACE. FACE FINISH AND COLOR SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
3. SHOULD AN ENGINEERED WALL DESIGN BE REQUIRED, THE WALL SHALL BE DESIGNED BY THE INSTALLER ACCORDING TO THE WALL UNIT MANUFACTURER'S DESIGN CRITERIA. THE DESIGN SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT/ENGINEER AS A SHOP DRAWING FOR REVIEW. ALL DESIGN CALCULATIONS AND DESIGN CRITERIA, INCLUDING ANGLE OF FRICTION, SOIL WEIGHT, ETC., SHALL BE SUBMITTED WITH THE SHOP DRAWING. THE DESIGN MUST BE SEALED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MISSOURI.
  - WALL DESIGN SHALL INCLUDE GLOBAL STABILITY.
  - FACTORS OF SAFETY SHALL BE AS FOLLOWS:  
1.5 AGAINST REINFORCEMENT GRID PULLOUT OR RUPTURE (IF APPLICABLE)  
1.5 AGAINST EXTERNAL SLIDING FAILURE  
2.0 AGAINST OVERTURNING
4. THE DESIGN, DIMENSIONS, AND MATERIAL SHOWN IN THIS DETAIL ARE GENERAL IN NATURE. THE AGGREGATE MATERIALS, GEOGRID (IF APPLICABLE), AND INSTALLATION SHALL BE PER WALL UNIT MANUFACTURER'S REQUIREMENTS.
5. RETAINING WALL SHALL PROVIDE POSITIVE INTERLOCKING BETWEEN BLOCKS AND GEOGRID (IF APPLICABLE).



ASPHALTIC CONCRETE PAVEMENT SECTION



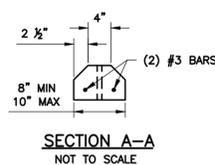
RETAINING WALL  
NOT TO SCALE



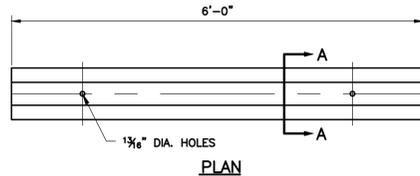
ACCESSIBLE PARKING SPACE SIGNAGE  
NOT TO SCALE

SIGN NOTES:

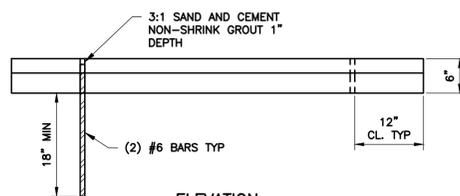
1. THE CONTRACTOR SHALL PROVIDE AN ACCESSIBLE PARKING SIGN FOR EACH ACCESSIBLE PARKING SPACE IN ACCORDANCE WITH CITY AND FEDERAL REGULATIONS.
2. THE ACCESSIBLE PARKING SIGNS PROVIDED SHALL CONFORM TO TYPE "R7-8" IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
3. THE CONTRACTOR SHALL PLACE SIGNS AS DIRECTED BY THE OWNERS REPRESENTATIVE.



SECTION A-A  
NOT TO SCALE

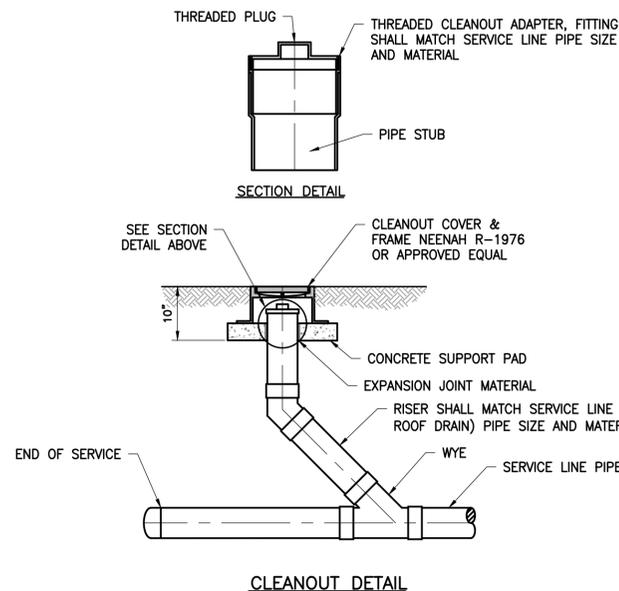


PLAN

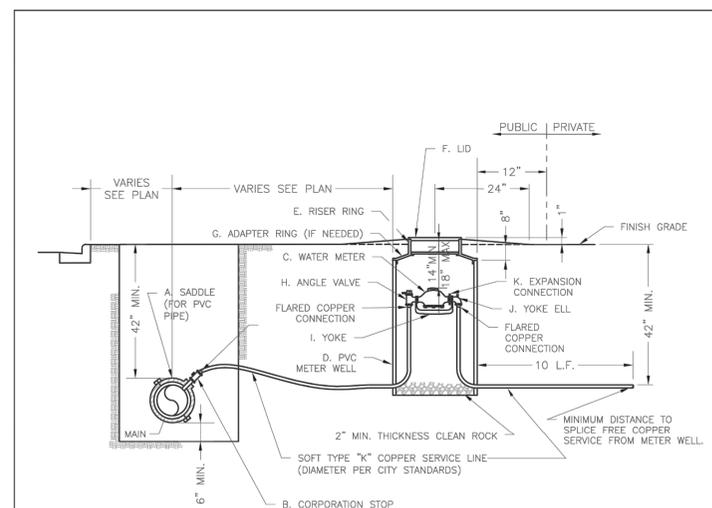


ELEVATION

PRECAST CONCRETE WHEEL STOP  
NO SCALE



CLEANOUT DETAIL



NOTES:

1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
3. CITY TO FURNISH ITEMS A-K.
4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
6. EXCAVATION FOR TAP TO EXPOSE 4' LINEAR FEET OF MAIN.
7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 06/2015  
Drawn By: JN  
Checked By: DL

WAT-11

CIVIL DETAILS

SUMMIT VIEW FARMS 4TH PLAT POOL  
CITY OF LEE'S SUMMIT, MISSOURI



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REVISIONS

DESIGNER / DRAFTER  
JMD/JJM  
DATE  
OCTOBER 2021  
PROJECT NUMBER  
0318050.02  
BOOK AND PAGE

SHEET

C9



**LORAX DESIGN GROUP**  
8021 SANTA FE DRIVE  
OVERLAND PARK, KS 66204  
WWW.LORAXDESIGNGROUP.COM



**SUMMIT VIEW FARMS**  
POOL CONSTRUCTION DOCUMENTS  
LEE'S SUMMIT, MISSOURI

REVISION:

DECEMBER 2, 2021  
LANDSCAPE PLAN

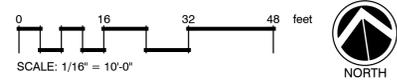
**L101**



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AF	Acer x freemanii / Freeman Maple	3" Cal.	B&B
	TC	Tilia cordata / Littleleaf Linden	3" Cal.	B&B
	UC	Ulmus x 'Frontier' / Frontier Hybrid Elm	3" Cal.	B&B
	Z6	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	3" Cal.	B&B
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	CG	Cedrus atlantica 'Glauca Fastigiata' / Blue Columnar Atlas Cedar	8'-9' ht.	B&B
	PF	Pinus strobus 'Fastigiata' / Pyramidal White Pine	8'-9' ht.	B&B
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	3" Cal.	B&B
	SS	Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac	3" Cal.	B&B
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AS	Aronia melanocarpa 'UGONNAMO12' TM / Ground Hog Spreading Chokeberry	#3	
	HL2	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	#5	
	HL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#3	
	JL	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	#5, 24" ht. min.	
	R6	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#3	
	VM	Viburnum dentatum 'Blue Muffin' / Blue Muffin Viburnum	#5, 24" ht. min.	
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	ST	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#2	

**LANDSCAPE PLAN**  
SCALE: 1/16"=1'-0"



**PLANT SIZE REQUIREMENTS** (FOR THOSE PLANTS SATISFYING LEE'S SUMMIT REQUIREMENTS)

LANDSCAPE MATERIAL	SIZE REQUIREMENT (AT TIME OF PLANTING)
MEDIUM SHRUBS	18"-24" B&B OR 2-GAL. CONTAINER
LARGE SHRUBS	24"-30" B&B OR 5-GAL. CONTAINER
GROUND COVER	2 1/2" PEA POT
DECIDUOUS TREES	3" CALIFER
EVERGREEN TREES	8" HT. MIN.

**LEE'S SUMMIT LANDSCAPE REQUIREMENTS**

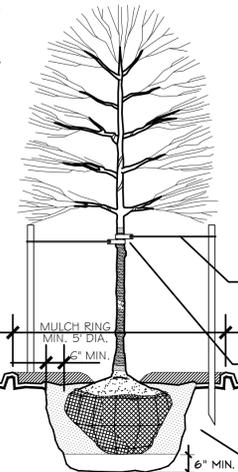
CODE REQUIREMENT	DESCRIPTION	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
SECTION 6.190(A) - PROVIDE 1 STREET TREE PER 30 LF OF STREET FRONTAGE				
	PROVIDE 1 TREE / 30 LF OF STREET FRONTAGE	- 275 LF FRONTAGE ALONG SW KLINE AVE / 30 = 9.2 - 185 LF FRONTAGE ALONG SW SUMMIT VIEW TRL / 30 = 6.2	- 10 STREET TREES REQUIRED ALONG SW KLINE AVE - 5 STREET TREES REQUIRED ALONG SW SUMMIT VIEW TRL	- 10 STREET TREES PROVIDED ALONG SW KLINE AVE - 5 STREET TREES PROVIDED ALONG SW SUMMIT VIEW TRL
SECTION 6.190(B) - PROVIDE 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA AND 1 TREE PER 5,000 SF OF LOT AREA NOT COVERED BY BUILDINGS OR STRUCTURES				
	PROVIDE 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA AND 1 TREE PER 5,000 SF OF LOT AREA NOT COVERED BY BUILDINGS OR STRUCTURES	44,842-463 SF BUILDING = 48,956 SF (48,956 SF SITE / 5,000) = 9.79 (48,956 SF SITE / 5,000) x 2 = 19.58	10 OPEN SPACE TREES REQUIRED 20 OPEN SPACE SHRUBS REQUIRED	10 OPEN SPACE TREES PROVIDED 68 OPEN SPACE SHRUBS PROVIDED
SECTION 6.820 - PROVIDE SCREENING OF THE PARKING WHERE VISIBLE FROM THE R.O.M. TO A HEIGHT OF 2.5 FEET. SCREEN SHALL CONSIST OF A HEDGE PLANTED WITH 12 SHRUBS PER 40 LF. SHRUBS SHALL BE 18" AT THE TIME OF PLANTING.				
	PROVIDE 12 SHRUBS/40 LF ALONG PARKING FACING SW KLINE AVE & SW SUMMIT VIEW TRL	(175 LF PARKING LOT FRONTAGE / 40) x 12 = 53	53 SHRUBS REQUIRED	56 SHRUBS PROVIDED
SECTION 6.510 - PROVIDE A MEDIUM IMPACT SCREEN LOCATED ON A 3-FOOT TALL BERM ALONG ANY COMMON PROPERTY LINE SHARED WITH A RESIDENTIAL DWELLING. PROVIDE 1 SHADE TREE/300 SF, 1 ORNAMENTAL TREE/150 SF, 1 EVERGREEN TREE/300 SF AND 1 SHRUB/200 SF				
	PROVIDE 1 SHADE TREE/300 SF, 1 ORNAMENTAL TREE/150 SF, 1 EVERGREEN TREE/300 SF, 1 SHRUB/200 SF ALONG NORTH PROPERTY LINE	4,522 SF BUFFER / 300 = 15.07 4,522 SF BUFFER / 150 = 30.15 4,522 SF BUFFER / 200 = 22.61	1 SHADE TREES REQUIRED 6 ORNAMENTAL TREES REQUIRED 15 EVERGREEN TREES REQUIRED 22 SHRUBS REQUIRED	1 SHADE TREES PROVIDED 6 ORNAMENTAL TREES PROVIDED 15 EVERGREEN TREES PROVIDED 26 SHRUBS PROVIDED

# GENERAL NOTES

1. THE LANDSCAPE CONTRACTOR SHALL READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT.
2. ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MASSING, STAKED LOCATION OF TREES AND INSTALLATION OF PLANT MATERIAL WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
6. ALL PLANT MATERIAL (EXCEPT SHADE TREES) IS DELINEATED AT MATURE SIZE OF PLANT MATERIAL. SHADE TREES ARE DELINEATED AT 85% OF ACTUAL MATURE SIZE.
7. ALL LANDSCAPE MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1996) PER THE AMERICAN ASSOCIATION OF NURSERYMEN.
8. PER OWNER'S DIRECTION, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY, PRIOR TO SELECTION OR DIGGING.
9. CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON, MARCH 1 TO JUNE 1, OR THE FALL PLANTING SEASON, SEPTEMBER 30 UNTIL FREEZING OF THE GROUND. DURING THE FALL PLANTING SEASON, CONIFEROUS MATERIAL PLANTING SHALL BE CONDUCTED AUGUST 15 TO OCTOBER 1. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.\*
10. THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE. RATIO: 50% VIRGIN SOIL + 50% AMENDED TOP SOIL.
11. ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAWN AREAS. APPLY AS PER THE MANUFACTURER'S SPECIFICATIONS.
12. THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
13. ALL TREE SAUCERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE-GROUND HARDWOOD MULCH (COLOR DYED DARK BROWN). LANDSCAPE CONTRACTOR TO PROVIDE MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 3" LOWER TO ALLOW FOR MULCH LAYER. WHERE SOD IS INDICATED, ITS THICKNESS SHALL ALSO BE ACCOUNTED FOR SO THAT THE SOIL SURFACE IN THE SOD IS 1/2" BELOW THE HARDSCAPE SURFACE.
14. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TRIFLORAL OR EQUAL. APPLY PER MANUFACTURER'S SPECIFICATIONS. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING WITHIN THESE AREAS IS COMPLETE, BUT BEFORE THESE AREAS ARE MULCHED. DO NOT DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
15. MULCH, STAKES, GUY WIRE, PRE-EMERGENT HERBICIDES, ETC. SHALL BE SUBSIDIARY TO INDIVIDUAL PLANTS.
16. ALL SLOPES THAT EXCEED A 3:1 GRADE SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET WITH NORTH AMERICAN GREEN S150. INSTALL PER THE MANUFACTURER'S SPECIFICATIONS.
17. LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, GROUNDCOVER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
18. STAKES AND GUY WIRES SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
19. LOOSEN SOIL FOR ALL PLANTING ISLANDS AND SHRUB/PERENNIAL BEDS TO A DEPTH OF 12". ALL AREAS DENOTED AS SOD (LAWN AREAS) SHALL HAVE A 6" MINIMUM TOPSOIL LAYER. TOPSOIL SHALL BE LAID IN 3" LIFTS. IN AREAS WHERE CONSTRUCTION GRADING HAS NOT OCCURRED AND THE VIRGIN GRADES YET EXIST, THE TOPSOIL LAYER MAY NOT BE REQUIRED BASED ON THE DECISION OF THE LANDSCAPE ARCHITECT.
20. TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL, TYPICAL OF THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. STOCKPILED TOPSOIL MAY BE USED. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR SLAG AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0.
21. THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. ANY SUBSTITUTION THAT HAS NOT BEEN APPROVED SHALL BE REMOVED AND REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTOR'S EXPENSE.
22. IN THE CONDITION WHERE THE PLANT MATERIAL HAS BEEN SUPPLIED BY THE OWNER THROUGH A PLANT PROCUREMENT PROGRAM WITH A MYKE PRO 2-YEAR WARRANTY, THE LANDSCAPE CONTRACTOR'S WARRANTY OF PLANT MATERIAL SHALL BEGIN FROM THE TIME OF HANDLING PLANT MATERIAL AT TIME OF DELIVERY THROUGH INSTALLATION AND END AFTER SUBSTANTIAL COMPLETION AND FINAL PUNCH-LIST APPROVAL BY LANDSCAPE ARCHITECT.
23. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
24. IRRIGATION SYSTEM SHALL UTILIZE A RAIN SENSOR. DRIP IRRIGATION SHALL BE UTILIZED AT LANDSCAPE BEDS.
25. COORDINATE WITH THE OWNER AND GENERAL CONTRACTOR FOR SLEEVE LOCATIONS AND TIMING OF SLEEVE INSTALLATION. ALL SLEEVING REQUIRED UNDER HARDSCAPE SURFACES FOR THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
26. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE BEFORE IRRIGATION LINE ROUTING BEGINS. WATER TREES BY HAND UNTIL IRRIGATION SYSTEM IS FULLY FUNCTIONAL. SHRUBS AND PERENNIALS SHALL NOT BE INSTALLED UNTIL THE IRRIGATION SYSTEM IS FULLY FUNCTIONAL. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL BEFORE SOD IS PLACED.

## DECIDUOUS TREE PLANTING NOTES:

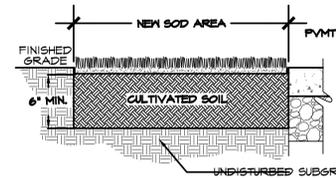
- 1) DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & UNBROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED IF REQUIRED. DO NOT REMOVE THE TERMINAL BUDS OF THE BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- 3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 4) PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY. PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL. TYPE SCARIFY HOLE & BACKFILL WITH SOIL EXCAVATED FROM HOLE & SPECIFIED AMENDMENTS.
- 5) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
- 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF THE ROOTBALL.



- 7) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
  - 8) SOAK BACKFILL AFTER PLANTING.
  - 9) APPLY 4" TH MULCH LAYER AROUND TREE. DO NOT PLACE MULCH IN DIRECT CONTACT W/ CROWN OF TREE TRUNK.
  - 10) WHEN NECESSARY APPLY TREE WRAP TO TRUNK FROM BOTTOM UPWARD, SECURE W/ TAPE.
- STAKING REQUIREMENTS:**
- 1) STAKING SHALL BE REQUIRED UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
  - 2) GUY WIRES SHALL BE GALV. 12-GAUGE DOUBLE STRAND WIRE 3'-6" ABOVE GRADE. TIGHTEN GUY WIRE ONLY ENOUGH TO KEEP FROM SLIPPING. DO NOT OVERTIGHTEN. ALLOW FOR SOME TRUNK MOVEMENT.
  - 3) USE 1-1/2" WIDE WEBBING W/ METAL GROMMETS
  - 4) TREE STAKES SHALL BE 2" DIA. X 8'-0" LODGEPOLE PINE TREE STAKES. KEEP STAKES PLUMB AND EVENLY SPACED.

## 1 DECIDUOUS TREE PLANTING

SCALE: N.T.S.



## SOD INSTALLATION NOTES:

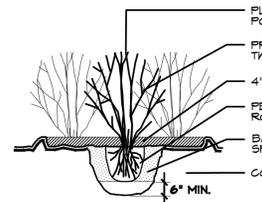
- 1) FINISHED GRADES SHALL BE ACCURATE.
- 2) CULTIVATE ENTIRE AREA TO A MINIMUM 6" DEPTH. EXCEPTIONS TO AREAS MAY BE MADE IF TREE ROOTS ARE ENCOUNTERED WITHIN THE DRIPLINE OF EXISTING TREES. HAND RAKE SMOOTH.
- 3) ADD ADDITIVES (AS PER SOIL TEST RECOMMENDATIONS) AND TILL INTO SOIL.
- 4) LAY AND ROLL SOD. WATER THOROUGHLY.

## 3 SOD INSTALLATION

SCALE: N.T.S.

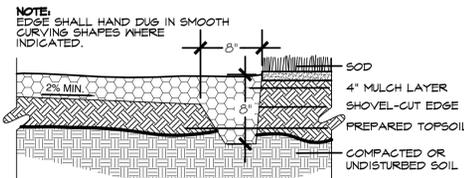
## SHRUB PLANTING NOTES:

- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.
- 2) PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE.
- 3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 4) WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED.



## 4 SHRUB PLANTING

SCALE: N.T.S.

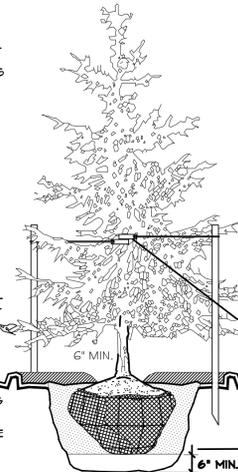


## 6 SHOVEL-CUT EDGING

SCALE: N.T.S.

## EVERGREEN TREE PLANTING NOTES:

- 1) DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & UNBROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED IF REQUIRED. DO NOT REMOVE THE TERMINAL BUDS OF THE BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- 3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 4) PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY. PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL. TYPE SCARIFY HOLE & BACKFILL WITH SOIL EXCAVATED FROM HOLE & SPECIFIED AMENDMENTS.
- 5) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
- 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF THE ROOTBALL.



- 7) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
  - 8) SOAK BACKFILL AFTER PLANTING.
  - 9) APPLY 4" TH MULCH LAYER AROUND TREE. DO NOT PLACE MULCH IN DIRECT CONTACT W/ CROWN OF TREE TRUNK.
- STAKING REQUIREMENTS:**
- 1) STAKING SHALL BE REQUIRED UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
  - 2) GUY WIRES SHALL BE GALV. 12-GAUGE DOUBLE STRAND WIRE 3'-6" ABOVE GRADE. TIGHTEN GUY WIRE ONLY ENOUGH TO KEEP FROM SLIPPING. DO NOT OVERTIGHTEN. ALLOW FOR SOME TRUNK MOVEMENT.
  - 3) USE 1-1/2" WIDE WEBBING W/ METAL GROMMETS
  - 4) TREE STAKES SHALL BE 2" DIA. X 8'-0" LODGEPOLE PINE TREE STAKES. KEEP STAKES PLUMB AND EVENLY SPACED.

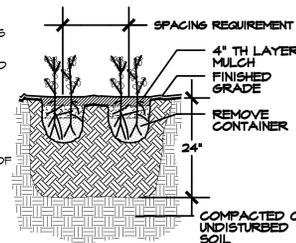
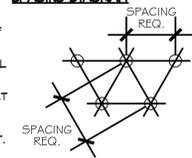
## 2 EVERGREEN TREE PLANTING

SCALE: N.T.S.

## PERENNIAL PLANTING

- 1) BREAK UP EXISTING TOPSOIL TO A DEPTH OF 24".
- 2) PROVIDE NEW TOPSOIL TO A DEPTH OF 18".
- 3) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
- 4) DO NOT ALLOW PERENNIALS TO DRY OUT. KEEP MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING.
- 5) PLACE PLANT IN VERTICAL PLUMB POSITION
- 6) DIG HOLE AS DEEP AS INITIAL ROOT SYSTEM
- 7) BACKFILL W/ SOIL AND PACK FIRMLY BY HAND. ADD ROOT STIMULATOR PER MANUFACTURER'S RECOMMENDATIONS. WATER THOROUGHLY TO FINISH PACKING SOIL AROUND ROOTS.
- 8) APPLY 4" TH LAYER OF MULCH ON PERENNIAL PLANT BED DO NOT COVER PLANTS

## SPACING DIAGRAM



## 5 PERENNIAL PLANTING

SCALE: N.T.S.



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12-2-2021

**SUMMIT VIEW FARMS**  
POOL CONSTRUCTION DOCUMENTS  
LEE'S SUMMIT, MISSOURI

REVISION:

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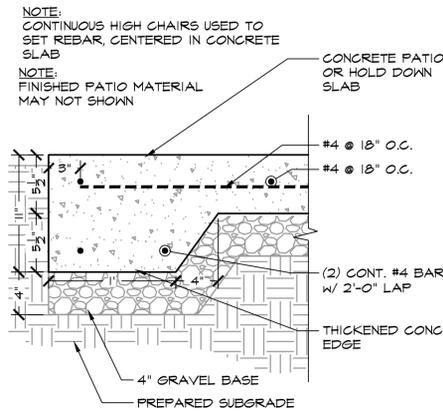
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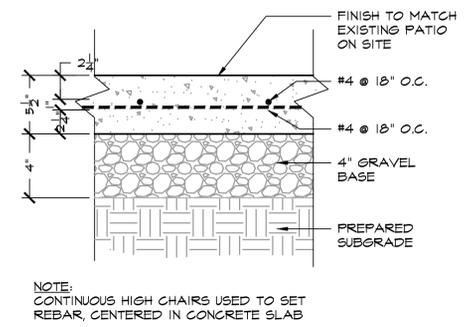
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DECEMBER 2, 2021  
LANDSCAPE NOTES & DETAILS

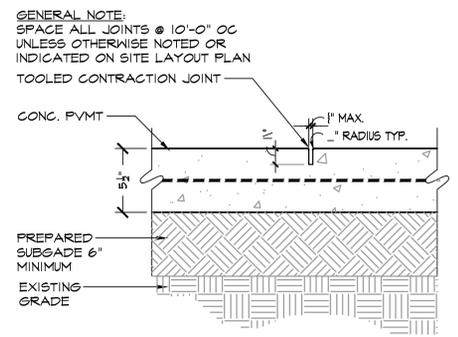
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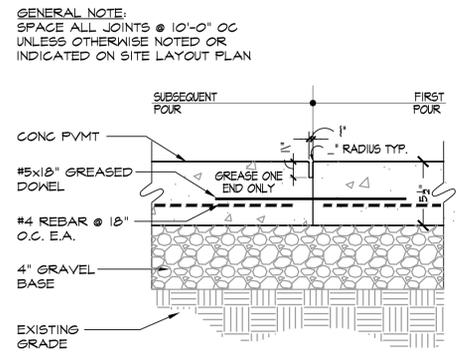
**1 CONCRETE THICKENED EDGE**  
SCALE: 1-1/2" = 1'-0" SECTION



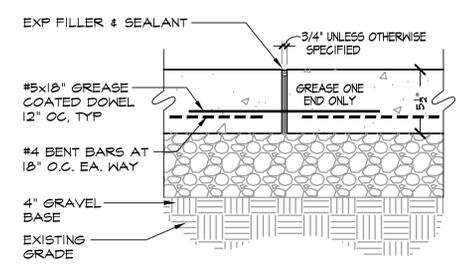
**2 CONCRETE PAVEMENT**  
SCALE: 1-1/2" = 1'-0" SECTION



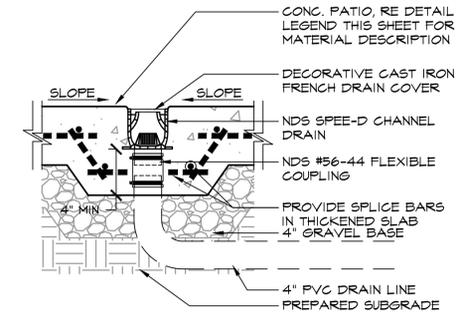
**3 CONCRETE CONTRACTION JOINT**  
SCALE: 1-1/2" = 1'-0" SECTION



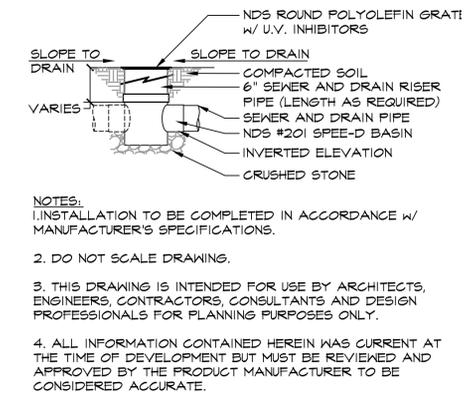
**4 CONCRETE CONSTRUCTION JOINT**  
SCALE: 1-1/2" = 1'-0" SECTION



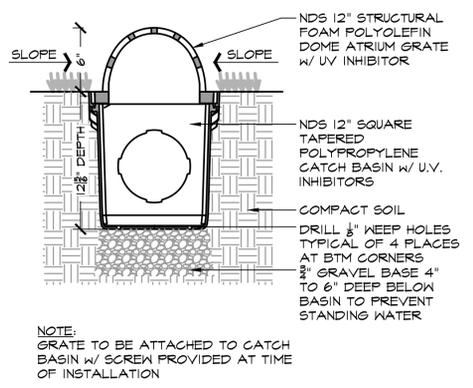
**5 GREASE DOWEL @ EXP JOINT**  
SCALE: 1-1/2" = 1'-0" SECTION



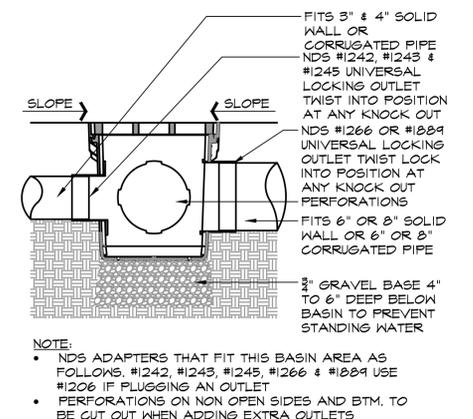
**6 TRENCH DRAIN**  
SCALE: 1-1/2" = 1'-0" SECTION



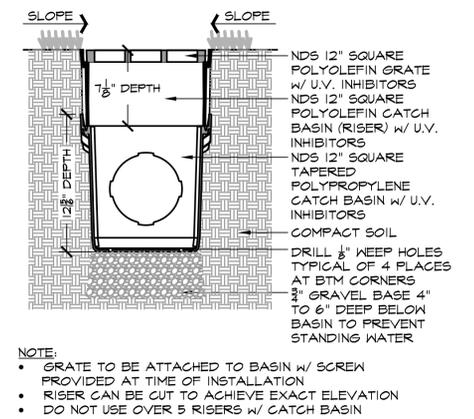
**7 NDS ROUND SPEED-D BASIN**  
SCALE: 1-1/2" = 1'-0" SECTION



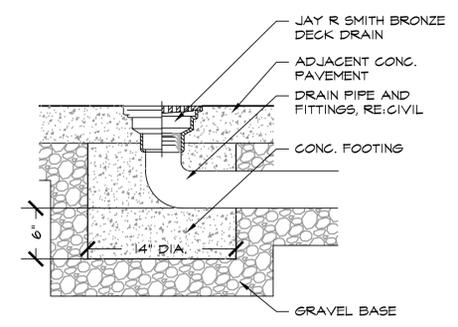
**8 CATCH BASIN @ LANDSCAPE AREAS**  
SCALE: 1-1/2" = 1'-0" SECTION



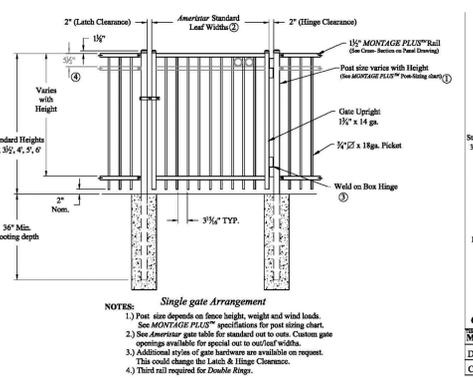
**9 CATCH BASIN w/ PLUMBING**  
SCALE: 1-1/2" = 1'-0" SECTION



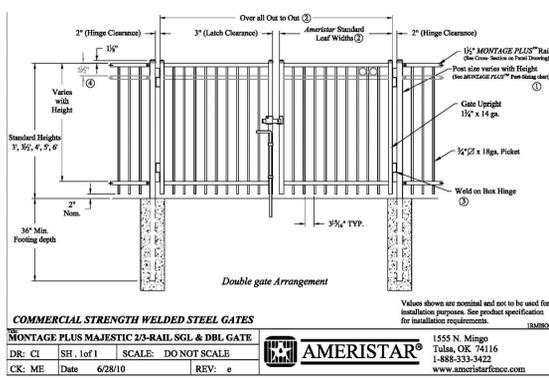
**10 CATCH BASIN w/ RISER**  
SCALE: 1-1/2" = 1'-0" SECTION



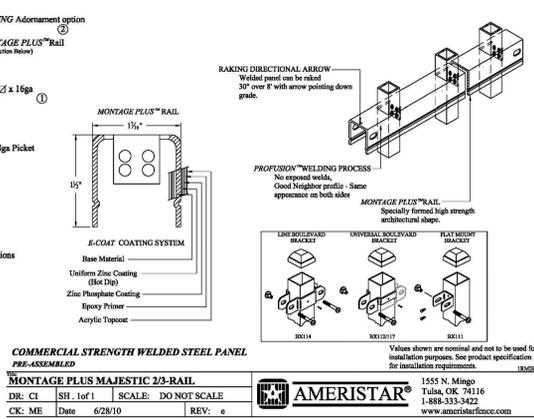
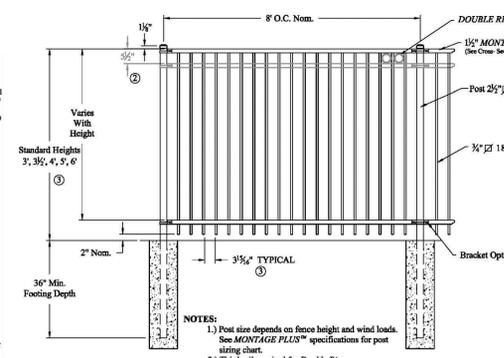
**11 POOL DECK AREA DRAIN**  
SCALE: NTS



**12 POOL GATE**  
SCALE: NTS

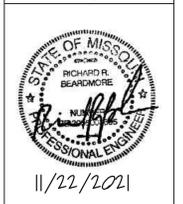


**13 POOL FENCING**  
SCALE: NTS



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**SUMMIT VIEW FARMS**  
**POOL HOUSE**  
LEE'S SUMMIT, MISSOURI

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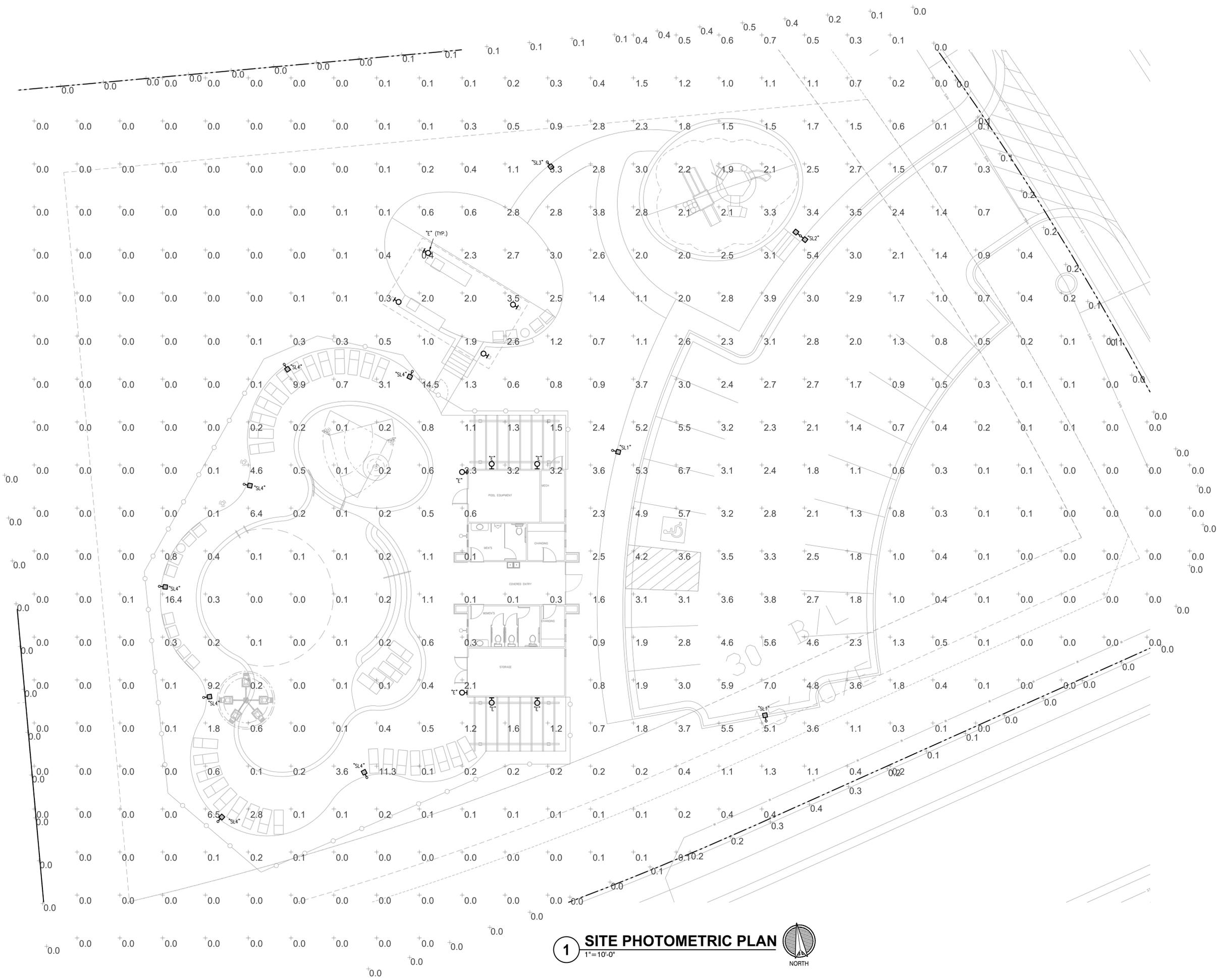
**Weston E. Coble**  
Architect  
KS# 2736  
MO# A-201601206

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project no. 20091  
date 01/14/2021  
revised  
design by RRB  
drawn by CAD  
struct. by APEX

**Site Photometric Plan**

sheet no. **E-1**  
NEW SHEET



**1 SITE PHOTOMETRIC PLAN**  
1"=10'-0"  
NORTH





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MECHANICAL SPECIFICATIONS table with columns for GENERAL PROVISIONS, CONTRACT DOCUMENTS, SPECIFICATION FORM AND DEFINITIONS, QUALIFICATIONS, LOCAL CONDITIONS, CONTRACT CHANGES, LOCATIONS AND INTERFERENCES, EXTENT OF CONTRACT WORK AND CODES - MECHANICAL, and PIPE HANGERS AND SUPPORTS.

ELECTRICAL SPECIFICATIONS table with columns for ELECTRICAL, EXTENT OF CONTRACT WORK AND CODES, BASIC MATERIALS AND METHODS, IDENTIFICATION OF WIRING, CONDUITS, CONDUIT FITTINGS, CONDUIT INSTALLATION, CONDUCTOR INSTALLATION, CONDUCTOR, CONDUIT FITTINGS, CONDUIT INSTALLATION, CONDUCTOR INSTALLATION, GROUNDING, GROUNDING CONNECTIONS, and INDUSTRY REFERENCES.







01/14/2021

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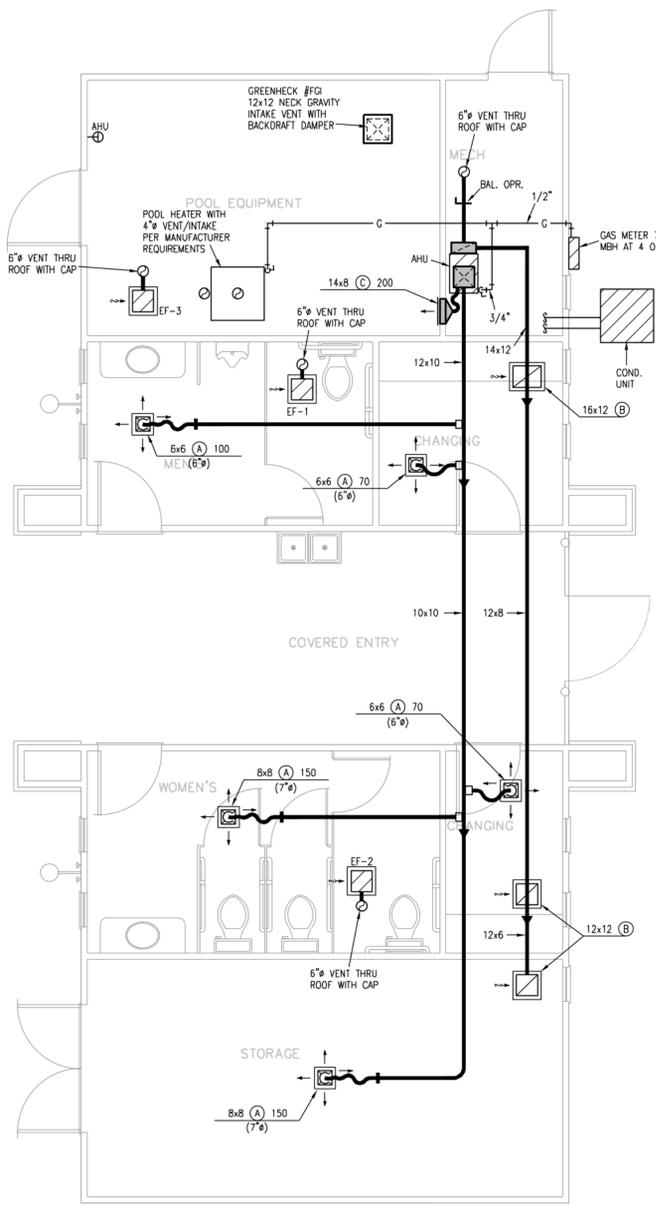
**First Floor Plan - Mech/Elec**

sheet no.  
**ME-3**

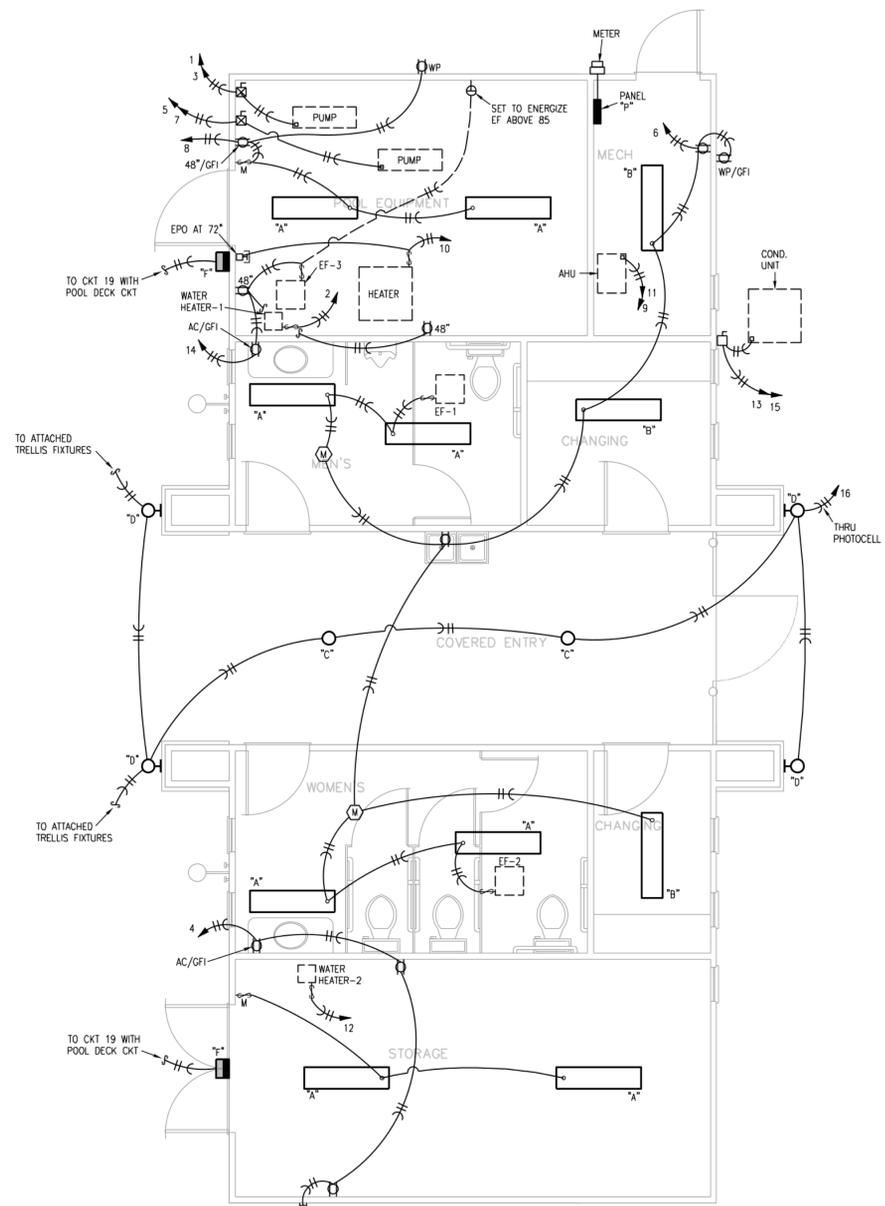


- NOTES: HVAC**
- COORDINATE WITH OTHER SUB-CONTRACTORS FOR PLACEMENT OF WORK PRIOR TO INSTALLATION BEGINNING.
  - ALL INDIVIDUAL BRANCH DUCTS ARE THE SIZE OF THE DIFFUSER NECK LISTED AND HAVE A MANUAL BALANCING DAMPER WHERE NOT INTEGRAL WITH THE DIFFUSER.
  - SEE THE ARCHITECTURAL, LIGHTING AND STRUCTURAL DRAWINGS FOR CLEARANCES.
  - MAINTAIN 3 FEET CLEARANCE FROM EXHAUST DUCTS TO BUILDING OPENINGS AND 10 FEET TO AIR INTAKES.
  - ROUTE NO DUCTS OVER ELECTRICAL EQUIPMENT.
  - FLEXIBLE DUCT LENGTHS SHALL NOT EXCEED 15 FEET AND SHALL BE AS STRAIGHT AS POSSIBLE AND NOT KINKED AT DIFFUSER OR TAKE-OFF.
  - RECTANGULAR DUCT RUNS MAY BE CONVERTED TO EQUIVALENT ROUND WITH THE SAME STATIC LOSS PER 100 FT.

- NOTES: ELECTRICAL**
- COORDINATE WITH OTHER SUB-CONTRACTORS FOR PLACEMENT OF WORK PRIOR TO INSTALLATION BEGINNING.
  - PROVIDE NEC CLEARANCES FOR ALL PANELS AND ELECTRICAL EQUIPMENT.
  - LABEL ALL JUNCTION BOXES AS TO THE PANEL AND CIRCUIT NUMBER SERVED.
  - PANEL DIRECTORIES SHALL BE SPECIFIC TO THE ROOMS/EQUIPMENT SERVED.
  - SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS AND DETAILS.



**1 FIRST FLOOR PLAN**  
1/4"=1'-0"  
HVAC  
NORTH



**2 FIRST FLOOR PLAN**  
1/4"=1'-0"  
ELECTRICAL  
NORTH





PLUMBING FIXTURE SCHEDULE														
Mark	Item	Model	Description	Individual Connections				Accessories						
				W	V	CW	HW	Supplies	Stops	Carrier	P-Trap	Drain	Other	
P-1	Accessible Water Closet, Tank Type	Proflo #1203WH with PFTS2000wh	Floor-mounted ADA height white vitreous china elongated bowl 1.6 gpf gravity type with Fluidmaster 400A flush mechanism and bolt covers. Provide solid plastic open front elongated white heavy duty seat with integral bumpers, external check hinges with stainless steel posts.	3" or 4"	2"	1/2"		2	1					3
P-2	Accessible Lavatory, Countertop	Proflo #PF20174BS with Peerless #PFL1D11MBN	20" x 17" oval vitreous china countertop lavatory with overflow. Faucet is 4" o.c. single lever ADA handle, copper waterways, chrome finish. Floor-mounted standard height white vitreous china elongated bowl 1.6 gpf gravity type with Fluidmaster 400A flush mechanism and bolt covers. Provide solid plastic open front elongated white heavy duty seat with integral bumpers, external check hinges with stainless steel posts.	2"	1 1/2" or 2"	1/2"	1/2"	2, 4	1		1	1	1	1
P-3	Water Closet, Tank Type	Proflo #1201WH with PFTS2000wh	Floor-mounted ADA height white vitreous china elongated bowl 1.6 gpf gravity type with Fluidmaster 400A flush mechanism and bolt covers. Provide solid plastic open front elongated white heavy duty seat with integral bumpers, external check hinges with stainless steel posts.	3" or 4"	2"	1/2"		2	1					3
P-4	Outdoor Shower	Symons SYM-325	Self-closing single temperature metering valve with fixed head.			1/2"								
P-5	Accessible Dual Height Water Cooler with Bottle Filler	Halsey Taylor #HACBFLFSQ	ADA compliant dual bowl cooler providing 8 gph of 50 deg water at 90 deg ambient. Provide front and side push bars, lead free, mounted with 27" knee clearance and spout no more than 36" AFF. Provide bottle filler in backsplash.	2"	1 1/2" or 2"	1/2"	1/2"	2	1		1			1
P-6	Eye Wash	Guardian G1814BC	Wall-mounted stainless steel bowl with cover, paddle valve, thermostatic mixing valve.	2"	2"	1/2"	1/2"							
P-7	Urinal	American Standard #6551.017	White vitreous china wall hung with 3/4" top spud, 1.0 gallon siphon jet flushing action. Mount rim per Architectural elevation.	2"	2"	3/4"		3			1			
<b>Supplies</b> 1 - Flexible braided stainless steel 2 - Flexible braided compression hose. 3 - Sloan Royal 186 1.0 gpf diaphragm type. 4 - Provide tempering valve below sink set at 110 deg														
<b>Stops</b> 1 - Angle handle compression														
<b>Carrier</b> 1 - Steel tube floor-mounted in-wall carrier with arms 2 - Cast iron floor mount adjustable carrier for water closet														
<b>P-Trap</b> 1 - PVC with deep escutcheon 2 - PVC 3 - deep seal PVC trap and 30" standpipe.														
<b>Drain</b> 1 - Metal pop-up with tailpiece 2 - Basket strainers in finish to match faucet, tailpiece. 3 - Chrome drain cover.														
<b>Other</b> 1 - Provide trap and supply guard if exposed. 2 - Hose and bracket, mop hanger and hose rack. 3 - Open front seat in public restrooms 4 - Provide Watts Tempering valve, max 110 Deg. F.														

HVAC SYSTEM SCHEDULE																				
MARK	MFR	NOM TON	MODEL	CFM	AHU				OUTDOOR UNIT											
					OA CFM	E.S.P.	HP	SMBH	TMBH	HEAT CAP	ELEC	FLA	OCF	MFR	MODEL	ELEC	FLA	OCF	SEER	NOTES
AHU/CU	GOODMAN	2	ARUF25B14	750	130	0.4	0.33	16.9	23.0	6 KW	240/1	27	40	GOODMAN	GSX14-0241	240/1	8.4	15	14.0	

COOLING EAT = 80/67/95

WATER HEATER SCHEDULE												
MARK	MFR	MODEL	FUEL	VOLTAGE/PH/AMPS	INPUT	EFFICIENCY /PF	GALLONS STORAGE	GPH RECOVERY @ 80° RISE	FLUE TYPE	EXPANSION	CIRCULATOR GPM/HD	NOTES
WH - L1, L2	EEMAX	EMT-1	ELEC	120/1/12	1.4 KW	0.95	1.5	5	N/A			

DRAIN SCHEDULE								
MARK	APPLICATION	MFR	MODEL	BODY MATL	DEPTH	GRATE MATL	GRATE SHAPE	ACCESSORIES
FD-1	FLOOR	ZURN	ZN-415S	COATED CAST IRON	3"	NICKEL BRONZE	6" ROUND	1, 2
FD-2	FLOOR	ZURN	Z-611-S	COATED CAST IRON	6"	COATED CAST IRON	9" SQUARE	1, 2, 3

- ACCESSORIES:  
 1 - DEEP TRAP, ADJUSTABLE GRATE  
 2 - USE WIDE FLANGE MODEL WHERE IN WOOD CONSTRUCTION  
 3 - INTERNAL STRAINER

AIR TERMINAL DEVICE SCHEDULE						
MARK	MANUFACTURER	MODEL	FINISH	DAMPER	FRAME TYPE	NOTES
A	AIR MATE	A140, A190	WHITE	YES	GYP BD	
B	AIR MATE	170	WHITE	NO	GYP BD	
C	AIR MATE	240 VO	WHITE	YES	GYP BD	

FAN SCHEDULE										
MARK	MFR	MODEL	CFM	ESP	FAN HP	VOLT SV/PH	FL A	ELECTRICAL		CONFIGURATION N - NOTES
								WIRING	OCF	
EF - 1, 2, 3	GREENHECK	SP-A390	210-280	0.25	Fr.	120/1	3	15	(3) #12	ceiling, 1, 2

NOTES:  
 1-CEILING GRILLE, DS  
 2-BD DAMPER, DS, SPEED CONTROLLER, WALL/ROOF CAP

Luminaire Schedule - Units and Buildings							
MARK	DESCRIPTION	MFR	MODEL	MOUNTING	FINISH	LAMPS	NOTES
D	Exterior Sconce	Progress	P5674-31-30K	wall	black	1600 lumen 15W 3000K LED	
E	Trellis	Progress	P5641-20/30K	ceiling	bronze	1355 Lumen 20W 3000K LED	
SL1	Exterior Pole	McGraw Edison	GLEON-AF-02 LED E1 T4FT	pole	bronze	113W 12252 Lumen 4000K led	provide with 15 ft pole
SL2	Exterior Pole	McGraw Edison	GLEON-AF-01-LED-E1-SL4	pole	bronze	(2) 59W 5922 Lumen 4000K led	provide with 15 ft pole
SL3	Exterior Pole	McGraw Edison	GLEON-AF-01-LED-E1-T3	pole	bronze	59W 6235 Lumen 4000K led	provide with 15 ft pole
SL4	Bollard	McGraw Edison	BRT6-A2-740-U-T3	bollard	bronze	11W 1075 Lumen 4000K led	3 FT w/ WP-GFI receptacle

ELECTRICAL PANEL SCHEDULE											
PANEL: P	BUS: 200 A	LOCATION:				MOUNTING:		SURFACE			
		MAINS:	MLO	VOLTAGE	120/240	POLE	PHASE WIRE		1 Ph 3 Wire	KAIC: 42	
		WATTS		BRKR		WIRE		WATTS		DESCRIPTION	
		A	B	BRKR	WIRE	WIRE	BRKR	A	B		
POOL PUMP		2200		30	10	1 2	12 20		1500	WH - L1	
5 HP - VERIFY			2200	2P	10	3 4	12 20			RECEPTACLES	
POOL PUMP		1300		20	12	5 6	12 20		1000	LTS/RECEPTS	
3 HP - VERIFY			1300	2P	12	7 8	12 20		600	LTS/RECEPTS	
AHU		3200		40	8	9 10	12 20		200	POOL HEATER	
			3200	2P	8	11 12	12 20		1500	WH - L2	
CU		1000		20	12	13 14	12 20		600	RECEPTACLES	
			1000	2P	12	15 16	12 20		200	LIGHTING	
COOKING STATION		600		20	12	17 18	10 20		1000	LIGHTING	
LIGHTING			700	20	10	19 20				SPACE	
SPARE				20		21 22				SPACE	
SPARE				2P		23 24				SPACE	
SPARE				20		25 26				SPACE	
SPARE				20		27 28				SPACE	
SPARE				20		29 30				SPACE	
CONNECTED LOAD-WATTS		12600	11500			FEEDER LOAD-WATTS					
CONNECTED LOAD-AMPS		105	96			FEEDER LOAD-AMPS					
CONTINUOUS LOAD						FEEDER WIRE					
RECEPTACLES						FEEDER OCP				200 A	
NON-CONTINUOUS LOAD											
OTHER DIVERSIFIED LOAD				@		0					

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 LSA PROJECT NO. 2004036

RELEASED FOR CONSTRUCTION As Noted on Plans Review  
 Development Services Department  
 11/22/2021

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 Kansas state certificate of authority # A-1410  
 Missouri state certificate of authority # 000203

NOTICE DUTY OF COOPERATION  
 The undersigned hereby certifies that the design, preparation and construction of the project shown on these plans shall be the responsibility of the contractor. The contractor shall be responsible for the construction of the project and shall be responsible for the construction of the project and shall be responsible for the construction of the project.

STATE OF MISSOURI  
 BEAUMONTE  
 MISSOURI PROFESSIONAL ENGINEER  
 11/22/2021

**SUMMIT VIEW FARMS**  
 POOL HOUSE  
 LEE'S SUMMIT, MISSOURI

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CITY REVIEW 11-22-21

**Weston E. Coble**  
 Architect  
 KSB 4736  
 MO# A-2016011206

The Professional Architects seal affixed to this sheet represents approval of the design and construction of the project shown on these plans. All drawings, specifications, or other documents not included on these plans shall be as indicated on these plans. The undersigned represents that the design and construction of the project shown on these plans shall be the responsibility of the contractor.

project no. 20091  
 date 01/14/2021  
 revised  
 design by RRB  
 drawn by CAD  
 struct. by APEX

**MECH./ELEC. SCHEDULES**  
 sheet no. ME-6