



Dawn Bell  
Project Manager  
City of Lee's Summit Development Center  
220 SE Green Street  
Lee's Summit, MO 64063  
Phone: 816.969.1242

Via: Email  
December 14, 2021

Email: [Dawn.Bell@cityofls.net](mailto:Dawn.Bell@cityofls.net)

RE: Streets of West Pryor – Lot 9 City Planning Commission Meeting  
Pryor and I-470  
Lee's Summit, MO

Dear Dawn:

The following is provided for use during the City Planning Commission meeting to be held on Thursday December 16, 2021 at 5pm. Included are the following:

- Current Site Plan Page 2
- Current Landscape Plan Page 3
- Lot 9A PNC Building Elevations Page 4-5
- Lot 9B 2-Tenant Building Elevations Page 6
- Lot 9C Chase Building Elevations Page 7-8
- Proposed Freestanding Monument Sign Elevation Page 9

Thank you for your assistance. If you have any questions, please contact me.

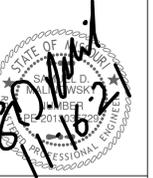
Sincerely,

Drew Larkins  
Monarch Acquisitions, LLC

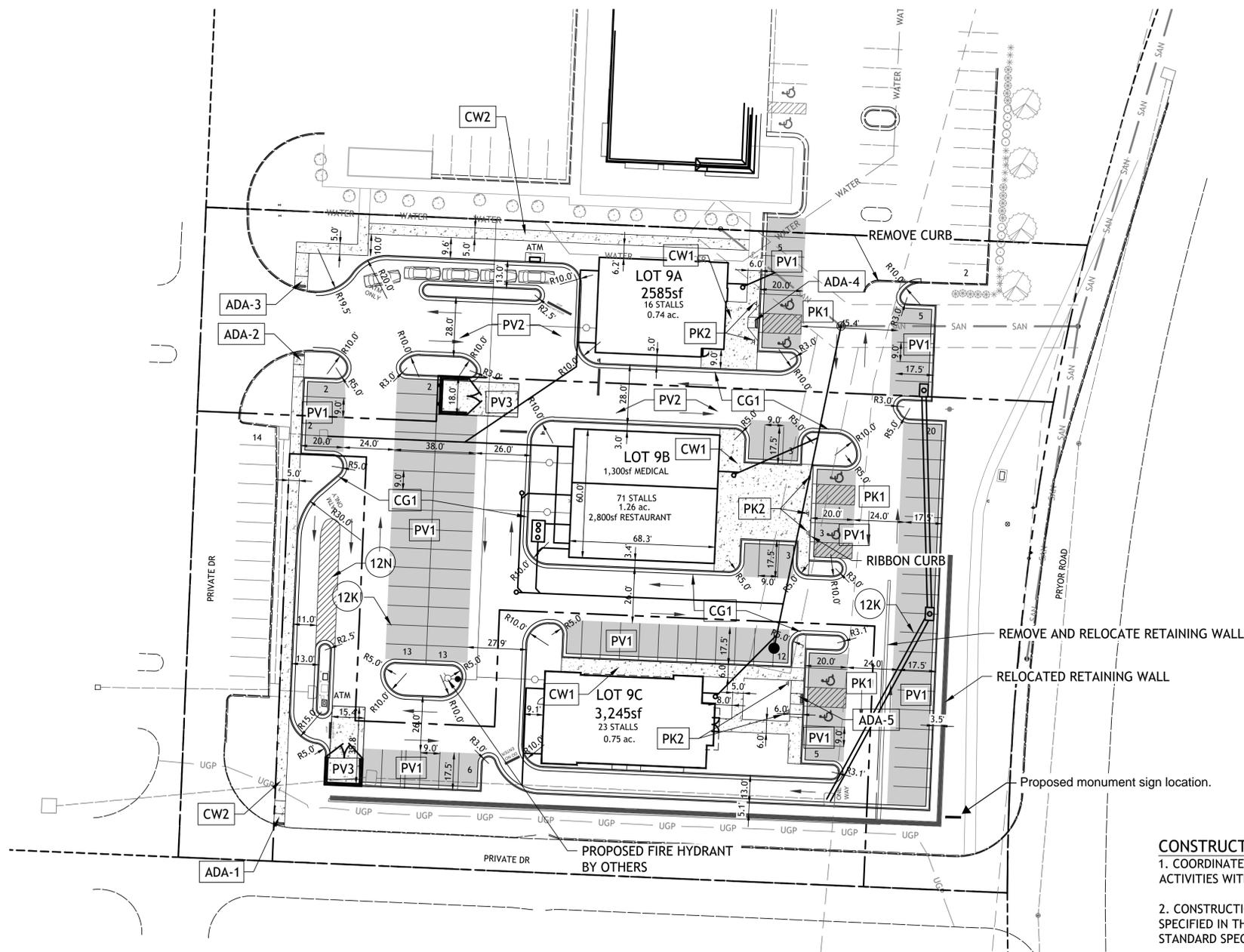
CC: Matt Pennington  
Streets of West Pryor, LLC

Dave Olson  
Monarch Acquisitions, LLC

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions  
 11-15-21 CITY COMMENTS



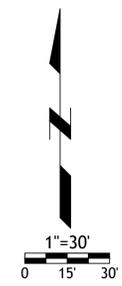
**SITE DATA**

LOT 9A	
TOTAL SITE	0.74ac (32,234sf)
TOTAL IMPERVIOUS AREA	22,658sf
OPEN SPACE	9,576sf (29.7%)
TOTAL BUILDING	2,585sf
TOTAL PARKING	16 (6.18 STALLS / 1000sf)
LOT 9B	
TOTAL SITE	1.26ac (54,885sf)
TOTAL IMPERVIOUS AREA	40,480sf
OPEN SPACE	14,405sf (26.2%)
TOTAL BUILDING	4,100sf
TOTAL PARKING	71 (17.66 STALLS / 1000sf)
LOT 9C	
TOTAL SITE	0.75ac (32,670sf)
TOTAL IMPERVIOUS AREA	23,569sf
OPEN SPACE	9,101sf (27.8%)
TOTAL BUILDING	3,245sf
TOTAL PARKING	23 (7.08 STALLS / 1000sf)

- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
  - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
  - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
  - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
  - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 102.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
  - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
  - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
  - PK-2 ACCESSIBLE SIGN
  - SG-1 BOLLARD DETAIL
  - CG-1 TYPE B CURB AND GUTTER
  - CW1 CURB WALK AT BUILDING
  - PV1 REGULAR DUTY PAVEMENT
  - PV2 HEAVY DUTY ASPHALT PAVEMENT
  - PV3 HEAVY DUTY CONCRETE PAVEMENT
  - CW2 SIDEWALK
  - ADA-1,2,3,4,5 HANDICAP RAMP SEE GEN-3A DETAIL
- NOTES:
- 8A DOOR (SEE ARCH. PLANS)
  - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
  - 12N 4" YELLOW STRIPES 3'-0" O.C.
  - 510 CLEAN-OUT (SEE GRADING PLAN)
  - 11 PAINT CURB RED

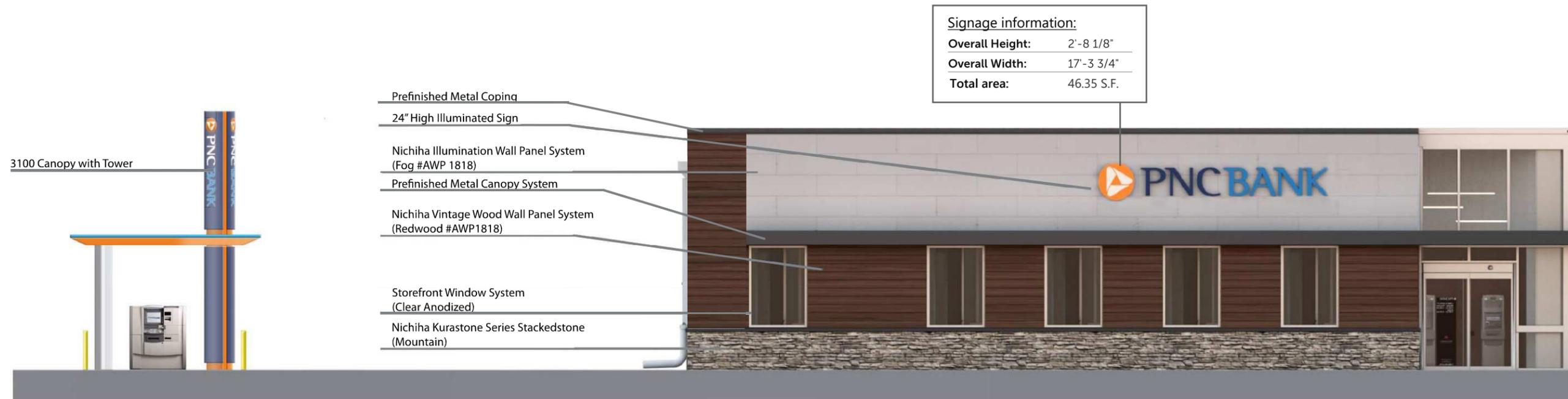


**LOT 9 OF WEST PRYOR**  
 LEES SUMMIT, MISSOURI





PROPOSED EXTERIOR ELEVATION - EAST



PROPOSED EXTERIOR ELEVATION - SOUTH

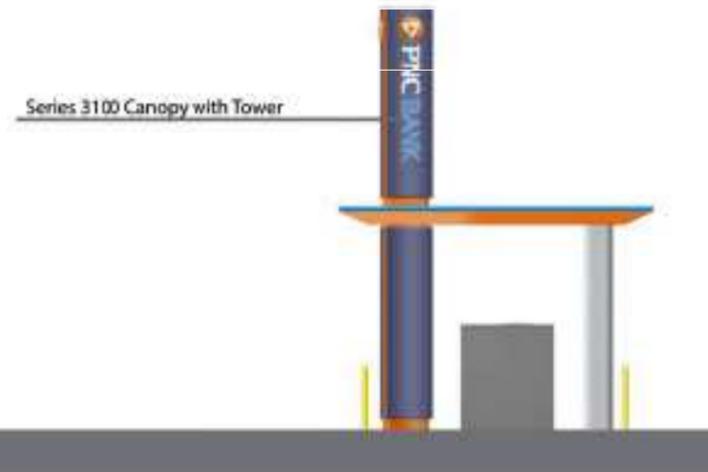
NOTE - ELEVATIONS ARE FOR DESIGN INTENT ONLY



PROPOSED EXTERIOR ELEVATION - WEST



PROPOSED EXTERIOR ELEVATION - NORTH



NOTE - ELEVATIONS ARE FOR DESIGN INTENT ONLY

4

3

2

1

C

B

A



**B3 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**B1 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

**A3 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

**A1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

- PARAPET HIGH 129' - 0"
- PARPET LOW 126' - 6"
- SOFFIT 116' - 2 43/128"
- STOREFRONT 110' - 0"
- WINDOW SILL 103' - 4"
- FIRST FLOOR 100' - 0"

**schwerdt design group**  
architecture | interiors | planning  
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topeka, kansas 66614-4275  
phone: 785.273.7540  
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oklahoma city, ok 73102  
phone: 405.231.3105

**PROGRESS PRINT**  
NOT FOR CONSTRUCTION  
DATE: 11/16/2021

**CORE & SHELL BUILDING  
LOT #9B OF WEST PRYOR  
LEE'S SUMMIT, MISSOURI**

SUBMISSION DATES  
PROGRESS PRINT ONLY

SHEET TITLE  
EXTERIOR ELEVATIONS

PROJECT NUMBER  
**210345**

SHEET NUMBER  
**A-201**

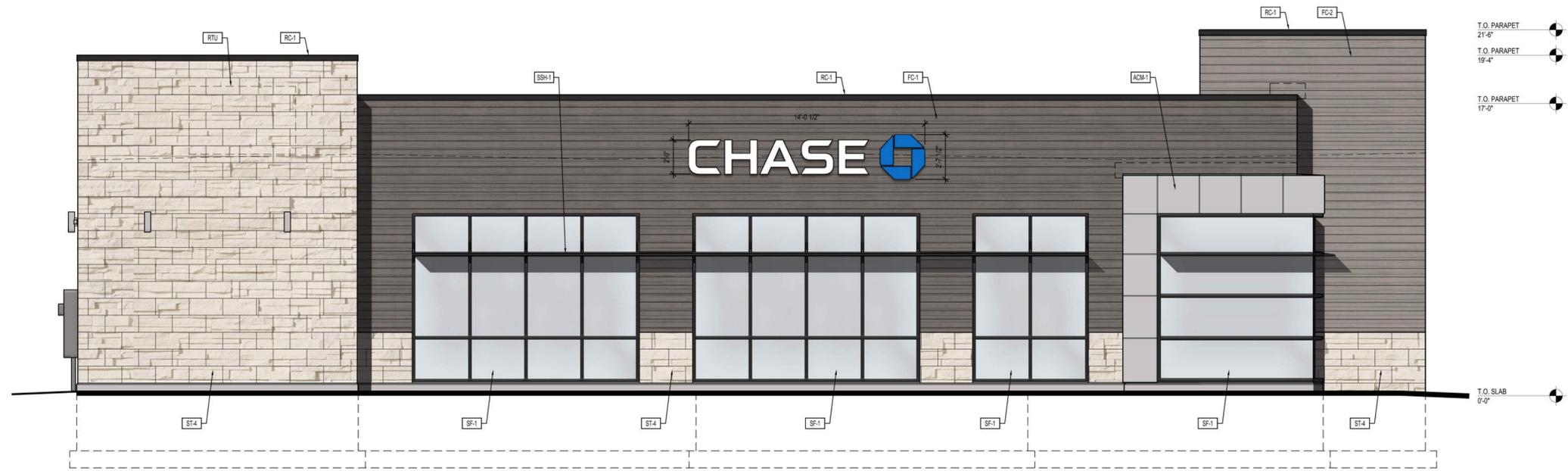
FILEPATH: C:\Users\Matthew\Documents\210345 West Pryor Lot 9B\_2\_mtbB7H4Y.rvt  
DATE: 11/16/2021 3:50:42 PM  
DRAWN BY: Author

**EXTERIOR FINISH MATERIALS**

<b>MANUFACTURED THIN STONE VENEER</b>	
MANUFACTURER	CORONADO STONE PRODUCTS
PRODUCT	CHISELED LIMESTONE
COLOR	CREAM
SIZE	24" WIDE x 12" HIGH x 1" THICK
GROUT	1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED COLOR-MATCHED PORTLAND CEMENT GROUT
NOTES	RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE CORNERS AND MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER- REFER TO WALL SECTIONS AND DETAILS
<b>FIBER CEMENT PANEL- DARK</b>	
MANUFACTURER	NICHIHA FIBER CEMENT
PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
COLOR	BARK
SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.
<b>FIBER CEMENT PANEL- LIGHT</b>	
MANUFACTURER	NICHIHA FIBER CEMENT
PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
COLOR	ASH
SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.
<b>ROOF COPING</b>	
MANUFACTURER	PETERSEN ALUMINUM / PAC-CLAD
PRODUCT	PAC-CONTINUOUS
COLOR	MATTE BLACK STEEL / BLACK ALUMINUM
<b>ALUMINUM COMPOSITE MATERIAL</b>	
MANUFACTURER	ARCONIC ARCHITECTURAL PRODUCTS
PRODUCT	REYNOBOND
COLOR	DURAGLOSS 5000 DG SILVER
<b>ALUMINUM STOREFRONT</b>	
MANUFACTURER	KAWNEER
PRODUCT	451T
COLOR	BLACK ANODIZED ALUMINUM
<b>SUNSHADE</b>	
MANUFACTURER	KAWNEER
PRODUCT	VERSOLEIL
COLOR	BLACK ANODIZED ALUMINUM
<b>CANOPY</b>	
MANUFACTURER	SHOP FABRICATED
PRODUCT	
COLOR	BLACK ANODIZED ALUMINUM
<b>EXTERIOR LIGHT FIXTURE</b>	
MANUFACTURER	LUMIERE
PRODUCT	LANTERRA 9004
COLOR	SILVER



**2 EAST ELEVATION**  
A2.1 1/4" = 1'-0"



**1 NORTH ELEVATION**  
A2.1 1/4" = 1'-0"

PREPARED BY:  
**EBI Consulting**  
ENVIRO BUSINESS, INC.  
21 B Street | Burlington, MA 01803  
Tel: (781) 273-2500 | www.ebiconsulting.com

SIGNED BY:  
  
DATE:  
NAME:  
LICENSE NUMBER:

**PRYOR RD & LOWENSTEIN DR**  
900 NW PRYOR ROAD  
LEE'S SUMMIT, MO 64081

EBI JOB #412100090

ISSUE	DATE	DESCRIPTION



**PRYOR & LOWENSTEIN**  
PROTOTYPE VERSION 20.4

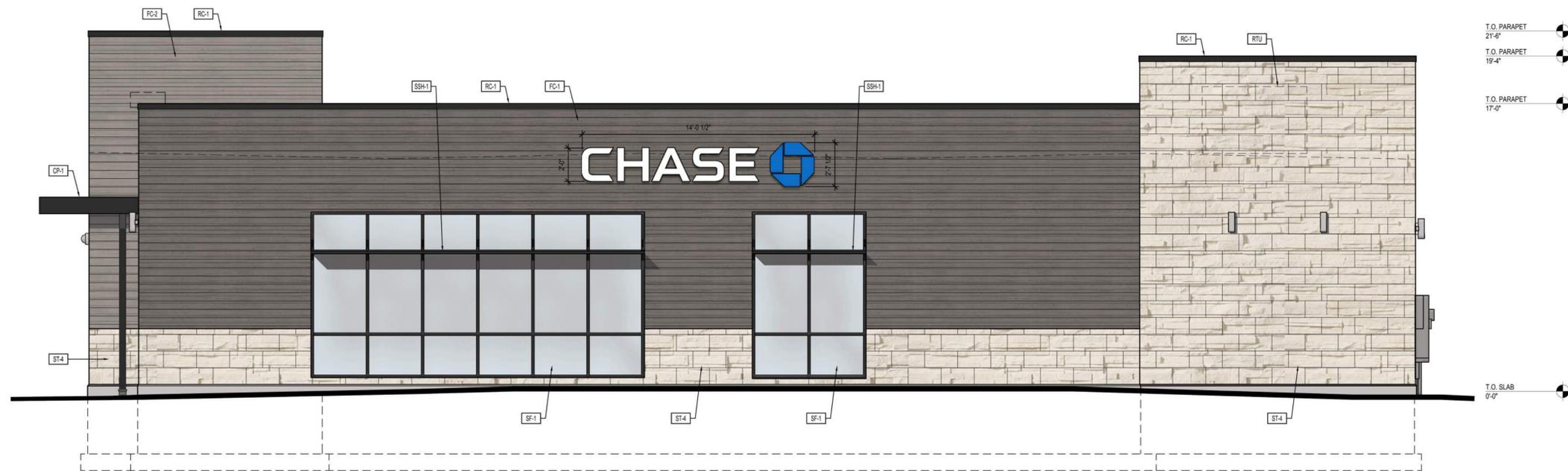
CONTENTS  
EXTERIOR ELEVATIONS

11/16/2021  
SHEET

**A2.1**



2 WEST ELEVATION  
A2.2 1/4" = 1'-0"



1 SOUTH ELEVATION  
A2.2 1/4" = 1'-0"

SIGNED BY:

DATE:  
NAME:  
LICENSE NUMBER:

PRYOR RD & LOWENSTEIN DR  
900 NW PRYOR ROAD  
LEE'S SUMMIT, MO 64081

EBI JOB #4121000090

ISSUE	DATE	DESCRIPTION



PRYOR & LOWENSTEIN  
PROTOTYPE VERSION 20.4

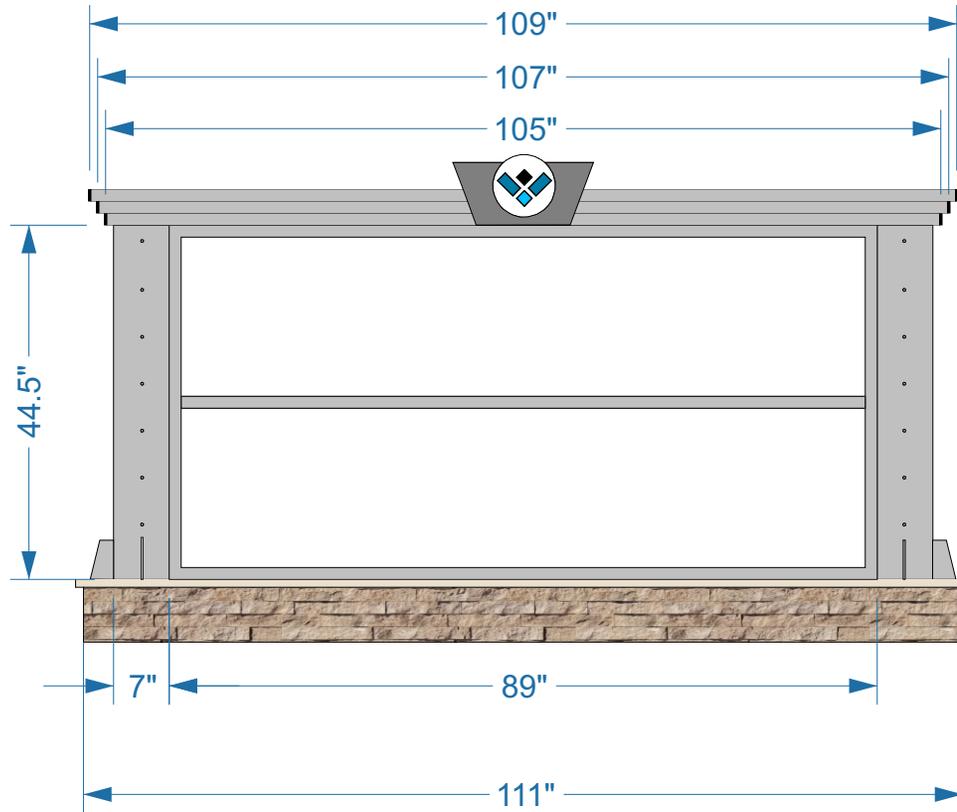
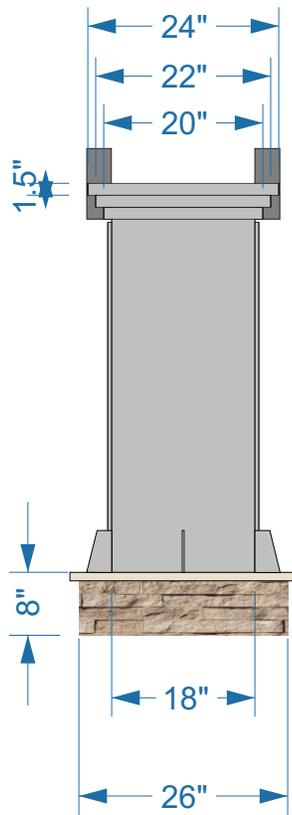
CONTENTS

EXTERIOR ELEVATIONS

11/16/2021

SHEET

A2.2



## ILLUMINATED D/S MONUMENT SIGN (EXTERIOR)

**ELECTRICAL POWER (BY OTHERS)  
TO BE RUN WITHIN 3 FT.  
OF SIGN INSTALL LOCATION  
BEFORE INSTALL CAN BEGIN.**

- Qty: (1) One Total Double-sided Illuminated Monument sign.
- Welded Aluminum framework, with painted Alum. skins.
- Tenant Panels removable for Name changes.
- Illumination via Internally-mounted WHITE LED's, (Tenant Panels/ Logo are illuminated).
- Circular Logo: WHITE Acrylic Face w/ colored Vinyl, BLACK Trimcap, BLACK Returns.
- Wedge-shaped Decorative gussets: 1/2 Acrylic, painted METALLIC SILVER.
- Side columns/ Tiered Topper painted METALLIC SILVER.
- Keystone-shaped Aluminum box painted MEDIUM GREY.
- Decorative Buttons: 1" Dia. Plastic, painted METALLIC SILVER.

Drawing Prepared by:



Location:

Streets of West Pryor – Lot 9  
Pryor and I-470  
Lee's Summit, MO

Filename:

Streets of West Pryor\_New Monument\_ Pryor I-470\_01

Project #:

Loc #

STREETS OF  
WEST PRYOR

Drawing Prepared for:



Rev #:	Req #:	Date	Req by:	Drawn by:	Revision Description:	Drawings are the exclusive property of Midwest Sign Company
Original		11/2/21	JY	RH		
	Rev 01	11/3/21	JY	RH	Removed graphics, added a horizontal divider bar	
						Approved By: _____ Date: _____