

PROJECT DIRECTORY

OWNER / DEVELOPER
 TM CROWLEY
 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280
 (317) 705-8800

CIVIL ENGINEER
 PREMIER DESIGN GROUP
 100 MIDLAND PARK DRIVE
 WENTZVILLE, MO 63385
 314-925-7444
 CONTACT: MATT FOGARTY

MUNICIPALITY
 CITY OF LEE'S SUMMIT
 200 SE GREEN
 LEE'S SUMMIT, MO 64063
 (816) 969-1200
 CONTACT: DEVELOPMENT
 SERVICES DEPARTMENT

UTILITY PROVIDERS

WATER
 CITY OF LEE'S SUMMIT WATER
 1200 SE HAMBLEN RD
 LEE'S SUMMIT, MO 64081
 (816) 969 1900
 CONTACT: T.B.D.

ELECTRIC
 EVERGY
 1351 NW WARD RD
 LEE'S SUMMIT, MO 64086
 (888) 471-5275
 CONTACT: RON DEJARNETTE

GAS
 SPIRE
 1117 S. PLEASANT ST
 INDEPENDENCE, MO 64050
 (800) 582-1234
 CONTACT: T.B.D.

TELEPHONE
 AT&T BUSINESS COMMUNICATION SERVICES
 (618) 346-6400
 CONTACT: T.B.D.

FIRE DEPARTMENT
 CITY OF LEE'S SUMMIT FIRE PROTECTION
 207 E. DOUGLAS BLVD
 LEE'S SUMMIT, MO 64063
 (816) 969-1313
 CONTACT: MIKE SNIDER - FIRE CHIEF

SANITARY SEWER
 CITY OF LEE'S SUMMIT SEWER
 1200 SE HAMBLEN ROAD
 LEE'S SUMMIT, MO 64081
 (816) 969 1900
 CONTACT: T.B.D.

CABLE
 SPECTRUM
 188 NW OLDHAM PKWY
 LEE'S SUMMIT, MO 64081
 (874) 874 2389
 CONTACT: T.B.D.

EXISTING LEGEND	
	FOUND IRON PIPE
	SET IRON PIPE
	FOUND STONE MONUMENT
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	IRRIGATION CONTROL VALVE
	GAS VALVE
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER INLET
	PIPE BOLLARD
	SIGN
	BUSH
	TREE
	TRAFFIC SIGNAL BOX
	MONITORING WELL
	TEST HOLE
	PEDESTRIAN SIGNAL
	ELECTRIC METER
	STORM CURB INLET
	STORM DOUBLE CURB INLET
	AIR CONDITIONER
	DOWN SPOUT
	TELEPHONE PEDESTAL
	B.O.C. BACK OF CURB
PROPOSED LEGEND	
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	MONITORING WELL
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	GRATE INLET
	DOUBLE CURB INLET
	PIPE BOLLARD
	SIGN
	ELECTRIC METER
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/PHONE
	2" WATER MAIN
	6" WATER MAIN
	8" WATER MAIN
	X" GAS LINE
	-507- CONTOUR LINE



500 NW CHIPMAN RD.

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3,
 CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S
 SUMMIT, JACKSON COUNTY, MISSOURI.



LOCATION MAP
 1" = 250'

DISTURBED AREA = 0.73 ACRES

COORDINATE DATA:
 PER ST. JACKSON COUNTY REGULATIONS, COORDINATE VALUE ARE SHOWN
 IN U.S. FEET AND ALL BEARINGS ARE GRID BEARINGS. ALL DISTANCES ARE
 GROUND DISTANCES.
 N: X.XXX.XXX.XXX USFT. (IN U.S. FEET)
 E: XXX.XXX.XXX USFT. (IN U.S. FEET)
 PER MISSOURI COORDINATE SYSTEM 1983, WEST ZONE (ZONE NO. 2403)
 GRID FACTORS = 0.99897480

BEARINGS ADOPTED:
 BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83
 (2011) WEST ZONE

ELEVATION ADOPTED:
 THE ELEVATIONS WERE ESTABLISHED USING THE MISSOURI DEPARTMENT OF
 TRANSPORTATION'S VRS, RTK SYSTEM AND IS REFERENCED TO THE NAVD 88
 DATUM WITH GEOID 18.



PRCOM20215300

SHEET INDEX

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C-402	EROSION CONTROL DETAILS
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EO.01	ELECTRICAL SITE & PHOTOMETRIC PLAN

PROPERTY DATA

OVERALL SITE ACREAGE	±0.828 ACRES
ADDRESS	500 NW CHIPMAN RD.
PARCEL ID#	52-900-03-42-00-0-00-000
EXISTING ZONING	PMIX - PLANNED MIXED USE
CURRENT LAND USE	VACANT COMMERCIAL PROPERTY
PROPOSED LAND USE	COMMERCIAL

LEGAL DESCRIPTION:

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3,
 CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S
 SUMMIT, JACKSON COUNTY, MISSOURI.

SITE COVERAGE CALCULATIONS

SITE AREA = ±0.828 ACRES / 36,067.68 S.F.
 FLOOR TO AREA RATIO
 950736.068 = 0.026 FAR

EXISTING IMPERVIOUS AREA PARKING LOT AND BUILDING
 0.046 ACRES OF PAVEMENT
 0.00 ACRES OF BUILDING

EXISTING GREEN SPACE
 0.762 ACRES

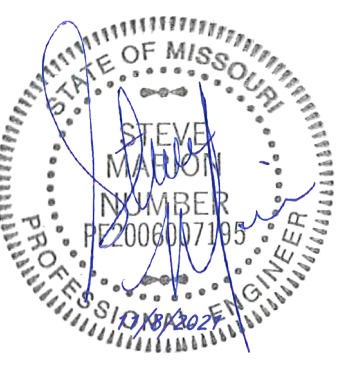
EXISTING PERCENT OF IMPERVIOUS AREA COVERAGE = 5.56%

PROPOSED IMPERVIOUS AREA PARKING LOT AND BUILDING
 0.540 ACRES OF PAVEMENT
 0.022 ACRES OF BUILDING

PROPOSED GREEN SPACE
 0.266 ACRES OF GREEN SPACE

PROPOSED PERCENT OF IMPERVIOUS AREA COVERAGE = 67.87%

RELEASED FOR CONSTRUCTION
 As Noted on Plans Review
 Development Services Department
 Lee's Summit, Missouri
 12/02/2021



ENGINEERS AUTHENTICATION
 The responsibility for professional engineering liability on this project is
 hereby limited to the set of plans authenticated by the seal, signature,
 and date hereunder attached. Responsibility is disclaimed for all other
 engineering plans involved in this project and specifically excludes
 revisions after this date unless reauthenticated.
 STEVEN D. MARION, P.E.
 PROFESSIONAL ENGINEER
 PE 2200607195

DUTCH BROS
 LEE'S SUMMIT, MO
 500 NW CHIPMAN RD.
 LEE'S SUMMIT, MO 64086
 TM CROWLEY
 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280

Project	
Date	9-30-2021
Revision Date	
1: 10-21-2021	REVISIONS PER CITY COMMENTS
2: 11-05-2021	REVISIONS PER CITY COMMENTS
Sheet Title	COVER SHEET
Sheet Number	C-000

Project No.	2109720
Drawn By	A. JONES
Checked By	M. FOGARTY

ISSUED FOR CONSTRUCTION

V:\0411-PCS\0411-PCS\PROJECTS\2021\2109720_2109720_2109720_2109720\CONSTRUCTION DRAWINGS\SHEETS\C-000 COVER SHEET.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
 Underground utilities and structures have been plotted from available
 information and therefore, their location must be considered
 approximate only. It is the responsibility of the individual contractors
 to notify the utility companies before actual construction. All O.S.H.A.
 rules and regulations established for the type of construction required
 by these plans shall be strictly followed (i.e. trenching, blasting, etc.)

PAVING, GRADING, AND DRAINAGE NOTES:

- ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF LEES SUMMIT.
- ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE RE-GRADED AND LANDSCAPED OR PAVED, (WHATEVER WAS THERE BEFORE DISTURBANCE). ALL DISTURBED AREAS SHALL BE REPAIRED TO THE PREVIOUS CONDITION OR BETTER THAN BEFORE AREA WAS DISTURBED.
- TRAFFIC CONTROL ON ALL STATE, CITY AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/HA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE ANY WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL EVENT UNTIL SOIL IS STABILIZED.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND THE PROJECT SPECIFICATIONS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT TO FULL DEPTH OF EXISTING PAVEMENT. CONTRACTOR SHALL PREPARE A SMOOTH, SOUND, VERTICAL FACE AND MATCH THE EXISTING PAVEMENT ELEVATION UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL LONGITUDINAL BUTT JOINTS WHEN CONNECTING TO EXISTING CONCRETE PAVEMENT.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS ARE NOT OVERLY COMPACTED AND DO NOT CONTAIN LIMESTOCK. THE CONTRACTOR SHALL EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED.
- ALL DRAINAGE STRUCTURES SHALL BE DE-SILTED AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS UNDER BUILDING. TOPSOIL MAY BE STOCKPILED ON SITE FOR REPLACEMENT IN GREEN AREAS.
- FIELD DENSITY TESTS SHALL BE TAKEN AT A FREQUENCY AS REQUIRED IN THE PROJECT SPECIFICATIONS.
- BEFORE PAVING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. REQUIREMENTS) EXIST TO AND FROM EVERY ACCESSIBLE DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ARCHITECT AND CIVIL ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.
- CONTRACTOR ADJUSTMENT TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED, ONLY WITH THE PRIOR APPROVAL OF THE CIVIL ENGINEER. CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- SPOT ELEVATIONS SHOWN ARE TO TOP OF FINISHED SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. WHEN APPLICABLE, ADD 0.50 FEET TO SPOT GRADES SHOWN FOR TOP OF CURB ELEVATIONS.
- THE CONTRACTOR TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO, THE INSTALLATION OF BMP'S AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BMP'S MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE TEMPORARY BARRIERS, AT NO TIME SHALL THEY BE ANY OFF-SITE DISCHARGE WHICH VIOLATES LOCAL, STATE, OR FEDERAL WATER QUALITY STANDARDS.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS, IN GOOD CONDITION, AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY JURISDICTIONAL AGENCIES.
- IF ANY EXISTING STRUCTURES, FACILITIES, OR IMPROVEMENTS (PUBLIC OR PRIVATE) TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, FACILITY, OR IMPROVEMENT AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL REFERENCE ARCHITECT AND ELECTRICAL PLANS AND PROVIDE CONDUIT NEEDED FOR LOT LIGHTING AND SIGNAGE PRIOR TO SITE PAVING.
- PAVING LINE AND GRADE SHALL "TUSHOUT" ALONG ALL CONNECTIONS TO EXISTING PAVING.
- ALL BENDS LESS THAN 42" DIAMETER MUST BE FACTORY MANUFACTURED BENDS.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICE REPORT FOR THIS SITE.
- PAVING CONTRACTOR IS RESPONSIBLE FOR ALL LAY DOWN CURBS AT INTERSECTIONS WHERE BARRIER FREE RAMPS ARE TO BE CONSTRUCTED.
- REFERENCE DETAIL SHEETS FOR PAVEMENT JOINT SPACING AND REQUIREMENTS. ALL SAWCUT AND JOINT LOCATIONS WILL BE AS REQUIRED BY THE CITY OF LEES SUMMIT INSPECTOR.
- PRIVATE STORM PIPE MATERIAL SHALL BE PER CITY OF LEES SUMMIT SPECIFICATIONS.
- ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:
 TH-TOP OF PAVEMENT
 CT-TOP OF CURB
 TW-TOP OF WALL
 BW-FINISHED GROUND AT FACE OF WALL
 GRND-FINISHED GROUND AT YARD DRAINS, TOP OF FINISHED GRADE IN NON-PAVEMENT AREAS

GRADING PLAN NOTES:

- THE CONTRACTOR SHALL RESTORE OFFSITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL GRADES SHALL BE WITHIN 0.1 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SODDED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED OR DETAILED.
- THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION, PAVEMENT AREAS, BUILDING MATERIALS, BUILDING MATERIAL TYPES, PARKING LIGHTING, UTILITIES AND TREES. THE REMOVAL AND DISPOSAL OF ALL ITEMS SHALL BE INCLUDED IN THE BID.
- NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE OWNER/DEVELOPER. SILTATION CONTROL WILL BE PROVIDED AS REQUIRED TO PREVENT RUN-OFF. REFER TO THE EROSION CONTROL PLAN(S) AND DETAILS.
- ALL TRASH, DEBRIS, ORGANIC MATERIAL, REFUSE, FROZEN EARTH, ETC., SHALL BE REMOVED FROM FILL AREAS PRIOR TO THE PLACEMENT OF CONTROLLED FILL. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL PER THE EROSION CONTROL PLAN(S) AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES AS REQUESTED BY THE CITY OF LEES SUMMIT, SHOULD THE EROSION CONTROL PLAN AND DETAILS PROVE TO BE INSUFFICIENT DUE TO UNFORESEEN CIRCUMSTANCES.
- CARE SHALL BE EXERCISED IN COMPACTION OF BACKFILL MATERIALS OVER THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES, JOINTS, SEALS AND/OR THE PIPES AND STRUCTURES THEMSELVES. COMPACTION AND PLACING OF BACKFILL AND FILL MATERIALS SHALL BE PERFORMED UNDER THE CONTINUOUS SUPERVISION OF AN APPROVED TESTING LABORATORY. FILL SHALL NOT BE PLACED ON FROZEN GROUND, NOR SHALL FILLING OPERATIONS CONTINUE WHEN THE TEMPERATURE IS SUCH AS TO PERMIT THE LAYER UNDER PLACEMENT TO FREEZE.
- ALL CITY, COUNTY, AND STATE ROADS SHALL BE KEPT FREE OF DIRT DAILY.
- FINAL GRADES SHALL MATCH EXISTING ELEVATIONS AT THE LAND DISTURBANCE LIMITS UNLESS OTHERWISE SHOWN.
- THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH THE CITY OF LEES SUMMIT AND EPA STANDARDS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF LEES SUMMIT AND EPA STANDARDS.
- INTERM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE IS AN ORDINARY LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- G.C. TO BE AWARE THAT A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAN APPROVAL IS NOT TO BE CONSIDERED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICES REPORT FOR THIS PROJECT.
- ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT AREAS SHALL BE REPAIRED BY FULL SLAB REPLACEMENT UNLESS SPECIFICALLY AUTHORIZED BY THE DEVELOPER OR MUNICIPALITY HAVING JURISDICTION.
- ALL UTILITY SPOLS SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S BID. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR AND UTILITY INSTALLER.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

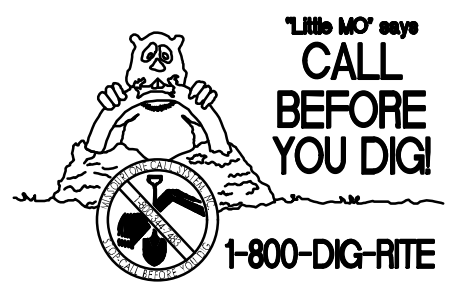
ADA COMPLIANCE NOTES:

- CONTRACTOR SHALL CONFIRM ALL EXISTING SLOPES FOR ACCESSIBLE ROUTES AS WELL AS THE ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES WITH A SLOPE METER TO CONFIRM MAXIMUM SLOPES ARE NOT EXCEEDED.
- CONTRACTOR IS REQUIRED TO PROVIDE AS-BUILT SPOT ELEVATIONS ALONG THE ACCESSIBLE ROUTES SHOWN ON THIS PLAN EVERY 10 FEET IN ORDER TO CONFIRM MAXIMUM (2%) CROSS-SLOPE AND MAXIMUM (5%) SLOPES IN THE DIRECTION OF TRAVEL. IN ADDITION, SPOT ELEVATIONS ARE REQUIRED ON ALL CORNERS AND MIDPOINTS OF ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES TO CONFIRM MAXIMUM 2% SLOPES ARE NOT EXCEEDED IN ALL DIRECTIONS. THIS INFORMATION SHALL BE PROVIDED. A MINIMUM OF 2 WEEKS BEFORE STORE TURNOVER.
- THE GENERAL AND CONCRETE CONTRACTOR SHALL FIELD VERIFY ADA SLOPES DURING CONCRETE POUR. A 2" SMART LEVEL WITH AN ACCURACY TO .029 PERCENT SHALL BE USED FOR VERIFYING SLOPES. ANY SLOPES IN THE ADA AREAS THAT EXCEED A 2% CROSS SLOPE ALONG THE BUILDING, ADA STALLS AND/OR SIDEWALK, 5% RUNNING SLOPE FOR SIDEWALKS AWAY FROM THE PROPOSED PETSUITS BUILDING, AND EXCEED 8.3% ON RAMPS SHALL BE REMOVED AND REPLACED AT THE CONCRETE CONTRACTOR'S EXPENSE. THE SURVEYOR FOR STAKING CAN PROVIDE A REFERENCE FOR ELEVATION HOWEVER CONFIRMATION IS REQUIRED BY SLOPE LEVEL DURING CONSTRUCTION.

ABBREVIATIONS:

- AI..... AREA INLET (OPEN 4 SIDES UNLESS NOTED OTHERWISE)
- DAI..... DOUBLE AREA INLET (OPEN 4 SIDES UNLESS NOTED OTHERWISE)
- MH..... MANHOLE
- CI..... CURB INLET
- DCI..... DOUBLE CURB INLET
- CSI..... GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRATE. ADD 0.50 FOR TOP OF SIDE INTAKE.)
- ZCSI..... Z GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRATE. ADD 0.50 FOR TOP OF SIDE INTAKE.)
- DW..... AIR DOME
- EP..... END OF PIPE
- RES..... FLARED END SECTION
- IMH..... INTERCEPTOR MANHOLE
- ID..... TRENCH DRAIN
- ATO..... ADJUST TO GRADE
- DENOTES HYDRAULIC GRADE JUMP
- TBR..... TO BE REMOVED
- TBR&R..... TO BE REMOVED & REPLACED

\\vofai-fpc\vol1\h3d\PROJ\BCT\2021\10\07\2021_DMC\Doc\Lines\Summit\ENGINEERING\CONSTRUCTION\DRAWINGS\SHEET\CS-001_GENERAL NOTES.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)

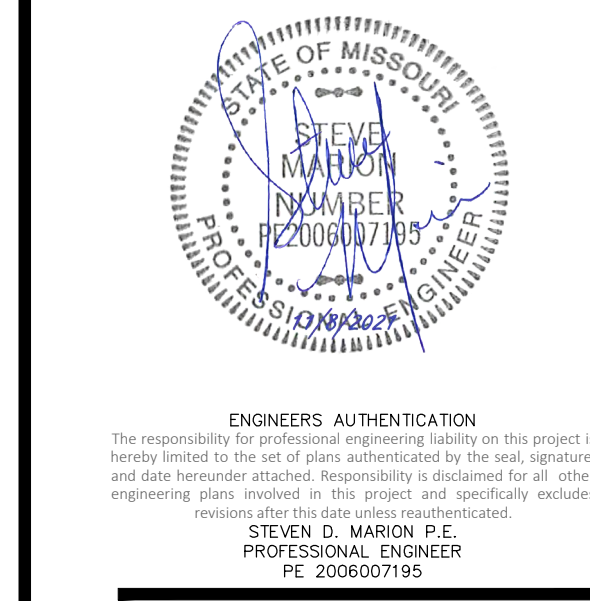
GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEES SUMMIT SPECIFICATIONS, CITY OF LEES SUMMIT "STANDARD DETAILS", THE CITY OF LEES SUMMIT'S DESIGN AND CONSTRUCTION MANUAL, LATEST EDITION, THE PROJECT SPECIFICATIONS BOOK, AND THESE CONSTRUCTION PLANS. IN CASE OF CONFLICTING SPECIFICATIONS FOR DETAILS, THE CIVIL ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION. GENERALLY, THE MOST STRINGENT SPECIFICATION SHALL APPLY.
- DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE CITY OF LEES SUMMIT DEVELOPMENT ENGINEER BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK (INCLUDING ORDERING OF MATERIALS) IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR GEC WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK, THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, 3-WAY CONTRACTS, AND BONDS PRIOR TO CONSTRUCTIONS.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER & CIVIL ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL TO THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND CIVIL ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE CIVIL ENGINEER OF RECORD AND THE CITY OF LEES SUMMIT DEVELOPMENT ENGINEER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE CIVIL ENGINEER AND TO CITY A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI DEPICTING THE ACTUAL FILED LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTORS SHALL VERIFY BENCHMARKS AND DATUMS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND CIVIL ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS GIVEN ARE TO FACE OF CURB AND/OR BUILDING. DIMENSIONS FOR PIPES AND STRUCTURES ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATIONS AND INSTALLATIONS OF FRANCHISE UTILITIES NECESSARY FOR ON- AND OFF-SITE CONSTRUCTION.
- ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNAGE SHALL BE LOCATED OUT OF THE PEDESTRIAN, AUTOMOBILE, AND TRUCK ROUTES AND SHALL BE LOCATED BETWEEN THREE TO FIVE FEET BEHIND THE NEAREST BAY OR CURB UNLESS INDICATED OTHERWISE ON PLANS. SIGN HEIGHT, LOCATION, AND STRUCTURE SHALL BE SUCH THAT THE SIGNS POSE NO THREAT TO PUBLIC SAFETY.
- ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED. FIELD ADJUSTMENTS OF LOCATION AND ORIENTATION OF THE SIGNS ARE TO BE MADE TO ACCOMPLISH THIS.
- CONTRACTOR SHALL REPLACE ANY FENCING, CURBING, ETC. THAT IS DESTROYED OR DAMAGED DUE TO THE CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DEVICES AND PLANS FOR ANY STREET WORK.
- ALL CONTRACTORS MUST CONFINe THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS ONTO DEVELOPED OR UNDEVELOPED AREAS WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A TRENCH SAFETY PLAN TO THE DEVELOPER AT THE TIME OF THE PRE-CONSTRUCTION MEETING, OR PRIOR TO BEGINNING CONSTRUCTION OF THESE IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH MISSOURI STATE LAW AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH. NO OPEN TRENCHES WILL BE ALLOWED OVERNIGHT. ONSITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- LIGHT POLES AND SIGNS SHALL NOT BE PLACED IN ADA ACCESSIBLE ROUTES, ACCESSIBLE ACCESS AISLES, AND/OR REINFORCED ZONES BEHIND RETAINING WALLS.
- TO THE MAXIMUM EXTENT PRACTICAL, CONSTRUCTION STAGING, WORKER PARKING, AND ANY OTHER POTENTIALLY NOISY OR OFFENSIVE CONSTRUCTION ACTIVITY SHOULD BE LOCATED AS FAR FROM THE RESIDENTIAL NEIGHBORS AS POSSIBLE.
- CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE SECURE FROM TRESPASSERS AT ALL TIMES.
- CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY FENCE OR WALL PERMITS FROM THE CITY.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL PER CITY OF LEES SUMMIT STANDARDS.

UTILITY PLAN NOTES:

- ALL FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-0" ON ALL SANITARY SEWER LINES.
- CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR ACTUAL TIE-IN LOCATIONS FOR UTILITIES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
- ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- G.C. IS TO PROVIDE TRENCH, WIRE, AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES, BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION.
- G.C. SHALL BE RESPONSIBLE FOR ANY TAPS TO BE MADE UNDER THE SUPERVISION OF THE CITY WATER DIVISION.
- ANY DISTURBED SIDEWALK SHALL BE FULL SLAB REPLACEMENT.
- EXISTING SANITARY SEWER AND WATER SERVICE SHALL NOT BE INTERRUPTED.
- THE CONTRACTOR SHALL INCLUDE THE COST ESTIMATE PROVIDED BY EVERGY IN HIS/HER BID FOR THE RELOCATION/REMOVAL OF ANY OVERHEAD ELECTRIC OR GUY WIRES.
- THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE(S) WILL BE DETERMINED BY THE CITY OF LEES SUMMIT DEVELOPMENT ENGINEER FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
- ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF LEES SUMMIT STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
- ALL LATERAL SEWER CONSTRUCTION METHODS TO CONFORM TO LATEST STANDARDS AND SPECIFICATIONS FOR THE CITY OF LEES SUMMIT SEWER STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
- ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY THE CITY OF LEES SUMMIT WATER UTILITIES.
- CONNECTION TO PUBLIC SEWER MAINS SHALL BE AS REQUIRED BY THE CITY OF LEES SUMMIT SEWER SANITARY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROVIDER PRIOR TO CONNECTION TO PUBLIC SEWERS.
- ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVING SHALL BE GRANULARLY FILLED WITH 3/4" MINUS CRUSHED LIMESTONE ONLY. BACKFILL SHALL BE PLACED IN ACCORDANCE WITH CITY OF LEES SUMMIT STANDARDS.
- TYPE "C" BEDDING PER CITY OF LEES SUMMIT STANDARDS REQUIRED FOR PIPES IN ROCK.
- ALL TRENCH BACKFILLS UNDER PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILLED. TRENCH BACKFILLS UNDER PAVED AREAS, OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL (IN USE) OF THE EARTH BACKFILL COMPACTED TO 90 PERCENT OF THE STANDARD AASHTO 1-180 COMPACTION TEST A.S.T.M. D-1557.
- ALL CONCRETE PIPE SHALL BE REINFORCED, AND CONFORM TO A.S.T.M. DESIGNATION C76-80 CLASS III UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE CENTERLINE OF STRUCTURE EXCEPT FOR END OF PIPES OR FLARED ENDS. FLARED END DIMENSIONS VARY. CONTRACTOR SHALL VERIFY LENGTHS FOR FLARED END SECTIONS PER PROPOSED TYPE OF FLARED END SUBMITTAL. REFER TO THE CORRESPONDING SEWER PROFILE SHEET FOR EXACT DIMENSIONS IF APPLICABLE.
- PLUMBING CONTRACTOR AND SURVEYOR SHALL CONFIRM STRUCTURES PROPOSED ON THESE PLANS MATCH THE PROPOSED STRUCTURES THAT ARE ONSITE. DUE TO CHANGE OF ELEVATIONS, AND LOCATIONS DEPENDING ON THE STRUCTURE AND TYPE, THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ISSUES FOR PROPOSING A DIFFERENT TYPE OF STRUCTURE OR PIPE THAN WHAT IS ON THESE PLANS. GENERAL CONTRACTOR SHALL REMBURSE CIVIL ENGINEER FOR ANY TIME AND MATERIALS TO ADDRESS CHANGES TO STRUCTURES OR DESIGN FROM WHAT HAS BEEN APPROVED TO REDUCE OVERALL CONSTRUCTION COSTS.
- STANDARDS AND DETAILS FROM CITY OF LEES SUMMIT STANDARDS PLANS SHALL SUPERCEDE THESE REQUIREMENTS

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021



ENGINERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date are implemented.
STEVEN D. MARION, P.E.
PROFESSIONAL ENGINEER
PE 2006007195

DUTCH BROS
LEES SUMMIT, MO
500 NW CHIPMAN RD.
LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

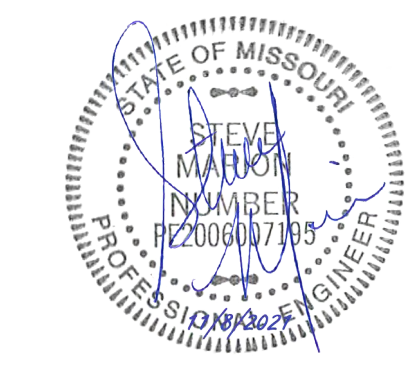
#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS

Date: **9-30-2021**

Sheet Number	C-001
Project No.	2109720
Drawn By	A. JONES
Checked By	M. FOGARTY

GENERAL NOTES

ISSUED FOR CONSTRUCTION



ENGINEERS AUTHENTICATION
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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 2200007195

PROJECT NOTES:

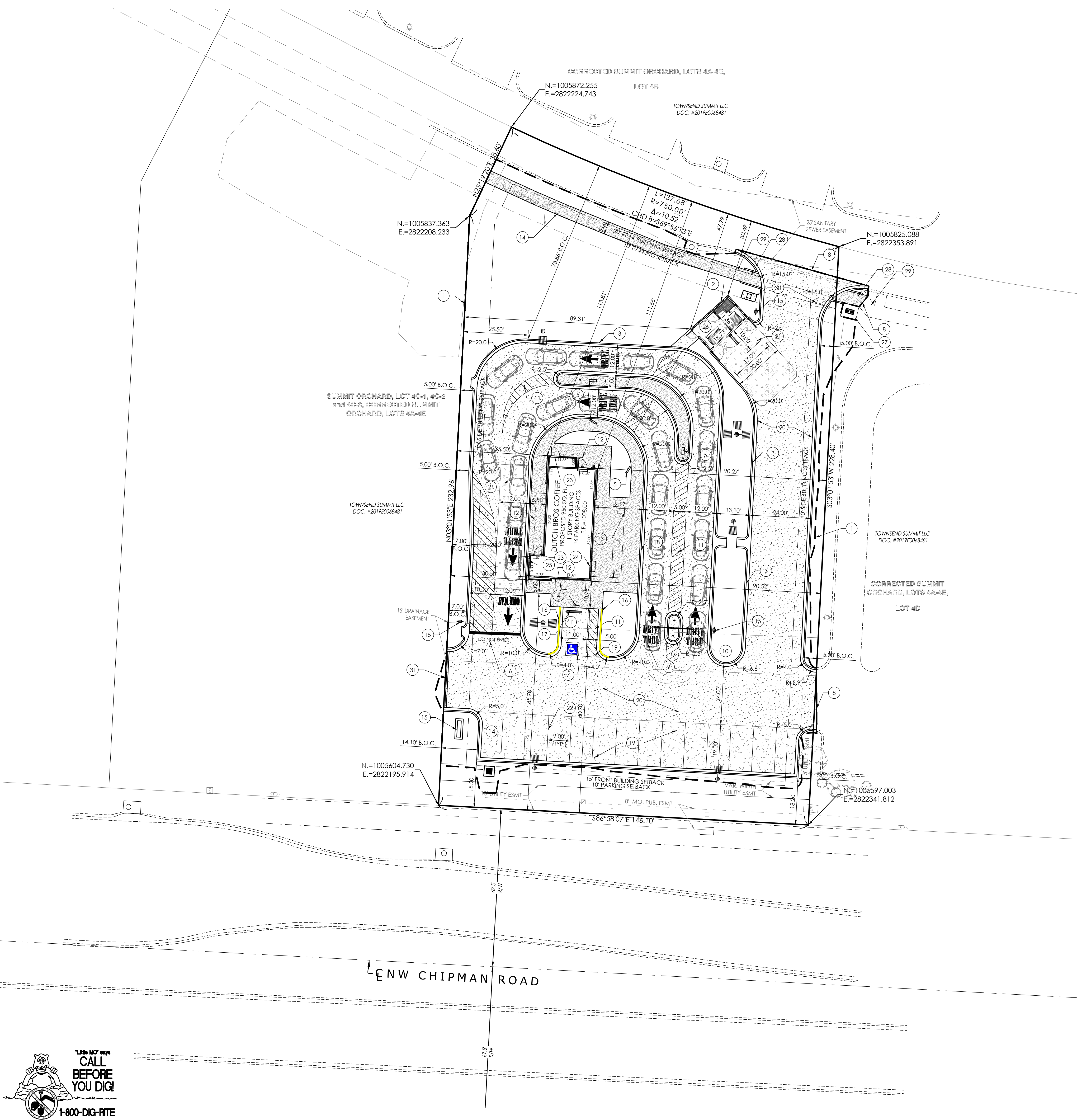
1. BASIS OF BEARINGS: THIS SURVEY WAS ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983 - WEST ZONE
2. CURRENT ZONING: PMIX - PLANNED MIXED USE
3. SURROUNDING ZONING: PMIX - PLANNED MIXED USE
4. SITE AREA = ±0.828 ACRES
5. PROPOSED USE - COFFEE SHOP
6. PROPOSED BUILDING HEIGHT - REFER TO ARCHITECTURAL PLANS
7. PARKING SETBACK:
NONE PER RECORDED PLAT
8. BUILDING SETBACKS:
FRONT BUILDING SETBACK: 15' ALONG NW CHIPMAN ROAD
SIDE BUILDING SETBACK: NONE PER RECORDED PLAT
REAR BUILDING SETBACK: NONE PER RECORDED PLAT
9. FLOOR AREA RATIO - 950/36,068 = 0.026 FAR
10. IMPERVIOUS COVERAGE - SITE = 47.75%
11. **PARKING AND LOADING REQUIREMENTS**
REQUIRED PARKING: TWO PLUS 1 PER EMPLOYEE ON MAX. SHIFT
2 + 10 EMPLOYEES = 12 PARKING SPACES REQUIRED
PROVIDED PARKING = 15 PARKING SPACES
12. PER FEMA FIRM PANEL #2909SC0417G, EFFECTIVE ON 01/20/2017 THE PROPERTY IS ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
13. THIS PROPERTY IS LOCATED WITHIN THE LITTLE CEDAR CREEK WATERSHED.
14. OIL AND GAS WELL LOCATIONS: BASED ON MISSOURI STATE OIL AND GAS COUNCIL, THERE ARE NO ACTIVE WELLS AS OF JUNE 2, 2020. ALL EXISTING OIL AND GAS WELLS FOR THIS SECTION-TOWNSHIP-RANGE HAVE BEEN ABANDONED OR PLUGGED.

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL
1	LAND DISTURBANCE LIMITS	
2	PROPOSED DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DESIGN AND DETAILS	
3	PROPOSED CG-1 CONCRETE CURB AND GUTTER (TYPICAL)	GEN-4/C-600
4	PROPOSED VAN ACCESSIBLE PARKING SIGN	15/C-600
5	PROPOSED MENU BOARD. REFER TO ARCHITECTURAL PLANS FOR DETAILS	
6	PROPOSED "DO NOT ENTER" STRIPING	14/C-600
7	PROPOSED PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY	12/C-600
8	SAW CUT AND MATCH EXISTING CURB AND/OR PAVEMENT ELEVATION AT NEAREST JOINT	
9	PROPOSED DRIVE-THRU PAVEMENT MARKING	14/C-600
10	PROPOSED DRIVE-THRU CLEARANCE BAR. REFER TO ARCHITECTURAL PLANS FOR DETAILS	
11	PROPOSED CROSS STRIPING	16/C-600
12	PROPOSED CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAIL	
13	PROPOSED AWNING. REFER TO ARCHITECTURAL PLANS FOR DETAIL	
14	PROPOSED CONCRETE SIDEWALK	8/C-600
15	PROPOSED SIGN. REFER TO ARCHITECTURAL PLANS FOR TYPE AND SIZE.	
16	TRANSITION CURB FROM 6" TALL TO FLUSH CURB	7/C-600
17	PROPOSED WHEEL STOP	13/C-600
18	PROPOSED INTEGRAL CONCRETE CURB AND SIDEWALK	10/C-600
19	LIGHT DUTY ASPHALT PAVEMENT	6/C-600
20	MEDIUM DUTY ASPHALT PAVEMENT	5/C-600
21	HEAVY DUTY CONCRETE PAVEMENT	4/C-600
22	PROPOSED 4" DOUBLE ROLLED STRIPE, PAINTED WHITE (TYPICAL)	
23	INGRESS/EGRESS DOOR LOCATION	
24	PICK-UP WINDOW LOCATION	
25	DRIVE-THRU WINDOW LOCATION	
26	PROPOSED 4" BOLLARD(S)	
27	EXISTING TRANSFORMER (PROTECT)	
28	PROPOSED ADA ACCESSIBLE RAMP. RAMP SHALL NOT EXCEED 2% CROSS SLOPE AND 8.33% LONGITUDINAL SLOPE.	
29	PROPOSED ACCESSIBLE LANDING. LANDING SHALL BE 5'X5' AT THE TOP OF THE RAMP.	
30	PROPOSED LOCATION OF EXISTING TRANSFORMER TO BE RELOCATED	
31	TEMPORARY ASPHALT CURB	17/C-600

PAVEMENT NOTES

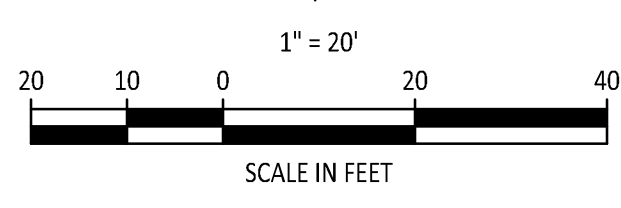
1. PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON PLAN)
 - LIGHT DUTY ASPHALT PAVEMENT
1.5" TYPE 2.01" ASPHALT SURFACE COURSE
4" TYPE 2.01" ASPHALT BASE COURSE
 - MEDIUM DUTY ASPHALT PAVEMENT (DRIVE ASLE)
1.5" TYPE 2.01" ASPHALT SURFACE COURSE
5" TYPE 2.01" ASPHALT BASE COURSE
 - HEAVY DUTY CONCRETE PAVEMENT (TRASH ENCLOSURE PAD & DRIVE-THRU PAD)
8" NON-REINFORCED PORTLAND CEMENT CONCRETE
4" MODOOT TYPE 5 AGGREGATE BASE
 - CONCRETE SIDEWALKS
4" PORTLAND CEMENT CONCRETE
4" MODOOT TYPE 5 AGGREGATE BASE



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)

1-800-DIG-RITE
CALL BEFORE YOU DIG

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021



DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project: **LEE'S SUMMIT, MO**
Date: **9-30-2021**

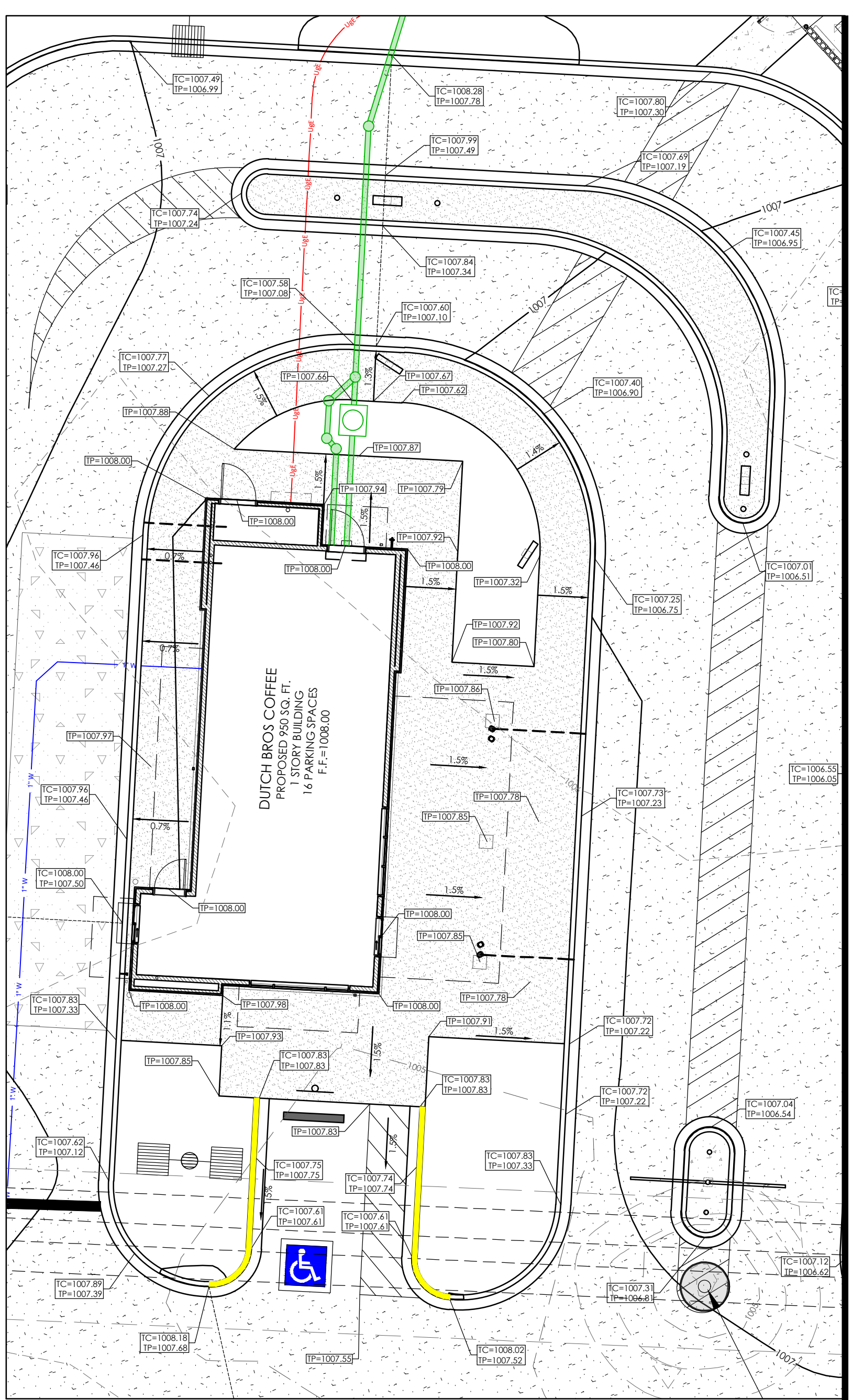
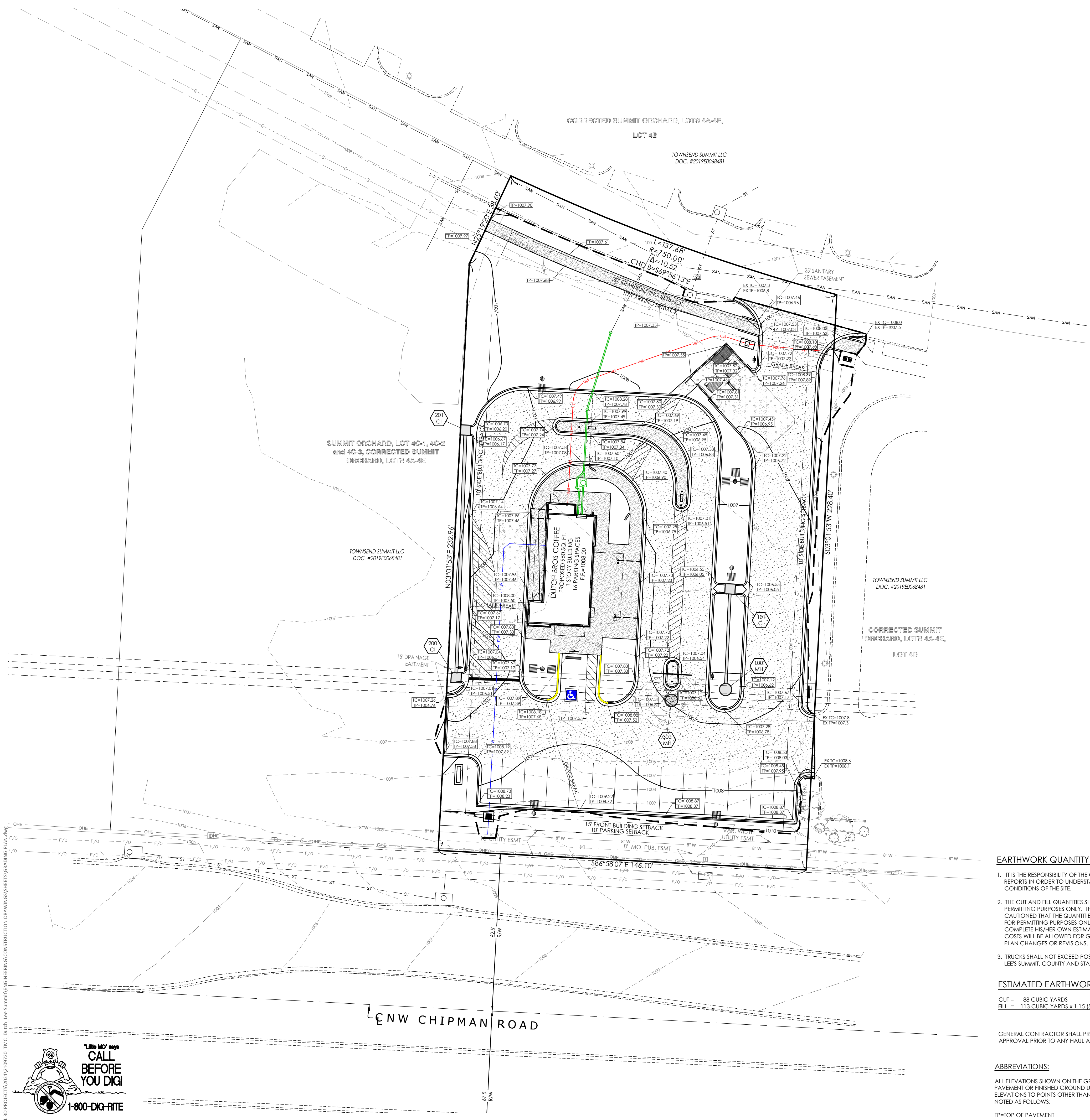
#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title: **SITE PLAN**

Sheet Number: **C-100**

Project No. **2109720**
Drawn By **A. JONES**
Checked By **M. FOGARTY**

ISSUED FOR CONSTRUCTION



BUILDING AREA INSET
SCALE: 1" = 10'

EARTHWORK QUANTITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ ALL APPLICABLE REPORTS IN ORDER TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS OF THE SITE.
- 2. THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR IS CAUTIONED THAT THE QUANTITIES SHOWN ARE THE ENGINEER'S ESTIMATE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL COMPLETE HIS/HER OWN ESTIMATE WHEN BIDDING. NO ADDITIONAL COSTS WILL BE ALLOWED FOR GRADING WITHOUT JUSTIFICATION DUE TO PLAN CHANGES OR REVISIONS.
- 3. TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR THE CITY OF LEE'S SUMMIT, COUNTY AND STATE BRIDGES DURING HAUL OPERATIONS.

ESTIMATED EARTHWORK QUANTITIES:

CUT = 88 CUBIC YARDS
 FILL = 113 CUBIC YARDS x 1.15 (SHRINKAGE) = 130 CUBIC YARDS
 IMPORT = 42 CUBIC YARDS

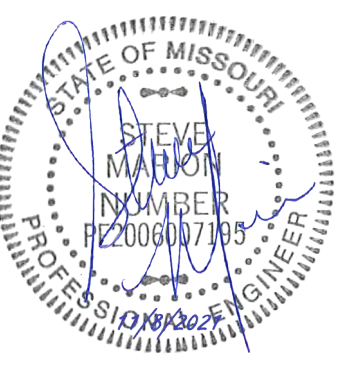
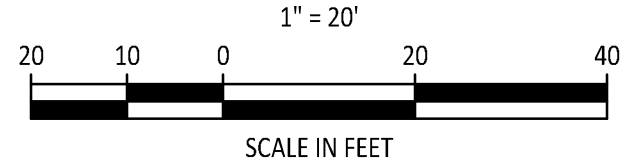
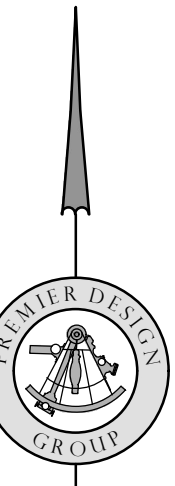
GENERAL CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR APPROVAL PRIOR TO ANY HAUL ACTIVITIES

ABBREVIATIONS:

ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:
 TP=TOP OF PAVEMENT
 TC=TOP OF CURB
 TW=TOP OF WALL
 BW=FINISHED GROUND AT FACE OF WALL
 GRND=FINISHED GROUND AT YARD DRAINS

CONSTRUCTION OF ADA ACCESSIBLE ROUTES NOT IN COMPLIANCE WITH THE PLANS AND ADA GUIDELINES SHALL BE REMOVED AND CORRECTED AT THE EXPENSE OF THE CONTRACTOR. A VERIFICATION SURVEY SHALL BE COMPLETED BY THE ENGINEER FOR CERTIFICATION TO OWNER AFTER CONSTRUCTION HAS BEEN COMPLETED.

RELEASED FOR CONSTRUCTION
 As Noted on Plans Review
 Development Services Department
 Lee's Summit, Missouri
 12/02/2021



ENGINEERS AUTHENTICATION
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 STEVEN D. MARON, P.E.
 PROFESSIONAL ENGINEER
 PE 2006007195

DUTCH BROS
 LEE'S SUMMIT, MO
 500 NW CHIPMAN RD.
 LEE'S SUMMIT, MO 64086
 TM CROWLEY
 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280

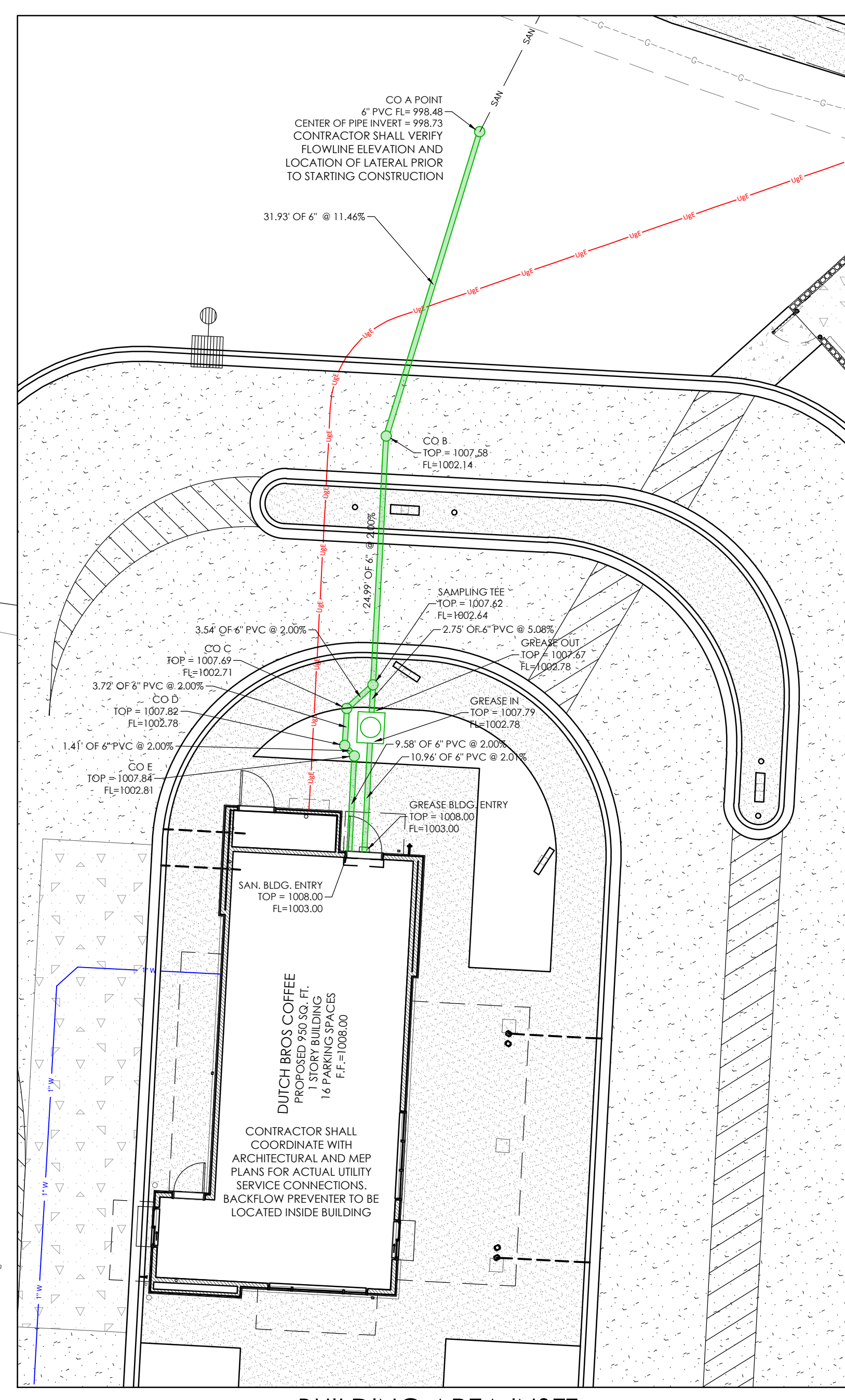
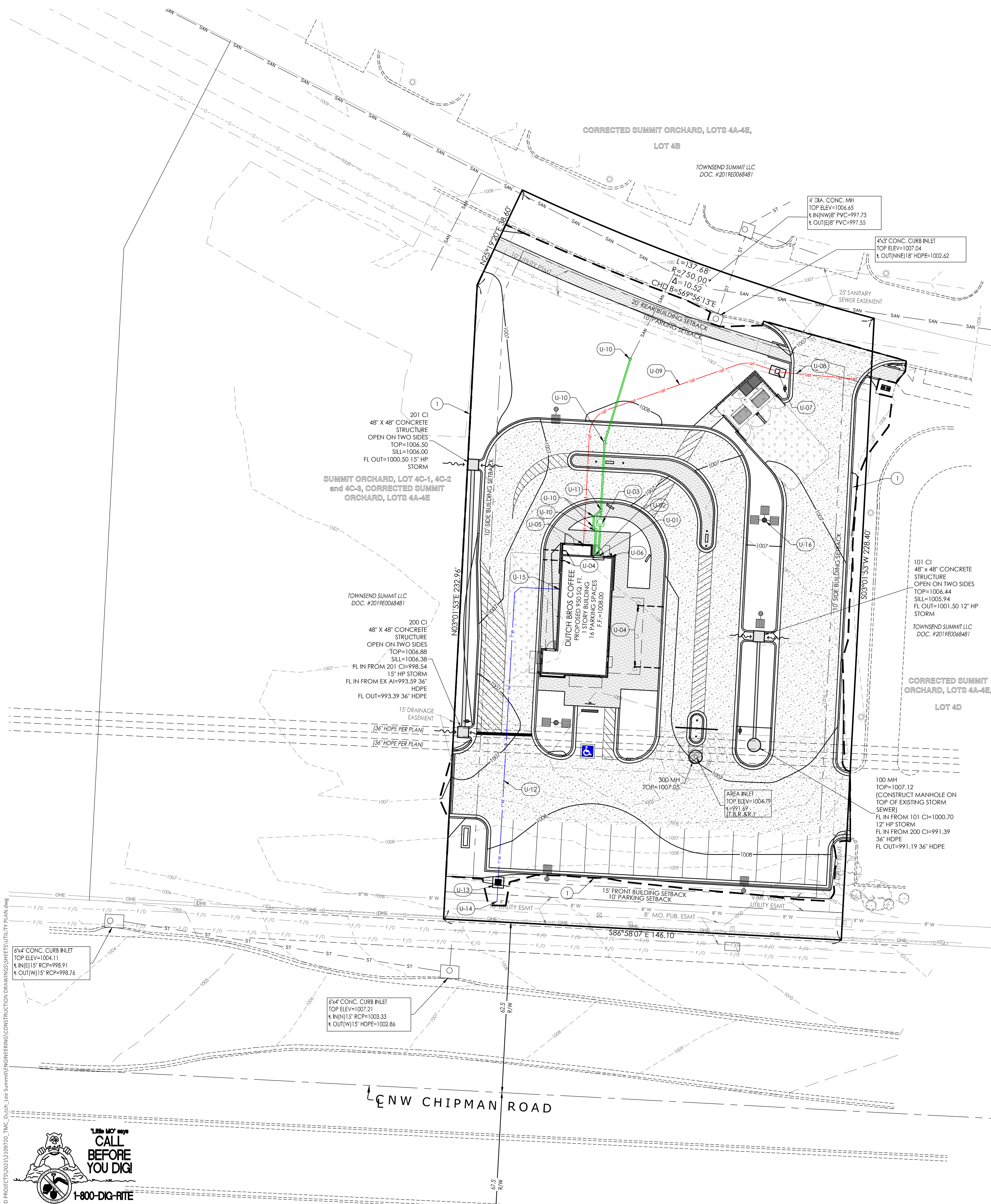
Project: **DUTCH BROS**
 Date: **9-30-2021**

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS

Sheet Number: **C-200**
 Project No.: 2109720
 Drawn By: A. JONES
 Checked By: M. FOGARTY
 ISSUED FOR CONSTRUCTION



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



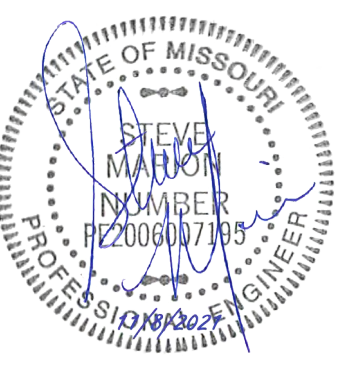
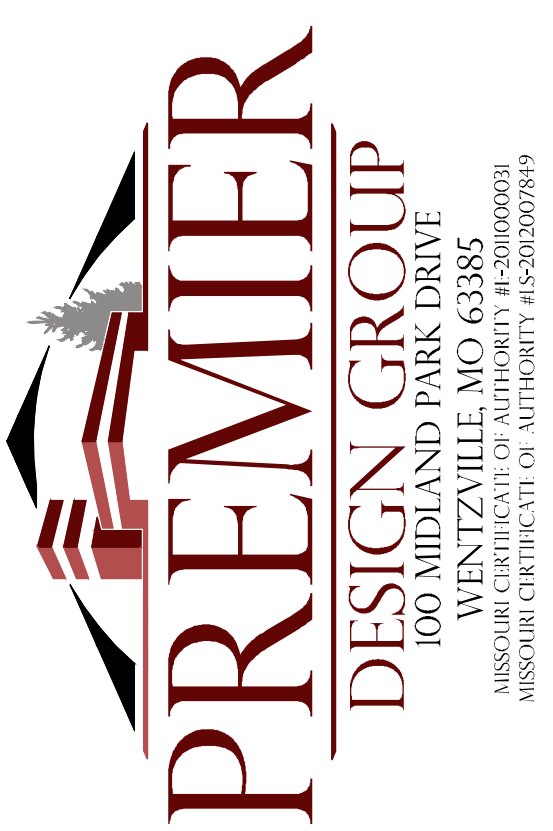
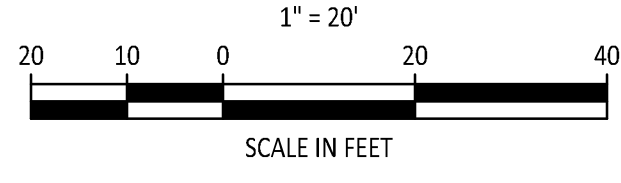
BUILDING AREA INSET
SCALE: 1" = 10'

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	LAND DISTURBANCE LIMITS
UTILITY PLAN	
U-01	PROPOSED 6" GREASE WASTE CONNECTION, INVERT=1003.00, REFERENCE MEP PLANS
U-02	PROPOSED 6" SANITARY SEWER CONNECTION, INVERT=1003.00, REFERENCE MEP PLANS
U-03	PROPOSED GB-50 GREASE TRAP, REFER TO ARCHITECTURAL PLANS
U-04	ROOF DRAINS, REFER TO ARCH. PLANS FOR EXACT LOCATION AND DISCHARGE DETAIL
U-05	PROPOSED ELECTRIC ENTRY, REFERENCE MEP PLANS FOR CONTINUATION
U-06	PROPOSED WALL HYDRANT, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION
U-07	RELOCATED GROUND MOUNTED TRANSFORMER PER EVERY MISSOURI WEST STANDARDS
U-08	PROPOSED PRIMARY UNDERGROUND ELECTRIC SERVICE
U-09	PROPOSED SECONDARY UNDERGROUND ELECTRIC SERVICE
U-10	PROPOSED SANITARY LATERAL CLEANOUT
U-11	PROPOSED SANITARY LATERAL SAMPLING TEE
U-12	PROPOSED 1" DOMESTIC WATER LINE - TYPE K COPPER LINE PER CITY OF LEE'S SUMMIT SPECIFICATIONS
U-13	PROPOSED 1" DOMESTIC WATER METER AND PIT PER THE CITY OF LEE'S SUMMIT WATER SPECIFICATIONS P.O.C.
U-14	CONNECTION TO EX. 8" WATER MAIN INSTALL: (1) 1" TAP (1) 1" DOMESTIC WATER PER CITY OF LEE'S SUMMIT WATER SPECIFICATIONS
U-15	PROPOSED 1" DOMESTIC WATER ENTRY, REFERENCE MEP PLANS FOR CONTINUATION
U-16	PROPOSED LIGHT STANDARDS, REFERENCE PHOTOOMETRIC PLAN ED01
U-17	EXISTING FIRE HYDRANT

- UTILITY PLAN NOTES:**
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-6" ON ALL SANITARY SEWER LINES.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE COMPANY.
 - CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND SPIRE FOR EXACT LOCATION OF GAS ENTRY, G.C. TO INCLUDE IN BID FOR CONTRACTOR ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY SPIRE.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND EVERY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY ELECTRIC COMPANY.
 - REFER TO MEP PLANS FOR GAS SERVICE SIZING.
 - ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
 - ALL CONSTRUCTION MATERIALS USED SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT AND STATE OF MISSOURI SPECIFICATIONS.
 - G.C. IS TO PROVIDE TRENCH PULL WIRE AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES. BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRICAL INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR.
 - GENERAL CONTRACTOR IS TO PROVIDE TRENCH, BACKFILL AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
 - ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT SHALL BE FULL SLAB REPLACEMENT.
 - EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
 - ALL WATER LINES GREATER THAN 3" SHALL BE C-900 PVC PIPE. WATER LINES SMALLER THAN 3" SHALL BE TYPE "K" COPPER.
 - ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY CITY OF LEE'S SUMMIT WATER CODES. WATER TAP AND METERS UNDER 2" SHALL BE INSTALLED BY CITY OF LEE'S SUMMIT WATER UP TO THE RIGHT-OF-WAY LINES. WATER TAP AND METERS OVER 2" SHALL BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT TO SCHEDULE CONNECTION TO PUBLIC WATER.
 - SANITARY LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR PIPES THAT CROSS ABOVE WATER MAINS. THIS PIPE SHALL BE AWA C700 UNLESS WATER MAIN IS CASSED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT SEWER TO SCHEDULE CONNECTION TO PUBLIC SEWER.
 - CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS FOR ANY DISRUPTIONS TO EXISTING UTILITY SERVICES.
 - CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPAIR AND REPLACEMENT REQUIRED FOR ALL UTILITY CONNECTIONS AND INSTALLATIONS.
 - THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY AND ALL APPLICABLE TAP AND SERVICE FEES AS LISTED IN THE MOST CURRENT EDITION OF CITY OF LEE'S SUMMIT RULES AND REGULATIONS FOR CUSTOMER SERVICE.
 - COORDINATION WITH THE ELECTRIC, TELEPHONE AND CATV COMPANIES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE CONDUCTED IN A MANNER THAT RESULTS IN AN EFFICIENT AND TIMELY RELOCATION AND REMOVAL OF THE EXISTING FACILITIES.
 - GROUND ELEVATIONS SHALL BE WITHIN 6" OF THE FINAL PROPOSED ELEVATIONS PRIOR TO THE START OF ELECTRIC, TELEPHONE AND CATV RELOCATIONS OR INSTALLATIONS OF NEW SERVICE.
 - CONTRACTOR SHALL REFERENCE ELECTRICAL PLANS FOR FURTHER INFORMATION AND FOR CONDUIT ROUTING TO LIGHT STANDARDS AND ANY GROUND MOUNTED SIGNS.
 - ALL UTILITY IMPROVEMENTS (SERVICES, EXTENSIONS, CONNECTIONS, ETC.) TO BE "PRIVATE".
 - BUILDING SEWER STUBS BEING DISCONNECTED FROM THE SEWER MAIN SHALL BE DISCONNECTED BY THE WATER UTILITIES DEPARTMENT. AFTER THE CONTRACTOR HAS PROVIDED ACCESS TO THE SEWER MAIN VIA AN OSHA COMPLIANT EXCAVATION WITH PROPER SHORING AS NECESSARY, WATER UTILITIES STAFF RESERVE THE RIGHT TO NOT ENTER ANY TRENCH DETERMINED TO BE UNSAFE.

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021



ENGINEERS AUTHENTICATION
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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 22000/07195

DUTCH BROS
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500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Date: 9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS

Sheet Number: C-300

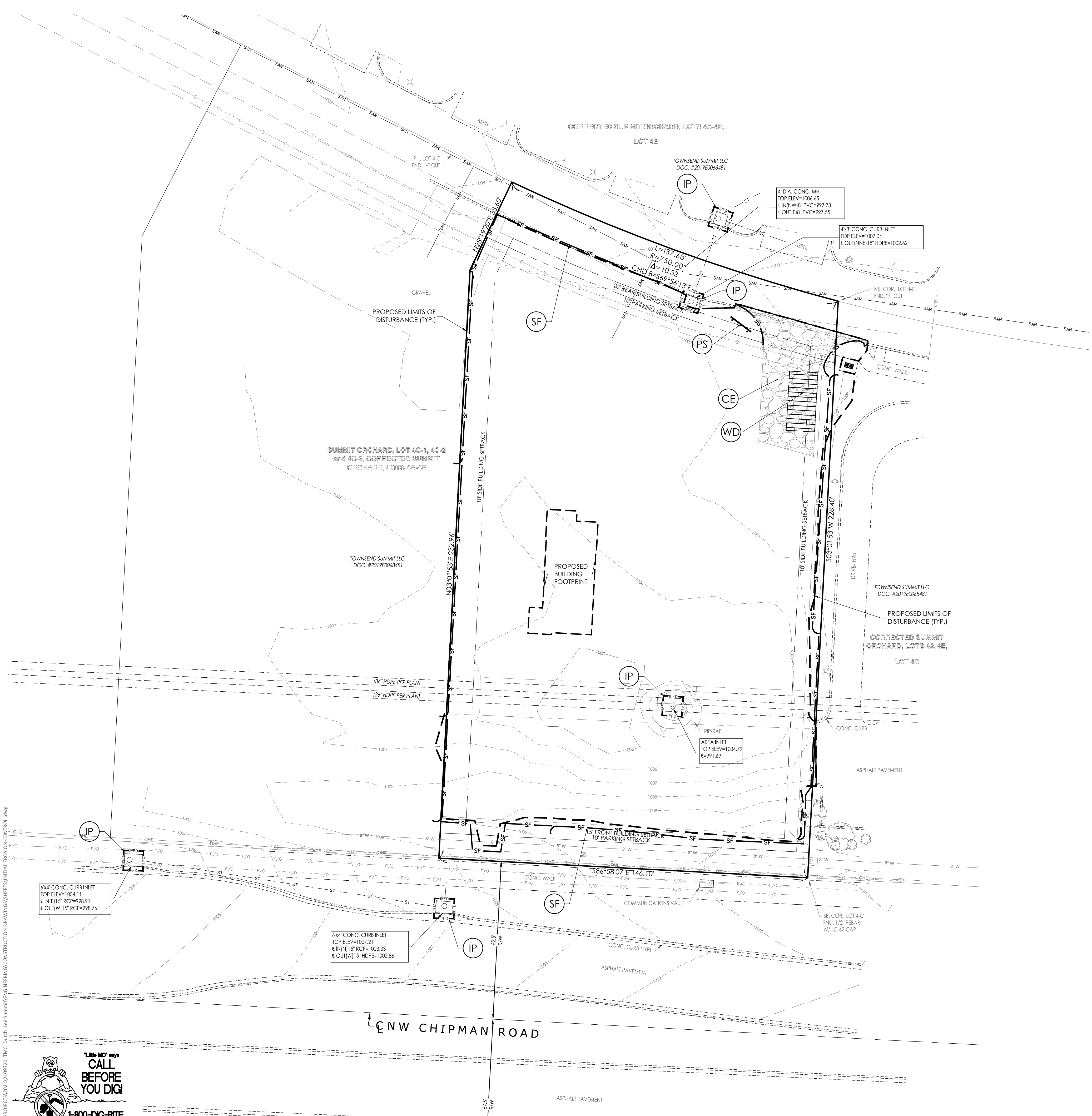
Project No. 2109720
Drawn By: A. JONES
Checked By: M. FOGARTY

ISSUED FOR CONSTRUCTION



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF HIS/HER BIDS TO CONFIRM THAT THE SITE CONDITIONS ARE AS SHOWN ON THESE PLANS. ANY CONDITION THAT IS DIFFERENT THAN WHAT IS SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMITTAL OF BIDS.



EROSION CONTROL SYMBOL LEGEND

	LEASE LINE/PROPERTY LINE
	STORM PIPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-402)
	GRAVEL OR SAND BAG PROTECTION (REFERENCE DRAWING 806-45.08 ON SHEET C-402)
	CONSTRUCTION EXIT (REFERENCE DRAWING 806-46.01 ON SHEET C-402)
	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-402)
	SEEDING / SOD
	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-402)
	PERMIT SIGN (REFERENCE DETAIL SHEET C-402)

CONSTRUCTION SEQUENCING ACTIVITIES:

- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
- BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

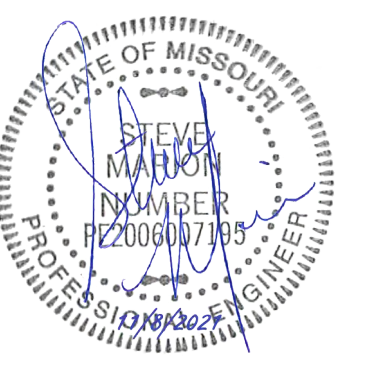
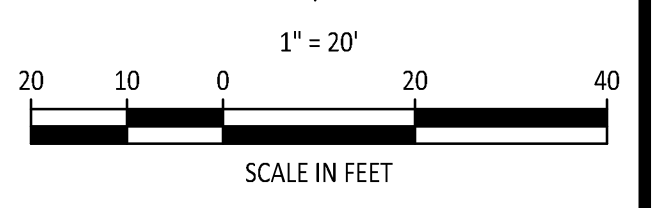
NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
5. THE JOB SITE TRAILER, DUMPSTER, FUELING AREA, STORAGE & LAY-DOWN AREA SHALL BE LOCATED BY THE GENERAL CONTRACTOR AT THE START OF CONSTRUCTION. THESE ITEMS MUST BE NOTED BY THE CONTRACTOR ON THE SWPPP DRAWINGS.
6. SOIL STOCKPILES AND DEMOLITION DEBRIS STOCKPILES SHALL HAVE SILT FENCES INSTALLED IF LEFT ON SITE & UNDISTURBED FOR MORE THAN 13 DAYS.

ALL PROJECT SITES ARE REQUIRED TO COMPLY WITH REQUIREMENTS OF THE "CLEAN WATER ACT" ESTABLISHED BY THE US ENVIRONMENTAL PROTECTION AGENCY.

THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM REQUIRES PERMITS TO BE ISSUED BY REGULATORY AGENCIES WHEN PROJECT SITES DISTURB 1 ACRE OR MORE.

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Development Services Department
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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 2200007195

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INDIANAPOLIS, IN 46280

Project: **Lee's Summit, MO**
Date: **9-30-2021**

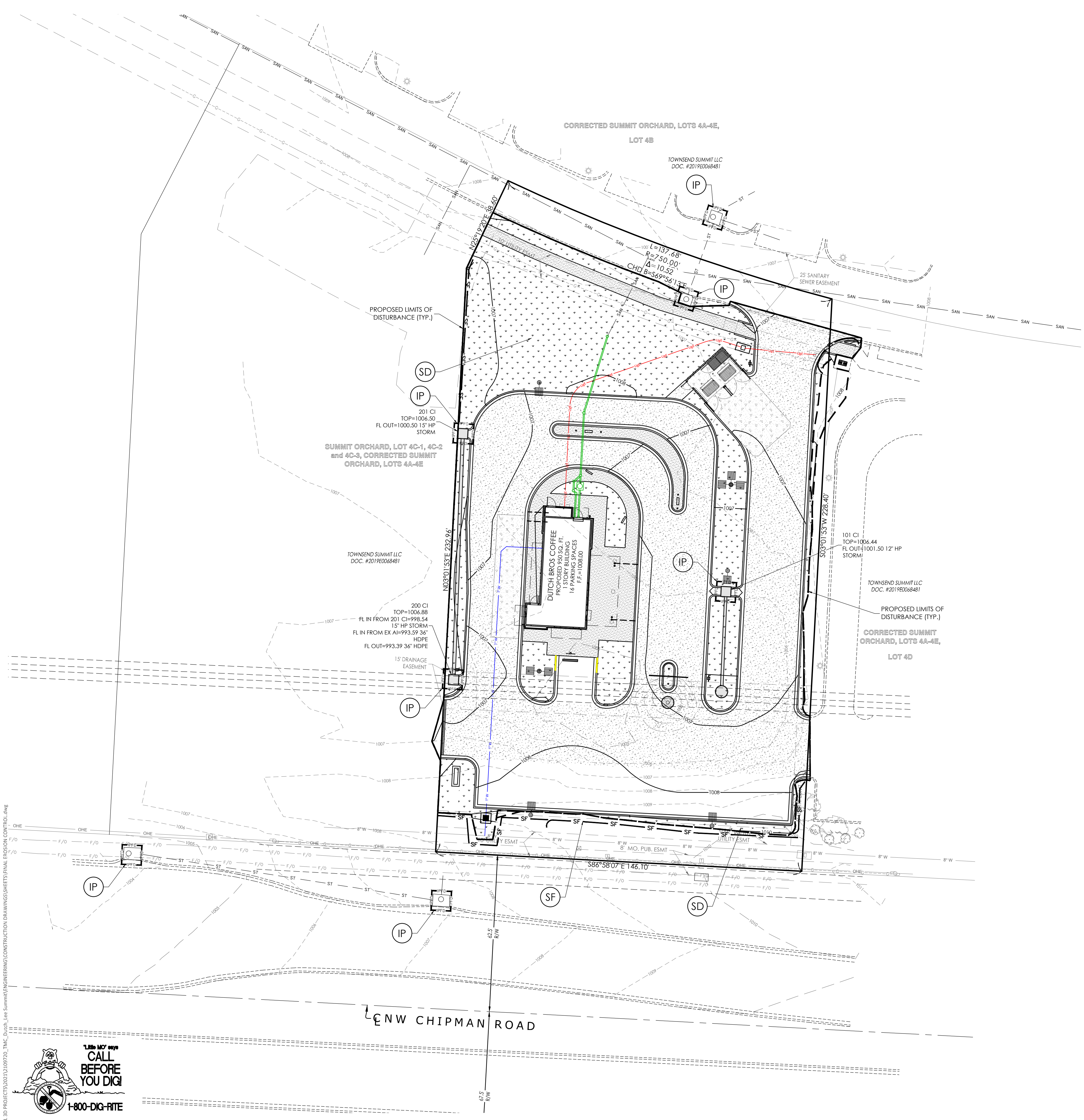
#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title: **INITIAL EROSION CONTROL PLAN**
Sheet Number: **C-400**
Project No.: 2109720
Drawn By: A. JONES
Checked By: M. FOGARTY

ISSUED FOR CONSTRUCTION

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 UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)





EROSION CONTROL SYMBOL LEGEND

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CONSTRUCTION SEQUENCING ACTIVITIES:

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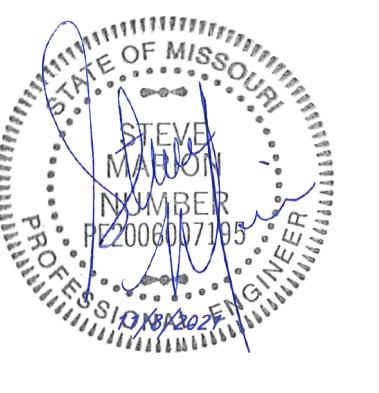
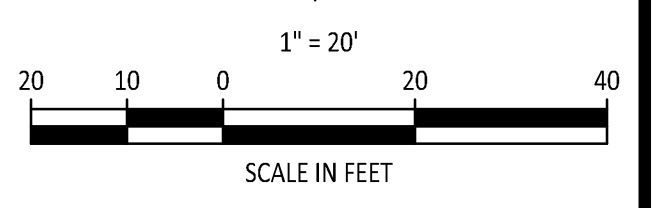
NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 2106007195

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TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project: _____
Date: 9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title: **FINAL EROSION CONTROL PLAN**
Sheet Number: **C-401**
Project No.: 2109720
Drawn By: A. JONES
Checked By: M. FOGARTY

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UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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GENERAL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT FROM THE CITY OF LEES SUMMIT AS REQUIRED.
2. THE CONTRACTOR SHALL KEEP & MAINTAIN A COPY OF THE LAND DISTURBANCE PERMIT(S) AND EROSION CONTROL PLANS AT THE PROJECT SITE DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES MUST MEET LOCAL REQUIREMENTS AND THE "PROTECTING WATER QUALITY, A FIELD GUIDE TO EROSION, SEDIMENT AND STORM WATER BEST MANAGEMENT PRACTICES FOR DEVELOPMENT SITES IN MISSOURI AND KANSAS".

CONSTRUCTION SWPPP LOG

- 1. BMP'S SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HRS OF RAIN EVENTS OF 1/2" OR GREATER. REPAIR AND MAINTENANCE TO BMP'S SHALL BE DONE IMMEDIATELY.
2. THE CONTRACTOR SHALL SUBMIT AN INSPECTION REPORT WITHIN 72 HOURS AFTER EVERY STORM EVENT TO THE CITY ENGINEER.
3. THE CONTRACTOR SHALL ENSURE THE SITE CONFORMS TO THE REQUIREMENTS OF THE EROSION CONTROL PLANS AND INSTALL ADDITIONAL BMP'S SHOULD SITE CONDITIONS WARRANT.

FINAL SITE STABILIZATION

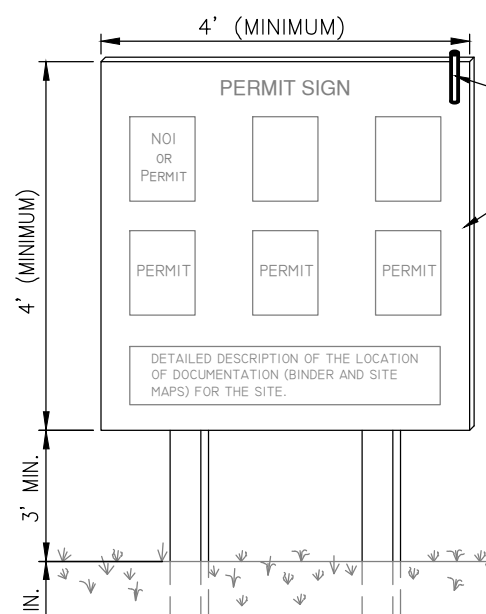
- 1. ONCE GRADED AREAS ARE CONSTRUCTED TO FINAL GRADES, PERMANENT STABILIZATION SHALL BE ESTABLISHED.
2. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS DAMAGED BY CONSTRUCTION TO A CONDITION, EQUAL TO, OR BETTER THAN THE CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. ALL EROSION CONTROL BMP'S SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
4. ONCE THE SITE HAS REACH FINAL STABILIZATION, THE CONTRACTOR IS TO CLEAN AND REMOVE DEBRIS FROM BMP'S AND STORM WATER COLLECTION AREAS. BMP'S ARE THEN TO BE REMOVED.

POTENTIAL POLLUTANTS THAT MAY BE FOUND ON SITE DURING CONSTRUCTION:

Table with 3 columns: Material Trade Name, Chemical/Physical Description, Storm Water Pollutants. Includes items like Erosion (Soil, sediment), Fertilizer (Nitrogen, phosphorus), Pesticides (various herbicides, fungicides, etc.), Asphalt (oil, petroleum distillates), Concrete (Limestone, sand), Plaster (Calcium sulfate, calcium carbonate, etc.), Glue, adhesives (Polymers, epoxies), Paints (Metal oxides, Stoddard solvent, etc.), Curing compounds (Stoddard solvent, petroleum distillates, etc.), Wood preservatives (Chromium, arsenic, copper, etc.), Hydraulic fluids (Petroleum distillate, oil & grease, etc.), Gasoline (Petroleum distillate, oil & grease, etc.), Diesel fuel (Petroleum distillate, oil & grease, etc.), Antifreeze/coolant (Ethylene glycol, propylene glycol, etc.).

MATERIALS STORED ON-SITE

- 1. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS. IF POSSIBLE, MATERIALS SHALL BE STORED UNDER A ROOF OR OTHER ENCLOSURE.
2. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
3. HAZARDOUS PRODUCTS SHALL BE KEPT IN RESEALABLE CONTAINERS. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS SHALL BE RETAINED.



PERMIT SIGN DETAIL (NOT TO SCALE)

MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:

- 1. SILT FENCING SHALL BE INSPECTED DAILY DURING PERIODS OF RAINFALL, IMMEDIATELY AFTER EACH SIGNIFICANT RAINFALL EVENT, AND WEEKLY DURING PERIODS OF NO RAINFALL.
2. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY, AFTER EVERY RAINFALL EVENT, AND DURING HIGH VOLUMES OF TRAFFIC.
3. SELECT STOCKPILE LOCATION TO AVOID SLOPES AND NATURAL DRAINAGEWAYS, AVOIDING TRAFFIC ROUTES.
4. INSPECT AND MAINTAIN ALL BMP'S LOCATED DOWN HILL OF AREA BEING GRADED.

SPILL CONTROL OF POLLUTANTS:

- 1. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND SHALL RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
2. CONCRETE TRUCKS SHALL ONLY WASH-OUT OR DISCHARGE SURPLUS CONCRETE, OR DRUM WASH WATER, AT DEDICATED CONCRETE TRUCK WASH-OUT AREAS.
3. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
4. ALL ASPHALTIC SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

CONSTRUCTION ENTRANCE (CE)

- 1. THE LOCATION OF A CONSTRUCTION ENTRANCE/EXIT HAS BEEN SHOWN ON THE EROSION CONTROL PLAN(S).
2. A PERMIT SIGN SHALL BE INSTALLED AT OR NEAR THE CONSTRUCTION ENTRANCE FOR POSTING RELEVANT CONSTRUCTION PERMITS FOR THE PROJECT.
3. AS PART OF THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL INSTALL A VEHICLE WASH DOWN AREA.
4. TRACKING IS NOT PERMISSIBLE. ANY TRACKING OF MUD AND/OR DEBRIS ONTO OFF-SITE ROADS SHALL BE CLEANED IMMEDIATELY.

SILT FENCE (SF)

- 7. SILT FENCE TO BE ADJUSTED AS NECESSARY FOR CONSTRUCTION ACTIVITY.
8. UNLESS NOTED OTHERWISE, SILT FENCE SHALL BE A WOVEN GEOTEXTILE FABRIC SUCH AS MIRAFI 100X OR EQUAL.
9. REFER TO THE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.
10. SILT FENCES SHALL ONLY BE USED FOR STORM WATER SHEET FLOW CONDITIONS.
11. SILT FENCES SHALL FOLLOW CONTIGUOUS AND UTILIZE "J" HOOKS TO HELP TRAP SEDIMENT.

INLET PROTECTION (IP)

- 1. REFER TO THE INLET PROTECTION DETAILS FOR VARIOUS TYPES OF INLET PROTECTION.
2. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AROUND EACH INLET ONCE INLET CONSTRUCTION IS COMPLETED.

SOD OR SEEDING, MULCHING AND FERTILIZING (SOD) (SM)

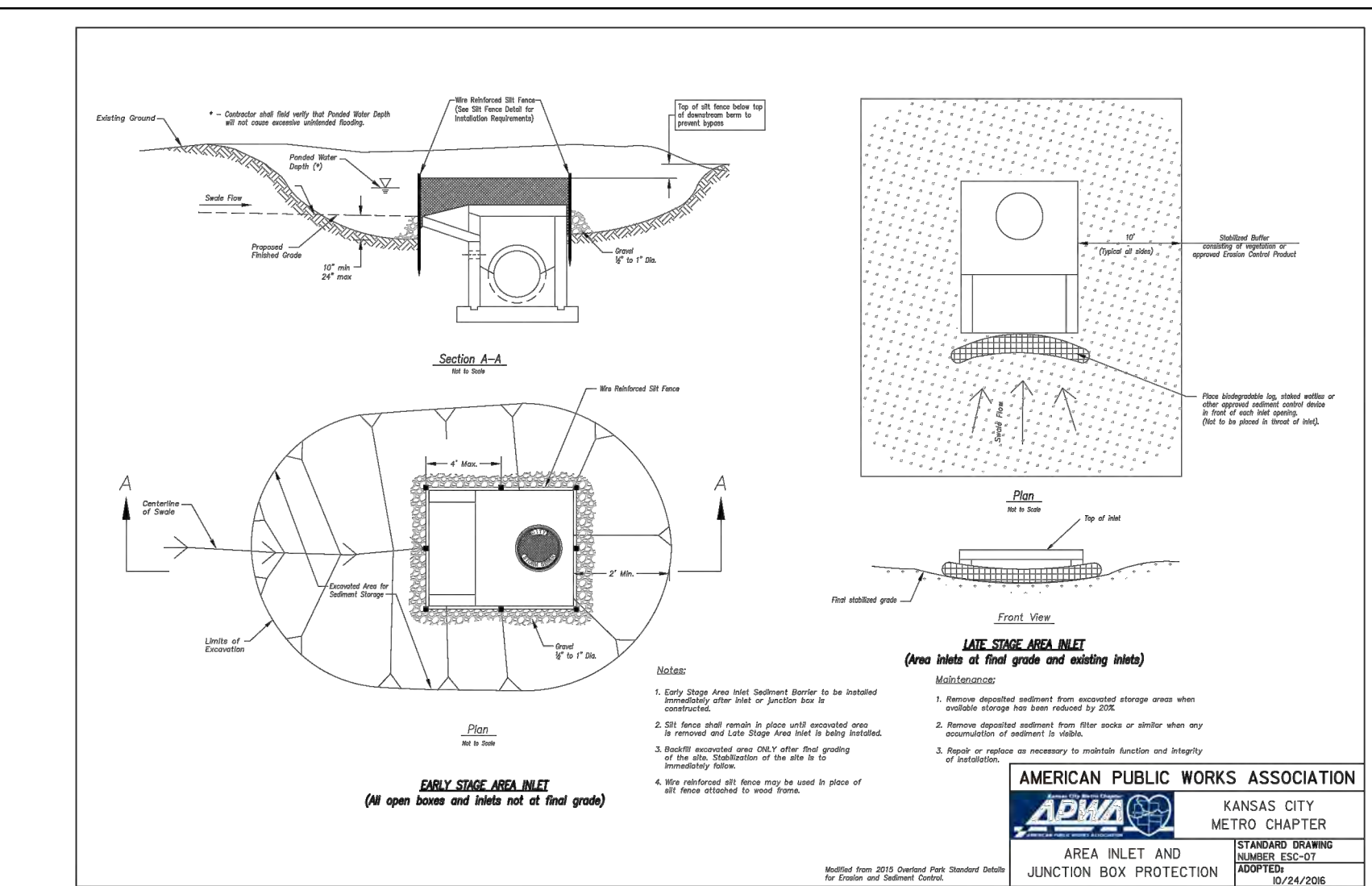
- 1. ALL DISTURBED AREAS WHICH REMAIN UNWORKED FOR 14 DAYS, SHALL BE TEMPORARILY STABILIZED.
2. ALL TEMPORARY DIVERSION BERMS, DIVERSION DITCHES AND SOIL STOCKPILE AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER GRADING.
3. ALL AREAS DISTURBED DURING CONSTRUCTION, WHICH WILL NOT BE PAVED, SHALL HAVE A MINIMUM OF 4" OF TOPSOIL INSTALLED.
4. GRASSED AREAS SHALL BE EITHER SODDED OR SEEDDED AND MULCHED.
5. ALL RIGHT-OF-WAYS SHALL HAVE SOD INSTALLED.

SEEDING REQUIREMENTS

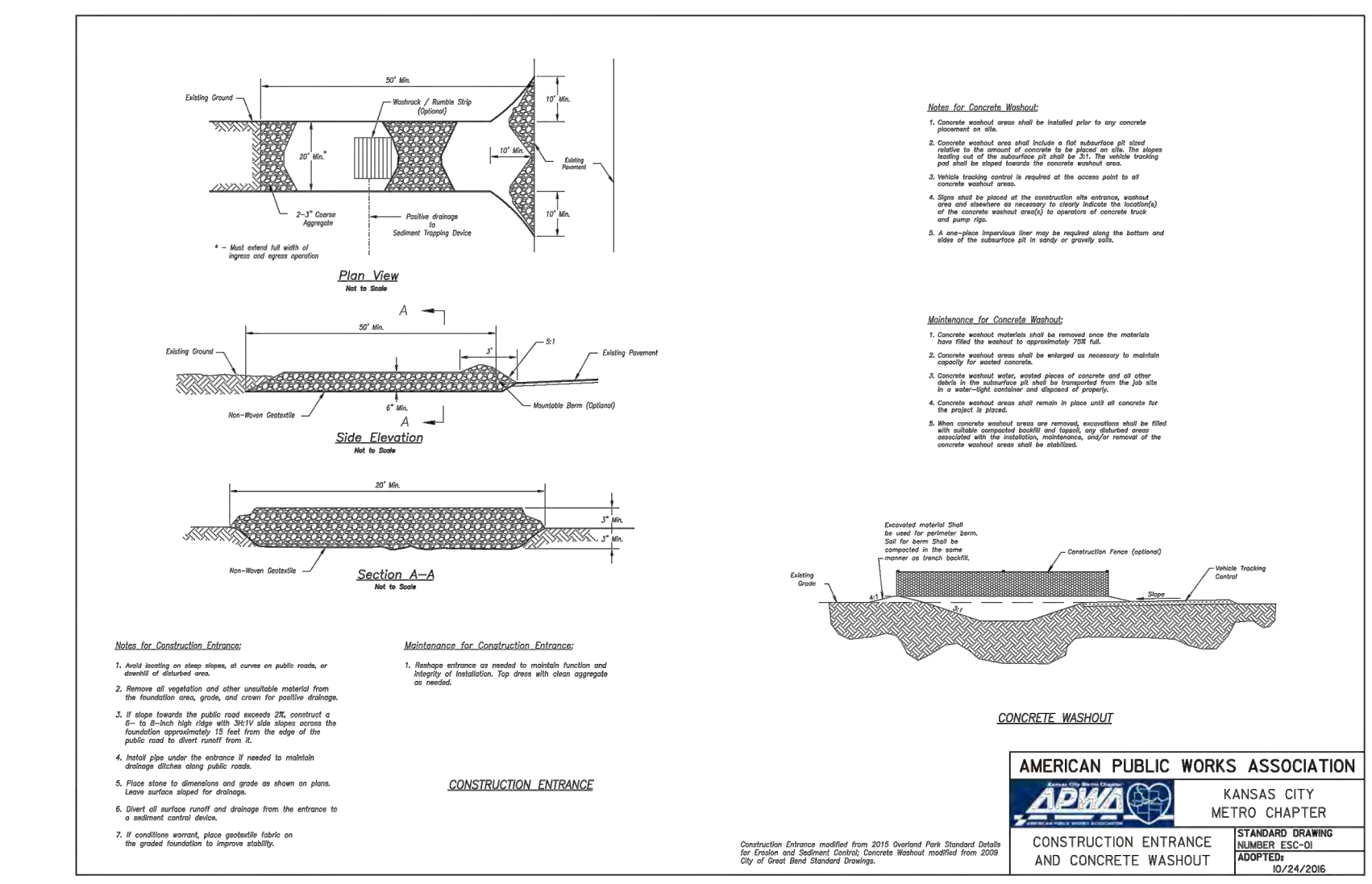
Tables showing 'Dates for Seeding' by month and 'Minimum Fertilizer and Seeding Rates' for various seed types like Tall Fescue, Smooth Bromo, etc.

O = Optimum seeding dates
A = Acceptable seeding dates
P = Permitted seeding dates with reseeding 2 months later - initially use 50% of seed and 75% of fertilizer.

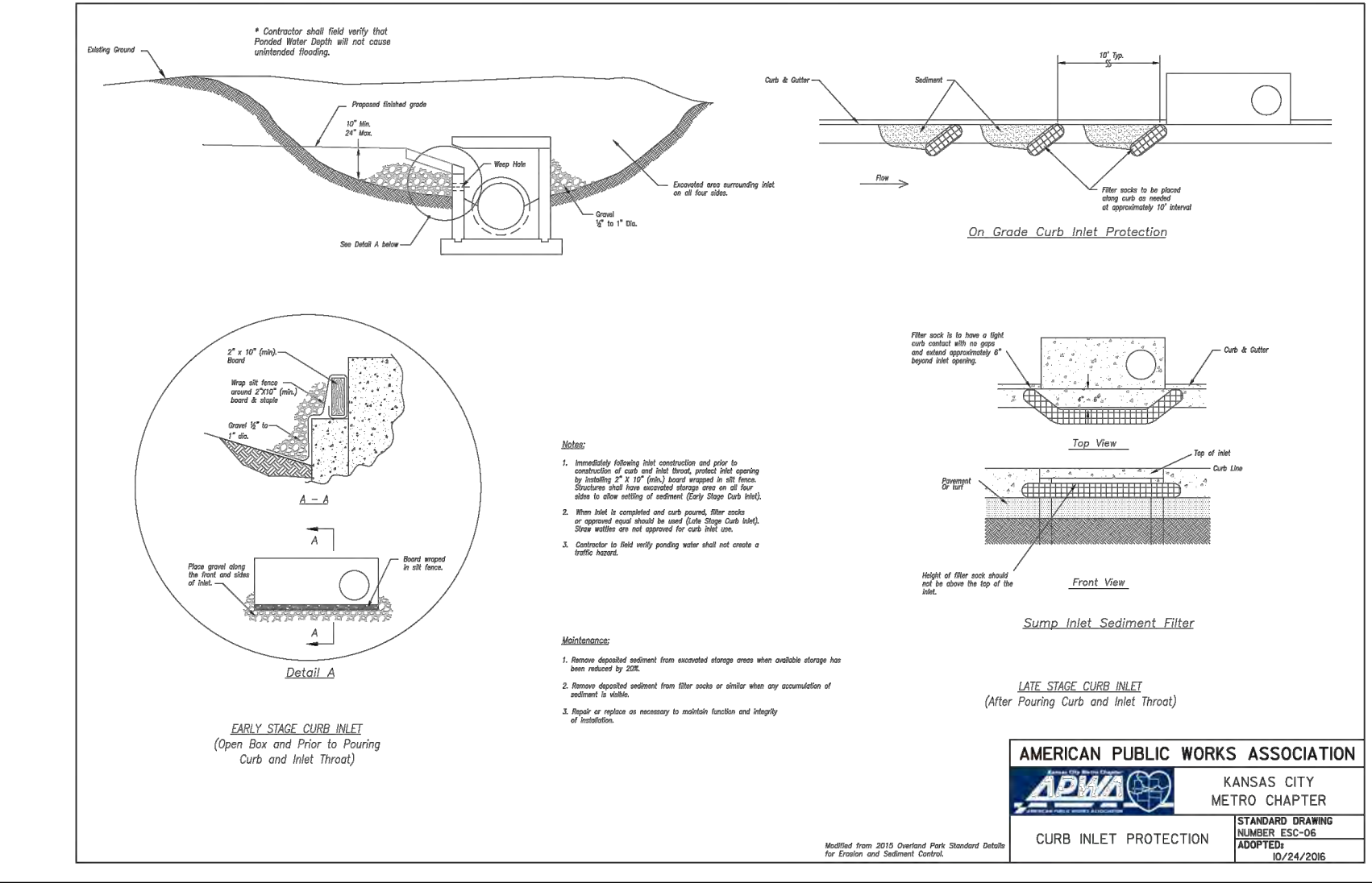
Tables showing 'Minimum Fertilizer and Seeding Rates' for various seed types like Tall Fescue, Smooth Bromo, etc., including Nitrogen, Phosphate, Potassium, and Lime - ENM.



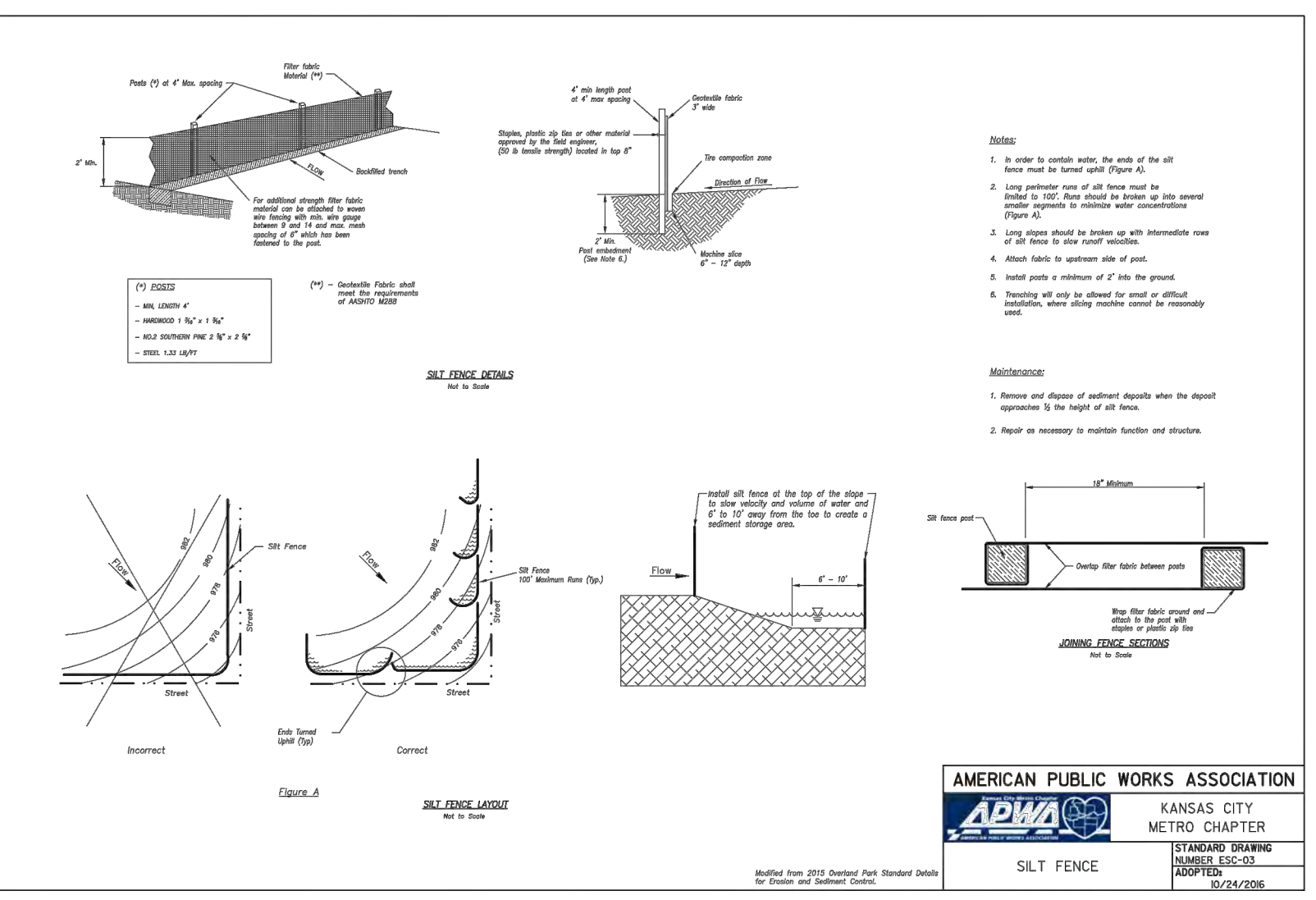
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT



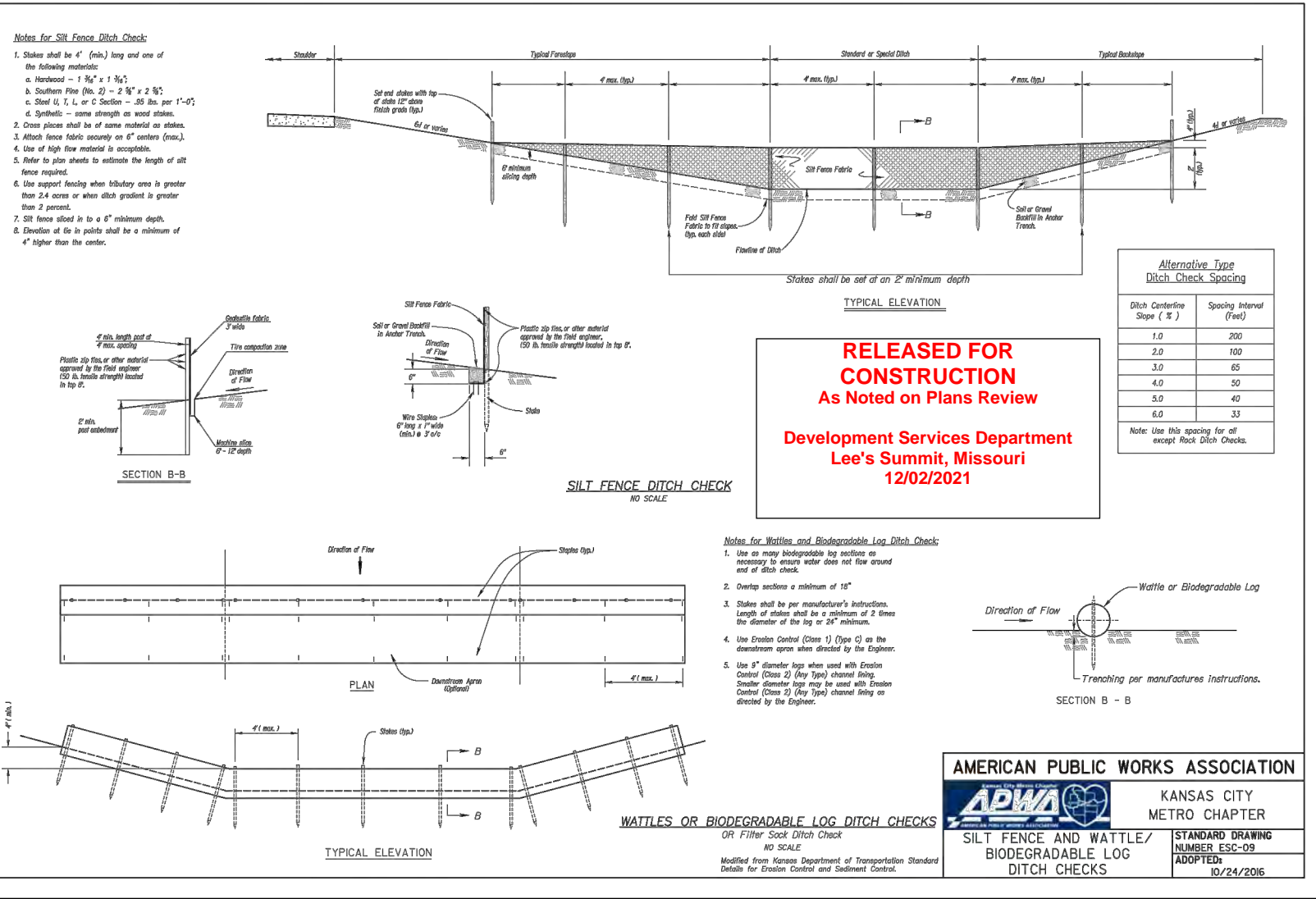
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
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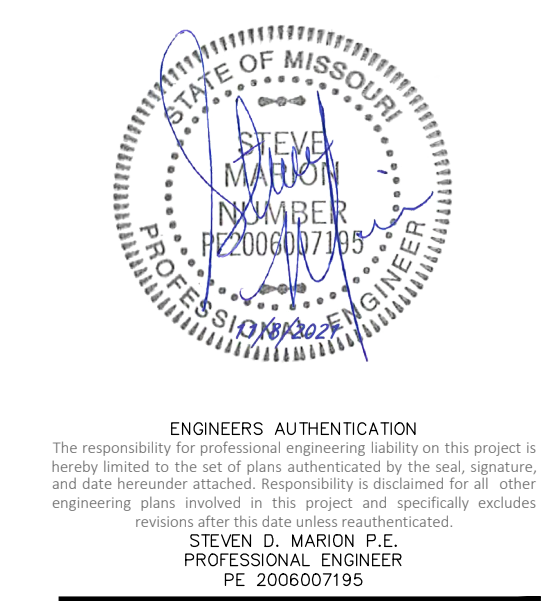
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
SILT FENCE



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
SILT FENCE AND WATTLE/BODGRASSABLE LOG DITCH CHECKS



ENGINEERS AUTHENTICATION
The responsible for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached.

DUTCH BROS
LEES SUMMIT, MO
500 NW CHIPMAN RD.
LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

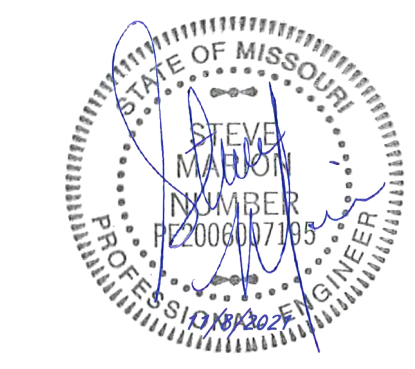
Date: 9-30-2021

Table with columns: #, Revision Date, Description of Changes, Revisions Per City Comments, Sheet Number, Project No., Drawn By, Checked By.

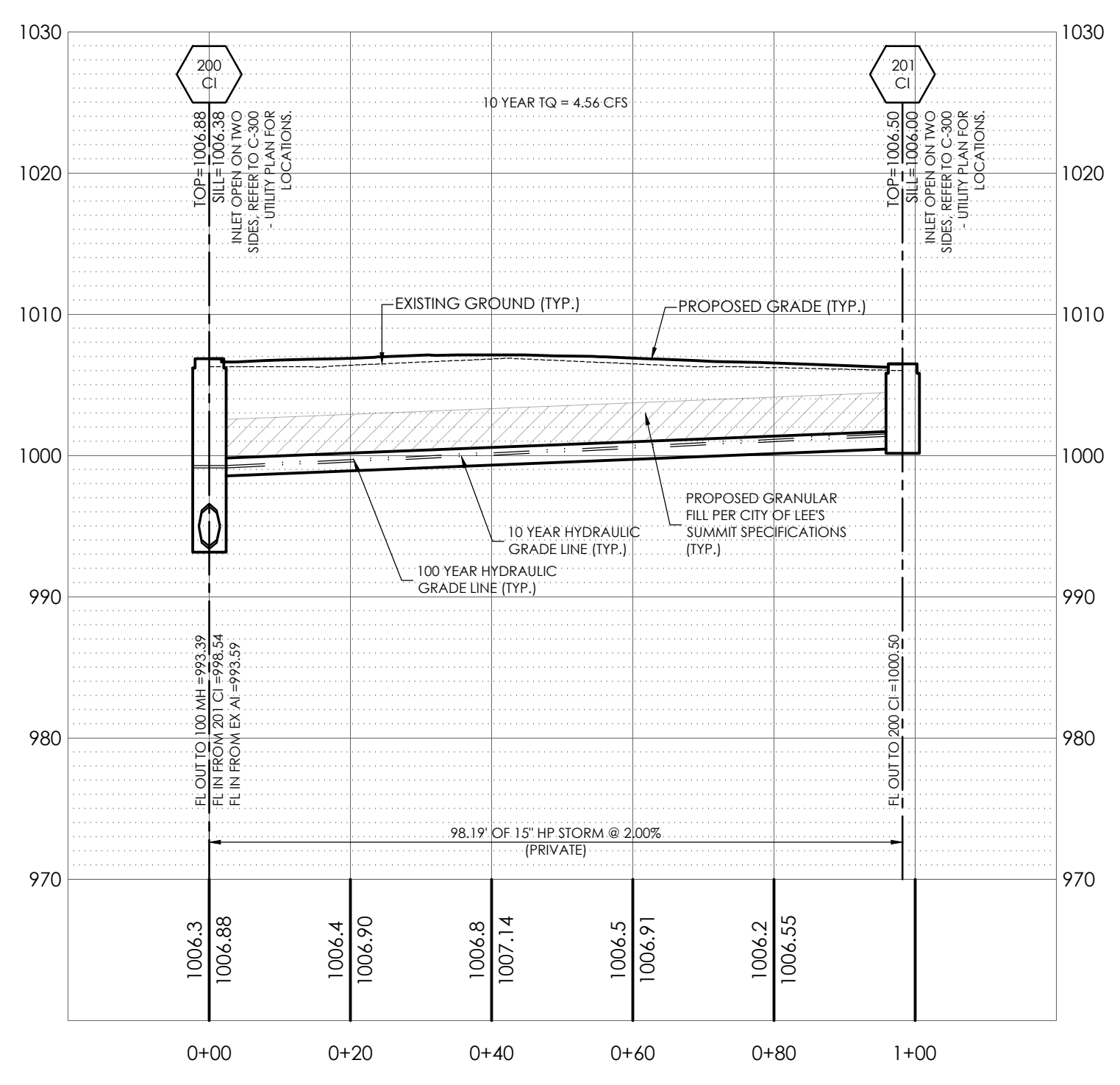
C-402

EROSION CONTROL DETAILS

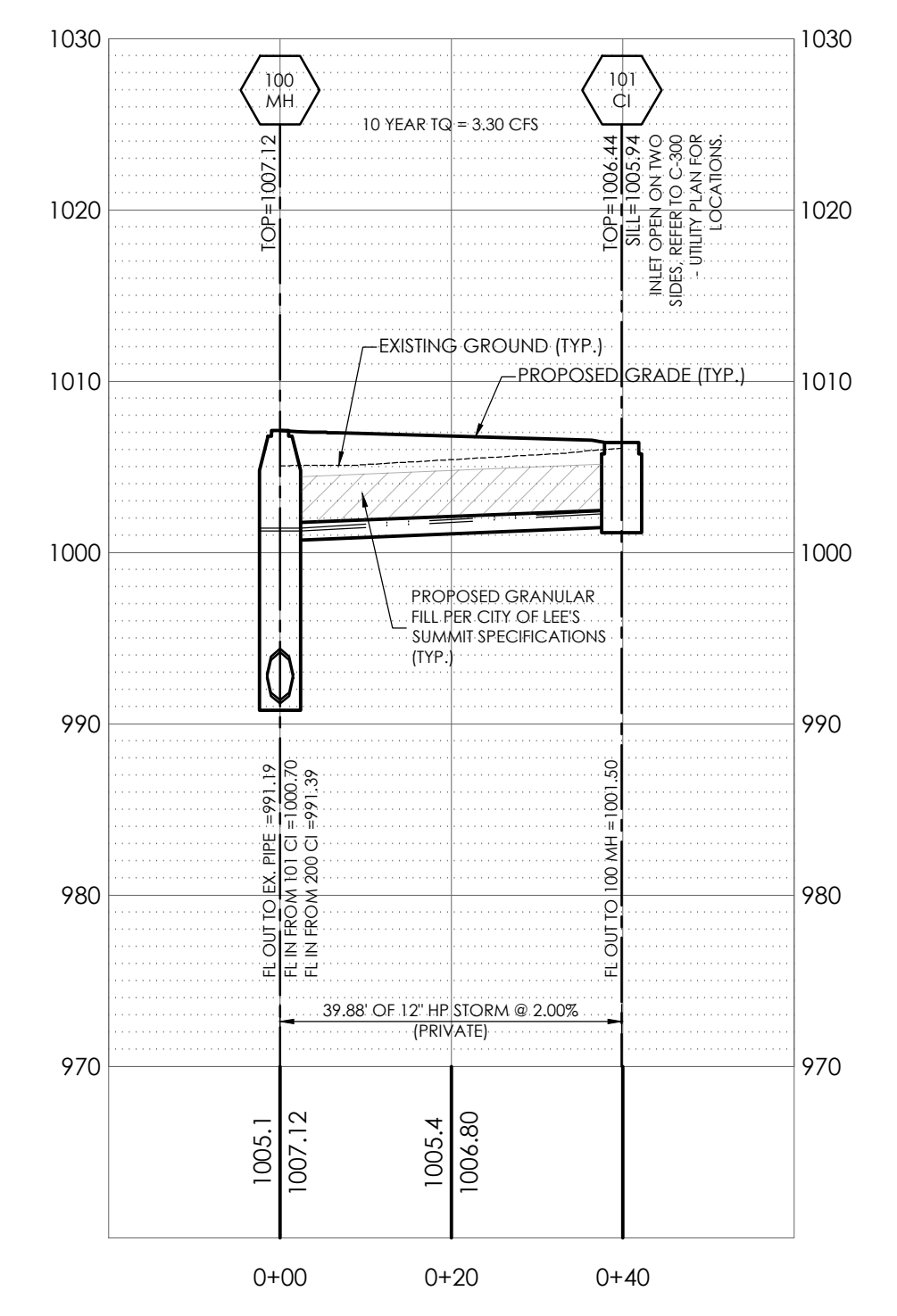
Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY
ISSUED FOR CONSTRUCTION



ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically includes revisions after the date stated hereunder.
STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 220000168



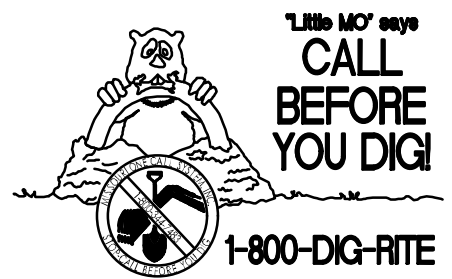
STORM SEWER PROFILE
201 CI TO 200 CI
1"=20' HORIZONTAL
1"=10' VERTICAL



STORM SEWER PROFILE
101 MH TO 100 CI
1"=20' HORIZONTAL
1"=10' VERTICAL

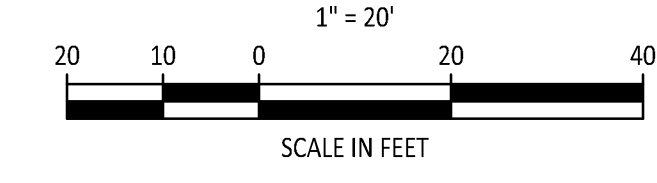
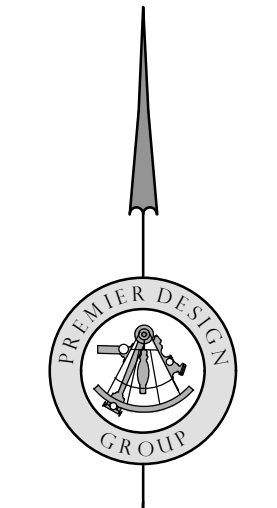
10 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSlope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
			(ft)	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-100	101 CI	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.78**	1002.28	1001.26	4.16	-87.458	7.28	0.39	1.00 z	0	n/a	5.46	3.3	3.3	0.02	100	3.3	0	0	n/a
2	201-200	104 CI	98.19	15	1000.5	998.54	2	1006.5	1006.88	0.86**	1001.37	999.14	5.14	-87.844	7.89	0.39	1.00 z	0	0.39	9.88	4.56	4.56	0.02	100	4.56	0	0	n/a

100 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSlope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
			(ft)	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-100	101 CI	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.91**	1002.41	1001.45	4.03	-87.458	7.88	0.67	1.00 z	0	n/a	5.46	4.95	4.95	0.02	100	4.95	0	0	n/a
2	201-200	104 CI	98.19	15	1000.5	998.54	2	1006.5	1006.88	1.05**	1001.55	999.3	4.95	-87.844	8.69	0.6	1.00 z	0	n/a	9.88	6.84	6.84	0.02	100	6.84	0	0	n/a



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021



DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date **9-30-2021**

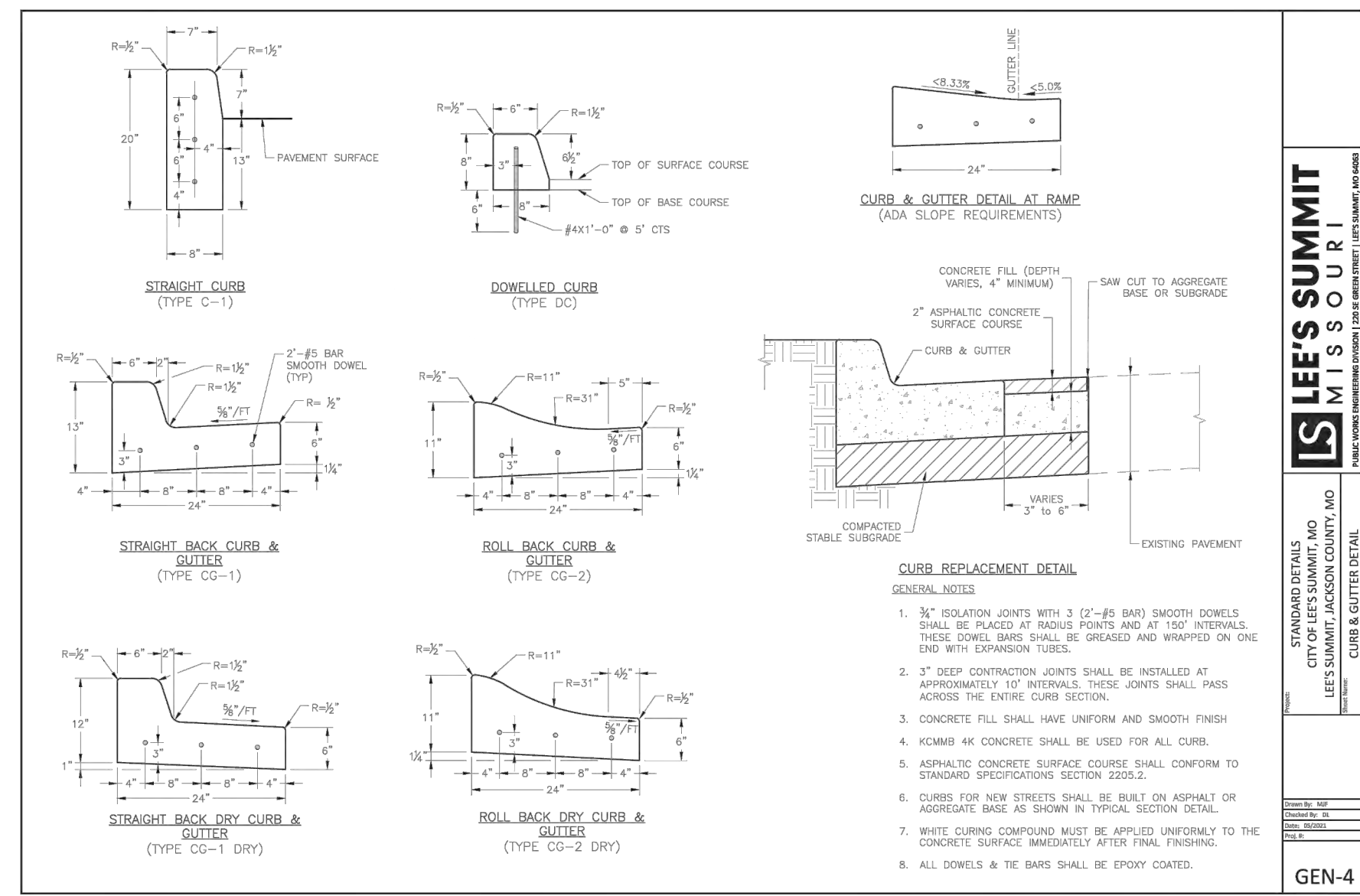
#	Revision Date	Description of Changes
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title
STORM SEWER PROFILES

Sheet No.
C-500

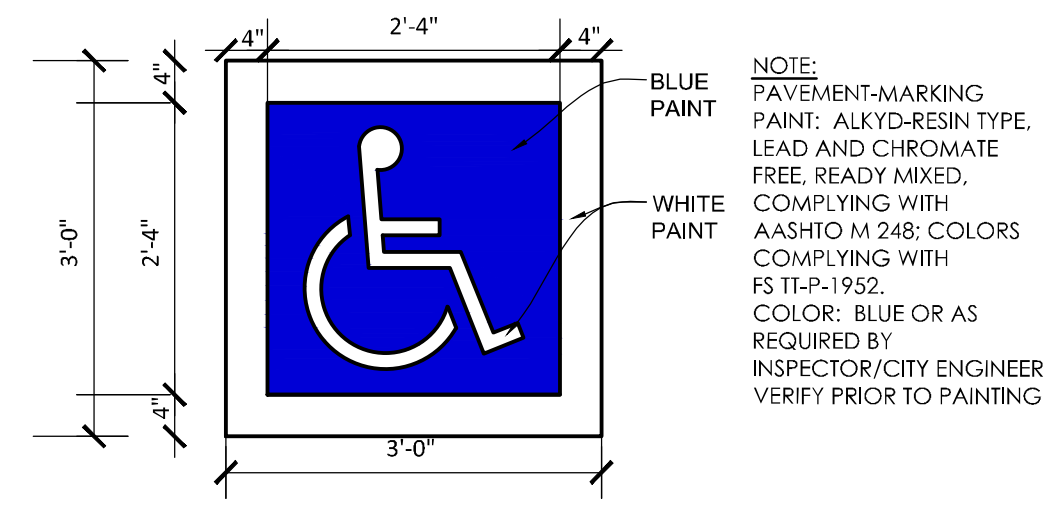
Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY

ISSUED FOR CONSTRUCTION

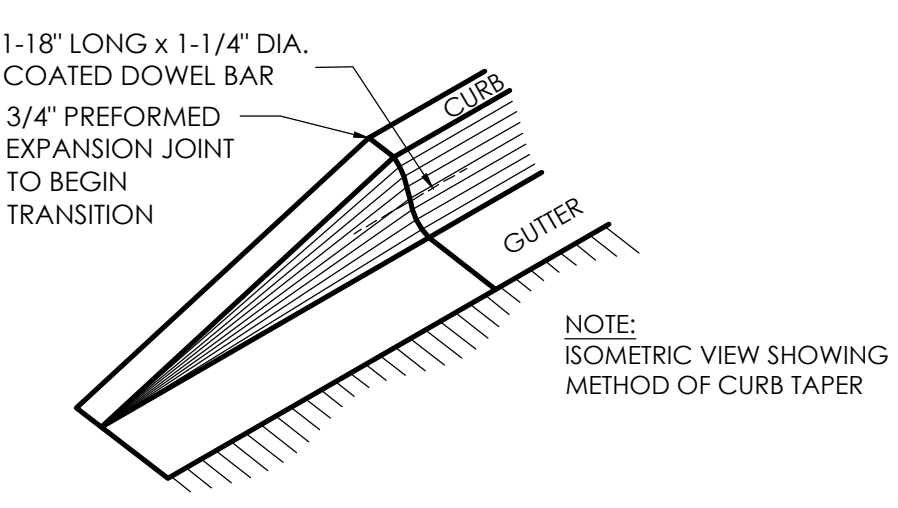


LEE'S SUMMIT MISSOURI
 STANDARD DETAILS AND CITY OF JEFFERSON COUNTY, MISSOURI
 LETS SUMMIT JACKSON COUNTY, AND MISSOURI
 CURE & GUTTER DETAIL
 GEN-4

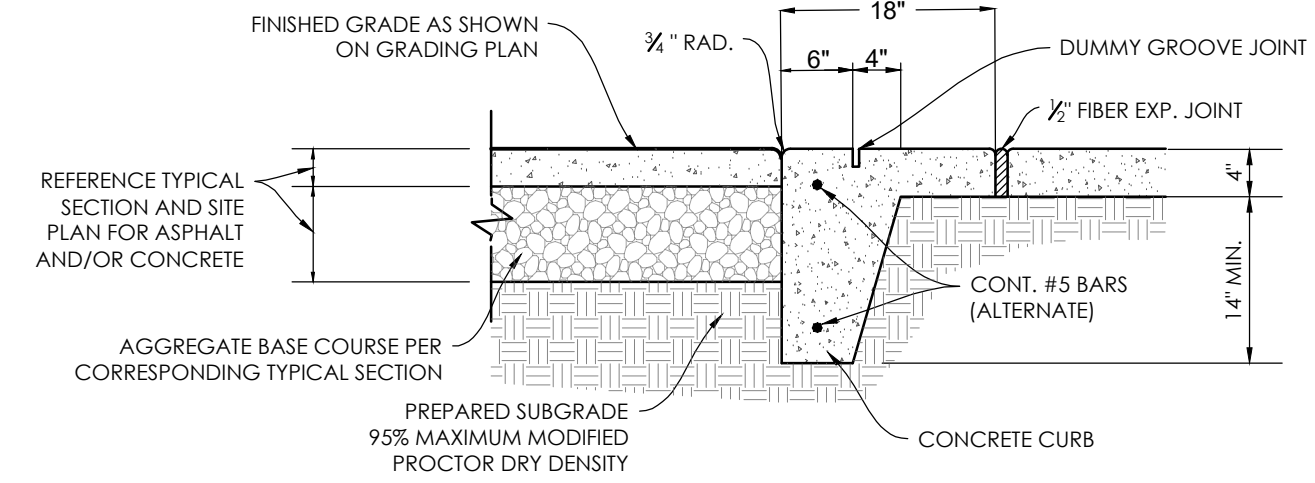
12 ACCESSIBLE PARKING SYMBOL
 N.T.S. P-2021-DBL-16



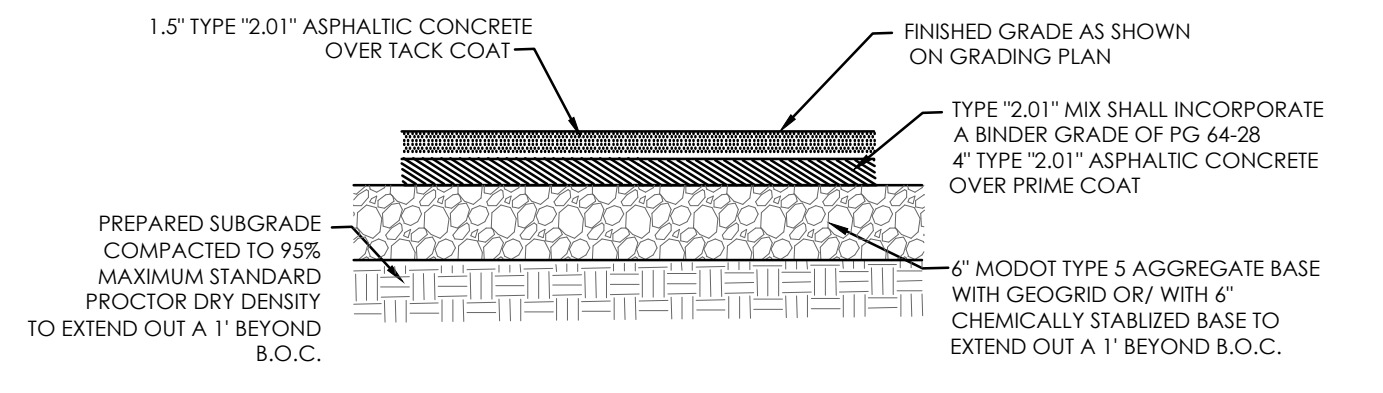
7 CURB TERMINATION DETAIL
 N.T.S. P-2021-DBL-12



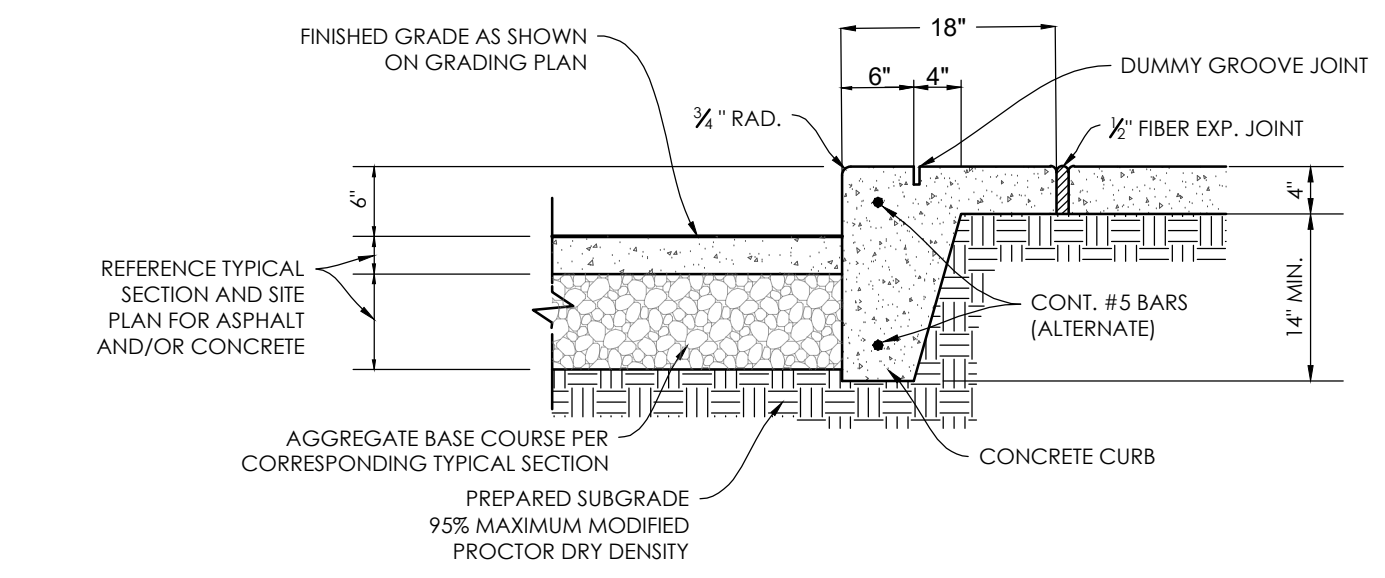
11 FLUSH PAVEMENT AT SIDEWALK DETAIL
 N.T.S. P-2021-DBL-11



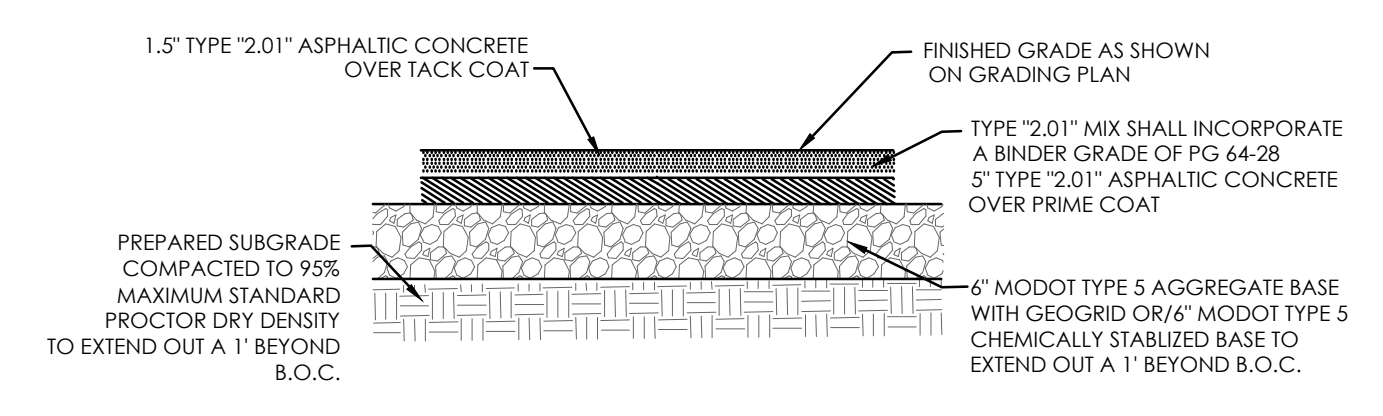
6 ASPHALT PAVEMENT DETAIL (LIGHT DUTY)
 N.T.S. P-2021-DBL-06



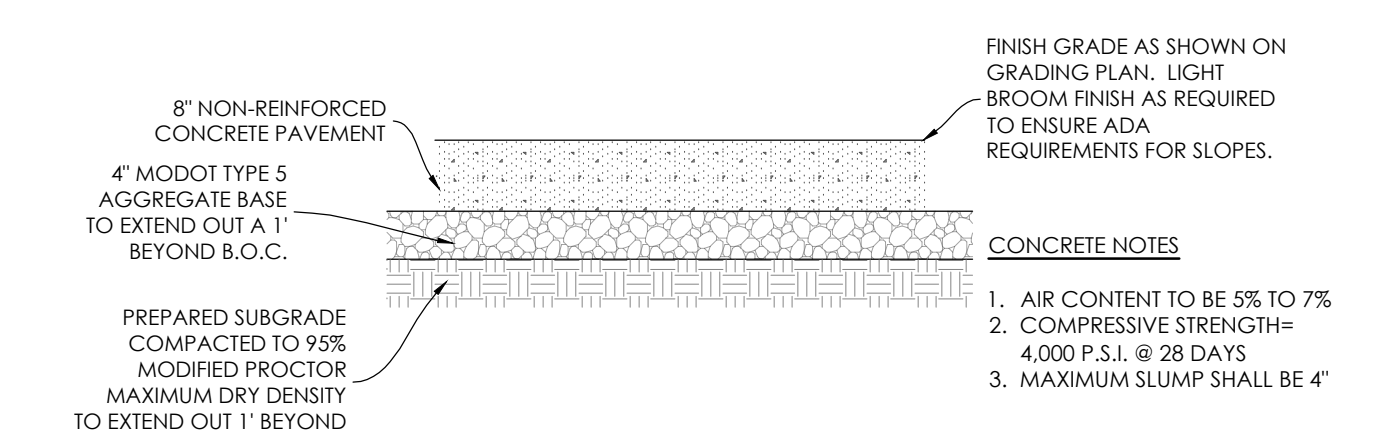
10 6" VERTICAL CONCRETE CURB WITH SIDEWALK DETAIL
 N.T.S. P-2021-DBL-10



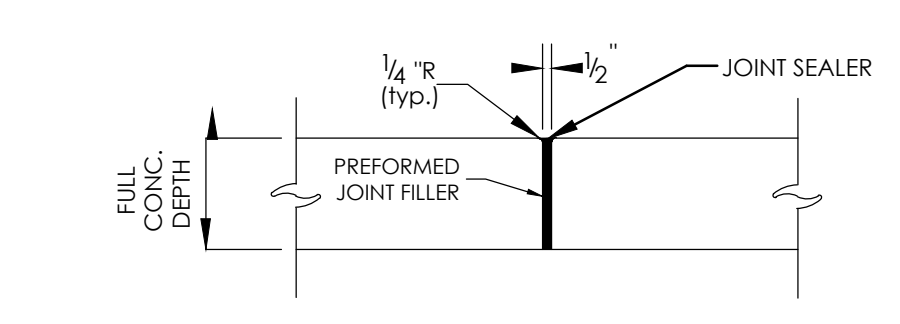
5 ASPHALT PAVEMENT DETAIL (MEDIUM DUTY)
 N.T.S. P-2021-DBL-05



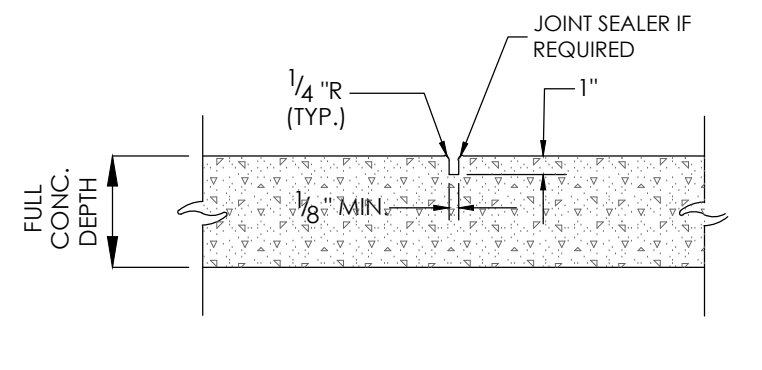
4 HEAVY DUTY CONCRETE PAVEMENT DETAIL
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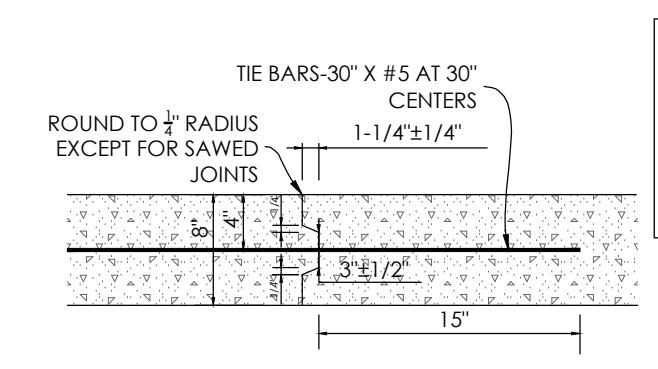
3 EXPANSION JOINT FOR SIDEWALK DETAIL
 N.T.S. P-2021-DBL-03



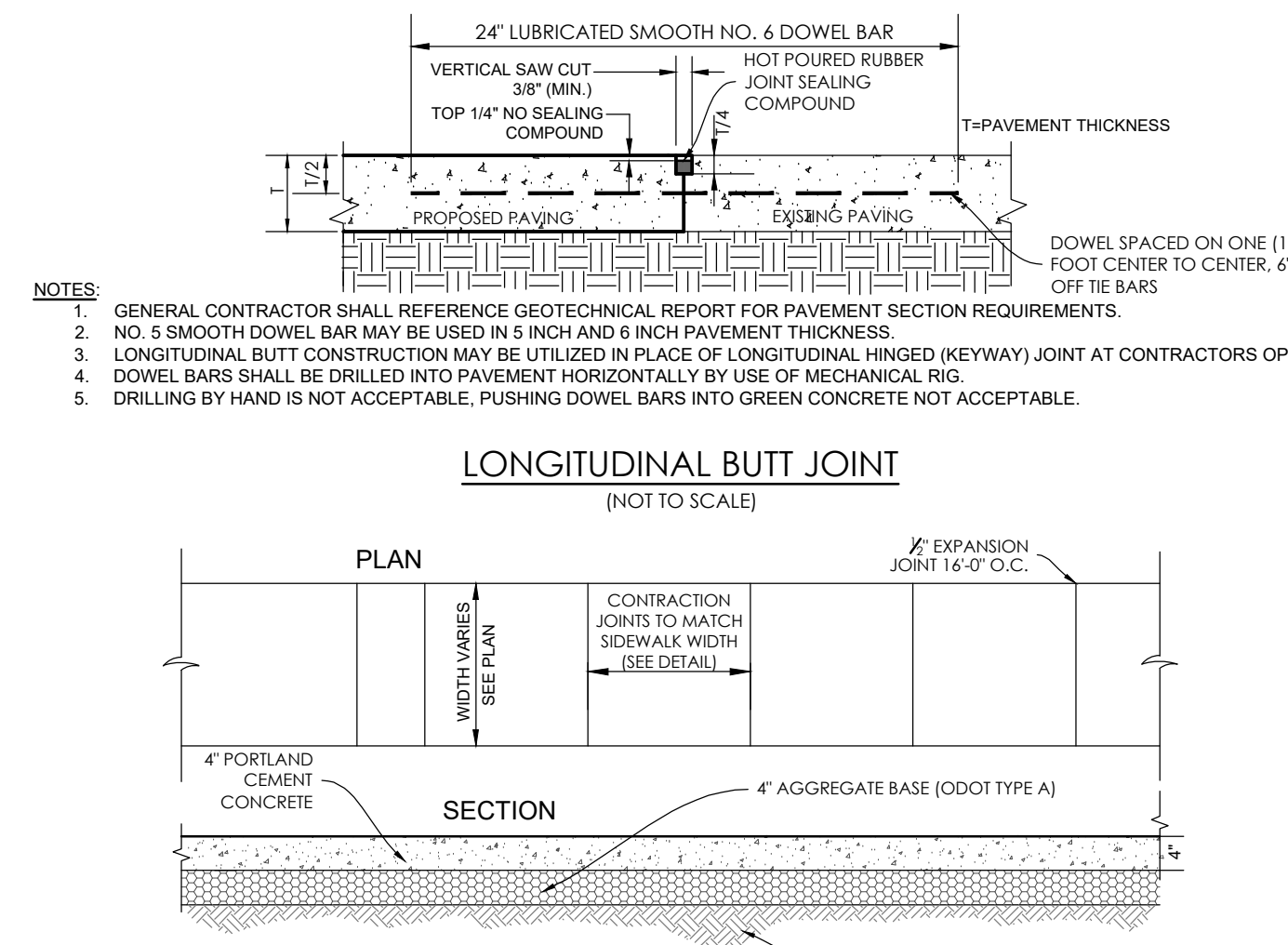
2 CONCRETE PAVEMENT CONSTRUCTION JOINT DETAIL
 N.T.S. P-2021-DBL-02



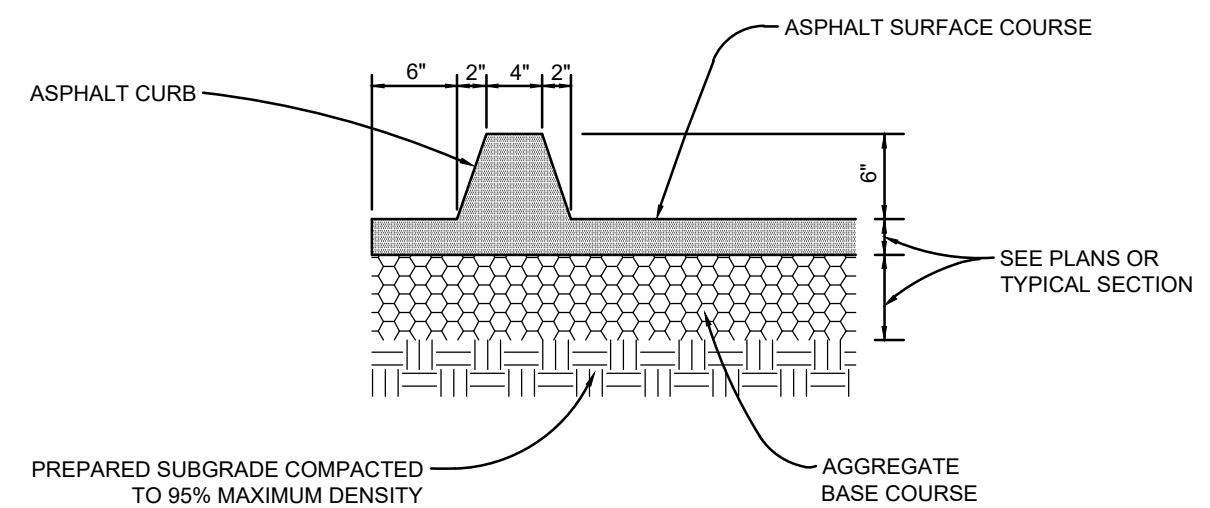
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 N.T.S. P-2021-DBL-01



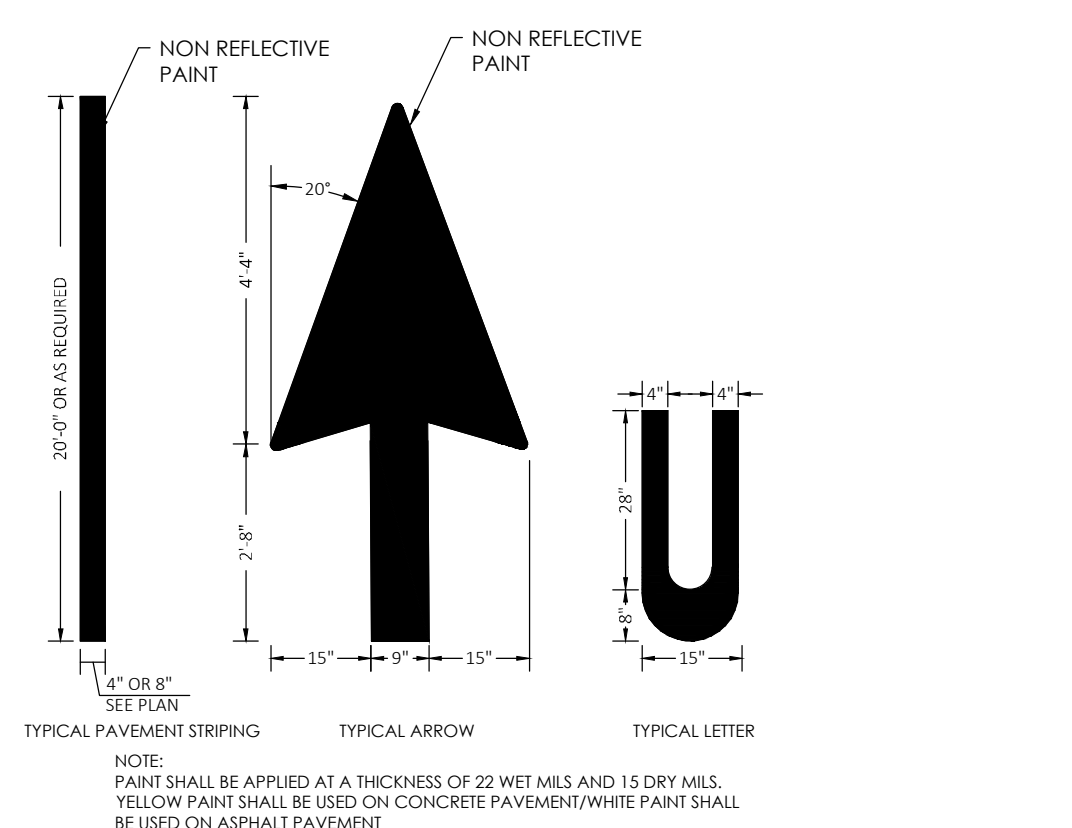
8 CONCRETE SIDEWALK DETAIL
 N.T.S. P-2021-DB-08



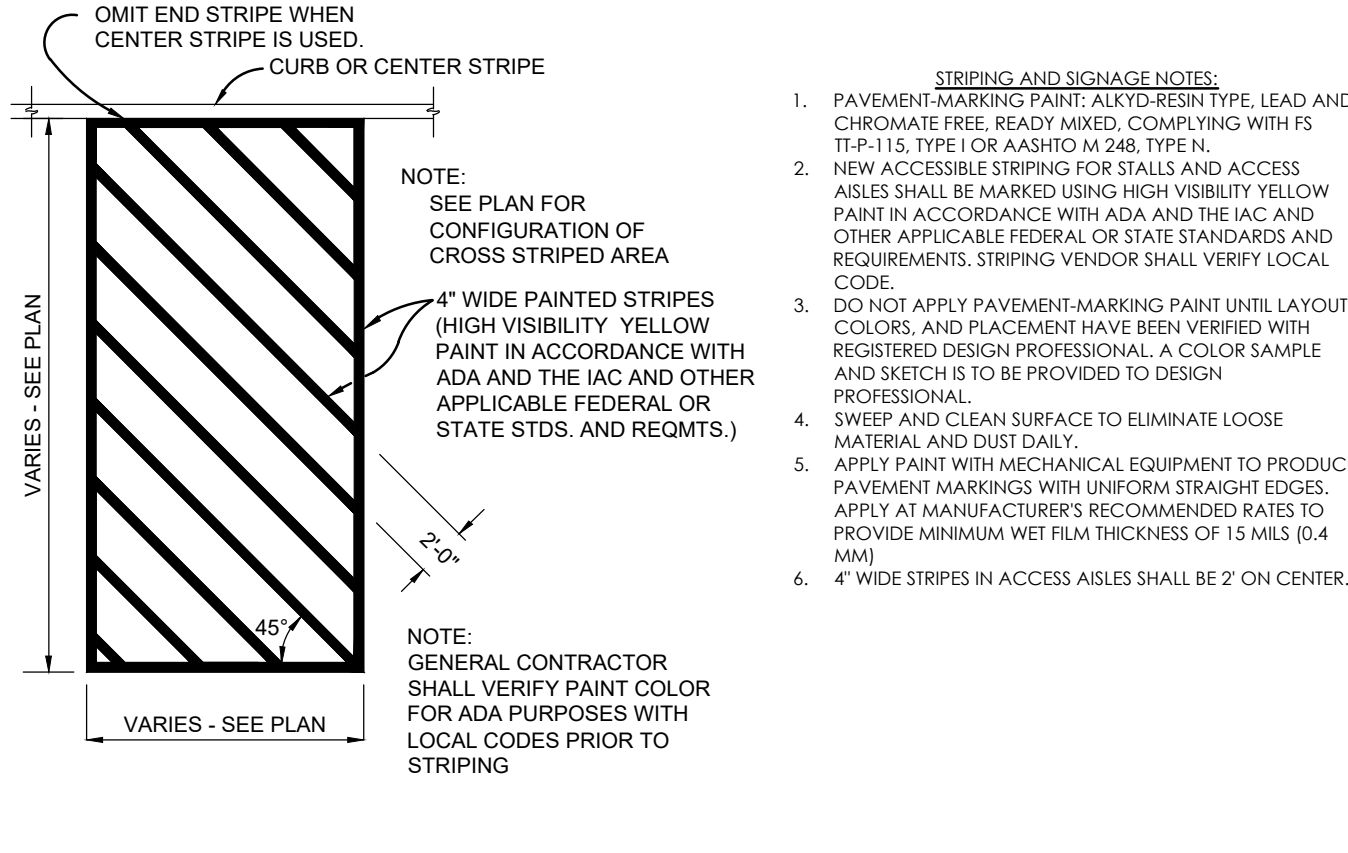
17 TEMPORARY ASPHALT CURB
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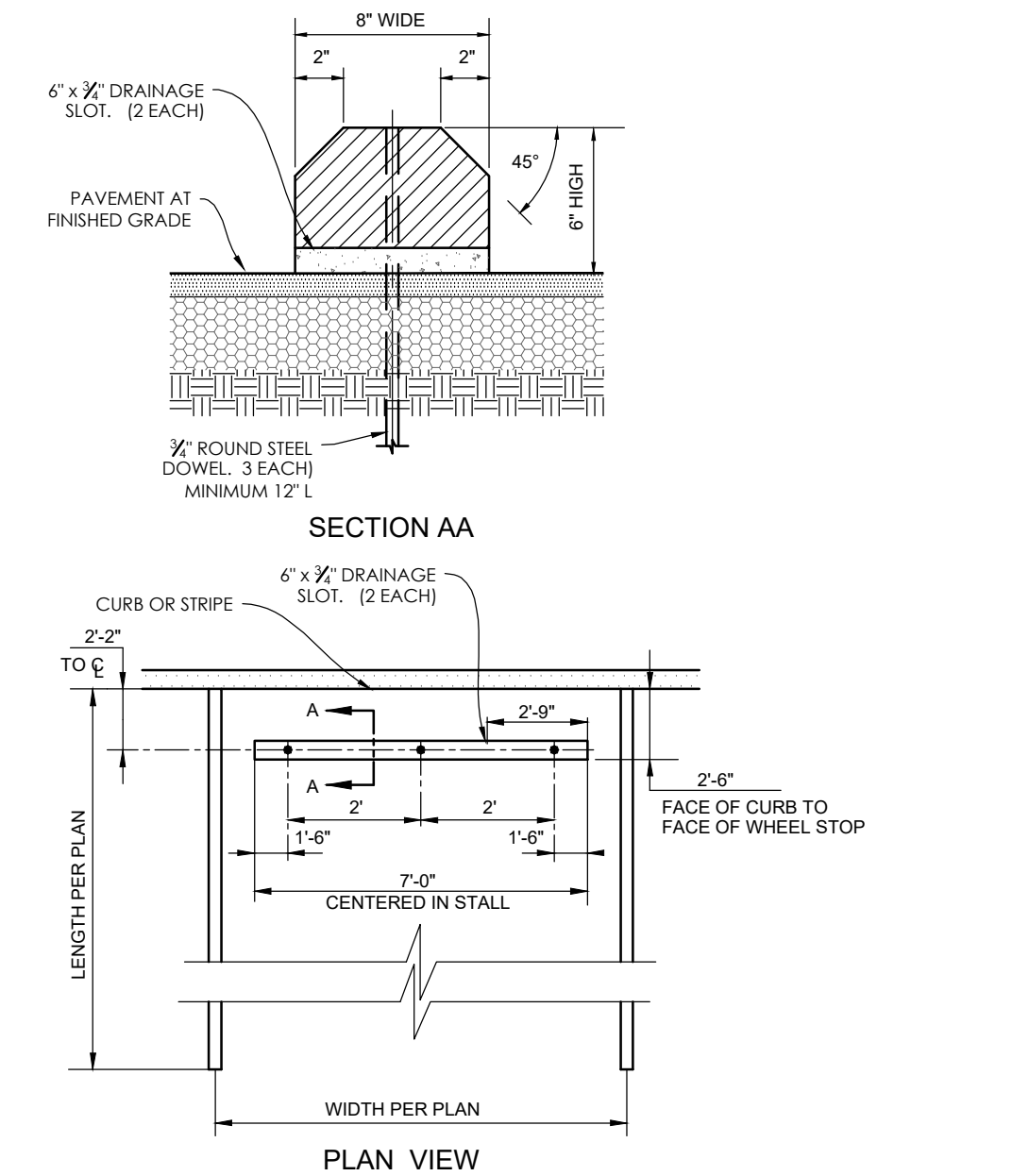
14 TYPICAL PAVEMENT MARKINGS DETAIL
 N.T.S. P-2021-DBL-13



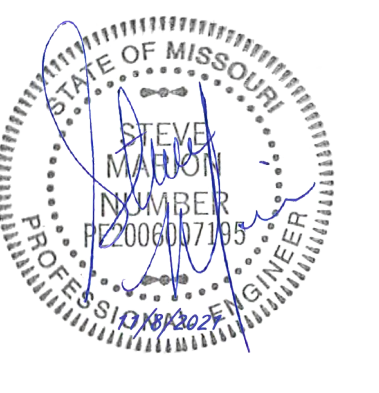
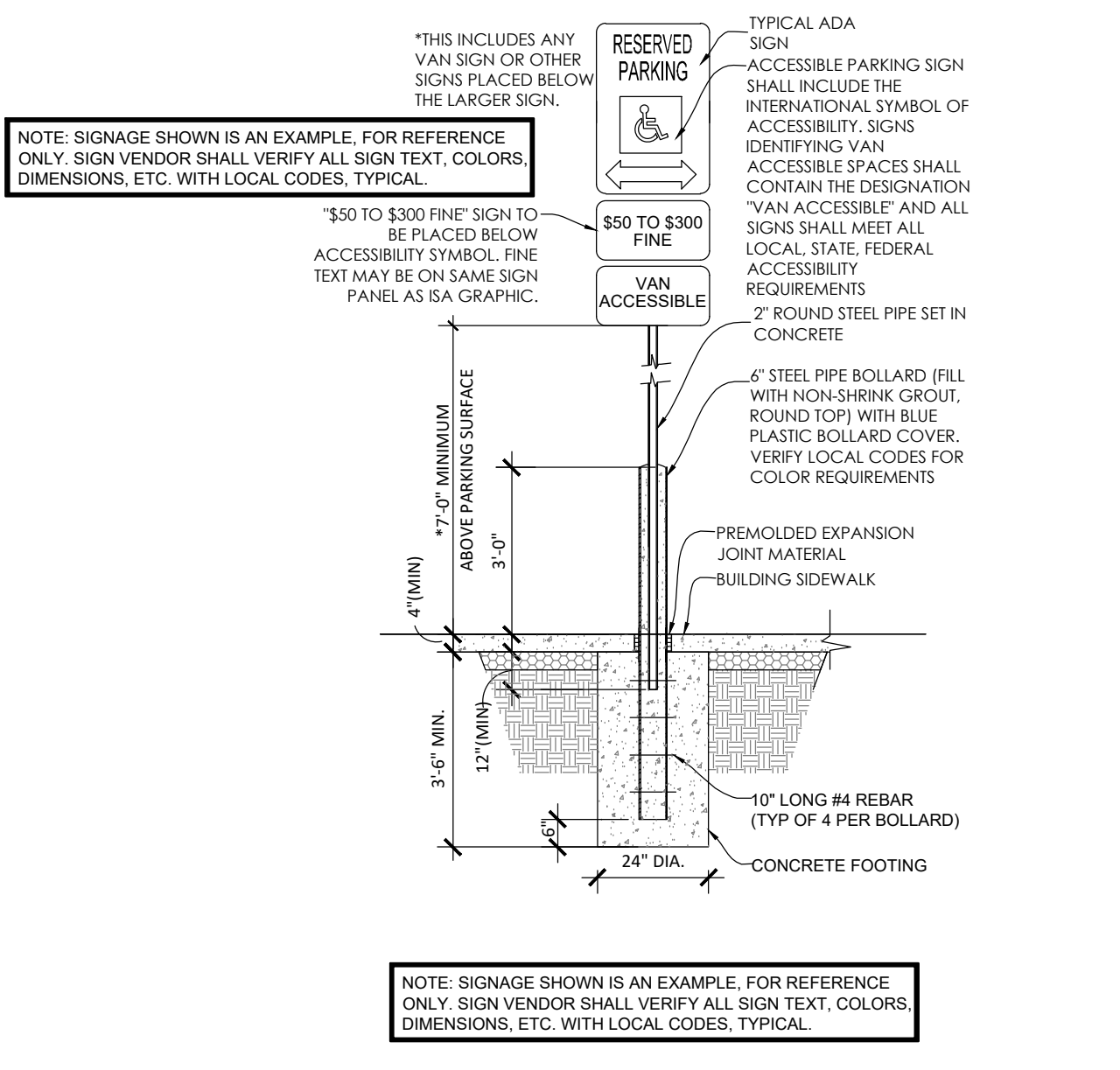
16 CROSS STRIPING DETAIL
 N.T.S. P-2021-DBL-15



13 PRECAST WHEEL STOP DETAIL
 N.T.S. P-2021-DBL-09



15 ACCESSIBLE PARKING SIGN
 N.T.S. P-2021-DBL-14



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 STEVEN D. MARON, P.E.
 PROFESSIONAL ENGINEER
 PE 2200607195

DUTCH BROS
 LEE'S SUMMIT, MO
 500 NW CHIPMAN RD.
 LEE'S SUMMIT, MO 64086
 TM CROWLEY
 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280

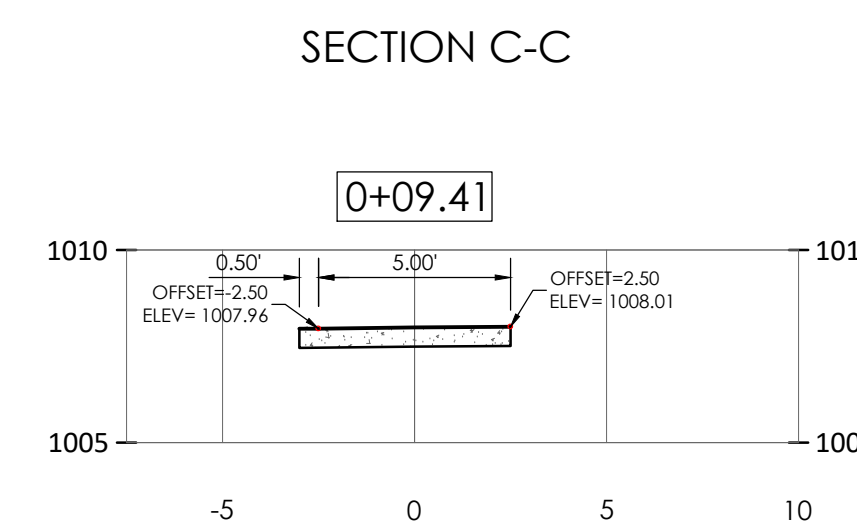
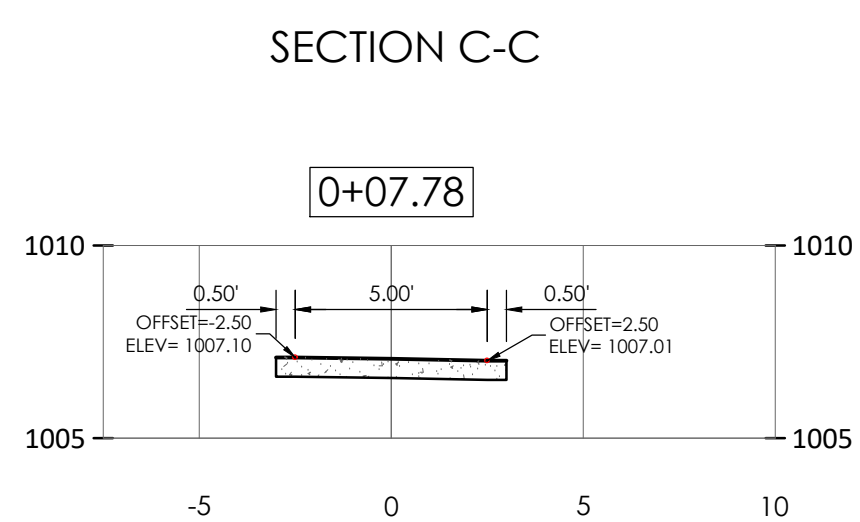
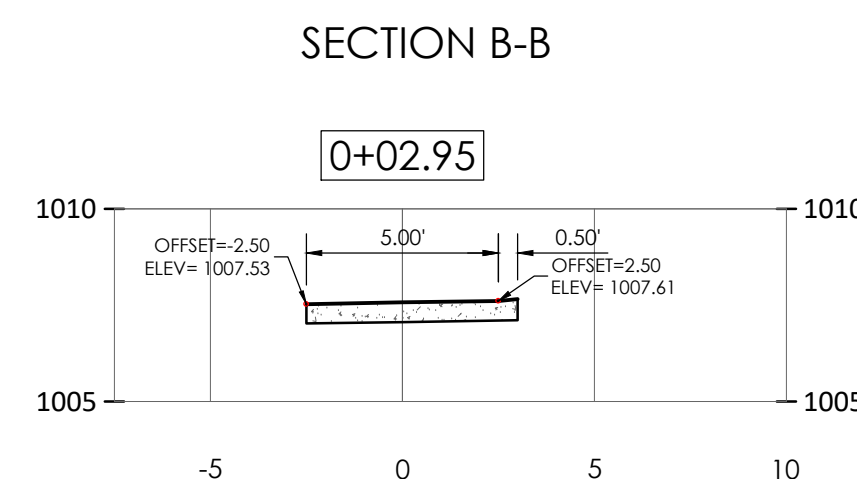
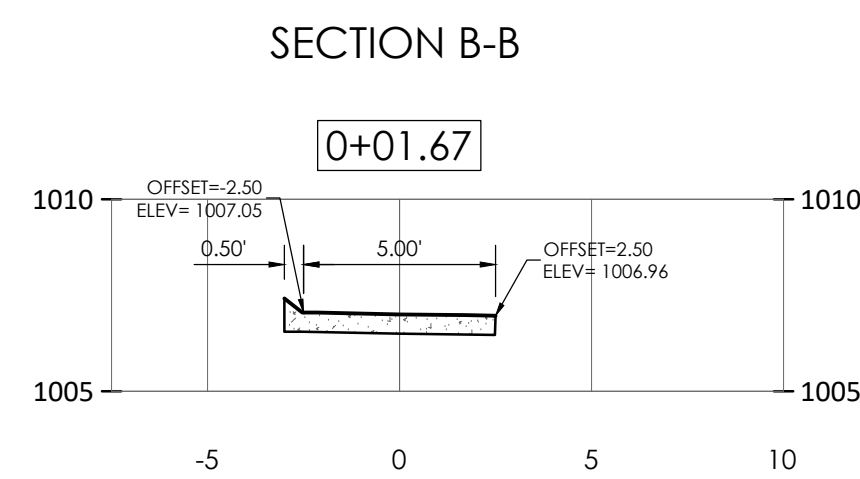
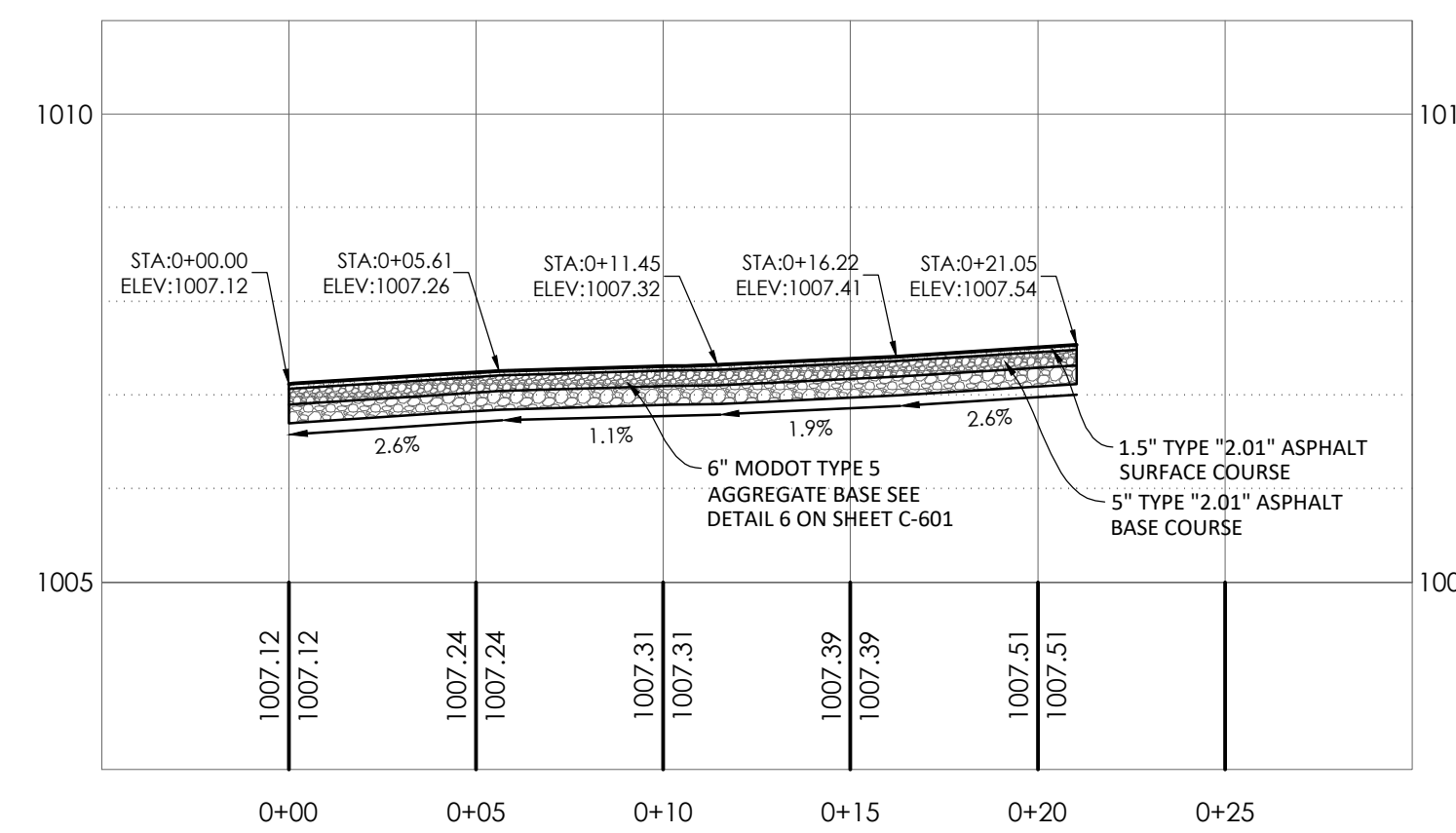
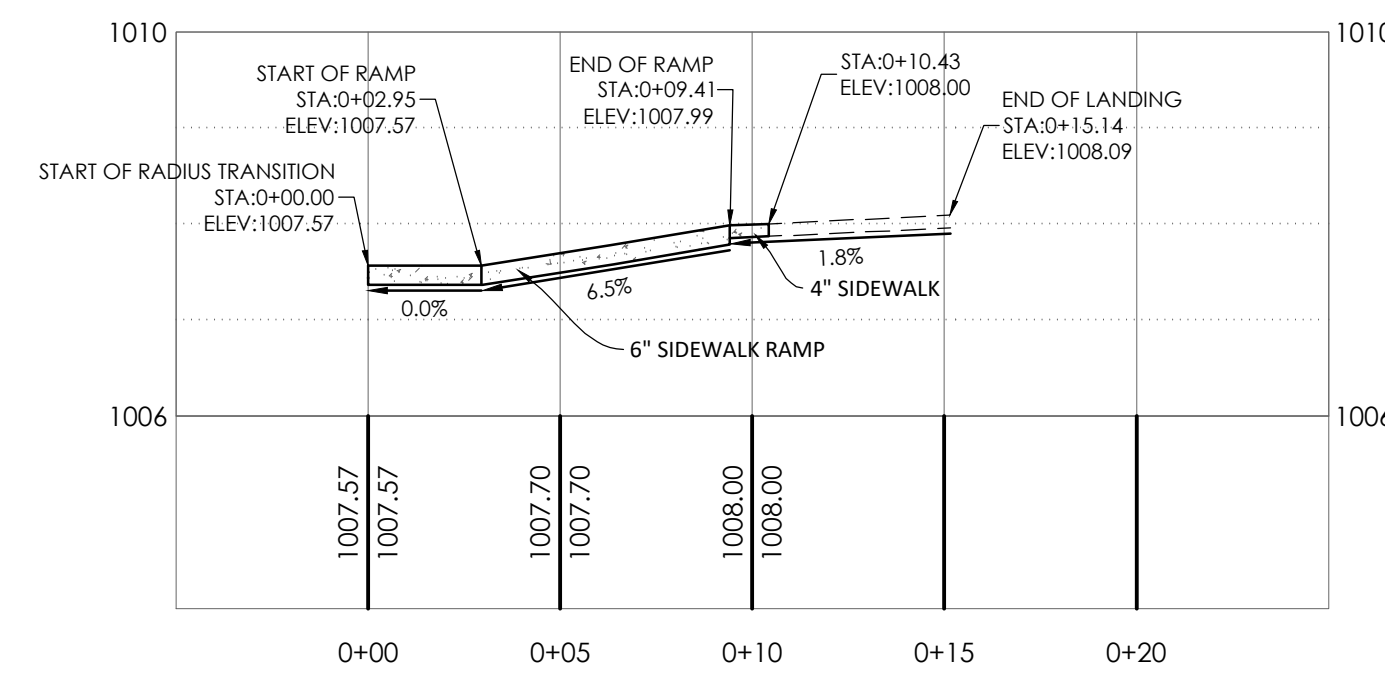
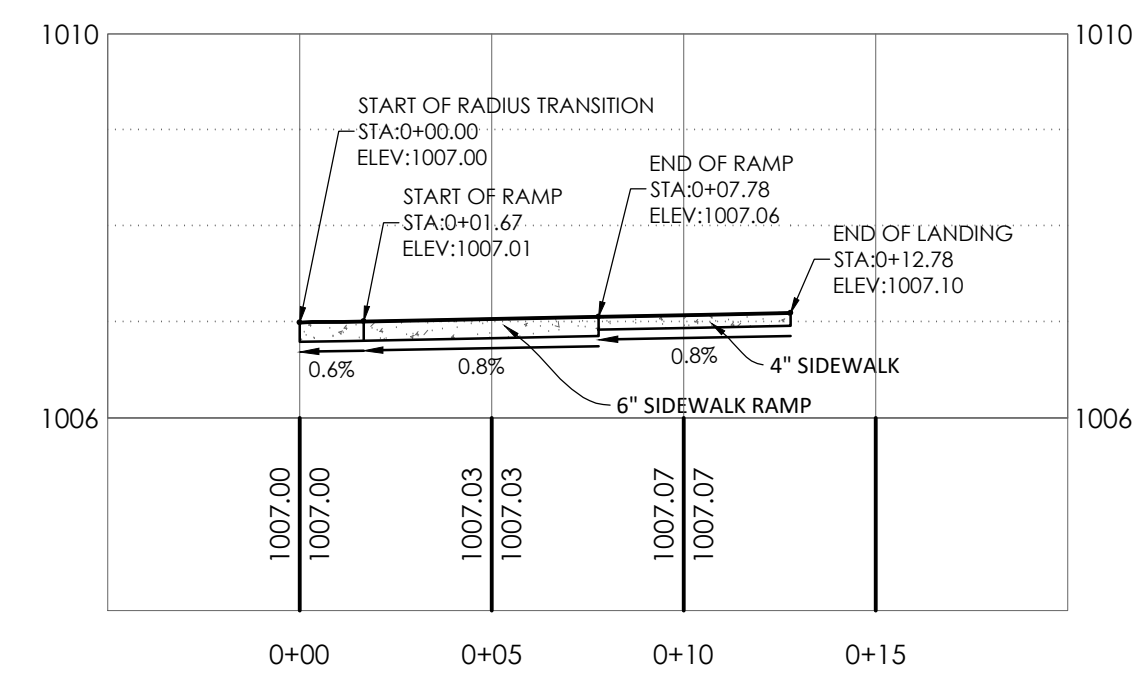
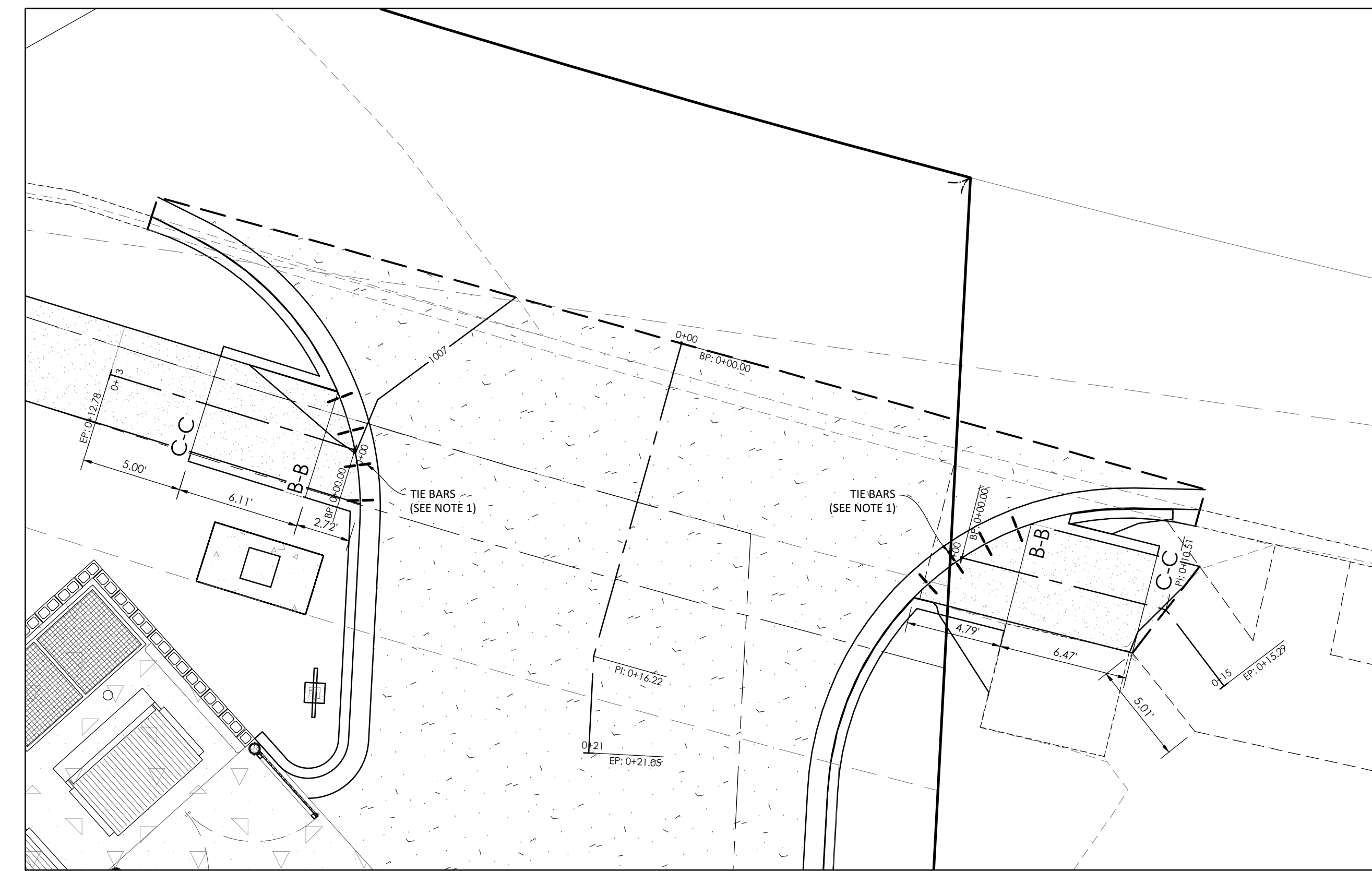
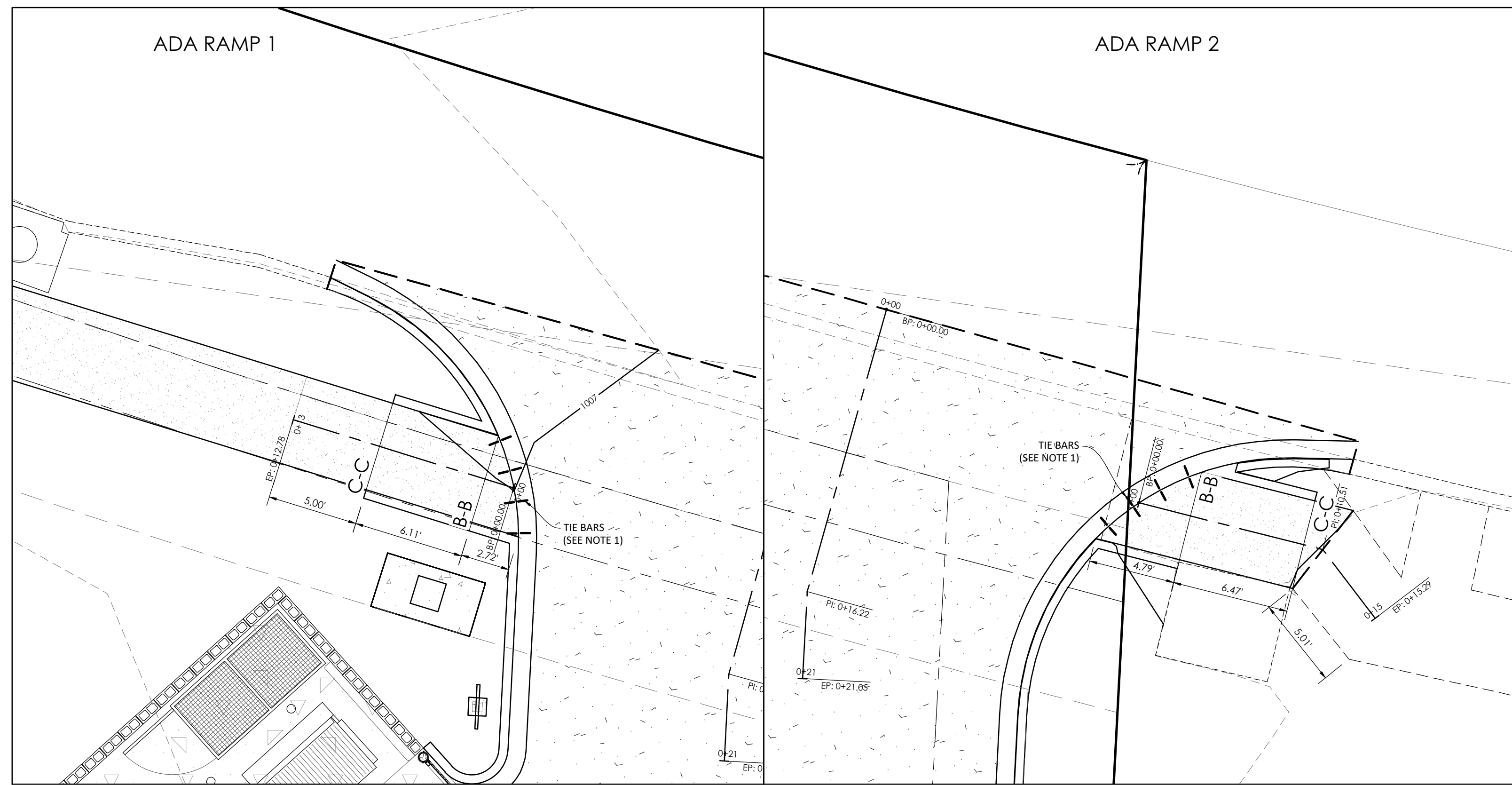
Project	
Date	9-30-2021
Revision Date	
1	10-21-2021 REVISIONS PER CITY COMMENTS
2	
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C-600

Project No. 2109720
 Drawn By A. JONES
 Checked By M. FOGARTY
 ISSUED FOR CONSTRUCTION

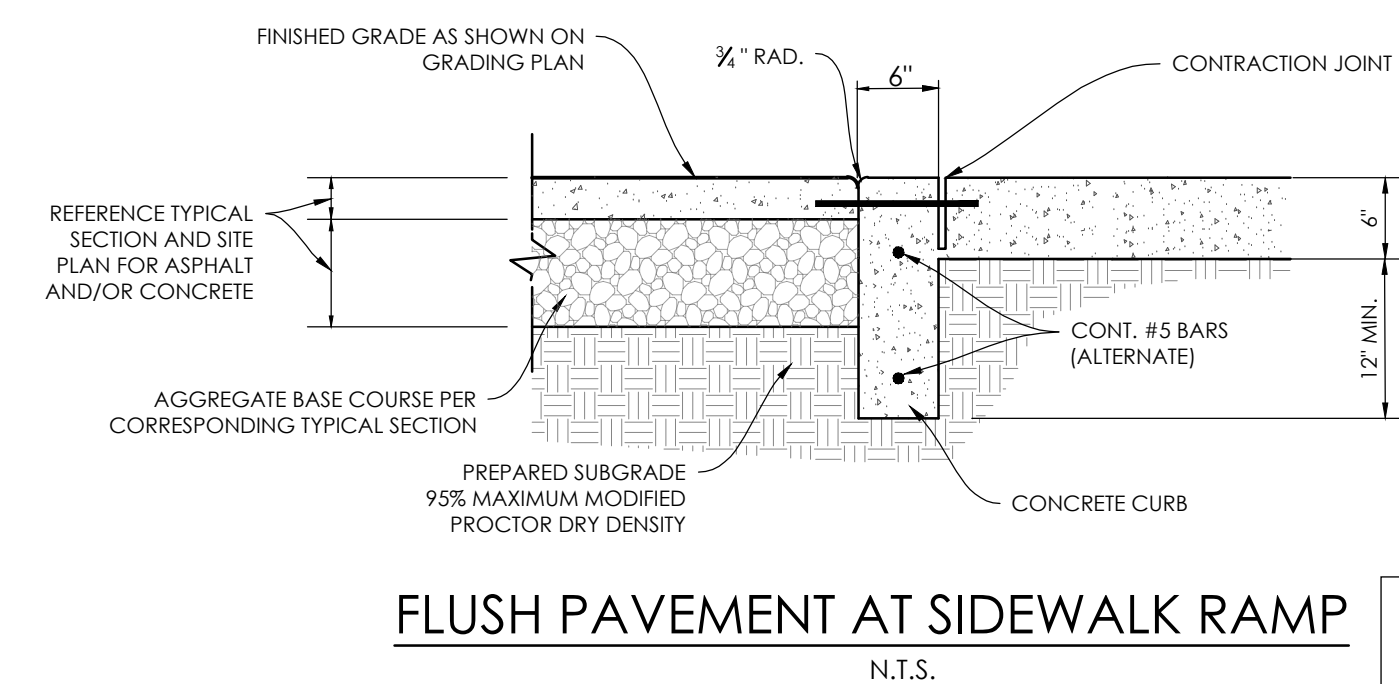
CONSTRUCTION DETAILS

RELEASED FOR CONSTRUCTION
 As Noted on Plans Review
 Development Services Department
 Lee's Summit, Missouri
 12/02/2021

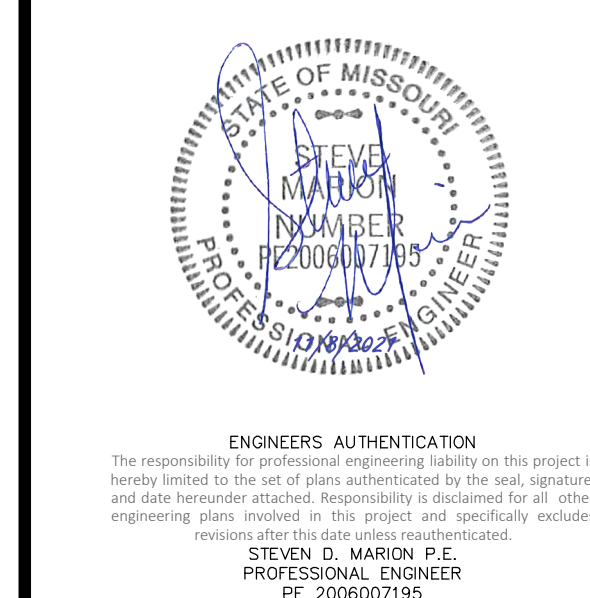
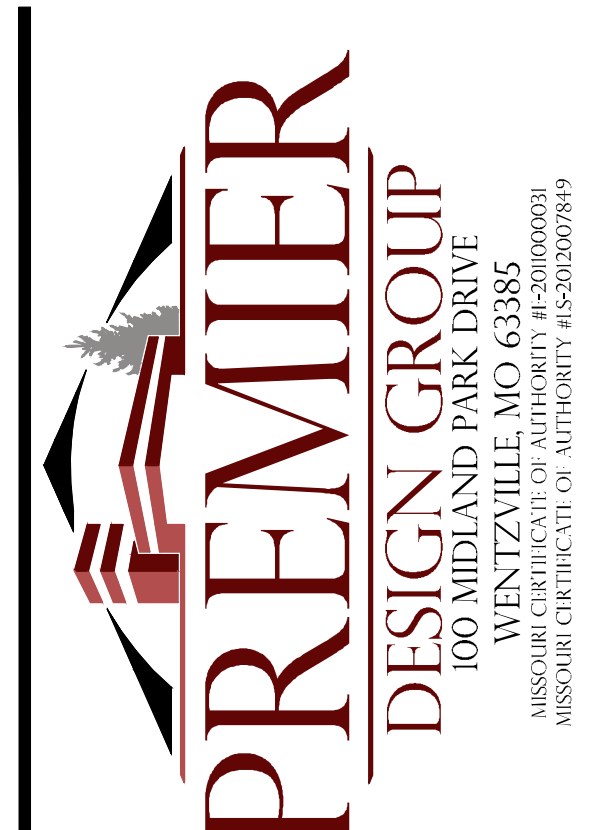
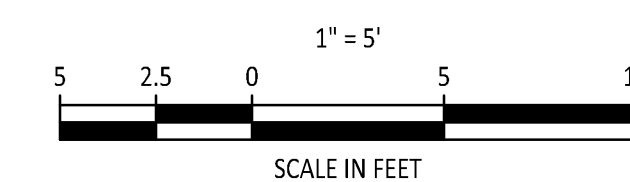


SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:

1. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION
2. ADA MAXIMUM RAMP SLOPE = 8.33%
3. ADA MAXIMUM CROSS SLOPE = 2.0%
4. DURING INSPECTION PROCESS, SIDEWALKS THAT EXCEED THE MAXIMUM ALLOWABLE SLOPES AT ALL WILL BE REJECTED.



RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021



DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project: _____
Date: 9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Number: C-601

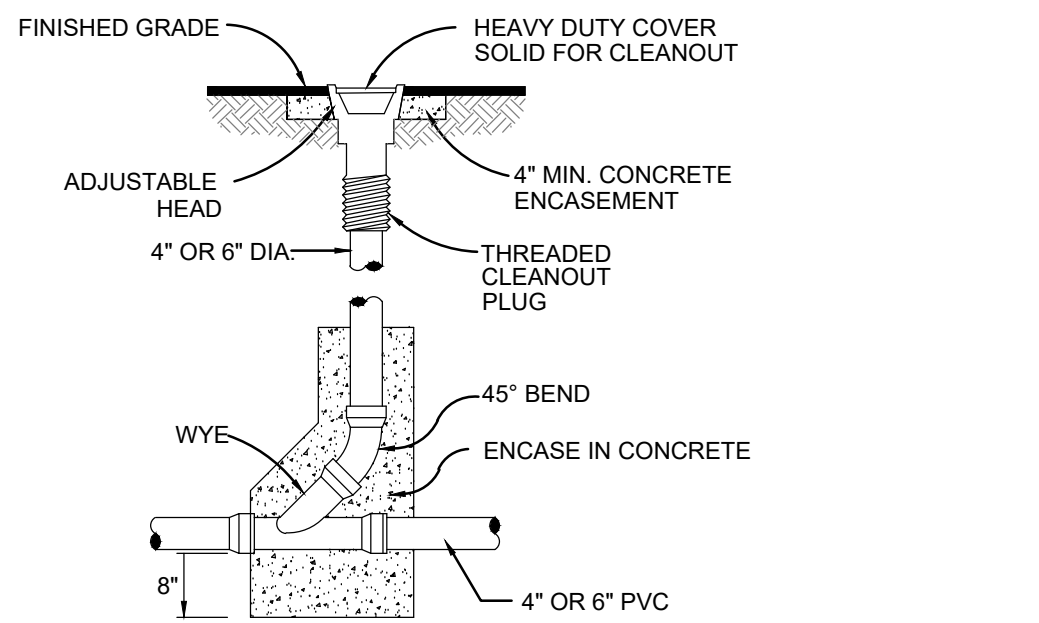
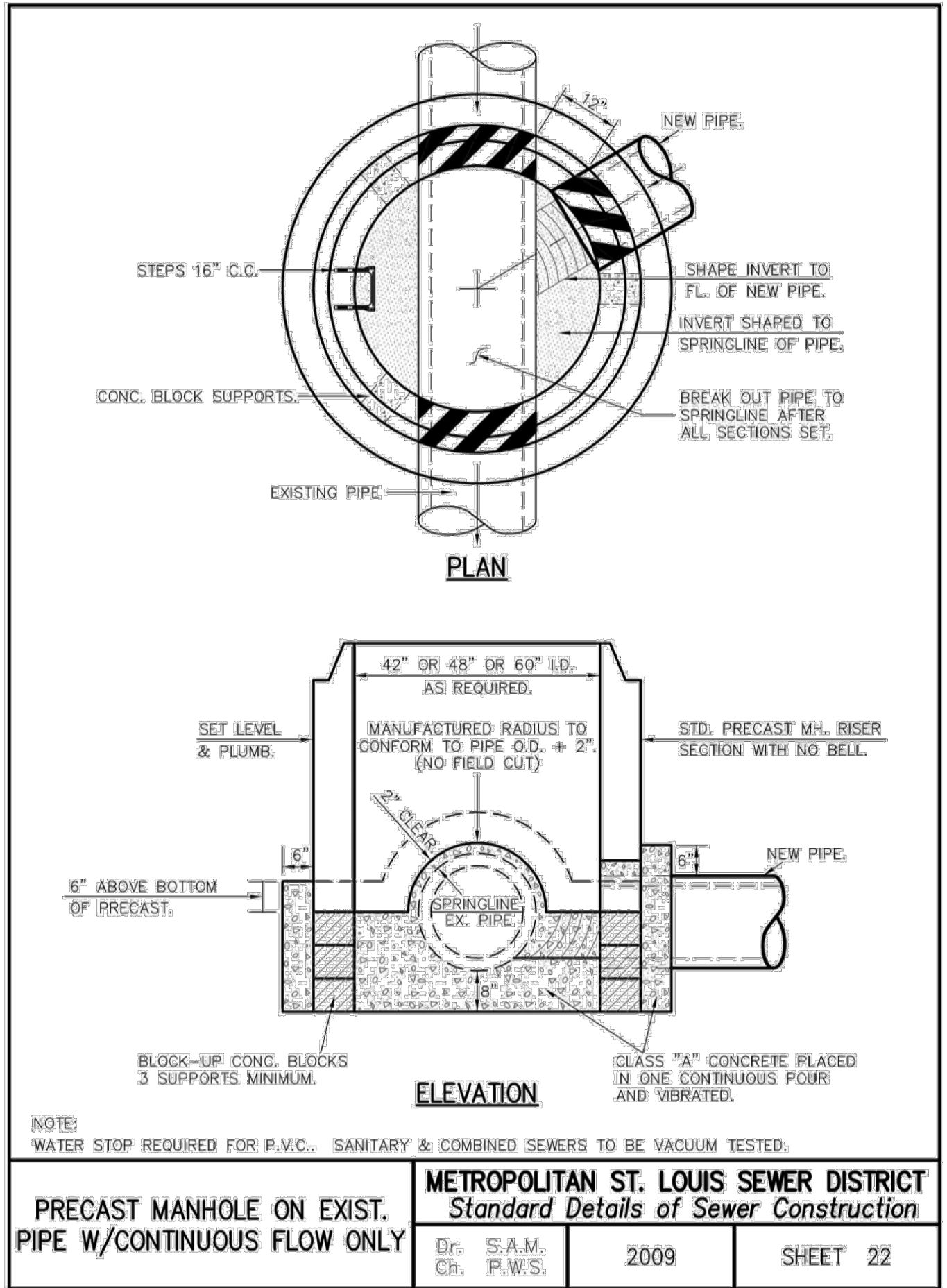
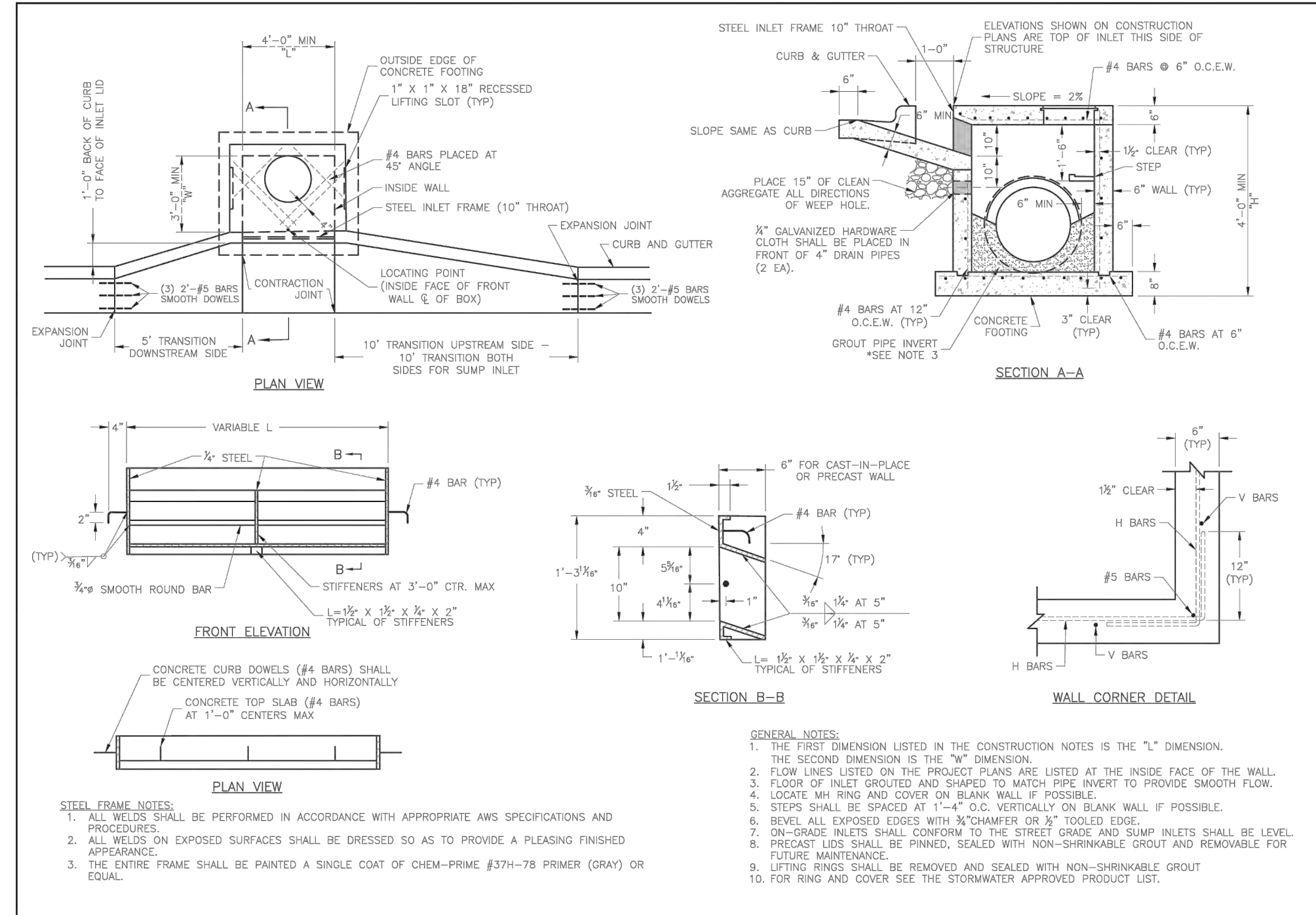
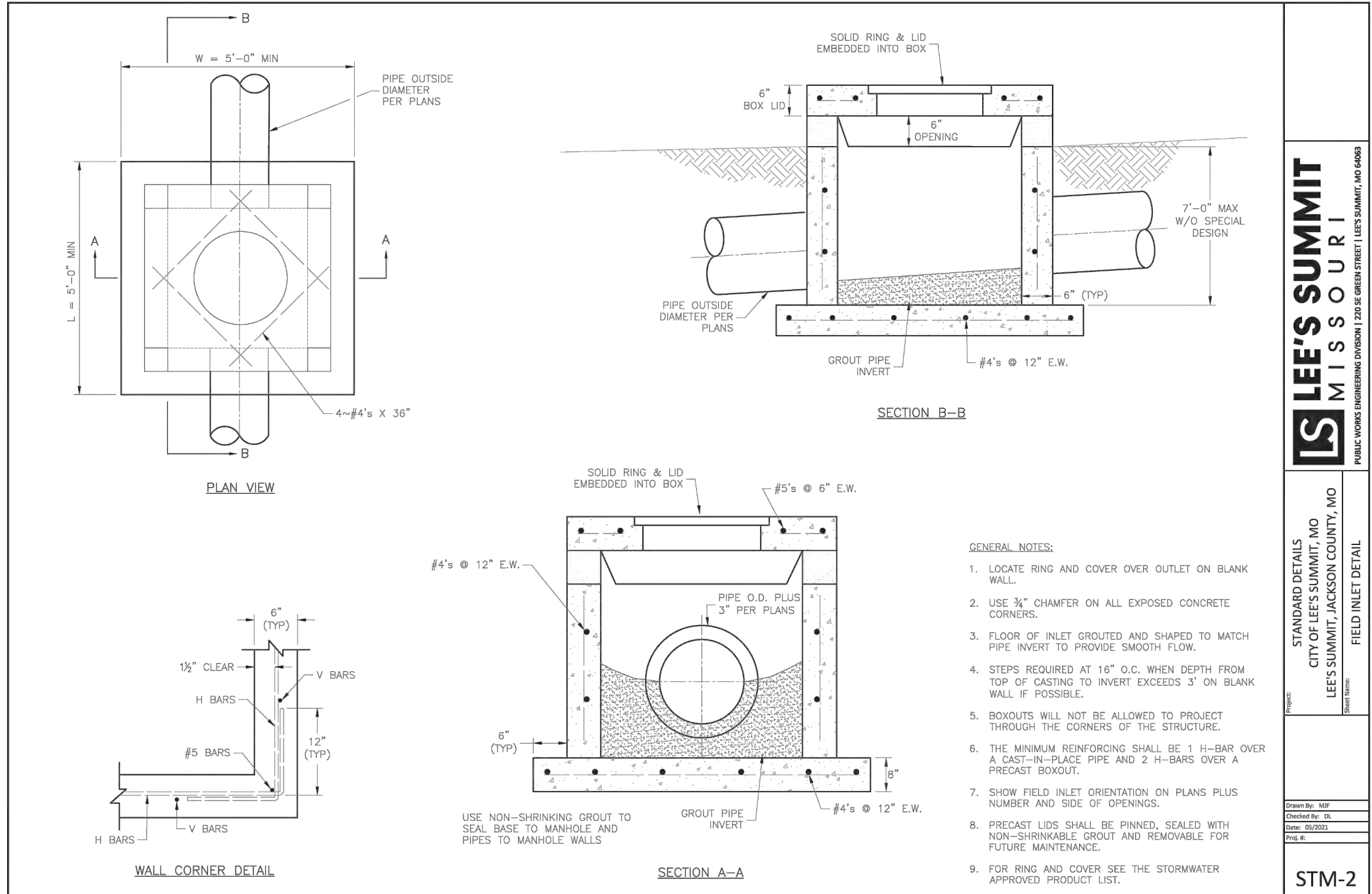
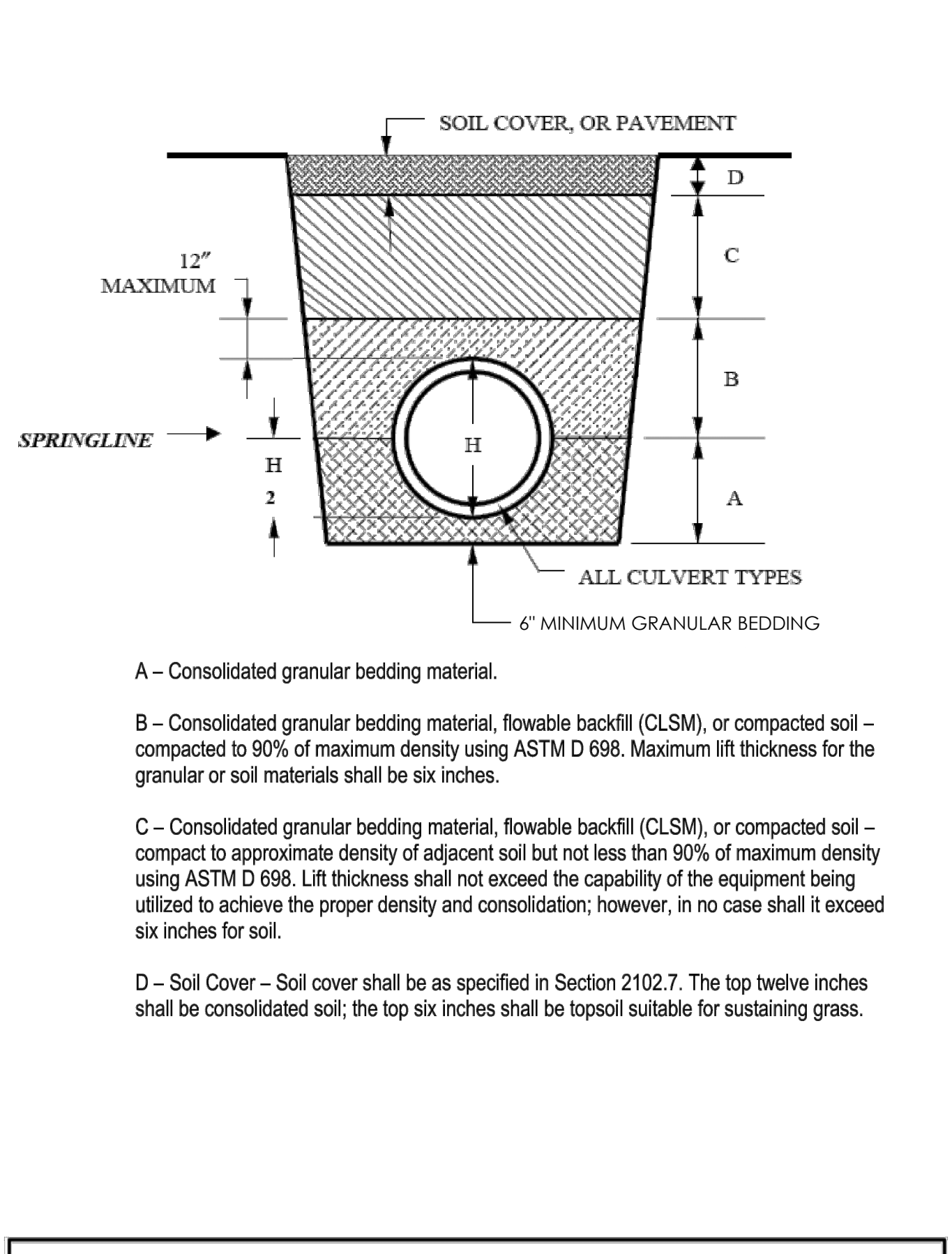
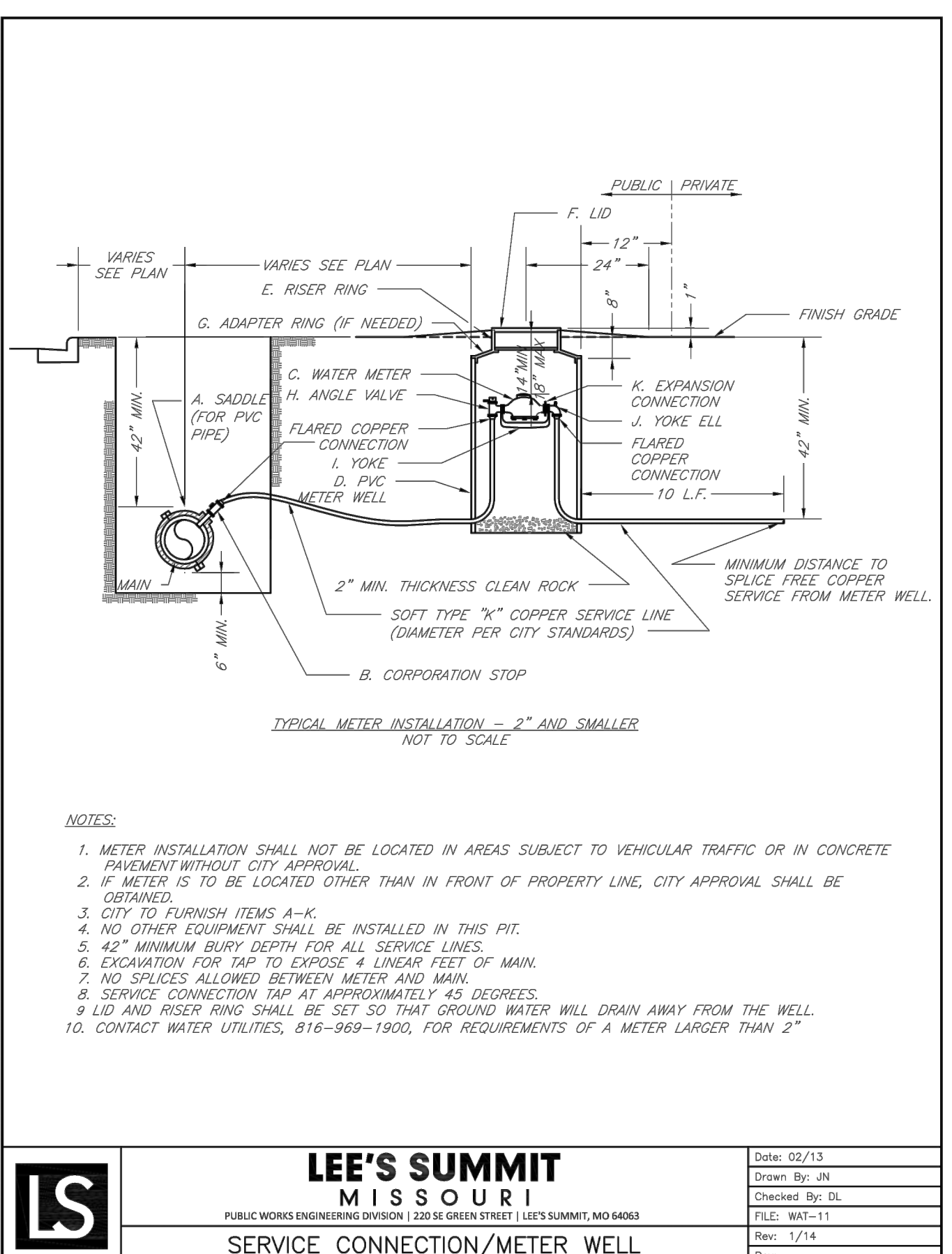
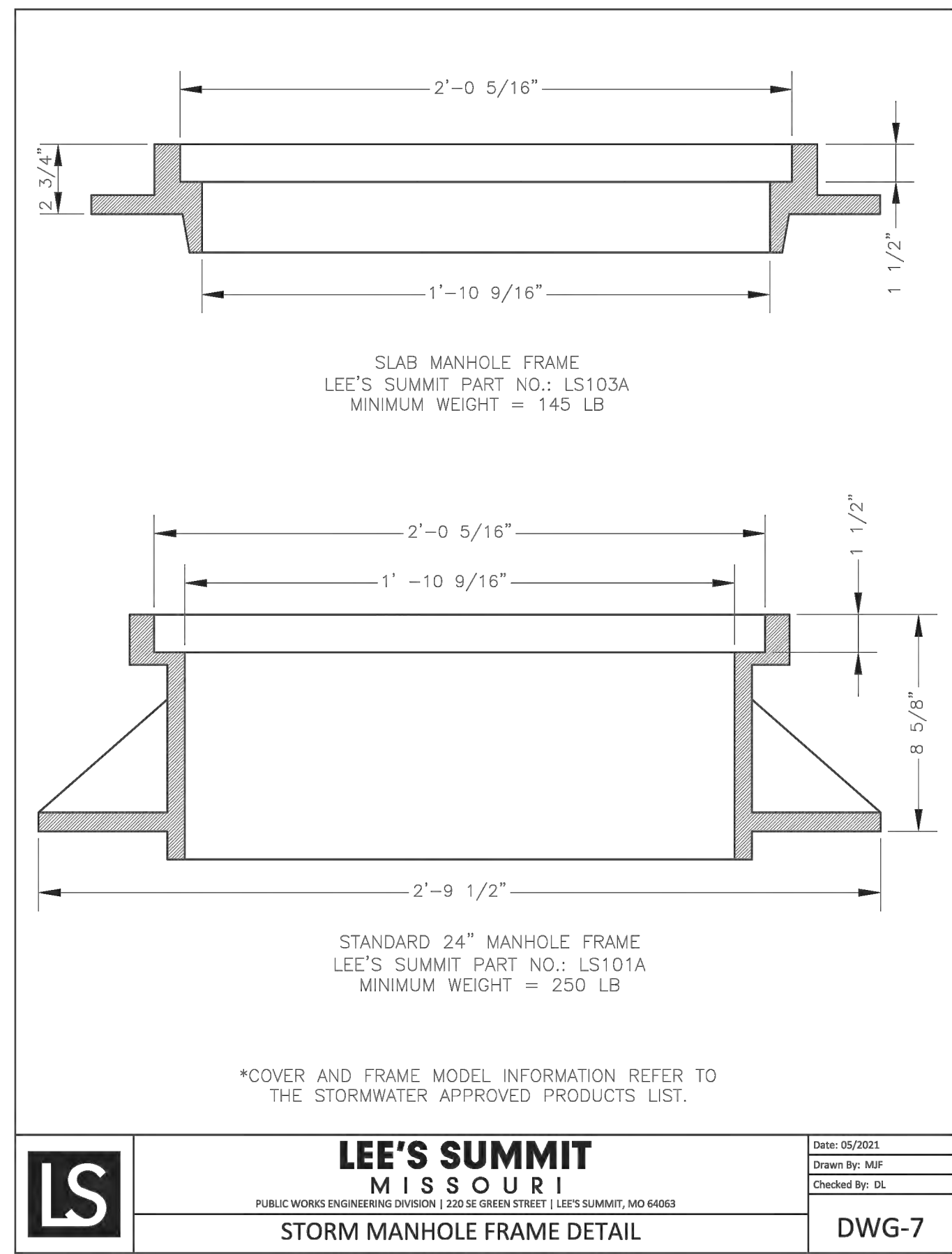
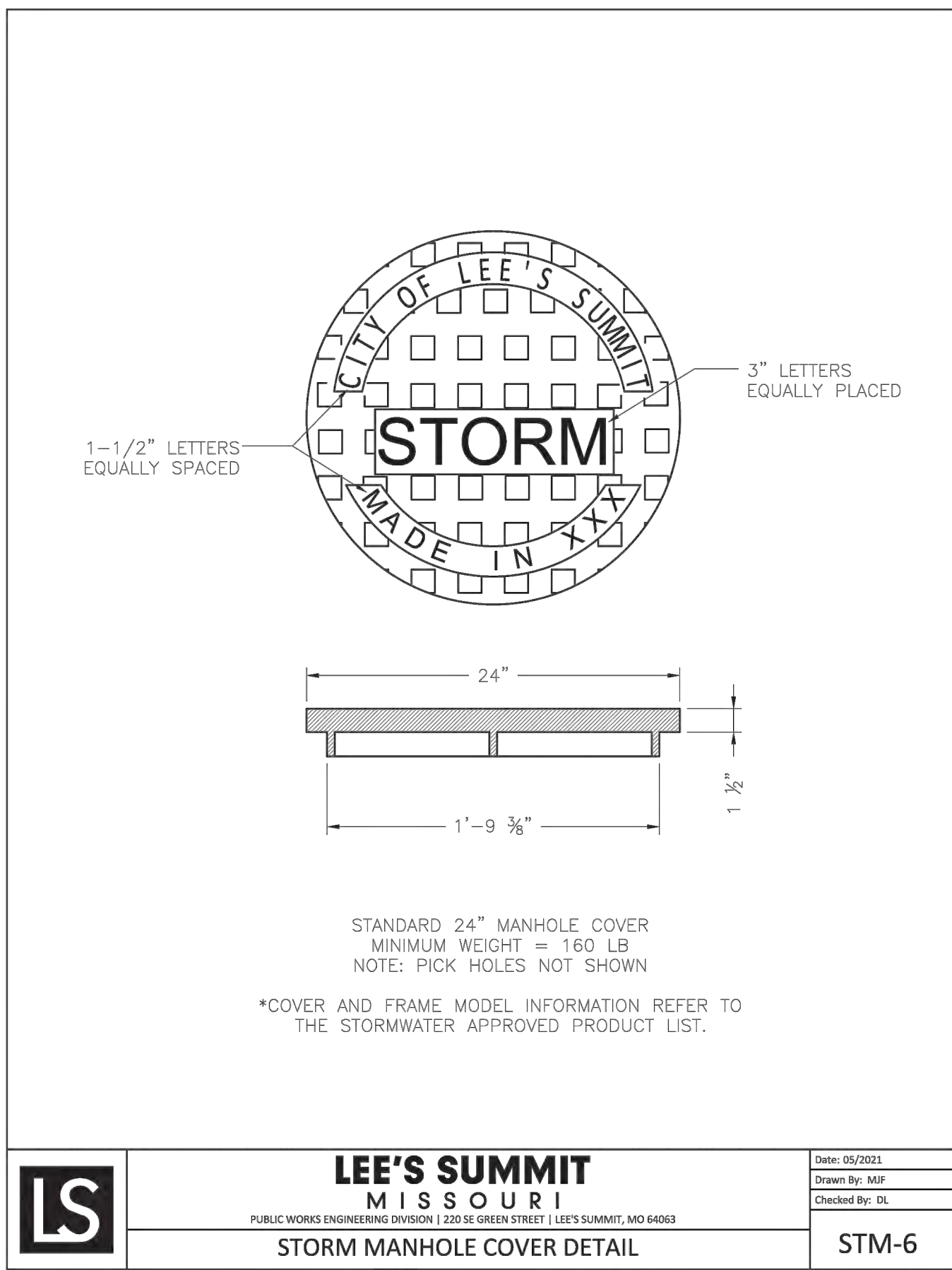
Project No.: 2109720
Drawn By: A. JONES
Checked By: M. FOGARTY

ISSUED FOR CONSTRUCTION

1-800-DIG-RITE

CALL BEFORE YOU DIG!

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 2200607195

DUTCH BROS
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500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project	Lee's Summit, MO
Date	9-30-2021
Revision	
1	10-21-2021 REVISIONS PER CITY COMMENTS
2	11-05-2021 REVISIONS PER CITY COMMENTS

C-700

Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY

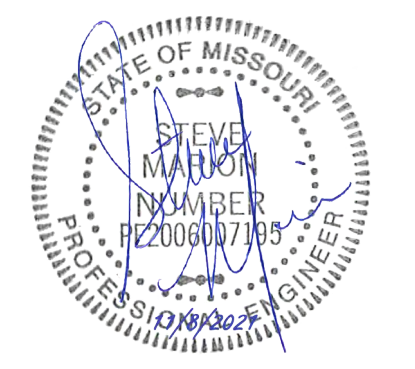
RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/02/2021

THIS PLAN IS FOR DRAINAGE PURPOSES AND REFERENCE ONLY. DO NOT USE FOR CONSTRUCTION.

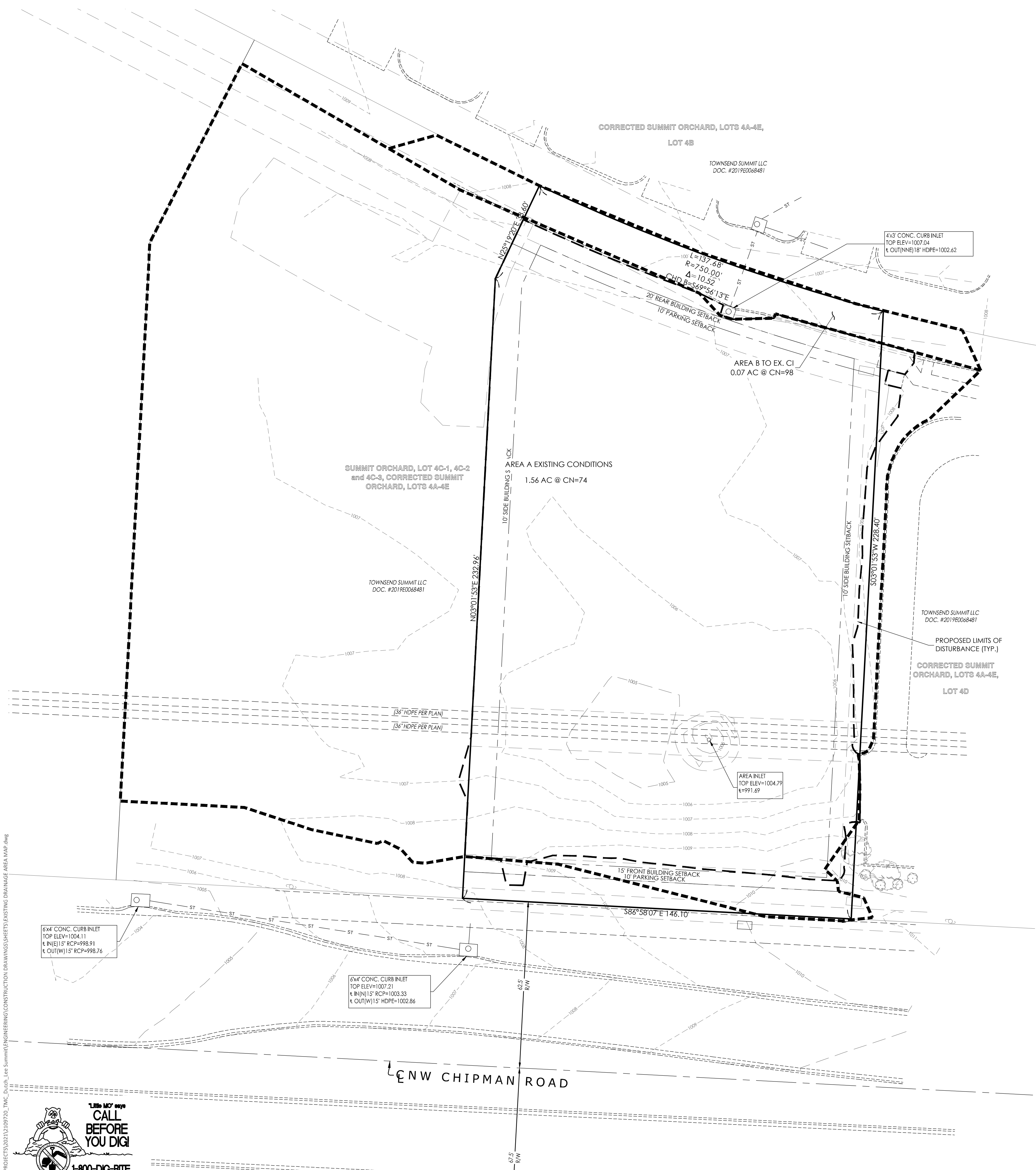
MINIMUM TIME OF CONCENTRATION = 5 MINUTES
 EXISTING SOILS TYPE = C
 CN PVMT = 98
 CN GRASS = 74
 CN COMMERCIAL AREAS = 94

MASTER DRAINAGE PLAN NOTES

1. MBOE - (MINIMUM BUILDING OPENING ELEVATION) ELEV = 1008.00
2. THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.



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STEVEN D. MARON, P.E.
 PROFESSIONAL ENGINEER
 PE 2200807195



EXISTING RUNOFF TABLE

ID	EXISTING Q (CFS)
AREA A	
2-Year	3.46
10-Year	7.31
100-Year	12.87
AREA B	
2-Year	0.39
10-Year	0.59
100-Year	0.86

DUTCH BROS
LEE'S SUMMIT, MO
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 LEE'S SUMMIT, MO 64086
 TM CROWLEY
 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280

Project Date: 9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS

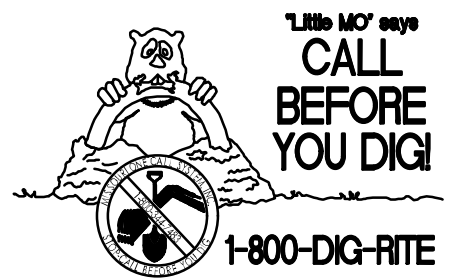
EXISTING DRAINAGE AREA MAP

Sheet Title: C-800

Project No. 2109720
 Drawn By A. JONES
 Checked By M. FOGARTY

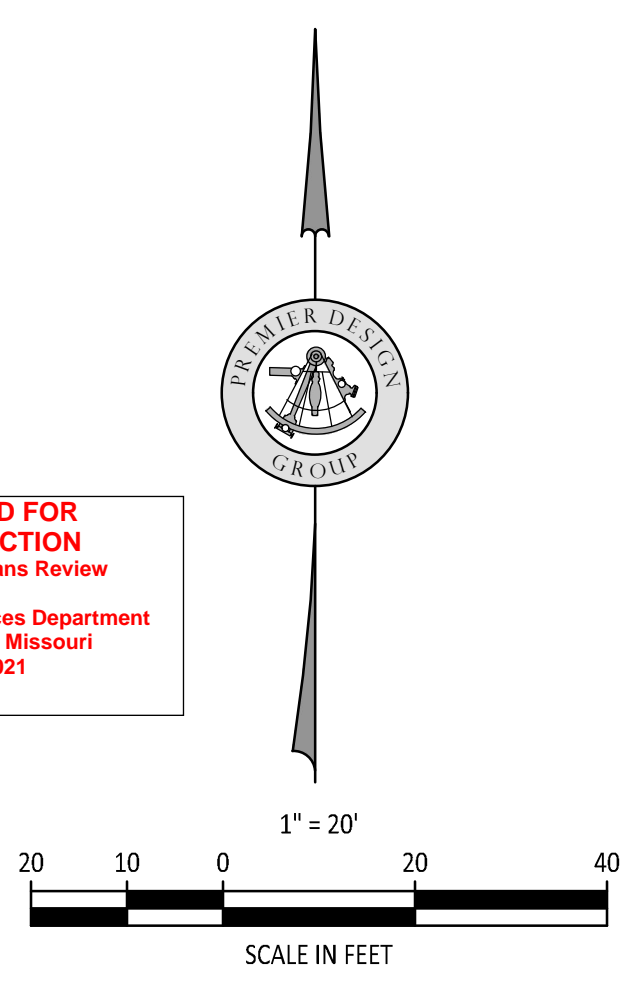
ISSUED FOR CONSTRUCTION

\\wms\p\m\civil\3D PROJECTS\2021\2109720_TMC_Dutch_Lee's Summit\ENGINEERING\CONSTRUCTION\DRAWINGS\SHEETS\EXISTING DRAINAGE AREA MAP.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, shoring, etc.)

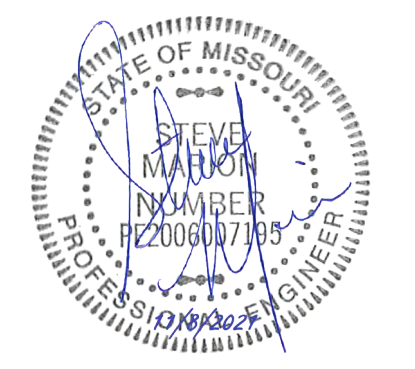
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 As Noted on Plans Review
 Development Services Department
 Lee's Summit, Missouri
 12/02/2021



MINIMUM TIME OF CONCENTRATION = 5 MINUTES
 EXISTING SOILS TYPE = C
 CN PVMT = 98
 CN GRASS = 74
 CN COMMERCIAL AREAS = 94

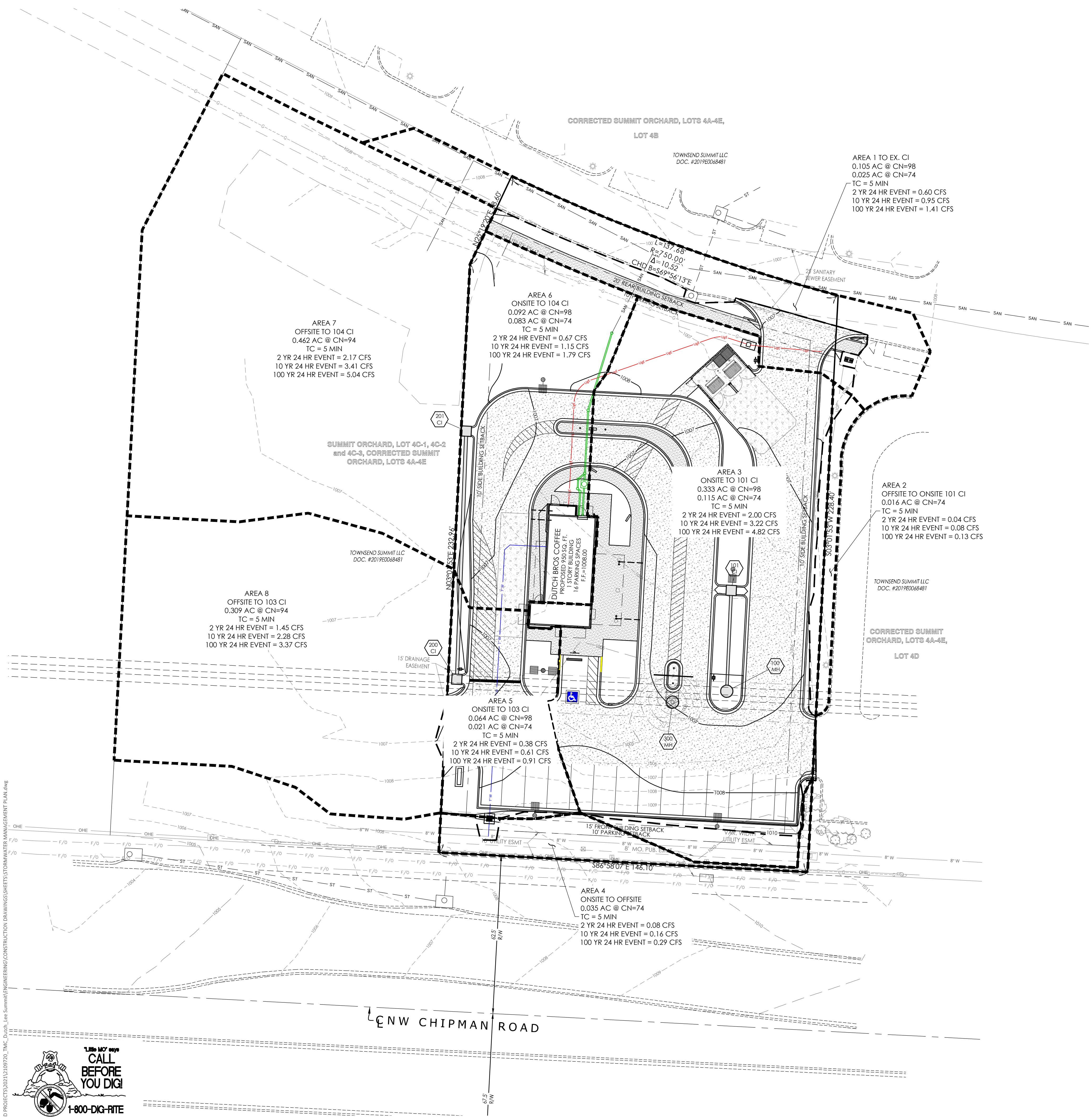
MASTER DRAINAGE PLAN NOTES

- MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1008.00
- THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.



ENGINEERS AUTHENTICATION
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless re-authenticated.
STEVEN D. MARON, P.E.
 PROFESSIONAL ENGINEER
 PE 220004384

Row Labels	Peak Runoff (cfs)	Impervious Area	Pervious Area	Total Area	Composite CN	TC
AREA 1						
2-Year	0.60	0.105	0.025	0.13	93	5
10-Year	0.95	0.105	0.025	0.13	93	5
100-Year	1.41	0.105	0.025	0.13	93	5
AREA 2						
2-Year	0.04	0	0.016	0.016	74	5
10-Year	0.08	0	0.016	0.016	74	5
100-Year	0.13	0	0.016	0.016	74	5
AREA 3						
2-Year	2.00	0.333	0.115	0.448	92	5
10-Year	3.22	0.333	0.115	0.448	92	5
100-Year	4.82	0.333	0.115	0.448	92	5
AREA 4						
2-Year	0.08	0	0.035	0.035	74	5
10-Year	0.16	0	0.035	0.035	74	5
100-Year	0.29	0	0.035	0.035	74	5
AREA 5						
2-Year	0.38	0.064	0.021	0.085	92	5
10-Year	0.61	0.064	0.021	0.085	92	5
100-Year	0.91	0.064	0.021	0.085	92	5
AREA 6						
2-Year	0.67	0.092	0.083	0.175	87	5
10-Year	1.15	0.092	0.083	0.175	87	5
100-Year	1.79	0.092	0.083	0.175	87	5
AREA 7						
2-Year	2.17	0.462	0	0.462	94	5
10-Year	3.41	0.462	0	0.462	94	5
100-Year	5.04	0.462	0	0.462	94	5
AREA 8						
2-Year	1.45	0.309	0	0.309	94	5
10-Year	2.28	0.309	0	0.309	94	5
100-Year	3.37	0.309	0	0.309	94	5



DUTCH BROS
 LEES SUMMIT, MO
 500 NW CHIPMAN RD.
 LEES SUMMIT, MO 64086
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 501 PENNSYLVANIA PARKWAY SUITE 160
 INDIANAPOLIS, IN 46280

Project: LEES SUMMIT, MO
 Date: 9-30-2021

Revision No.	Revision Date	Description of Changes

Sheet Number: **C-801**
 Project No.: 2109720
 Drawn By: A. JONES
 Checked By: M. FOGARTY
 ISSUED FOR CONSTRUCTION

1-800-DIG-RITE
 CALL BEFORE YOU DIG!
 UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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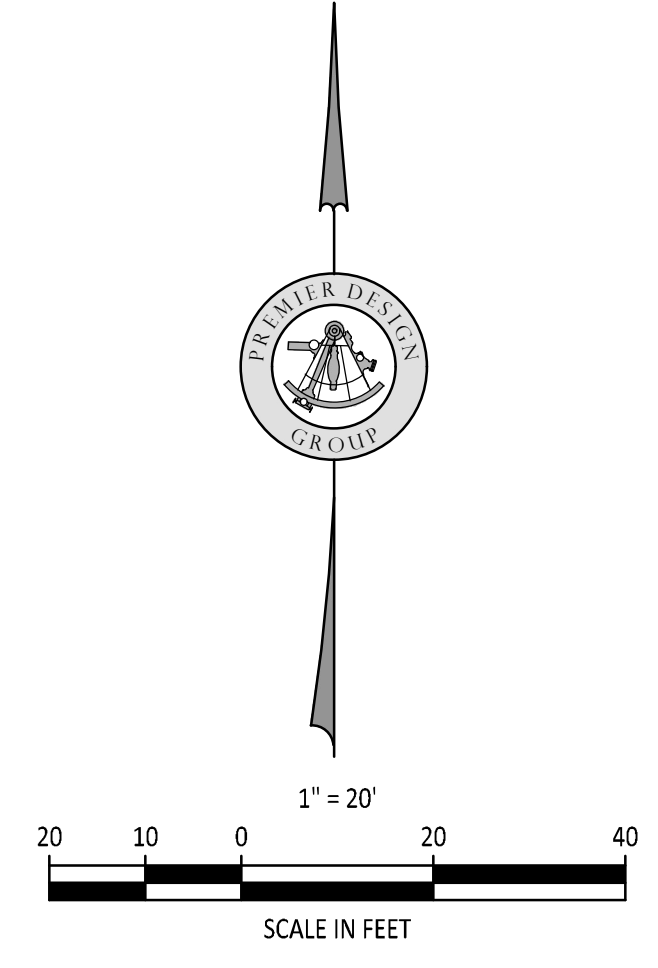
1" = 20'
 20 10 0 20 40
 SCALE IN FEET

STORMWATER MANAGEMENT PLAN

W:\Users\jpr\OneDrive\Projects\2021\12109720_TMC_Dutch_Bros_Summit\ENGINEERING\CONSTRUCTION\DRAWINGS\SHEETS\STORMWATER MANAGEMENT PLAN.dwg
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- LANDSCAPE PLAN NOTES:**
- GENERAL:**
1. ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARDS.
 2. ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC.
 3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
 4. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL MISSOURI ONE CALL, 1-800-DIG-RITE)
 5. PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUND COVER TO WITHIN 12" OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN THE AREA.
 6. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
 - A. VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
 - B. REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION.
 - C. STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 7. ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
 8. PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
 9. ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
 10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 11. ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
 12. ALL PLANT MATERIAL TO BE TRANSPORTED SHALL BE IN ACCORDANCE TO GUIDELINES SET BY AAN STANDARDS. TRANSPORTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.
- INSURANCE:**
1. THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.
- MULCH:**
1. ALL MULCH TO BE SHREDDED OAK BARK MULCH AT 3" DEPTH AFTER COMPACTION (UNLESS OTHERWISE NOTED). MULCH SHALL BE CLEAN AND FREE OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, MOLD, DELETERIOUS MATERIALS, ETC. PROVIDE 4" DIAMETER MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED OAK BARK MULCH.
 2. MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL, MULCH BEDS.
 3. LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE SPADE CUT EDGE.
- MAINTENANCE:**
1. LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUND COVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
 2. CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.
- TOPSOIL:**
1. TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF MINIMUM 4" AND GRADE SMOOTH.
 2. PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
 3. ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL.
 4. LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH. MISC. MATERIAL.
- PROVIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.**
1. TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.
- TURF:**
1. ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS NOTED OTHERWISE WITH A TURF-TYPE KENTUCKY BLUE GRASS-FESCUE MIX. LAWN AREAS SHALL BE UNCONDITIONALLY WARRANTED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE.
 2. ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED AND THE SOD SHALL HAVE STAKES PLACED.
 3. ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
 4. RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
 5. SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE.
 6. OFF-SITE LAND DISTURBED SHALL BE SODDED AND RESTORED TO A CONDITION BETTER THAN EXISTING. SIGHT TRIANGLES:
1. NO LANDSCAPE MATERIAL OR OTHER OBSTRUCTIONS SHALL BE PLACED OR BE MAINTAINED WITHIN THE SIGHT DISTANCE AREA SO AS NOT TO IMPEDE THE VISION BETWEEN A HEIGHT OF THIRTY INCHES (30") AND TEN FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.
 2. THE TRIANGLE ADJACENT TO STREET INTERSECTIONS SHALL BE FORMED BY MEASURING FROM THE POINT OF INTERSECTION OF THE FRONT AND SIDE LOT LINES A DISTANCE OF 20' MINIMUM ALONG SAID FRONT AND SIDE LOT LINES AND CONNECTING THE POINTS SO ESTABLISHED TO FORM THE SIGHT TRIANGLE AREA.
 3. SIGHT TRIANGLES AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE ACCESS WAY (EXCEPT FOR SINGLE FAMILY RESIDENCES) SHALL ALSO BE FORMED AS OUTLINED IN NOTE #2 ABOVE.
- WARRANTY:**
1. ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
 2. ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
 3. ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
 4. LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL.	SIZE
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	B & B	3" CAL	
CF	5	CORNUS FLORIDA	FLOWERING DOGWOOD	B & B	3" CAL	
SI	6	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	3" CAL	
TH	7	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	15 GAL		6' TALL MIN.

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BG	6	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	3 GAL
CA	27	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL
EC	7	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	3 GAL
PD	2	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3 GAL
RG	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL
SY	1	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	3 GAL
VI CA	9	VIBURNUM CARLESII 'COMPACTUM'	KOREAN SPICE VIBURNUM	3 GAL

LANDSCAPE PLAN REQUIREMENTS

1. REQUIRED FRONT YARD LANDSCAPING
 - A. ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE
 - B. ONE SHRUB REQUIRED FOR EACH 20 FEET OF STREET FRONTAGE
 2. REQUIRED OPEN YARD LANDSCAPING
 - A. ONE TREE FOR EVERY 5,000 SQ. FT. OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES
 - B. TWO SHRUBS PER 5,000 SQ. FT. OF TOTAL LOT AREA
 3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
 - A. REFER TO LANDSCAPE PLAN FOR SCREENING OF TRASH ENCLOSURE.
1. PROVIDED FRONT YARD LANDSCAPING
 - A. TREES PROVIDED - 283.78' OF STREET FRONTAGE / 30 FEET = 10 TREES
 - B. SHRUBS PROVIDED - 283.78' OF STREET FRONTAGE / 20 FEET = 14 SHRUBS
 2. PROVIDED OPEN YARD LANDSCAPING
 - A. TREES PROVIDED - 36,068 SQ. FT. - 950 BLDG SQ. FT. = 35,118 SQ. FT. / 5,000 SQ. FT. = 7 TREES
 - B. SHRUBS PROVIDED - 36,068 SQ. FT. / 5,000 SQ. FT. = 7.2 x 2 = 15 SHRUBS
 3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
 - A. REFER TO LANDSCAPE PLAN - 7 EMERALD ARBORVITAE PROVIDED

SEED AND MULCH WITH GUARANTEE FOR ESTABLISHMENT OF GRASS WITHIN 3-6 MONTHS.

RELEASED FOR CONSTRUCTION
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Development Services Department
Lee's Summit, Missouri
12/02/2021

1-800-DIG-RITE
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PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #S-200202819

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically includes revisions after the date hereunder stated.

STEVEN D. MARION, P.E.
PROFESSIONAL ENGINEER
PE 200607195

DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project: _____
Date: **9-30-2021**

Revision Date: _____
Revision Description: _____

Sheet Number: _____

L-100

Project No. 2109720
Drawn By: A. JONES
Checked By: M. FOGARTY

ISSUED FOR CONSTRUCTION



ARCHITECT
CORALIC, LLC
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MEP ENGINEER
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DARRELL R. CASE
796 MERUS CT.,
FENTON, MO 63026
T. 636.349.1600 F. 636.349.1730
dcase@caseengineeringinc.com

XX.XX.XX

Project No: MO0102
Dutch Bros Coffee - New Freestanding Store
500 NW Chipman Road, Lee's Summit, Missouri 64086
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT:
10.8.2021

REV	DATE	DESCRIPTION

SHEET NAME:
ELECTRICAL
SITE & PHOTOMETRIC
PLAN

SHEET NUMBER:
E0.01

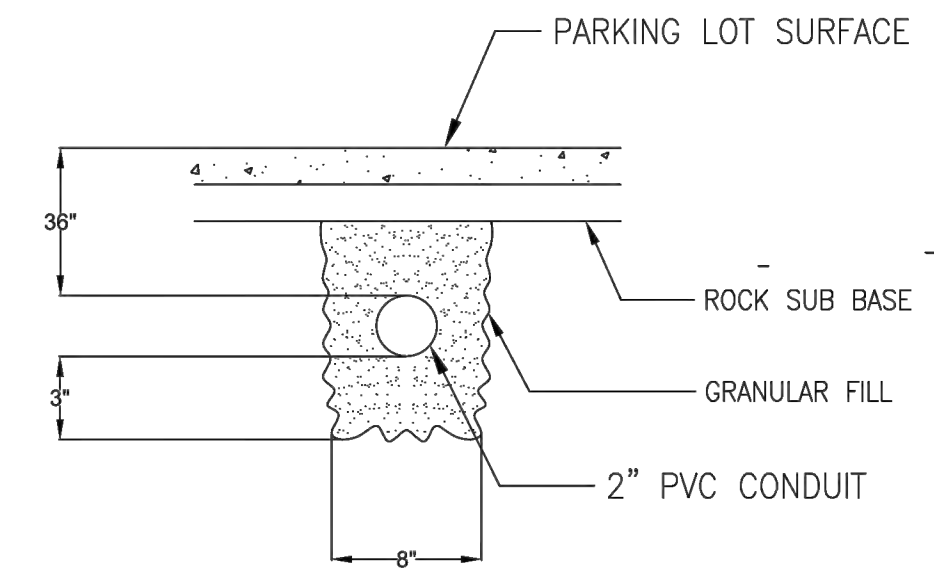
- KEYED NOTES**
- LOCATION OF UTILITY METER DISCONNECT SWITCH AND CT CABINET. REFER TO "RISER DIAGRAM" ON SHEET E3.01.
 - PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#6G. IN 2" PVC ROUTED BELOW GRADE FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL COME UP IN CENTER OF POST. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS/DIMENSIONS FOR GC TO MATCH. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
 - PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#6G. IN 2" PVC ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
 - NOT USED.
 - LOCATION OF CABLE INTERNET DEMARC
 - PROVIDE 2" CONDUIT W/ PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. COORDINATE W/ SIGN MANUFACTURER.
 - PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGNAGE AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.

MIN. DUTCH BROS REQUIREMENTS:
-SFTC AT BUILDING
-SFTC AT SITE/PARKING
-SFTC AT TRASH ENCLOSURE

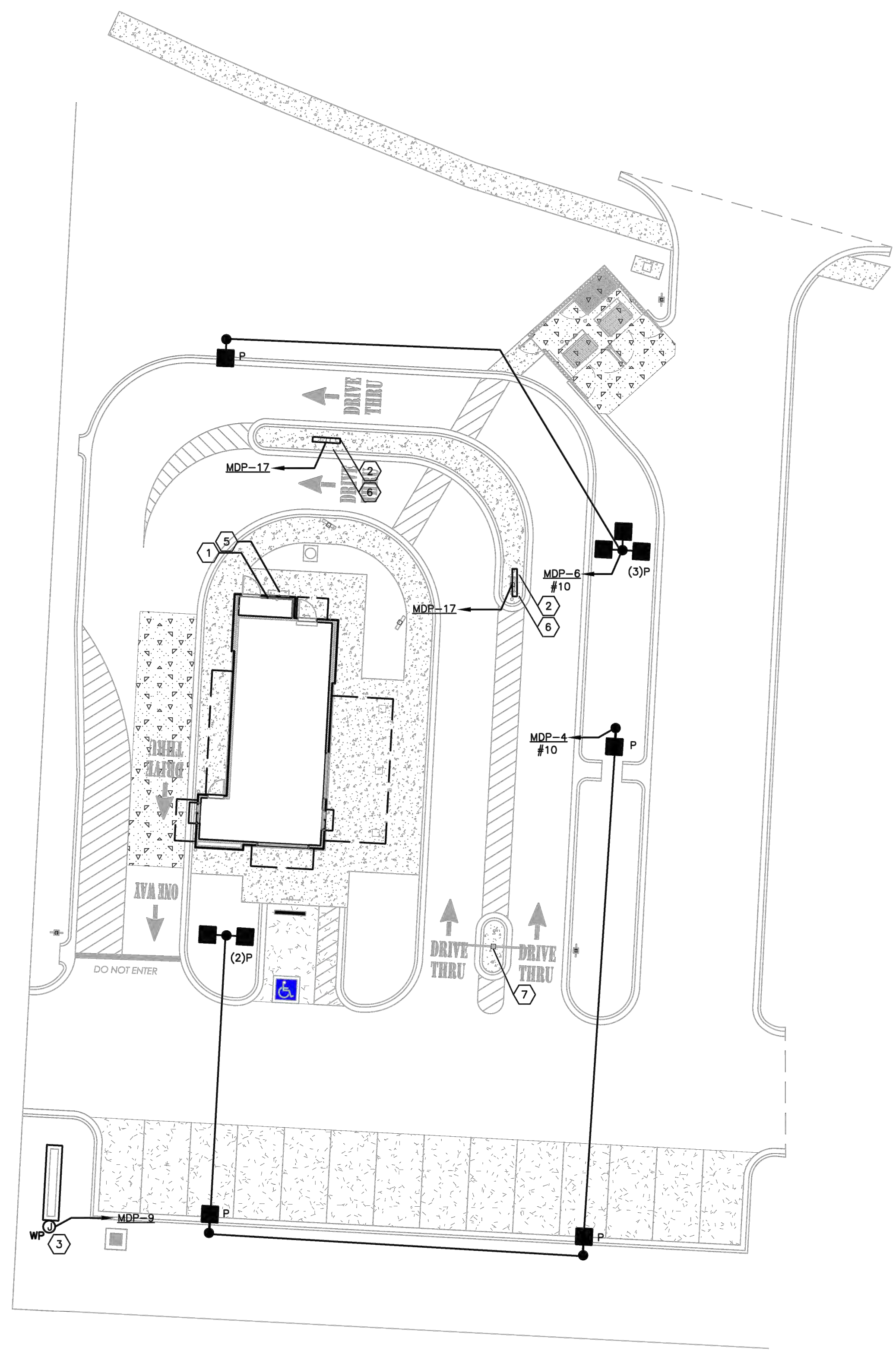
SEE S1.4 FOR POLE BASE DETAIL

- GENERAL NOTES**
- FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER, AND SANITARY SEWER LOCATIONS; SEE CIVIL SITE PLAN.
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS. INCOMING POWER AND TELEPHONE SERVICES IS EXISTING TO REMAIN. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

SITE NOTES
WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.



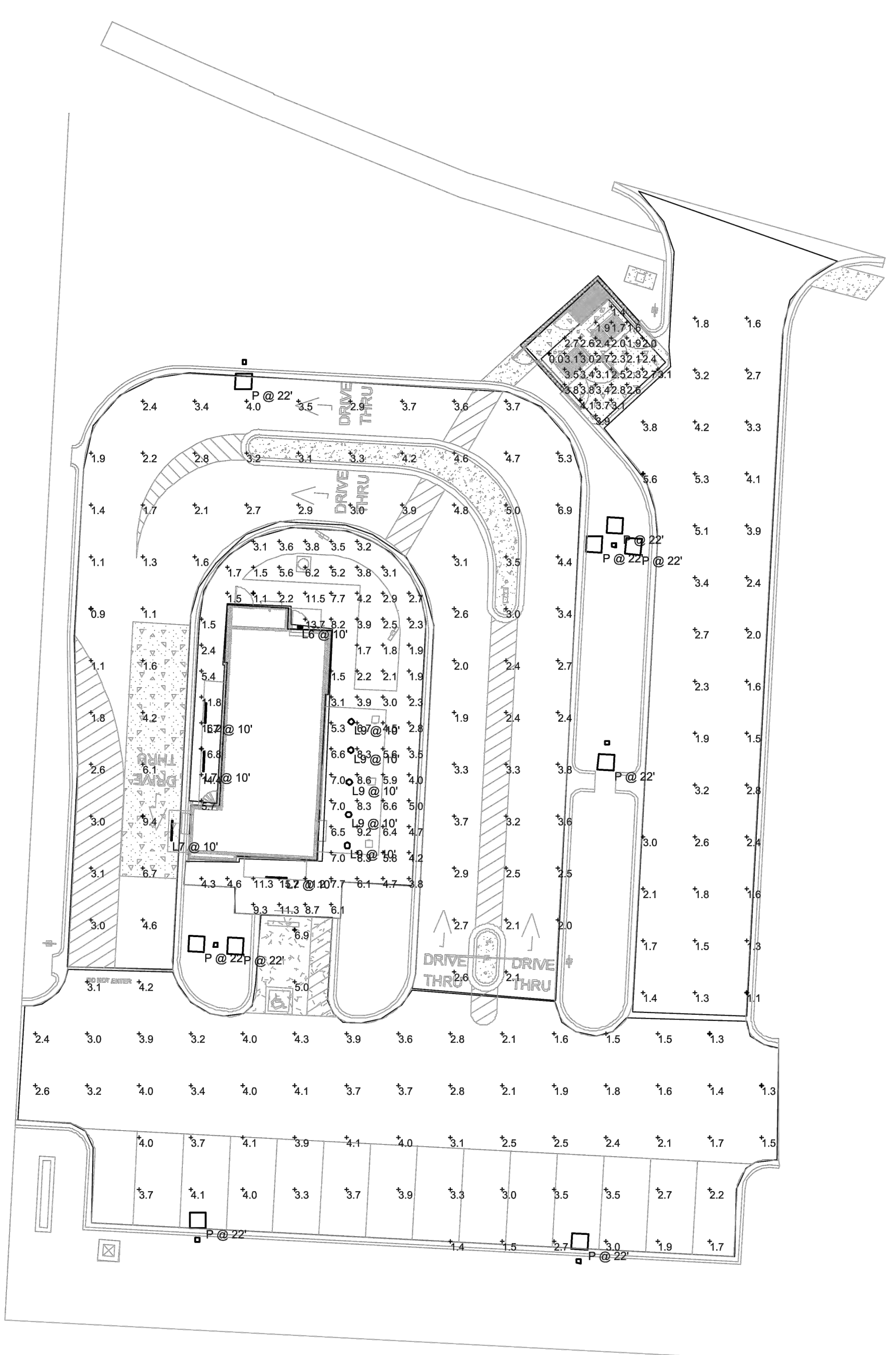
3 TRENCHING DETAIL
E100 SCALE: N.T.S.



PLAN NORTH
1 ELECTRICAL SITE PLAN
1/16" = 1'-0"
0 8' 16' 32'

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building	+	5.7 fc	16.8 fc	1.1 fc	15.3:1	5.2:1
Drive Thru	+	3.2 fc	9.4 fc	0.9 fc	10.4:1	3.6:1
Drive Way	+	2.7 fc	5.6 fc	1.1 fc	5.1:1	2.5:1
Parking	+	3.0 fc	6.9 fc	1.3 fc	5.3:1	2.3:1
Trash	+	2.7 fc	4.1 fc	0.0 fc	N/A	N/A



PLAN NORTH
2 SITE PHOTOMETRIC PLAN
1/16" = 1'-0"
0 8' 16' 32'

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	L6	1	RAB LIGHTING INC.	WPLED26-WPLED26/D10 (WALLPACK) - ALED26-ALED26/D10 (AREA LIGHTER)	CAST FINNED METAL HOUSING, MACHINED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SEMI-SPECULAR FINISH, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.	1	3474	0.92	30
	L7	4	Self	WPLED26-WPLED26/D10 (WALLPACK) - ALED26-ALED26/D10 (AREA LIGHTER)	CROWN-1-90-277V 830_BA110	1	4200	0.92	40
○	L9	5	DMF LIGHTING	DRDSS-4R-10930	DRDSS-4R-10930	1	1015	0.92	11.8
□	P	9	NLS Lighting	NV-1-T4-48L-1-40K-UNV-HSS	T4 OPTICS WITH BLACK HSS	1	9674	0.92	156

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