

PROJECT DIRECTORY

OWNER / DEVELOPER
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280
(317) 705-8800

CIVIL ENGINEER
PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
314-925-7444
CONTACT: MATT FOGARTY

MUNICIPALITY
CITY OF LEE'S SUMMIT
200 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969-1200
CONTACT: DEVELOPMENT
SERVICES DEPARTMENT

UTILITY PROVIDERS

WATER
CITY OF LEE'S SUMMIT WATER
1200 SE HAMBLEN RD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

ELECTRIC
EVERGY
1351 NW WARD RD
LEE'S SUMMIT, MO 64086
(888) 471-5275
CONTACT: RON DEJARNETTE

GAS
SPIRE
1117 S. PLEASANT ST
INDEPENDENCE, MO 64050
(800) 582-1234
CONTACT: T.B.D.

TELEPHONE
AT&T BUSINESS COMMUNICATION SERVICES
(618) 346-6400
CONTACT: T.B.D.

FIRE DEPARTMENT
CITY OF LEE'S SUMMIT FIRE PROTECTION
207 E. DOUGLAS BLVD
LEE'S SUMMIT, MO 64063
(816) 969-1313
CONTACT: MIKE SNIDER - FIRE CHIEF

SANITARY SEWER
CITY OF LEE'S SUMMIT SEWER
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

CABLE
SPECTRUM
188 NW OLDHAM PKWY
LEE'S SUMMIT, MO 64081
(874) 874 2389
CONTACT: T.B.D.

EXISTING LEGEND	
	FOUND IRON PIPE
	SET IRON PIPE
	FOUND STONE MONUMENT
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	IRRIGATION CONTROL VALVE
	GAS VALVE
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER INLET
	PIPE BOLLARD
	SIGN
	BUSH
	TREE
	TRAFFIC SIGNAL BOX
	MONITORING WELL
	TEST HOLE
	PEDESTRIAN SIGNAL
	ELECTRIC METER
	STORM CURB INLET
	STORM DOUBLE CURB INLET
	AIR CONDITIONER
	DOWN SPOUT
	TELEPHONE PEDESTAL
B.O.C. BACK OF CURB	
PROPOSED LEGEND	
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	MONITORING WELL
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	GRATE INLET
	DOUBLE CURB INLET
	PIPE BOLLARD
	SIGN
	ELECTRIC METER
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/PHONE
	2" WATER MAIN
	6" WATER MAIN
	8" WATER MAIN
	GAS LINE
	CONTOUR LINE



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



500 NW CHIPMAN RD.

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3,
CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S
SUMMIT, JACKSON COUNTY, MISSOURI.



LOCATION MAP
1" = 250'

DISTURBED AREA = 0.73 ACRES

COORDINATE DATA:

PER ST. JACKSON COUNTY REGULATIONS, COORDINATE VALUE ARE SHOWN IN U.S. FEET AND ALL BEARINGS ARE GRID BEARINGS. ALL DISTANCES ARE GROUND DISTANCES.
N: X.XXX.XXX.XXX USFT. (IN U.S. FEET)
E: XXX.XXX.XXX USFT. (IN U.S. FEET)
PER MISSOURI COORDINATE SYSTEM 1983, WEST ZONE (ZONE NO. 2403)
GRID FACTORS = 0.99897480

BEARINGS ADOPTED:

BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) WEST ZONE

ELEVATION ADOPTED:

THE ELEVATIONS WERE ESTABLISHED USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S VRS, RTK SYSTEM AND IS REFERENCED TO THE NAVD 88 DATUM WITH GEOID 18.



SHEET INDEX

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C-601	CONSTRUCTION DETAILS
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C-801	STORMWATER MANAGEMENT PLAN
L-100	LANDSCAPE PLAN
E0.01	ELECTRICAL SITE & PHOTOMETRIC PLAN

PROPERTY DATA

OVERALL SITE ACREAGE	±0.828 ACRES
ADDRESS	500 NW CHIPMAN RD.
PARCEL ID#	52-900-03-42-00-0-00-000
EXISTING ZONING	PMIX - PLANNED MIXED USE
CURRENT LAND USE	VACANT COMMERCIAL PROPERTY
PROPOSED LAND USE	COMMERCIAL

LEGAL DESCRIPTION:

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3,
CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S
SUMMIT, JACKSON COUNTY, MISSOURI.

SITE COVERAGE CALCULATIONS

SITE AREA = ±0.828 ACRES / 36,067.68 S.F.
FLOOR TO AREA RATIO
950/36,068 = 0.026 FAR

EXISTING IMPERVIOUS AREA PARKING LOT AND BUILDING
0.046 ACRES OF PAVEMENT
0.00 ACRES OF BUILDING

EXISTING GREEN SPACE
0.782 ACRES

EXISTING PERCENT OF IMPERVIOUS AREA COVERAGE = 5.56%

PROPOSED IMPERVIOUS AREA PARKING LOT AND BUILDING
0.540 ACRES OF PAVEMENT
0.022 ACRES OF BUILDING

PROPOSED GREEN SPACE
0.266 ACRES OF GREEN SPACE

PROPOSED PERCENT OF IMPERVIOUS AREA COVERAGE = 67.87%

ELECTRONIC DRAWING NOTE:

ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200600031
MISSOURI CERTIFICATE OF AUTHORITY #E-2006007819

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.
STEVEN D. MARON P.E.
PROFESSIONAL ENGINEER
PE 2006007195

DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
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TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

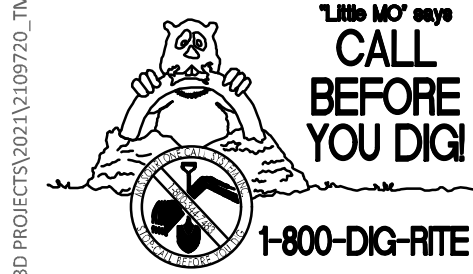
Project	
Date	9-30-2021
Revision	
#	Revision Date Description of Changes
1	10/21/2021 REVISIONS PER CITY COMMENTS
2	11/05/2021 REVISIONS PER CITY COMMENTS
Sheet Title	
COVER SHEET	
Sheet Number	

C-000

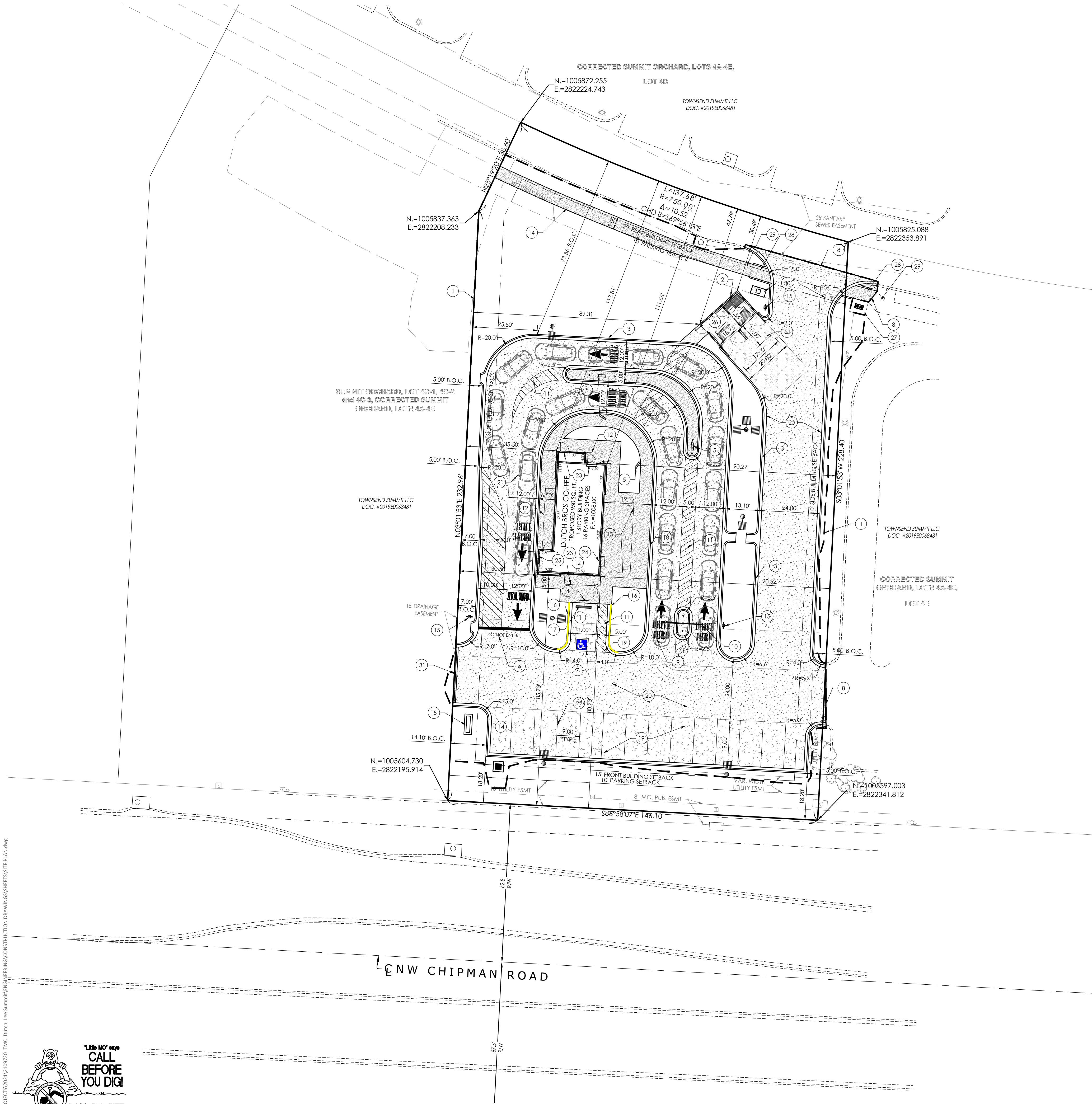
Project No.	2109720
Drawn By	A. JONES
Checked By	M. FOGARTY

ISSUED FOR CONSTRUCTION

\\usm-fp\usm\civ\3D PROJECTS\2021\109720_TMC_Dutch_Lee Summit\ENGINEERING\CONSTRUCTION DRAWINGS\SHEETS\SITE PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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REFERENCE NOTES SCHEDULE		
CODE	DESCRIPTION	DETAIL
1	LAND DISTURBANCE LIMITS	
2	PROPOSED DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DESIGN AND DETAILS	
3	PROPOSED CG-1 CONCRETE CURB AND GUTTER (TYPICAL)	GEN-4/C-600
4	PROPOSED VAN ACCESSIBLE PARKING SIGN	15/C-400
5	PROPOSED MENU BOARD. REFER TO ARCHITECTURAL PLANS FOR DETAILS	
6	PROPOSED "DO NOT ENTER" STRIPING	14/C-400
7	PROPOSED PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY	12/C-400
8	SAW CUT AND MATCH EXISTING CURB AND/OR PAVEMENT ELEVATION AT NEAREST JOINT	
9	PROPOSED DRIVE-THRU PAVEMENT MARKING	14/C-400
10	PROPOSED DRIVE-THRU CLEARANCE BAR. REFER TO ARCHITECTURAL PLANS FOR DETAILS	
11	PROPOSED CROSS STRIPING	16/C-400
12	PROPOSED CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAIL.	
13	PROPOSED AWNING. REFER TO ARCHITECTURAL PLANS FOR DETAIL.	
14	PROPOSED CONCRETE SIDEWALK	8/C-600
15	PROPOSED SIGN. REFER TO ARCHITECTURAL PLANS FOR TYPE AND SIZE.	
16	TRANSITION CURB FROM 6" TALL TO FLUSH CURB	7/C-600
17	PROPOSED WHEEL STOP	13/C-400
18	PROPOSED INTEGRAL CONCRETE CURB AND SIDEWALK	10/C-400
19	LIGHT DUTY ASPHALT PAVEMENT	6/C-600
20	MEDIUM DUTY ASPHALT PAVEMENT	5/C-600
21	HEAVY DUTY CONCRETE PAVEMENT	4/C-600
22	PROPOSED 4" DOUBLE ROLLED STRIPE, PAINTED WHITE (TYPICAL)	
23	INGRESS/EGRESS DOOR LOCATION	
24	PICK-UP WINDOW LOCATION	
25	DRIVE-THRU WINDOW LOCATION	
26	PROPOSED 4" BOLLARD(S)	
27	EXISTING TRANSFORMER (PROTECT)	
28	PROPOSED ADA ACCESSIBLE RAMP. RAMP SHALL NOT EXCEED 2% CROSS SLOPE AND 8.33% LONGITUDINAL SLOPE.	
29	PROPOSED ACCESSIBLE LANDING. LANDING SHALL BE 5'X5' AT THE TOP OF THE RAMP.	
30	PROPOSED LOCATION OF EXISTING TRANSFORMER TO BE RELOCATED	
31	TEMPORARY ASPHALT CURB	17/C-400

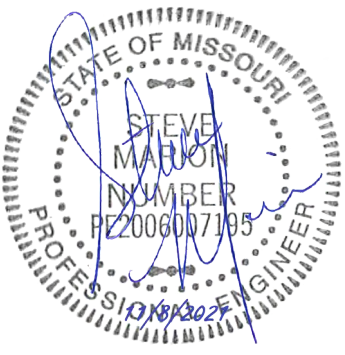
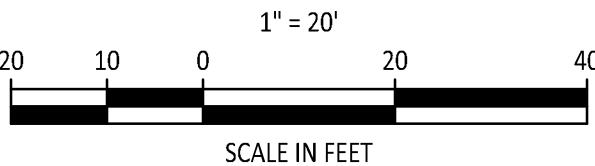
PROJECT NOTES:

1. BASIS OF BEARINGS: THIS SURVEY WAS ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983 - WEST ZONE
2. CURRENT ZONING: PMIX - PLANNED MIXED USE
3. SURROUNDING ZONING: PMIX - PLANNED MIXED USE
4. SITE AREA = ±0.828 ACRES
5. PROPOSED USE - COFFEE SHOP
6. PROPOSED BUILDING HEIGHT - REFER TO ARCHITECTURAL PLANS
7. PARKING SETBACK:
NONE PER RECORDED PLAT
8. BUILDING SETBACKS:
FRONT BUILDING SETBACK: 15' ALONG NW CHIPMAN ROAD
SIDE BUILDING SETBACK: NONE PER RECORDED PLAT
REAR BUILDING SETBACK: NONE PER RECORDED PLAT
9. FLOOR AREA RATIO - $950/36,068 = 0.026$ FAR
10. IMPERVIOUS COVERAGE - SITE = 67.75%
11. PARKING AND LOADING REQUIREMENTS
REQUIRED PARKING: TWO PLUS 1 PER EMPLOYEE ON MAX. SHIFT
2 + 10 EMPLOYEES = 12 PARKING SPACE REQUIRED
PROVIDED PARKING= 15 PARKING SPACES
12. PER FEMA FIRM PANEL #2909SCD417G, EFFECTIVE ON 01/20/2017 THE PROPERTY IS ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
13. THIS PROPERTY IS LOCATED WITHIN THE LITTLE CEDAR CREEK WATERSHED.
14. OIL AND GAS WELL LOCATIONS: BASED ON MISSOURI STATE OIL AND GAS COUNCIL, THERE ARE NO ACTIVE WELLS AS OF JUNE 2, 2020. ALL EXISTING OIL AND GAS WELLS FOR THIS SECTION-TOWNSHIP-RANGE HAVE BEEN ABANDONED OR PLUGGED.

PAVEMENT NOTES

1. PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON PLAN)

	LIGHT DUTY ASPHALT PAVEMENT 1.5" TYPE "201" ASPHALT SURFACE COURSE 4" TYPE "201" ASPHALT BASE COURSE 6" MODOT TYPE 5 AGGREGATE WITH GEOTRIB OR/ 6" MODOT TYPE 5 AGGREGATE WITH 6" CHEMICALLY STABILIZED BASE
	MEDIUM DUTY ASPHALT PAVEMENT (DRIVE AISLE) 1.5" TYPE "201" ASPHALT SURFACE COURSE 5" TYPE "201" ASPHALT BASE COURSE 6" MODOT TYPE 5 AGGREGATE WITH GEOTRIB OR/ 6" MODOT TYPE 5 AGGREGATE WITH 6" CHEMICALLY STABILIZED BASE
	HEAVY DUTY CONCRETE PAVEMENT TRASH ENCLOSURE PAD & DRIVE-THRU PAD 8" NON-REINFORCED PORTLAND CEMENT CONCRETE 4" MODOT TYPE 5 AGGREGATE BASE
	CONCRETE SIDEWALKS 4" PORTLAND CEMENT CONCRETE 4" MODOT TYPE 5 AGGREGATE BASE



ENGINEERS AUTHENTICATION
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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project

Date

9-30-2021

Revision Date Description of Changes

1. 10-21-2021 REVISIONS PER CITY COMMENTS
2. 11-05-2021 REVISIONS PER CITY COMMENTS

Sheet Title

SITE PLAN

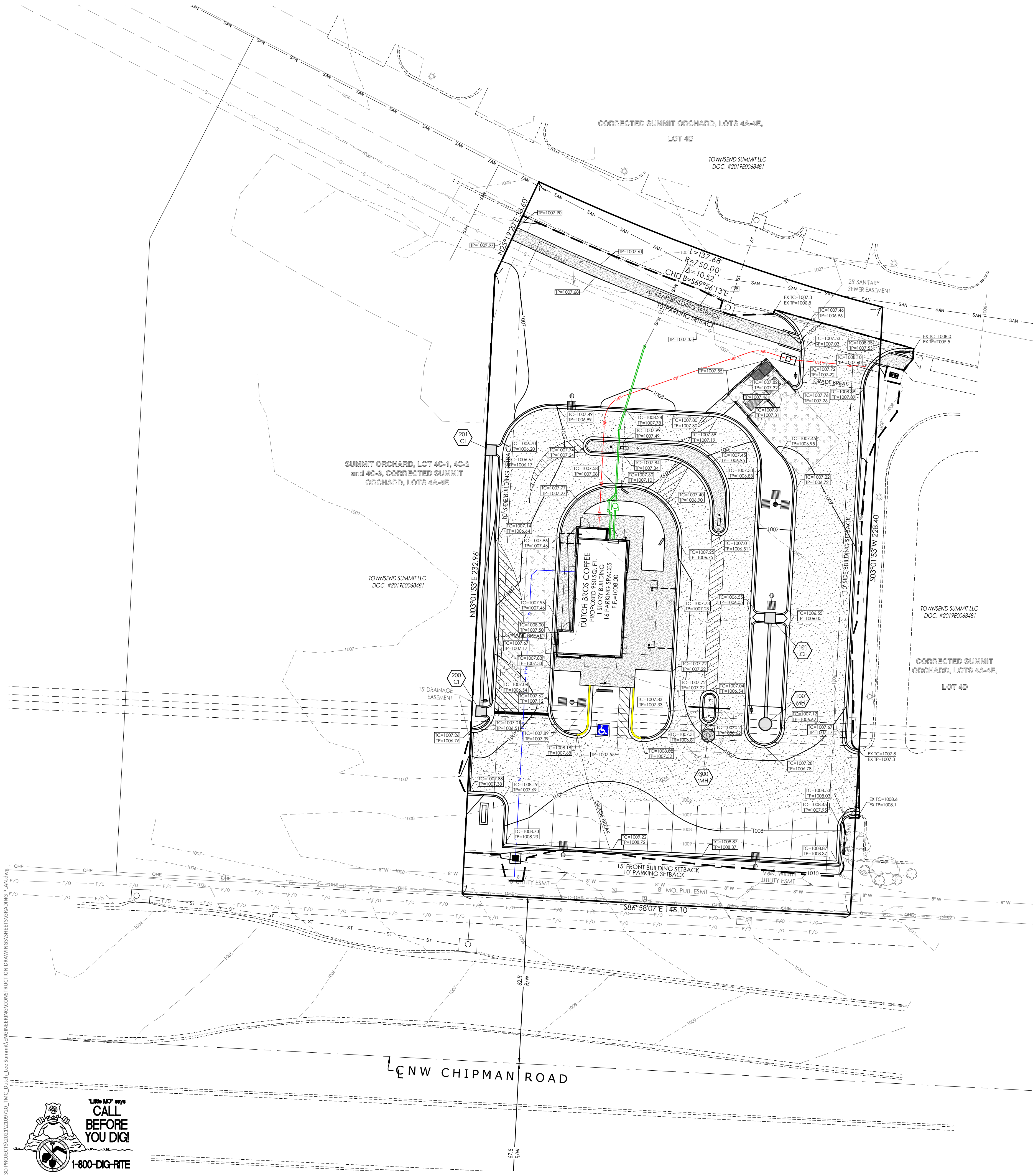
C-100

Project No. 2109720

Drawn By A. JONES

Checked By M. FOGARTY

ISSUED FOR CONSTRUCTION



EARTHWORK QUANTITY NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ ALL APPLICABLE REPORTS IN ORDER TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS OF THE SITE.
- THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR IS CAUTIONED THAT THE QUANTITIES SHOWN ARE THE ENGINEER'S ESTIMATE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL COMPLETE HIS/HER OWN ESTIMATE WHEN BIDDING. NO ADDITIONAL COSTS WILL BE ALLOWED FOR GRADING WITHOUT JUSTIFICATION DUE TO PLAN CHANGES OR REVISIONS.
- TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR THE CITY OF LEE'S SUMMIT, COUNTY AND STATE BRIDGES DURING HAUL OPERATIONS.

ESTIMATED EARTHWORK QUANTITIES:

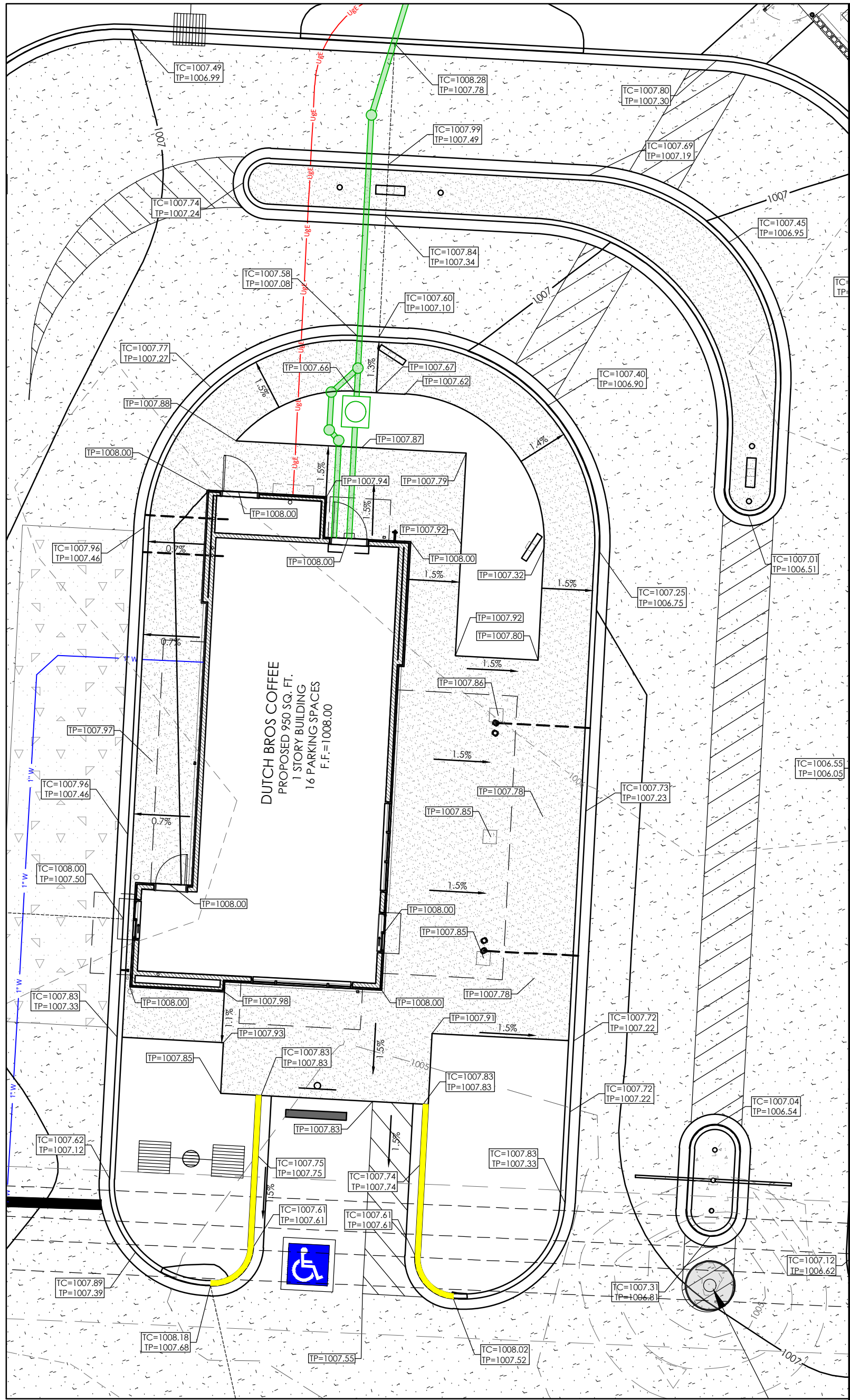
CUT = 88 CUBIC YARDS
FILL = 113 CUBIC YARDS x 1.15 (SHRINKAGE) = 130 CUBIC YARDS
IMPORT = 42 CUBIC YARDS

GENERAL CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR APPROVAL PRIOR TO ANY HAUL ACTIVITIES

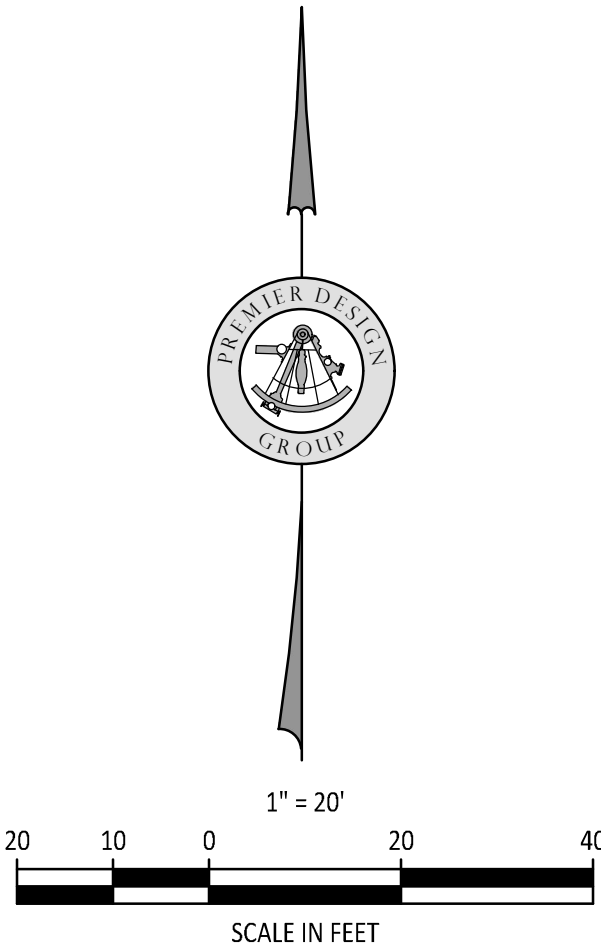
ABBREVIATIONS:

ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:
TP=TOP OF PAVEMENT
TC=TOP OF CURB
TW=TOP OF WALL
BW=FINISHED GROUND AT FACE OF WALL
GRND=FINISHED GROUND AT YARD DRAINS

CONSTRUCTION OF ADA ACCESSIBLE ROUTES NOT IN COMPLIANCE WITH THE PLANS AND ADA GUIDELINES SHALL BE REMOVED AND CORRECTED AT THE EXPENSE OF THE CONTRACTOR. A VERIFICATION SURVEY SHALL BE COMPLETED BY THE ENGINEER FOR CERTIFICATION TO OWNER AFTER CONSTRUCTION HAS BEEN COMPLETED.



BUILDING AREA INSET
SCALE: 1" = 10'



PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200600038
MISSOURI CERTIFICATE OF AUTHORITY #E-2006007849

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STEVEN D. MARON, P.E.
PROFESSIONAL ENGINEER
PE 2006007195

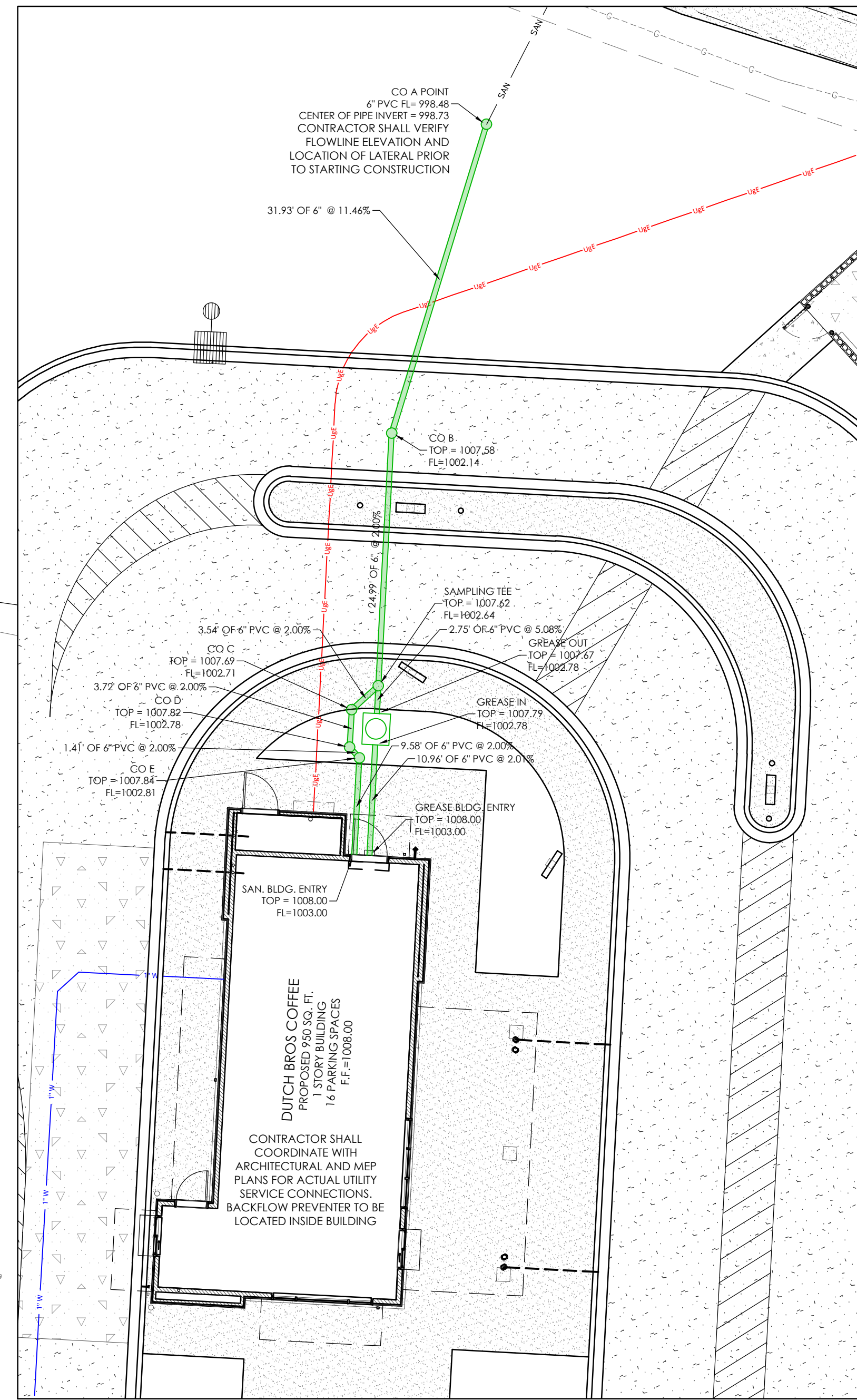
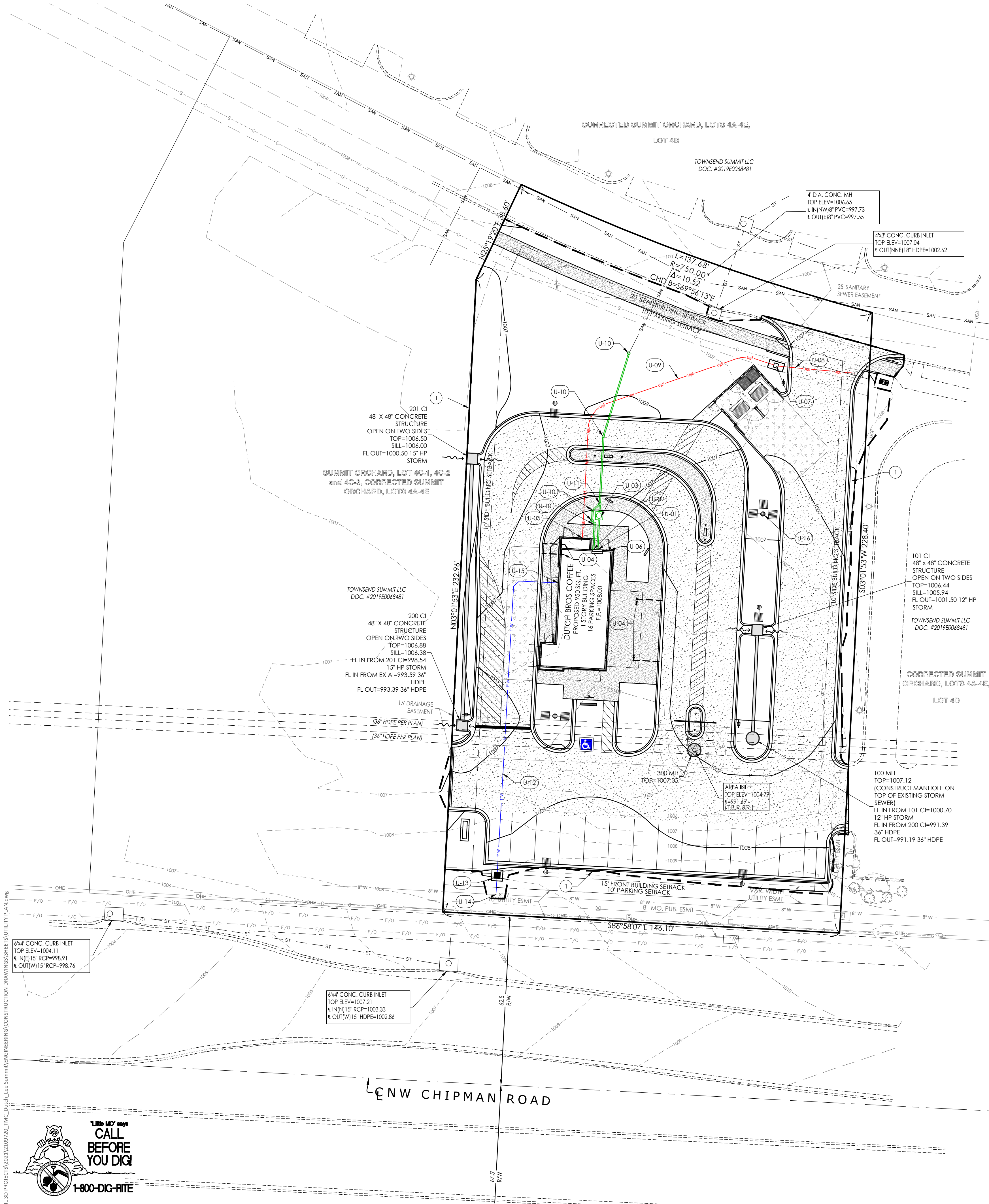
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LEE'S SUMMIT, MO 64086
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501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

#	Revision Date	Revisions PER CITY COMMENTS	Description of Changes
1	10-21-2021	1	REVISIONS PER CITY COMMENTS

Sheet Title: **GRADING PLAN**

Sheet Number: **C-200**

Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY
ISSUED FOR CONSTRUCTION



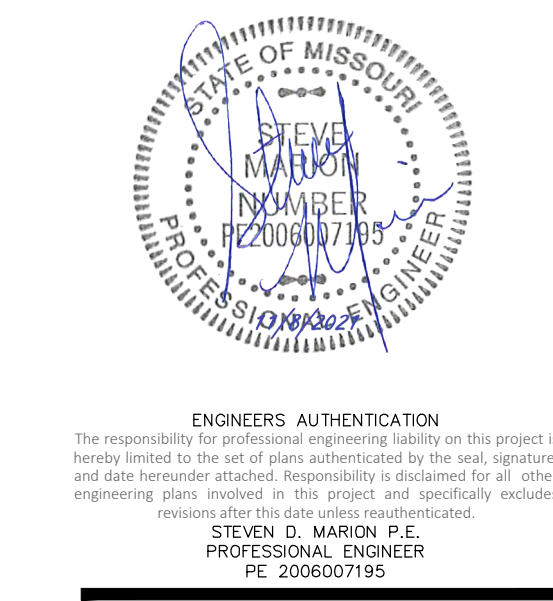
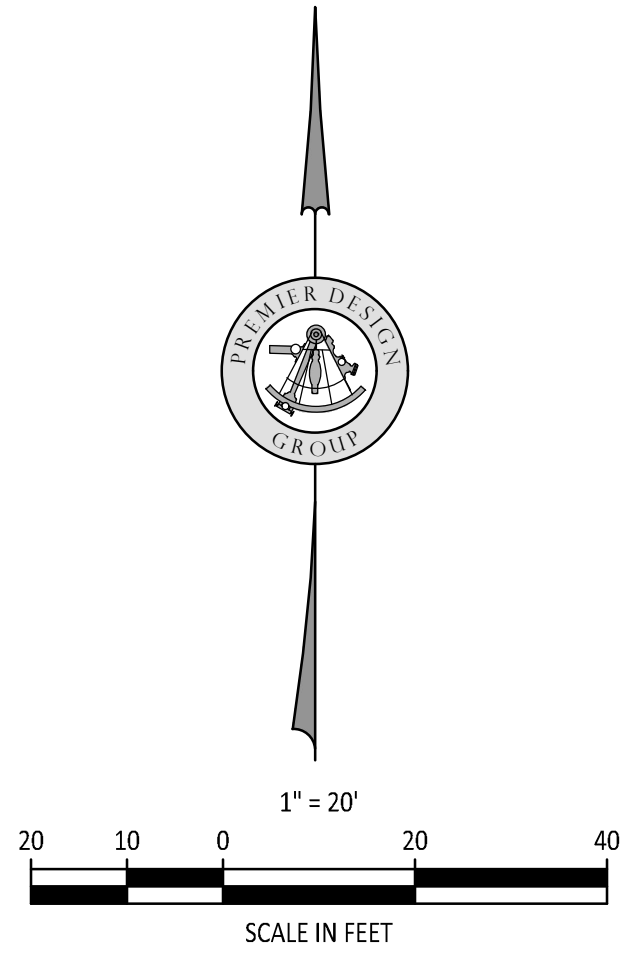
BUILDING AREA INSET
SCALE: 1" = 10'

REFERENCE NOTES SCHEDULE	
CODE	DESCRIPTION
1	LAND DISTURBANCE LIMITS
UTILITY PLAN	
CODE	DESCRIPTION
U-01	PROPOSED 6" GREASE WASTE CONNECTION, INVERT=1003.00, REFERENCE MEP PLANS
U-02	PROPOSED 6" SANITARY SEWER CONNECTION, INVERT=1003.00, REFERENCE MEP PLANS
U-03	PROPOSED GB-50 GREASE TRAP, REFER TO ARCHITECTURAL PLANS
U-04	ROOF DRAINS, REFER TO ARCH. PLANS FOR EXACT LOCATION AND DISCHARGE DETAIL
U-05	PROPOSED ELECTRIC ENTRY, REFERENCE MEP PLANS FOR CONTINUATION
U-06	PROPOSED WALL HYDRANT, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION
U-07	RELOCATED GROUND MOUNTED TRANSFORMER PER EVERY MISSOURI WEST STANDARDS
U-08	PROPOSED PRIMARY UNDERGROUND ELECTRIC SERVICE
U-09	PROPOSED SECONDARY UNDERGROUND ELECTRIC SERVICE
U-10	PROPOSED SANITARY LATERAL CLEANOUT
U-11	PROPOSED SANITARY LATERAL SAMPLING TEE
U-12	PROPOSED 1" DOMESTIC WATER LINE - TYPE K COPPER LINE PER CITY OF LEE'S SUMMIT SPECIFICATIONS
U-13	PROPOSED 1" DOMESTIC WATER METER AND PIT PER THE CITY OF LEE'S SUMMIT WATER SPECIFICATIONS
U-14	P.O.C. CONNECTION TO EX. 8" WATER MAIN INSTALL: (1) 1" TAP (1) 1" DOMESTIC METER PER CITY OF LEE'S SUMMIT WATER SPECIFICATIONS
U-15	PROPOSED 1" DOMESTIC WATER ENTRY, REFERENCE MEP PLANS FOR CONTINUATION
U-16	PROPOSED LIGHT STANDARDS, REFERENCE PHOTOOMETRIC PLAN ED01
U-17	EXISTING FIRE HYDRANT

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF HIS/HER BIDS TO CONFIRM THAT THE SITE CONDITIONS ARE AS SHOWN ON THESE PLANS. ANY CONDITION THAT IS DIFFERENT THAN WHAT IS SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMITTAL OF BIDS.

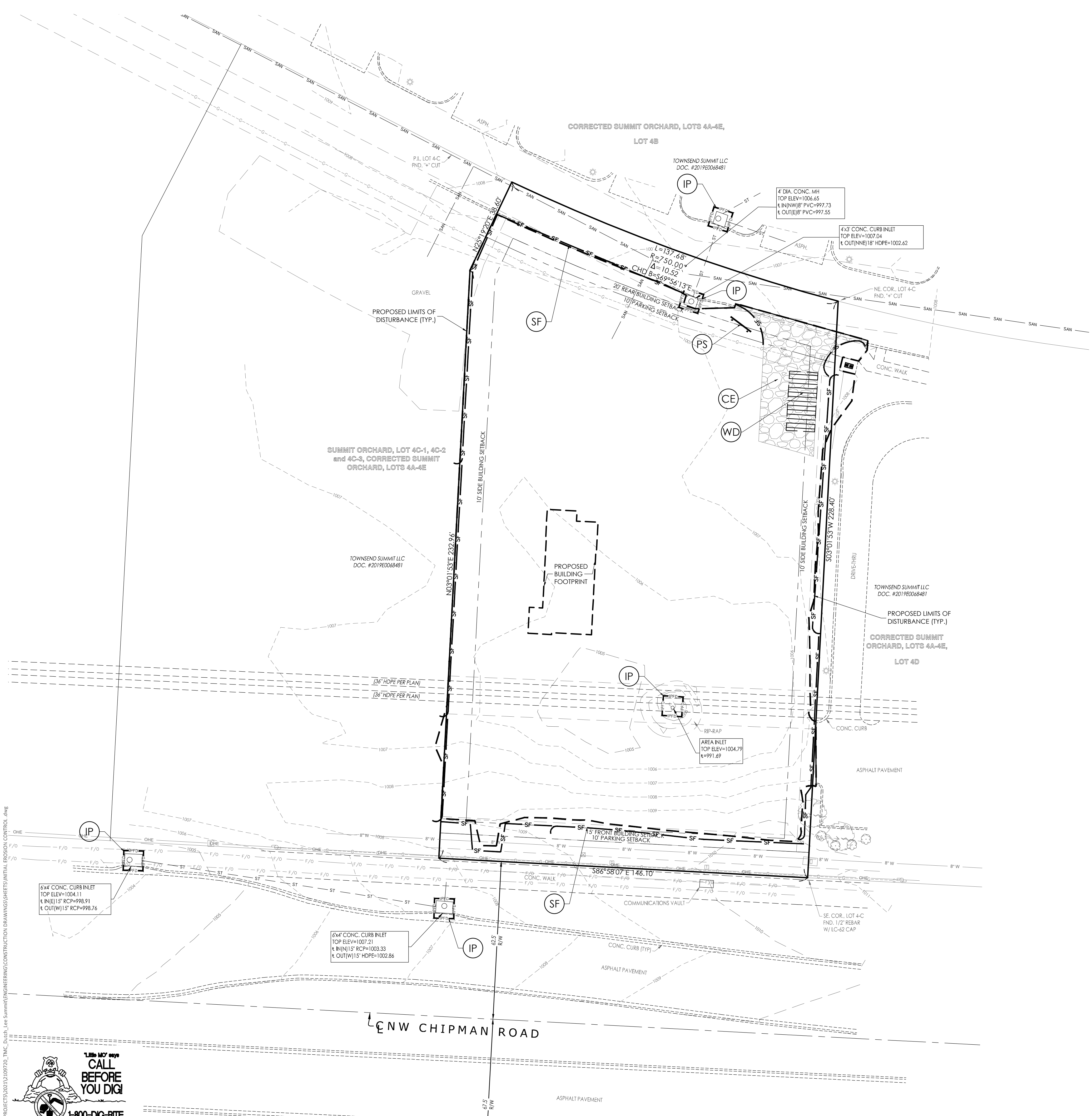
UTILITY PLAN NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-6" ON ALL SANITARY SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC., REQUIRED BY TELEPHONE COMPANY.
- CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND SPIRE FOR EXACT LOCATION OF GAS ENTRY, G.C., TO INCLUDE IN BID FOR CONTRACTOR ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC., REQUIRED BY SPIRE.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND EVERYG FOR EXACT LOCATION OF ELECTRIC ENTRY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC., REQUIRED BY ELECTRIC COMPANY.
- REFER TO MEP PLANS FOR GAS SERVICE SIZING.
- ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
- ALL CONSTRUCTION MATERIALS USED SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT AND STATE OF MISSOURI SPECIFICATIONS.
- G.C. IS TO PROVIDE TRENCH PULL WIRE AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES. BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR IS TO PROVIDE TRENCH, BACKFILL AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
- ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT SHALL BE FULL SLAB REPLACEMENT.
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
- ALL WATER LINES GREATER THAN 3" SHALL BE C-900 PVC PIPE. WATER LINES SMALLER THAN 3" SHALL BE TYPE "K" COPPER.
- ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY CITY OF LEE'S SUMMIT WATER CODES. WATER TAP AND METERS UNDER 2" SHALL BE INSTALLED BY CITY OF LEE'S SUMMIT WATER UP TO THE RIGHT-OF-WAY LINES. WATER TAP AND METERS OVER 2" SHALL BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT TO SCHEDULE CONNECTION TO PUBLIC WATER.
- SANITARY LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR PIPES THAT CROSS ABOVE WATER MAINS. THIS PIPE SHALL BE AWA C900 UNLESS WATER MAIN IS CASED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT SEWER TO SCHEDULE CONNECTION TO PUBLIC SEWER.
- CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS FOR ANY DISRUPTIONS TO EXISTING UTILITY SERVICES.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPAIR AND REPLACEMENT REQUIRED FOR ALL UTILITY CONNECTIONS AND INSTALLATIONS.
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY AND ALL APPLICABLE TAP-AND-SERVICE FEES AS LISTED IN THE MOST CURRENT EDITION OF CITY OF LEE'S SUMMIT RULES AND REGULATIONS FOR CUSTOMER SERVICE.
- COORDINATION WITH THE ELECTRIC, TELEPHONE AND CATV COMPANIES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE CONDUCTED IN A MANNER THAT RESULTS IN AN EFFICIENT AND TIMELY RELOCATION AND REMOVAL OF THE EXISTING FACILITIES.
- GROUND ELEVATIONS SHALL BE WITHIN 6" OF THE FINAL PROPOSED ELEVATIONS PRIOR TO THE START OF ELECTRIC, TELEPHONE AND CATV RELOCATIONS OR INSTALLATIONS OF NEW SERVICE.
- CONTRACTOR SHALL REFERENCE ELECTRICAL PLANS FOR FURTHER INFORMATION AND FOR CONDUIT ROUTING TO LIGHT STANDARDS AND ANY GROUND MOUNTED SIGNS.
- ALL UTILITY IMPROVEMENTS (SERVICES, EXTENSIONS, CONNECTIONS, ETC.) TO BE "PRIVATE".
- BUILDING SEWER STUBS BEING DISCONNECTED FROM THE SEWER MAIN SHALL BE DISCONNECTED BY THE WATER UTILITIES DEPARTMENT. AFTER THE CONTRACTOR HAS PROVIDED ACCESS TO THE SEWER MAIN VIA AN OSHA COMPLIANT EXCAVATION WITH PROPER SHORING AS NECESSARY, WATER UTILITIES STAFF RESERVE THE RIGHT TO NOT ENTER ANY TRENCH DETERMINED TO BE UNSAFE.



DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project		
LEE'S SUMMIT, MO		
Date		
9-30-2021		
#	Revision Date	Description of Changes
1.	10-21-2021	REVISIONS PER CITY COMMENTS



EROSION CONTROL SYMBOL LEGEND

	LEASE LINE/PROPERTY LINE
	STORM PIPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-402)
	GRAVEL OR SAND BAG PROTECTION (REFERENCE DRAWING 806-45.08 ON SHEET C-402)
	CONSTRUCTION EXIT (REFERENCE DRAWING 806-46.01 ON SHEET C-402)
	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-402)
	SEEDING / SOD
	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-402)
	PERMIT SIGN (REFERENCE DETAIL SHEET C-402)

CONSTRUCTION SEQUENCING ACTIVITIES:

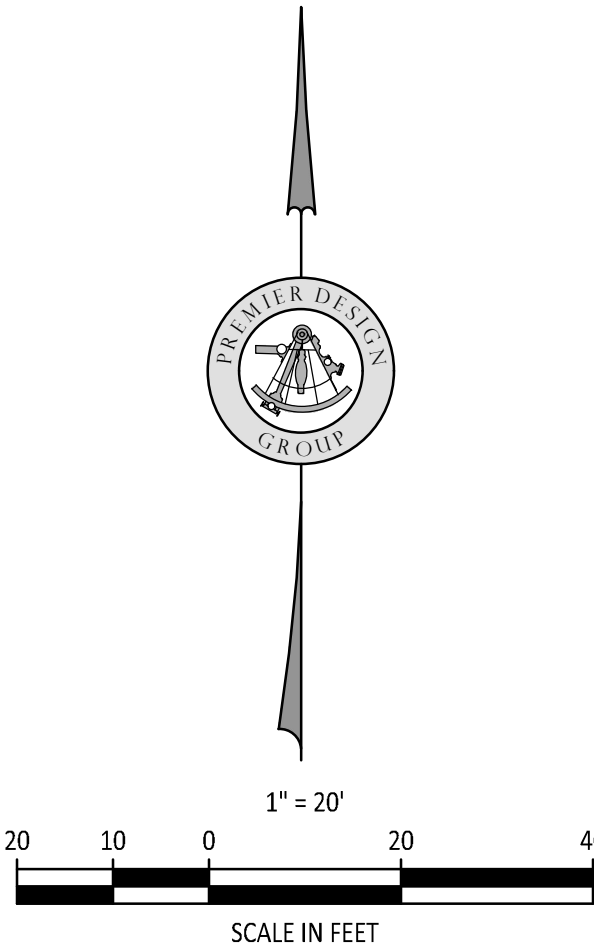
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
- BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
5. THE JOB SITE TRAILER, DUMPSTER, FUELING AREA, STORAGE & LAY-DOWN AREA SHALL BE LOCATED BY THE GENERAL CONTRACTOR AT THE START OF CONSTRUCTION. THESE ITEMS MUST BE NOTED BY THE CONTRACTOR ON THE SWPPP DRAWINGS.
6. SOIL STOCKPILES AND DEMOLITION DEBRIS STOCKPILES SHALL HAVE SILT FENCES INSTALLED IF LEFT ON SITE & UNDISTURBED FOR MORE THAN 13 DAYS.

ALL PROJECT SITES ARE REQUIRED TO COMPLY WITH REQUIREMENTS OF THE "CLEAN WATER ACT" ESTABLISHED BY THE US ENVIRONMENTAL PROTECTION AGENCY.

THE EPA's NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM REQUIRES PERMITS TO BE ISSUED BY REGULATORY AGENCIES WHEN PROJECT SITES DISTURB 1 ACRE OR MORE.



ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date dates reauthenticated.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2200607195

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Project
Date 9-30-2021

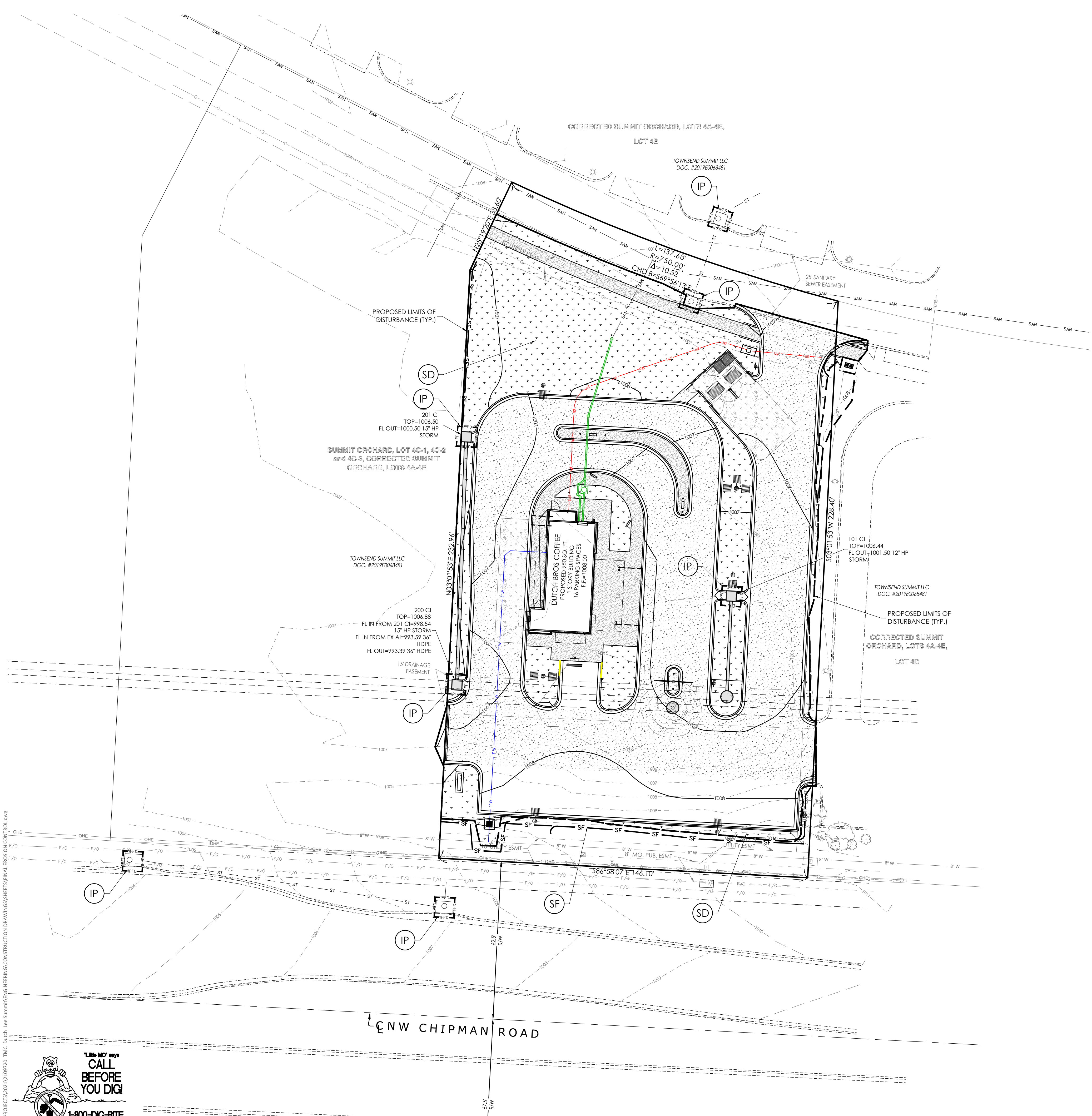
#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title
C-400
Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY
ISSUED FOR CONSTRUCTION

1-800-MO-9999
CALL BEFORE YOU DIG
1-800-DIG-RITE

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)

INITIAL EROSION CONTROL PLAN



EROSION CONTROL SYMBOL LEGEND

	LEASE LINE/PROPERTY LINE
	STORM PIPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-402)
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	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-402)
	SEEDING / SOD/MULCH
	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-402)
	PERMIT SIGN (REFERENCE DETAIL SHEET C-402)

CONSTRUCTION SEQUENCING ACTIVITIES:

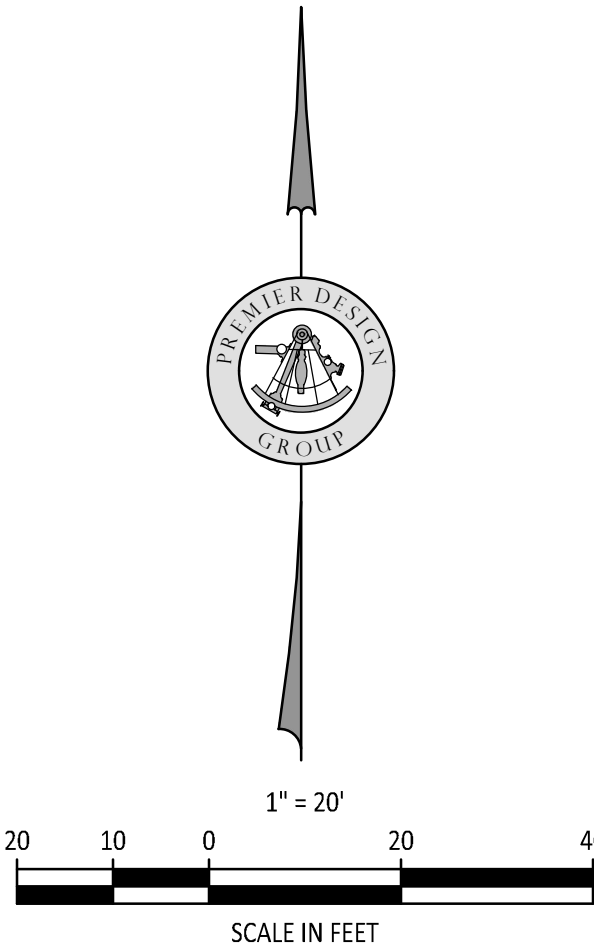
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
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- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
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- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

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2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
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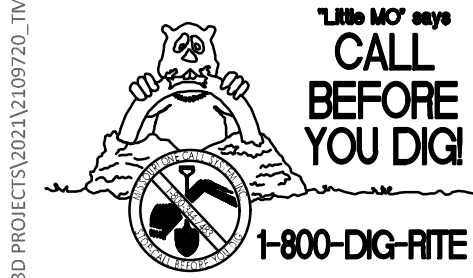
PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #S-200600081
ENGINEERS AUTHENTICATION

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date notes reauthenticating.
STEVEN D. MARION P.E.
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Project		Date		9-30-2021	
#	Revision Date	Description of Changes			
	1. 10-21-2021	REVISIONS PER CITY COMMENTS			
	2. 11-05-2021	REVISIONS PER CITY COMMENTS			
Sheet Title		FINAL EROSION CONTROL PLAN			
Sheet Number		C-401			
Project No.		2109720			
Drawn By		A. JONES			
Checked By		M. FOGARTY			
ISSUED FOR CONSTRUCTION					

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UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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- GENERAL EROSION AND SEDIMENTATION CONTROL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT FROM THE CITY OF CITY OF LEES SUMMIT AS REQUIRED.
 2. THE CONTRACTOR SHALL KEEP & MAINTAIN A COPY OF THE LAND DISTURBANCE PERMIT(S) AND, EROSION CONTROL PLANS AT THE PROJECT SITE DURING CONSTRUCTION.
 3. ALL EROSION CONTROL MEASURES MUST MEET LOCAL REQUIREMENTS AND THE "PROTECTING WATER QUALITY, A FIELD GUIDE TO EROSION, SEDIMENT AND STORM WATER BEST MANAGEMENT PRACTICES FOR DEVELOPMENT SITES IN MISSOURI AND KANSAS". THE DOCUMENT IS AVAILABLE FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES AND CAN BE DOWNLOADED FROM THE DNR WEBSITE AT [HTTP://WWW.DNR.MO.GOV/ENR/WPP/WPCP-GUIDE.HTM](http://www.dnr.mo.gov/enr/wpp/WPCP-GUIDE.HTM).
 4. PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITIES, EROSION AND SEDIMENT CONTROL MEASURES AND APPLICABLE BMPs SHALL BE INSTALLED.
 5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE START OF GRADING SO THAT SITE BMPs CAN BE VERIFIED.
 6. THE GENERAL CONTRACTOR SHALL HAVE ULTIMATE CONTROL OF THE SITE AND REQUIRE THAT ALL SUBCONTRACTORS, UTILITY COMPANIES, AND ANY PERSON PERFORMING LAND DISTURBING ACTIVITIES CONFORM TO THE REQUIREMENTS OF THE PERMITS ISSUED FOR THE SITE. THIS INCLUDES CONFORMANCE TO THE STORM WATER POLLUTION PLAN PREPARED & MAINTAINED FOR THE SITE.
 7. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM WATER RUNOFF AND EROSION THROUGHOUT CONSTRUCTION.
 8. THIS EROSION CONTROL PLAN HAS BEEN PREPARED AS A BEGINNING POINT AND SHOULD EVOLVE AS SITE CONDITIONS WARRANT. THE GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL BMPs AS DEEMED NECESSARY TO ADEQUATELY RETAIN SEDIMENT ON-SITE.
 9. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING TREES AND VEGETATION.
 10. CONSTRUCTION MATERIAL STORAGE AND LAY-DOWN AREAS ARE TO BE AWAY FROM DRAINAGE COURSES AND LOW AREAS.
 11. PROVIDE CONTAINERS FOR THE DISPOSAL OF WASTE PAINTS, SOLVENTS, CLEANING COMPOUNDS, ETC.
 12. PROVIDE TRASH CONTAINERS ON-SITE AND PERFORM REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE. SOLID WASTE SHALL INCLUDE, BUT NOT BE LIMITED TO, SCRAP BUILDING MATERIALS, PRODUCT/MATERIAL PACKAGING, FOOD AND DRINK CONTAINERS.
 13. THE CONTRACTOR SHALL INSTALL CONTAINMENT BERMS & DRIP PANS AT PETROLEUM PRODUCT & LIQUID STORAGE TANK AREAS.
 14. THE CONTRACTOR SHALL PROVIDE CONCRETE WASH OUT AREAS. CONCRETE TRUCKS SHALL NOT DISCHARGE SURPLUS CONCRETE OR WASH WATER ON THE GROUND OR INTO DITCHES. CONCRETE WASH-OUT AREAS SHALL BE DESIGNED TO ENSURE CONCRETE PARTICLES WILL NOT BE RELEASED FROM THE CONSTRUCTION SITE.
 15. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES IF CONDITIONS WARRANT. DUST CONTROL MAY INCLUDE WATERING/IRRIGATION, WIND BARRIERS, SPRAY ON ADHESIVES, TILLING, OR CHEMICAL TREATMENT. ANY CLEANUP TO ADJACENT PROPERTIES DUE TO INADEQUATE DUST CONTROL WILL BE THE CONTRACTOR'S RESPONSIBILITY.
 16. THE CONTRACTOR SHALL PROVIDE FOR SOLID WASTE/TRASH COLLECTION. THE CONSTRUCTION SITE SHALL BE KEPT CLEAN AND ORDERLY.
 17. THE CONTRACTOR SHALL PROVIDE FOR SANITARY WASTE COLLECTION DURING CONSTRUCTION. PORTA POTTIES SHALL BE LOCATED BY THE CONTRACTOR AND NOTED ON THE DRAWINGS.

CONSTRUCTION SWPPP LOG

1. BMPs SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HRS OF RAIN EVENTS OF 1/2" OR GREATER. REPAIR AND MAINTENANCE TO BMPs SHALL BE DONE IMMEDIATELY.
2. THE CONTRACTOR SHALL SUBMIT AN INSPECTION REPORT WITHIN 72 HOURS AFTER EVERY STORM EVENT TO THE CITY ENGINEER.
3. THE CONTRACTOR SHALL ENSURE THE SITE CONFORMS TO THE REQUIREMENTS OF THE EROSION CONTROL PLANS AND INSTALL ADDITIONAL BMPs SHOULD SITE CONDITIONS WARRANT.

FINAL SITE STABILIZATION

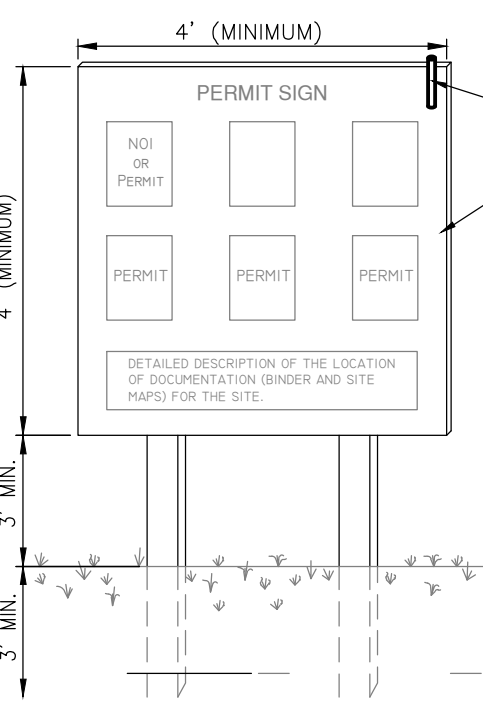
1. ONCE GRADED AREAS ARE ADJUSTED TO FINAL GRADES, PERMANENT STABILIZATION SHALL BE ESTABLISHED.
2. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS DAMAGED BY CONSTRUCTION TO A CONDITION, EQUAL TO, OR BETTER THAN THE CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. ALL EROSION CONTROL BMPs SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
4. ONCE THE SITE HAS REACH FINAL STABILIZATION, THE CONTRACTOR IS TO CLEAN AND REMOVE DEBRIS FROM BMPs AND STORM WATER COLLECTION AREAS. BMPs ARE THEN TO BE REMOVED.

POTENTIAL POLLUTANTS THAT MAY BE FOUND ON SITE DURING CONSTRUCTION:

Material Trade Name	Chemical/Physical Description	Storm Water Pollutants
Erosion	Solid Particles	Soil, sediment
Fertilizer	Liquid or solid grains	Nitrogen, phosphorus
Pesticides (insecticides, fungicides, herbicides, rodenticides)	Various colored to colorless liquid, powder, pellets, or grains	Chlorinated hydrocarbons, organophosphates, carbonates, urea
Asphalt	Black solid	Oil, petroleum distillates
Concrete	White solid	Limestone, sand
Plaster	White granules or powder	Calcium Sulfate, calcium carbonate, sulfuric acid
Gloss adhesives	White or yellow liquid	Polymers, epoxies
Paints	Various colored liquid	Metal oxides, Stoddard solvent, turp, calcium carbonate, aromatic
Charring compounds	Creamy white liquid	Naphtha
Wood preservatives	Clear amber or dark brown liquid	Stoddard solvent, petroleum distillates, arsenic, copper, chromates
Hydraulic oil/hydrils	Brown oily petroleum hydrocarbon	Mineral oil
Gasoline	Colorless, pale brown or pink petroleum hydrocarbon	Benzene, ethyl benzene, toluene, xylene, MTBE
Diesel fuel	Clear, blue-green to yellow liquid	Petroleum distillate, oil & grease, methylalene, xylene
Antifreeze/coolant	Clear green/yellow liquid	Ethylene glycol, propylene glycol, heavy metals (copper, lead, zinc)

MATERIALS STORED ON SITE:

1. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS. IF POSSIBLE, MATERIALS SHALL BE STORED UNDER A ROOF OR OTHER ENCLOSURE.
2. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. THE MANUFACTURER'S RECOMMENDATIONS FOR THE PROPER USE AND DISPOSAL OF THEIR PRODUCTS SHALL BE FOLLOWED. THE CONSTRUCTION MANAGER SHALL INSPECT THE ON-SITE MATERIALS DAILY TO ENSURE THE PROPER USE AND DISPOSAL.
3. HAZARDOUS PRODUCTS SHALL BE KEPT IN RESEALABLE CONTAINERS. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED. ALL FEDERAL, STATE AND CITY REGULATIONS SHALL BE FOLLOWED WHEN DISPOSING OF ANY HAZARDOUS WASTE.



PERMIT SIGN DETAIL
(NOT TO SCALE)

MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:

1. SILT FENCING SHALL BE INSPECTED DAILY DURING PERIODS OF RAINFALL, IMMEDIATELY AFTER EACH SIGNIFICANT RAINFALL EVENT, AND WEEKLY DURING PERIODS OF NO RAINFALL. REPAIRS TO SILT FENCES SHALL BE DONE IMMEDIATELY. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
2. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY, AFTER EVERY RAINFALL EVENT, AND DURING HIGH VOLUMES OF TRAFFIC. REPAIRS TO THE CONSTRUCTION ENTRANCE SHALL BE MADE IMMEDIATELY. ALL SEDIMENTS, AND ALL OTHER MATERIALS, TRACKED ONTO PUBLIC ROADWAYS SHALL BE REMOVED IMMEDIATELY.
3. SELECT STOCKPILE LOCATION TO AVOID SLOPES AND NATURAL DRAINAGE WAYS, AVOIDING TRAFFIC ROUTES. ON LARGE SITES, RE-SPREADING IS EASIER AND MORE ECONOMICAL WHERE TOPSOIL IS STOCKPILED IN SMALL PILES LOCATED NEAR AREAS WHERE THEY WILL BE USED.
4. INSPECT AND MAINTAIN ALL BMPs LOCATED DOWN HILL OF AREA BEING GRADED, AS INDICATED. ADDITIONAL BMPs SHOULD BE CONSTRUCTED IF IT IS OBSERVED THAT THE PROPOSED BMPs ARE NOT EFFECTIVELY LIMITING SEDIMENT TRANSPORT FROM THE SITE. TYPICAL BMPs THAT MIGHT BE UTILIZED INCLUDE, BUT ARE NOT LIMITED TO:
 - SEDIMENT BARRIERS - USE SILT FENCES, STRAW BALE SEDIMENT TRAPS OR OTHER BARRIERS WHERE NECESSARY TO RETAIN SEDIMENT
 - TEMPORARY SEEDING - PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 14 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE
 - PERMANENT VEGETATION - IF STOCKPILES WILL NOT BE USED WITHIN 12 MONTHS, THEY MUST BE STABILIZED WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH

SPILL CONTROL OF POLLUTANTS:

1. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND SHALL RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
2. CONCRETE TRUCKS SHALL ONLY WASH-OUT OR DISCHARGE SURPLUS CONCRETE, OR DRUM WASH WATER, AT DEDICATED CONCRETE TRUCK WASH-OUT AREAS. NO EXCESS CONCRETE OR DRUM WASH WATER SHALL BE RELEASED FROM THE SITE.
3. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
4. ALL ASPHALTIC SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
5. FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC CONTAINER TO AVOID SPILLS.
6. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE RELATED TO SITE PERSONNEL AND THEY SHALL BE MADE AWARE OF THE LOCATION OF THE CLEANUP SUPPLIES, MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE STORED ON-SITE. IN CASE OF A SPILL, THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND CLEANUP PERSONNEL SHALL WEAR THE APPROPRIATE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCE. SPILLS OF TOXIC AND HAZARDOUS MATERIAL, REGARDLESS OF THE SIZE OF THE SPILL, SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL GOVERNMENT AGENCIES IMMEDIATELY AFTER DISCOVERY.

CONSTRUCTION ENTRANCE (CE)

1. THE LOCATION OF A CONSTRUCTION ENTRANCE/EXIT HAS BEEN SHOWN ON THE EROSION CONTROL PLAN(S). THE CONTRACTOR SHALL INSTALL OR ESTABLISH A DESIGNATED CONSTRUCTION ENTRANCE/EXIT AT THE START OF CONSTRUCTION. IN THE EVENT THE ENTRANCE IS LOCATED IN A DIFFERENT LOCATION, THE CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN.
2. A PERMIT SIGN SHALL BE INSTALLED AT OR NEAR THE CONSTRUCTION ENTRANCE FOR POSTING RELEVANT CONSTRUCTION PERMITS FOR THE PROJECT.
3. AS PART OF THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL INSTALL A VEHICLE WASH DOWN AREA. THE WASH DOWN AREA IS TO PREVENT THE TRACKING OF MUD AND DEBRIS FROM THE PROJECT SITE.
4. TRACKING IS NOT PERMISSIBLE. ANY TRACKING OF MUD AND/OR DEBRIS ONTO OFF-SITE ROADS SHALL BE CLEANED IMMEDIATELY.
5. LOCATION AND FINAL DIMENSIONS OF THE CONSTRUCTION ENTRANCE, WASH DOWN AREA AND STAGING AREAS SHALL BE ESTABLISHED BY THE GENERAL CONTRACTOR.
6. ALL CONSTRUCTION TRAFFIC LEAVING THE PROJECT SITE SHALL UTILIZE THE CONSTRUCTION ENTRANCE/EXIT.

SILT FENCE (SF)

7. SILT FENCE TO BE ADJUSTED AS NECESSARY FOR CONSTRUCTION ACTIVITY.
8. UNLESS NOTED OTHERWISE, SILT FENCE SHALL BE A WOVEN GEOTEXTILE FABRIC SUCH AS MIRAFI 100X OR EQUAL.
9. REFER TO THE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.
10. SILT FENCES SHALL ONLY BE USED FOR STORM WATER SHEET FLOW CONDITIONS.
11. SILT FENCES SHALL FOLLOW CONTOURS AND UTILIZE "J" HOOKS TO HELP TRAP SEDIMENT.
12. SILT FENCES SHALL BE INSPECTED REGULARLY FOR RIPS, TEARS, OR DETEIORATION. DAMAGED FENCE SHALL BE REPLACED.
13. WHEN SEDIMENT BUILDUPS TO ONE HALF THE HEIGHT OF THE FENCE, IT SHALL BE CLEANED AND REINSTALLED.

INLET PROTECTION (IP)

1. REFER TO THE INLET PROTECTION DETAILS FOR VARIOUS TYPES OF INLET PROTECTION. THE CONTRACTOR SHALL HAVE THE OPTION OF UTILIZING ANY TYPES SHOWN OR ACCEPTABLE ALTERNATE.
2. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AROUND EACH INLET ONCE INLET CONSTRUCTION IS COMPLETED. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE SITE HAS BEEN CONSIDERED STABLE.

SOD OR SEEDING, MULCHING AND FERTILIZING (SD) (SM)

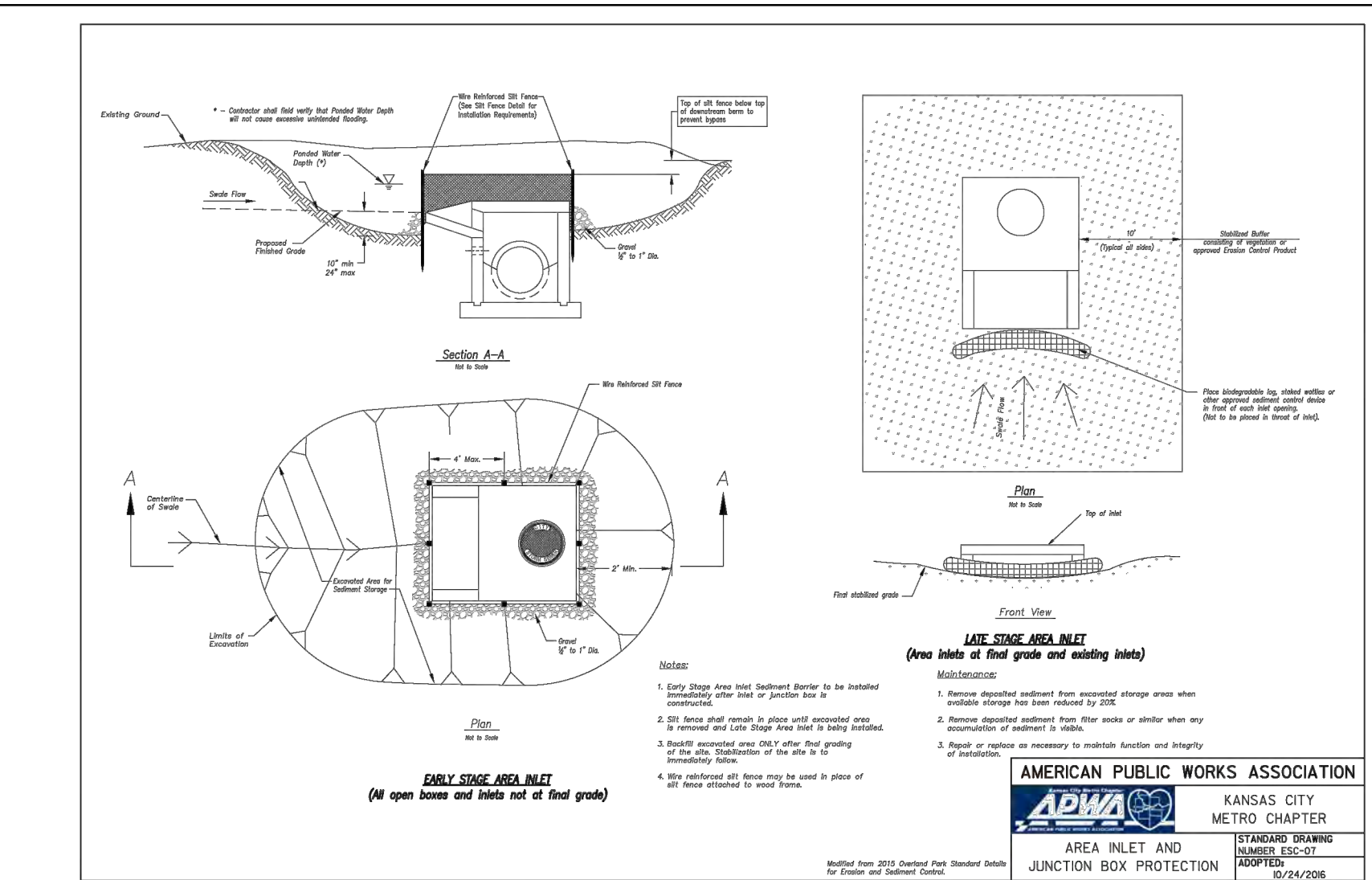
1. ALL DISTURBED AREAS WHICH REMAIN UNWORKED FOR 14 DAYS, SHALL BE TEMPORARILY STABILIZED.
2. ALL TEMPORARY DIVERSION BERMS, DIVERSION DITCHES AND SOIL STOCKPILE AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY AFTER GRADING.
3. ALL AREAS DISTURBED DURING CONSTRUCTION, WHICH WILL NOT BE PAVED, SHALL HAVE A MINIMUM OF 4" OF TOPSOIL INSTALLED.
4. GRASSSED AREAS SHALL BE EITHER SODDED OR SEEDDED AND MULCHED. REFER TO THE SITE AND LANDSCAPING PLANS FOR LOCATIONS OF EACH.
5. ALL RIGHT-OF-WAYS SHALL HAVE SOD INSTALLED. SOD SHALL MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR THE DEPARTMENT OF TRANSPORTATION.
6. SOD SHALL BE DROUGHT RESISTANT FESCUE.
7. TEMPORARY IRRIGATION MAY BE REQUIRED TO HELP ESTABLISH SODDED/SEEDDED AREAS.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SODDED AND SEEDDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

NOTES:

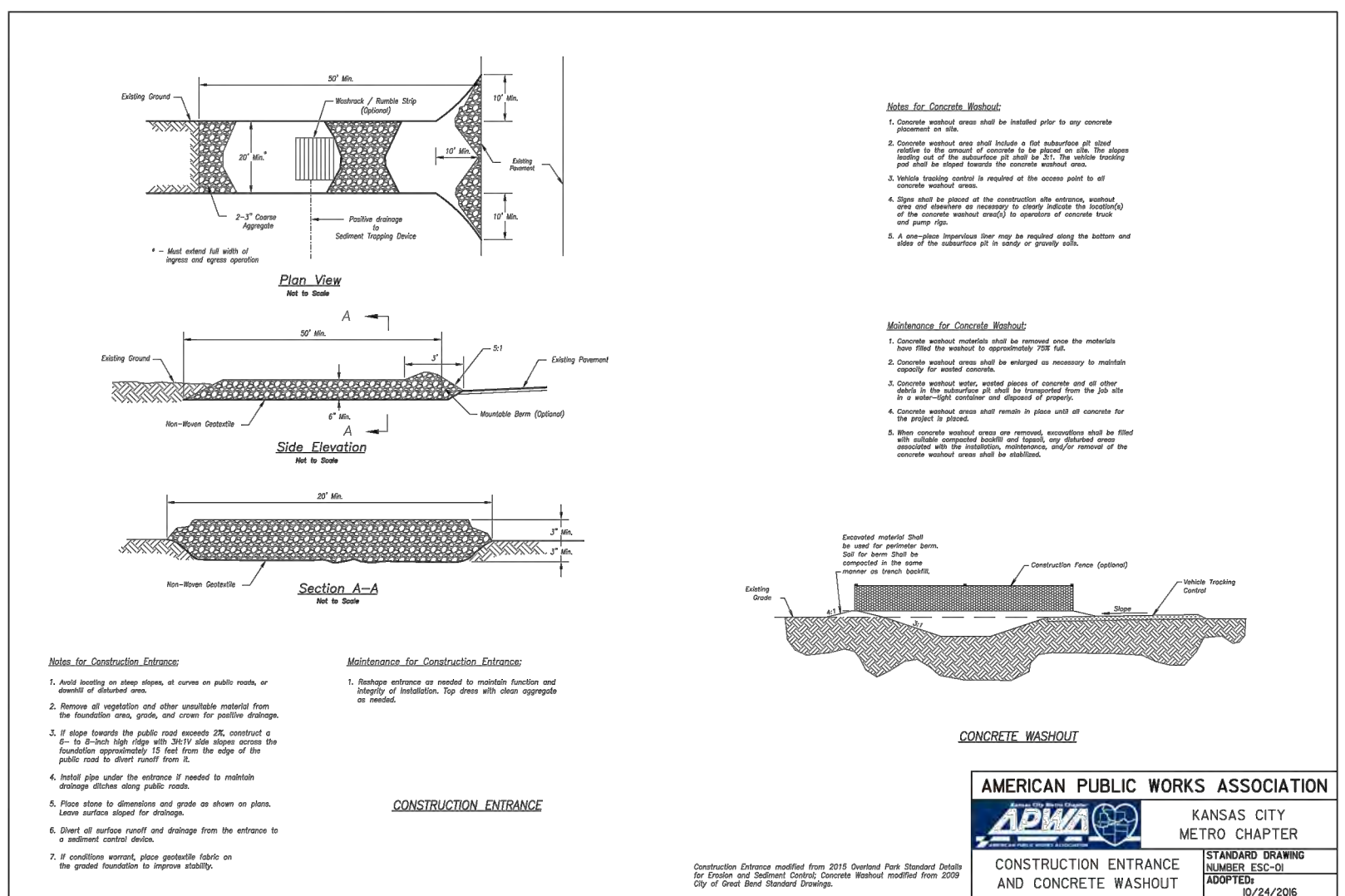
1. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE PERMIT HAS BEEN TERMINATED.
2. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
3. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
4. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE INFORMATION SIGN.

Dates for Seeding												
Permanent Seeding	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov	Dec
Tall Fescue		O	O	O	O							
Smooth Brome			O	O	O				O	O		
Fescue & Brome				O	O	O	O	O	O	O		
Fescue, Rye & Bluegrass	A	A	O	O	O	P	P	O	O	P	P	A
Temporary Seeding	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov	Dec
Rye or Sudan	A	A	O	O	O	O	O	O	O	O	A	A
Orzo		A	O	O	O	O	O	O	O	O		

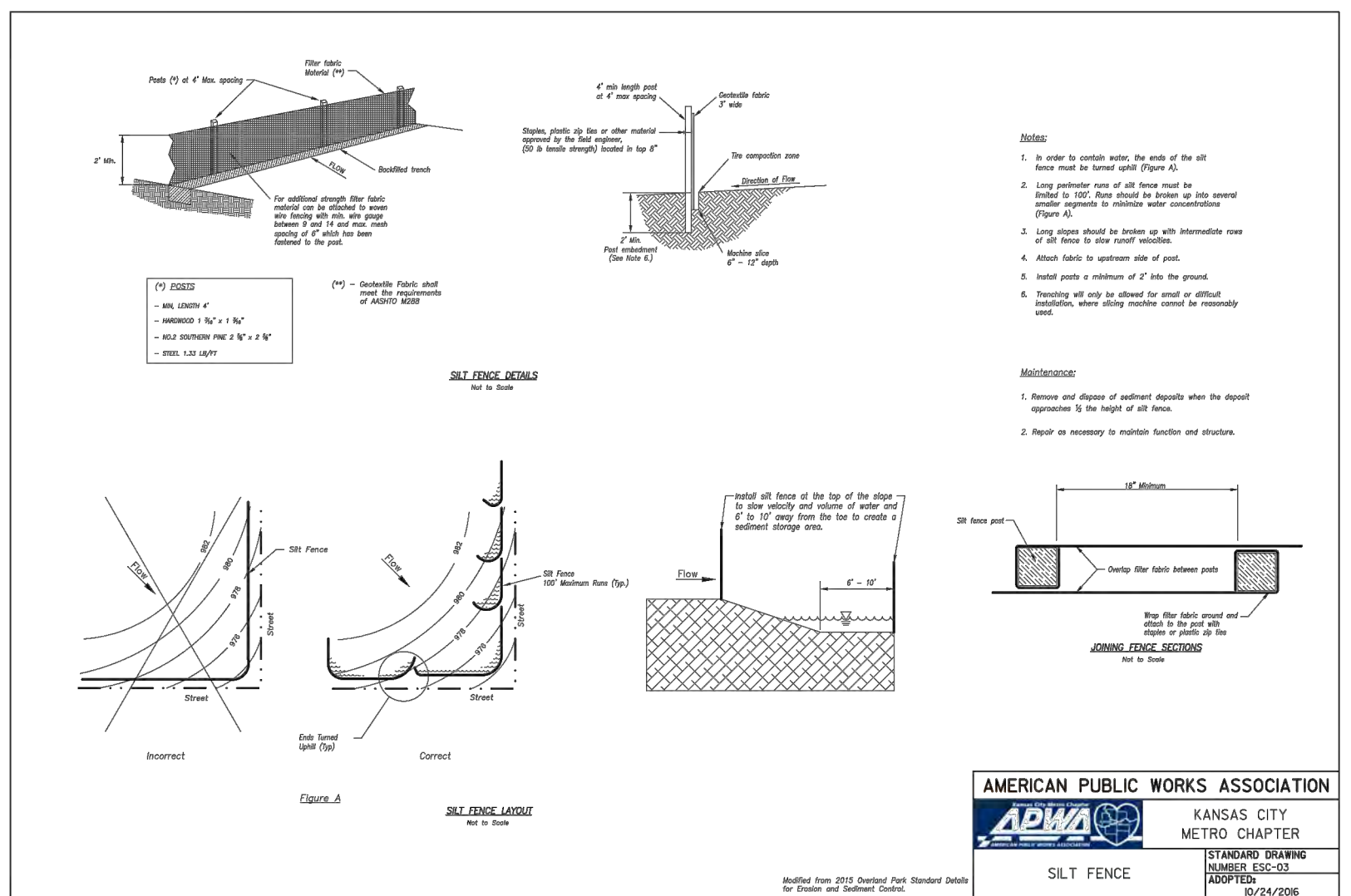
O = Optimum seeding dates
A = Acceptable seeding dates
P = Permitted seeding dates with reseeding 2 months later - Initially use 50% of seed and 75% of fertilizer. Reseed with additional 75% seed and remaining fertilizer.



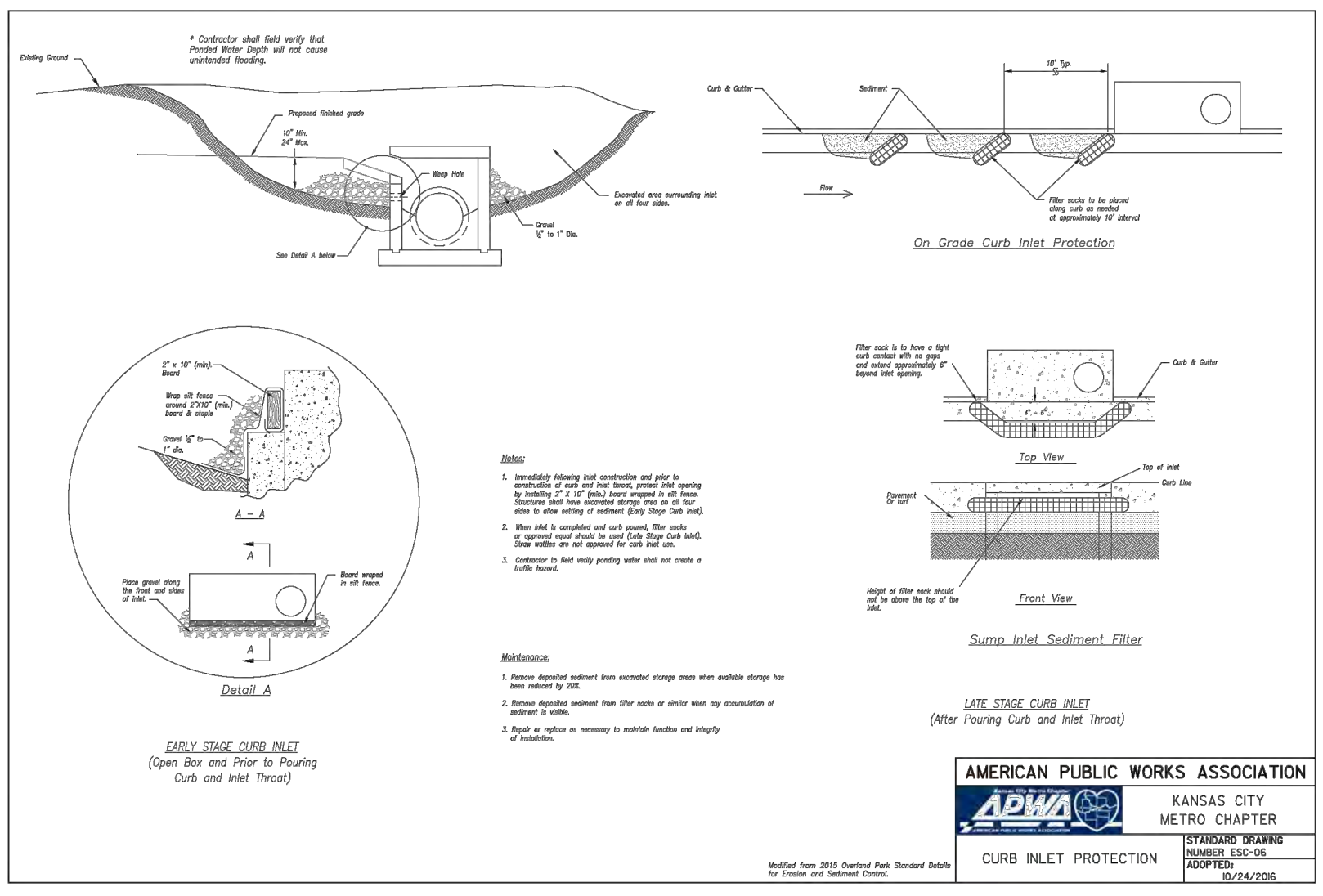
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KANSAS CITY METRO CHAPTER
STANDARD DRAWING NUMBER ERO-08
DATE 01/24/2006



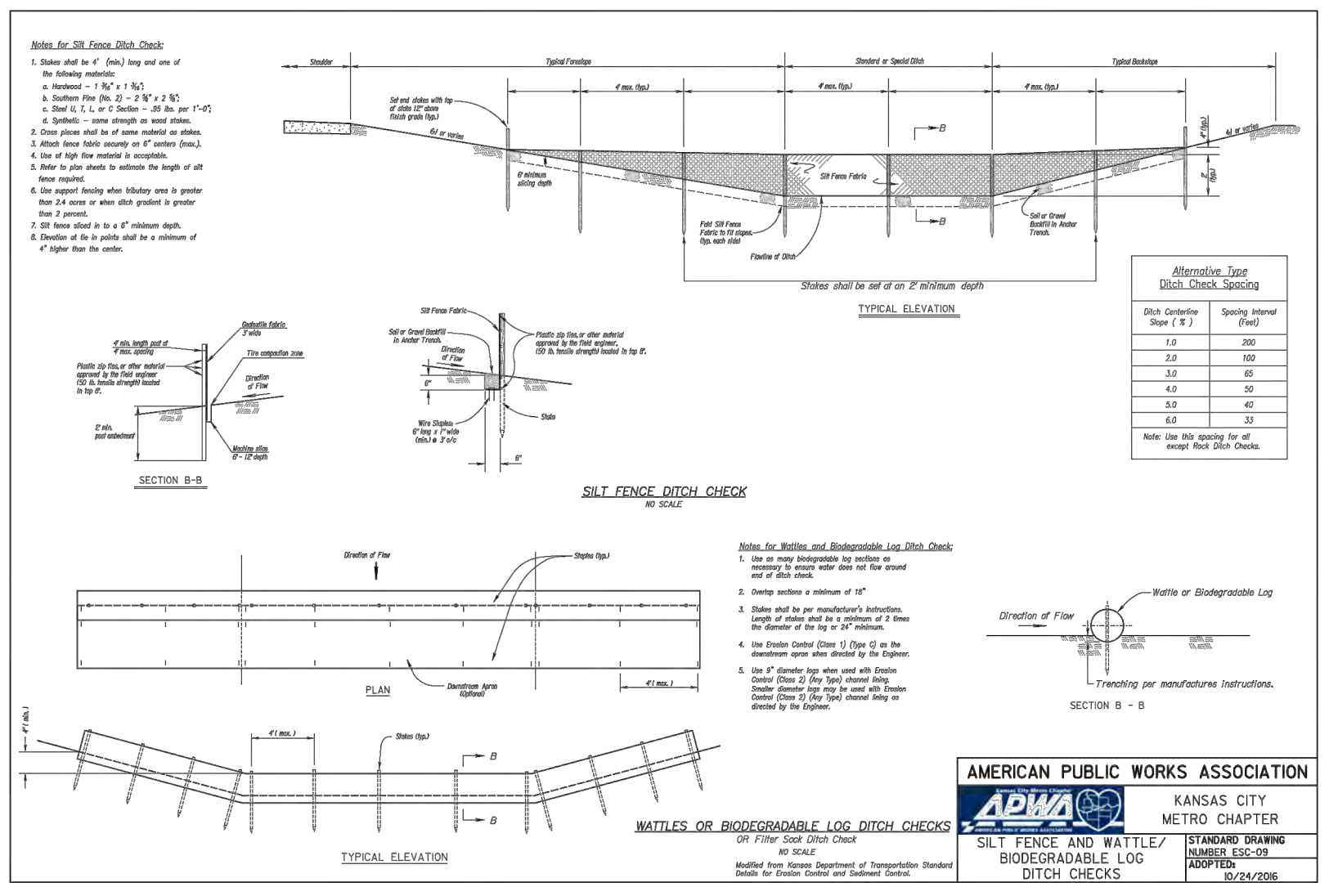
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KANSAS CITY METRO CHAPTER
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DATE 01/24/2006



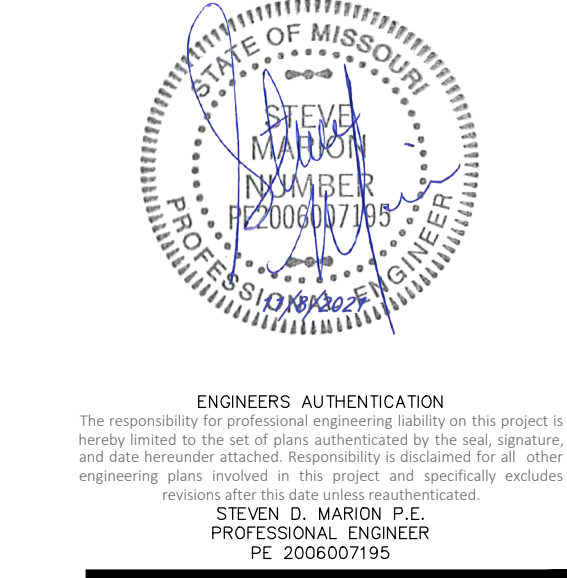
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KANSAS CITY METRO CHAPTER
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DATE 01/24/2006



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
STANDARD DRAWING NUMBER ERO-08
DATE 01/24/2006



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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

DUTCH BROS
LEES SUMMIT, MO
500 NW CHIPWAX RD.
LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Date 9-30-2021

Revision Date 11/02/2021 REVISIONS PER CITY COMMENTS Description of Changes

Sheet Number

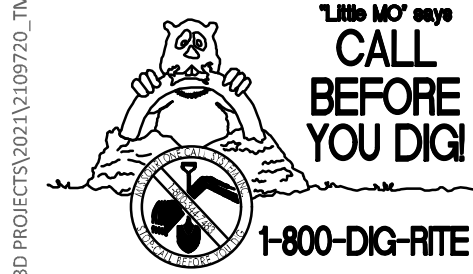
Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY

C-402

ISSUED FOR CONSTRUCTION

EROSION CONTROL DETAILS

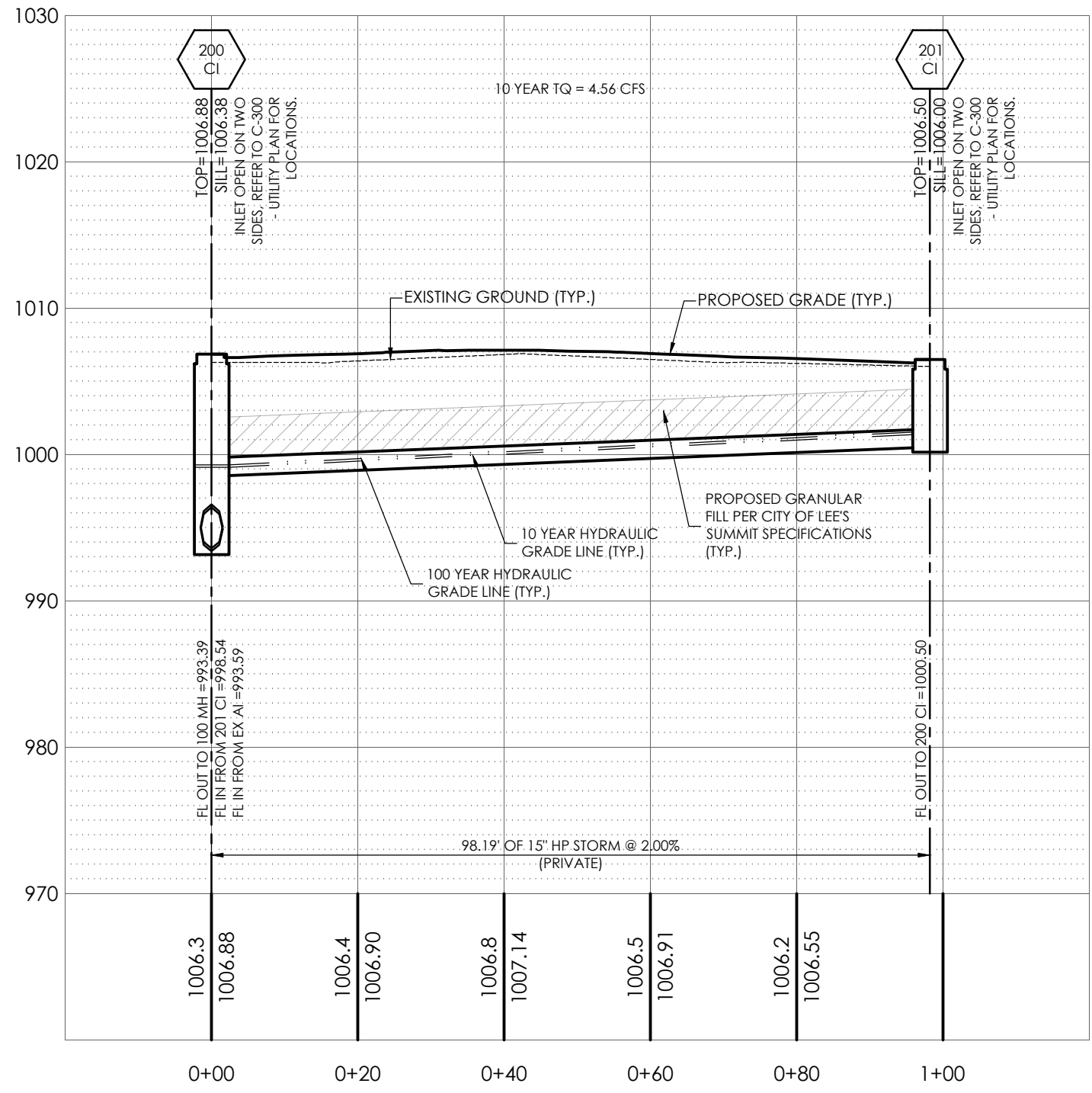
\\va011-jr\va011\civil_3d\PROJECTS\2021\1109720_TMC_Dutch_Lee Summit\ENGINEERING\CONSTRUCTION\DRAWINGS\SHEETS\STORM SEWER\PROFILES.dwg



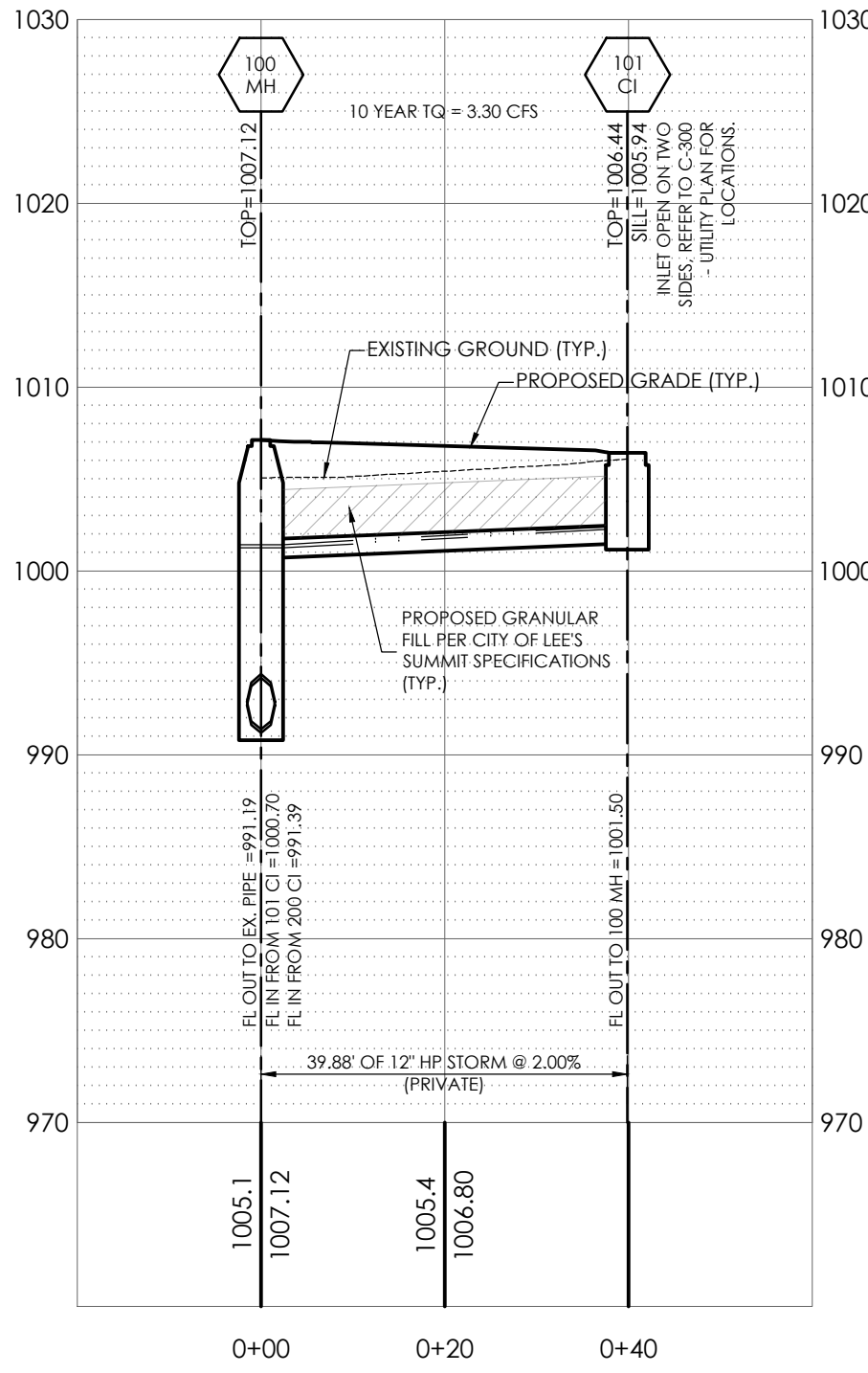
UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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10 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	LineSize	InvertUp	InvertDn	LineSlope	Grnd/Rim/Elev Up	Grnd/Rim/Elev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSl ope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
			(ft)	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-100	101 CI	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.78**	1002.28	1001.26	4.16	-87.458	7.28	0.39	1.00 z	0	n/a	5.46	3.3	3.3	0.02	100	3.3	0	0	n/a
2	201-200	104 CI	98.19	15	1000.5	998.54	2	1006.5	1006.88	0.86**	1001.37	999.14	5.14	-87.844	7.89	0.39	1.00 z	0	0.39	9.88	4.56	4.56	0.02	100	4.56	0	0	n/a

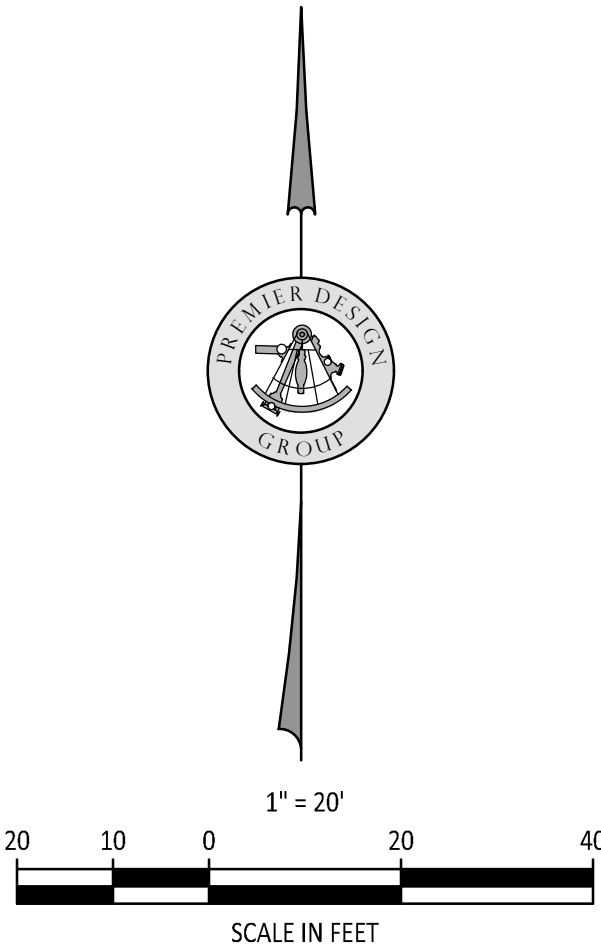
100 YEAR STORM HYDRAULICS				LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSl ope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
LineNo.	LineID	InletID	LineLength	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-100	101 CI	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.91**	1002.41	1001.45	4.03	-87.458	7.88	0.67	1.00 z	0	n/a	5.46	4.95	4.95	0.02	100	4.95	0	0	n/a
2	201-200	104 CI	98.19	15	1000.5	998.54	2	1006.5	1006.88	1.05**	1001.55	999.3	4.95	-87.844	8.69	0.6	1.00 z	0	n/a	9.88	6.84	6.84	0.02	100	6.84	0	0	n/a



STORM SEWER PROFILE
201 CI TO 200 CI
1"=20' HORIZONTAL
1"=10' VERTICAL



STORM SEWER PROFILE
101 MH TO 100 CI
1"=20' HORIZONTAL
1"=10' VERTICAL



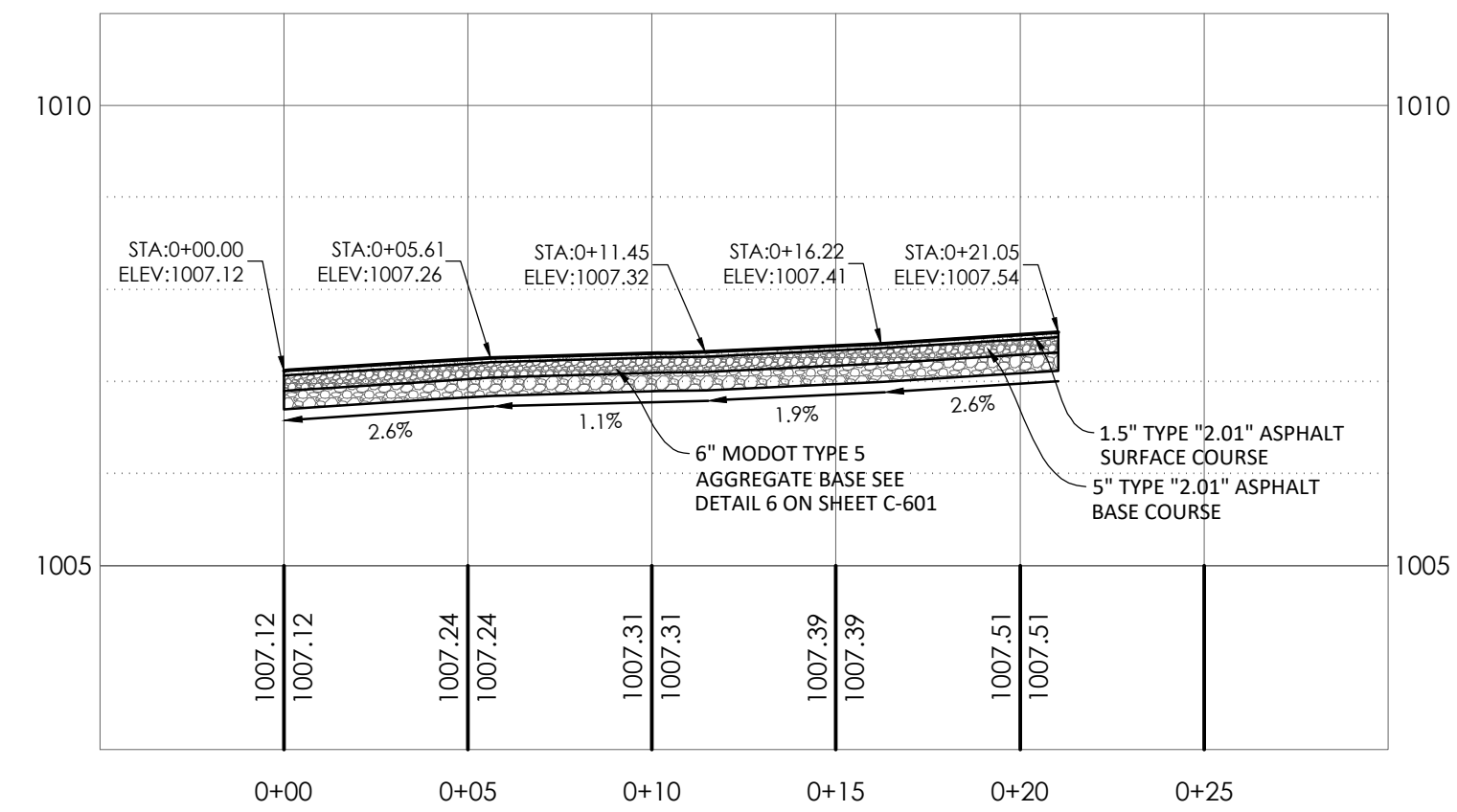
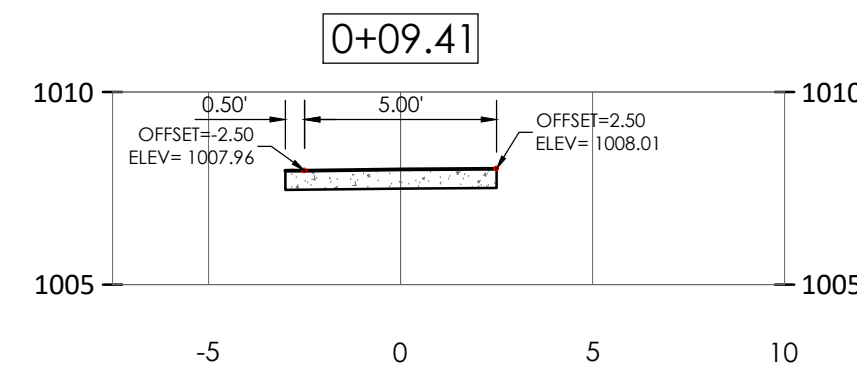
DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project		Date	
LEE'S SUMMIT, MO		9-30-2021	
#	Revision Date	Description of Changes	Sheet Title
2	11-05-2021	REVISIONS PER CITY COMMENTS	STORM SEWER PROFILES

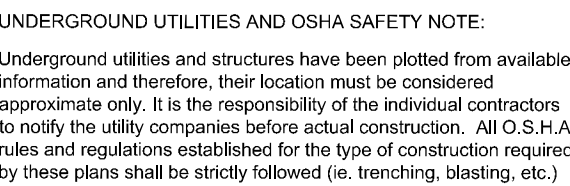
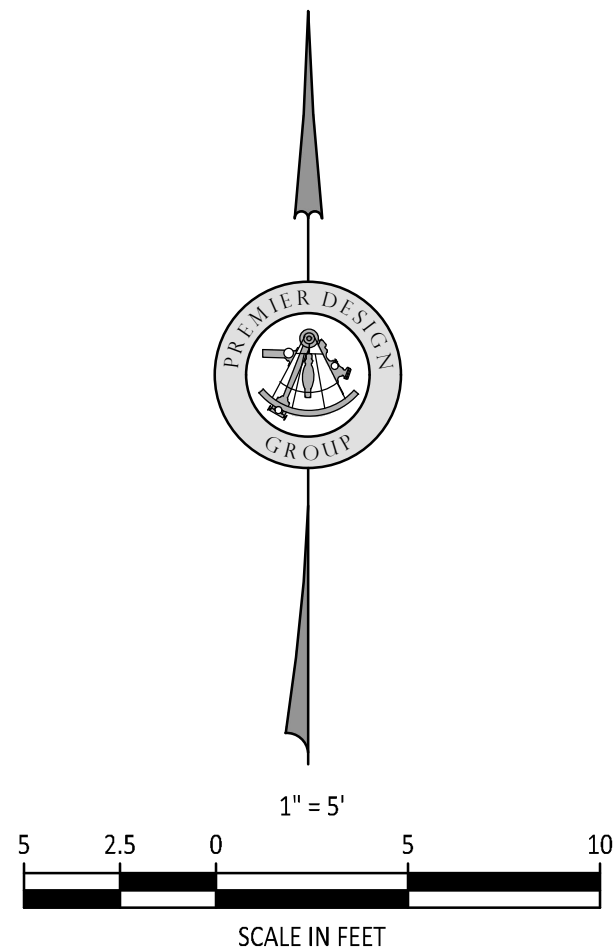
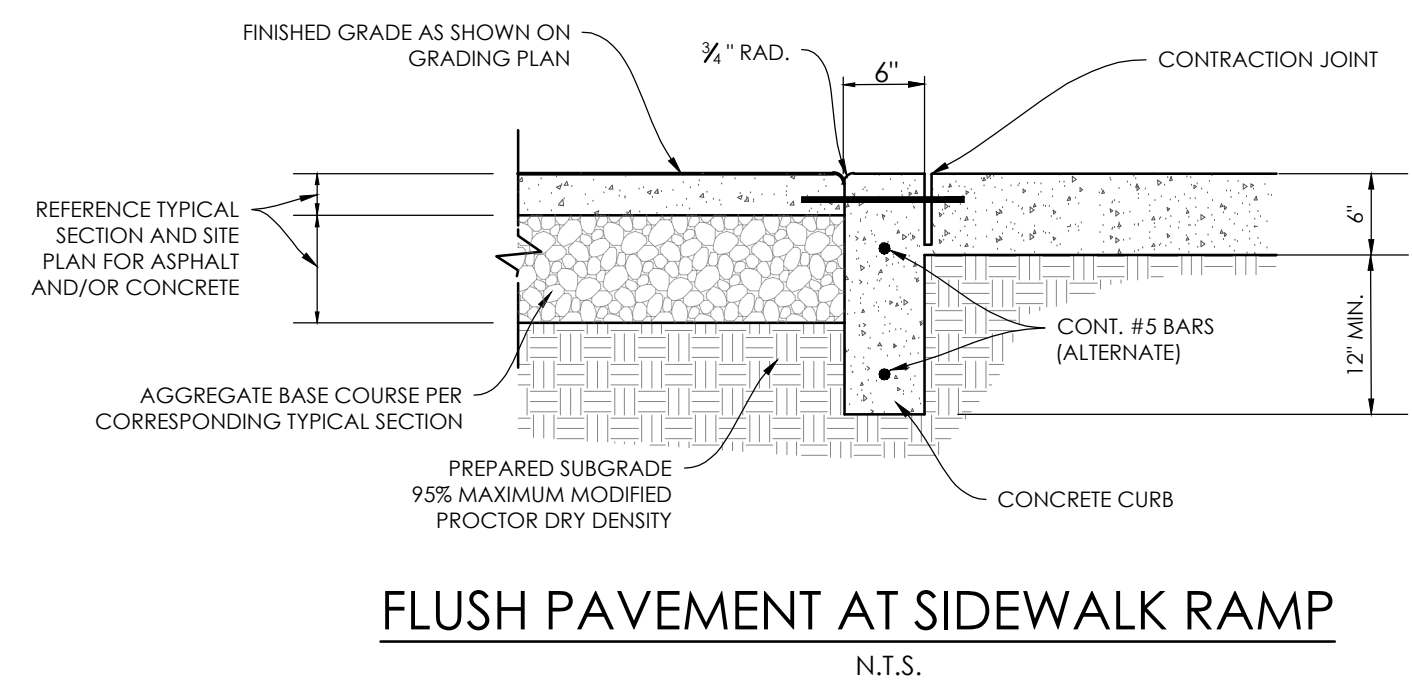
Sheet Number	
C-500	
Project No.	2109720
Drawn By	A. JONES
Checked By	M. FOGARTY
ISSUED FOR CONSTRUCTION	

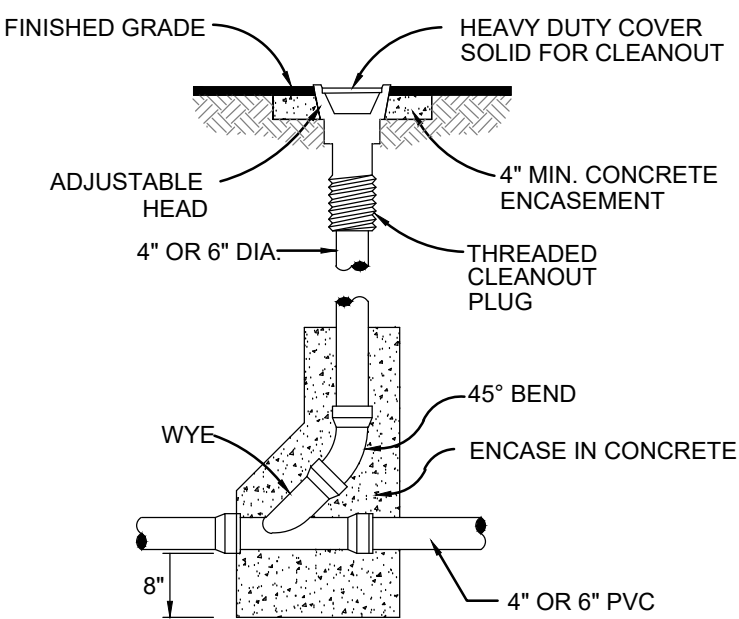
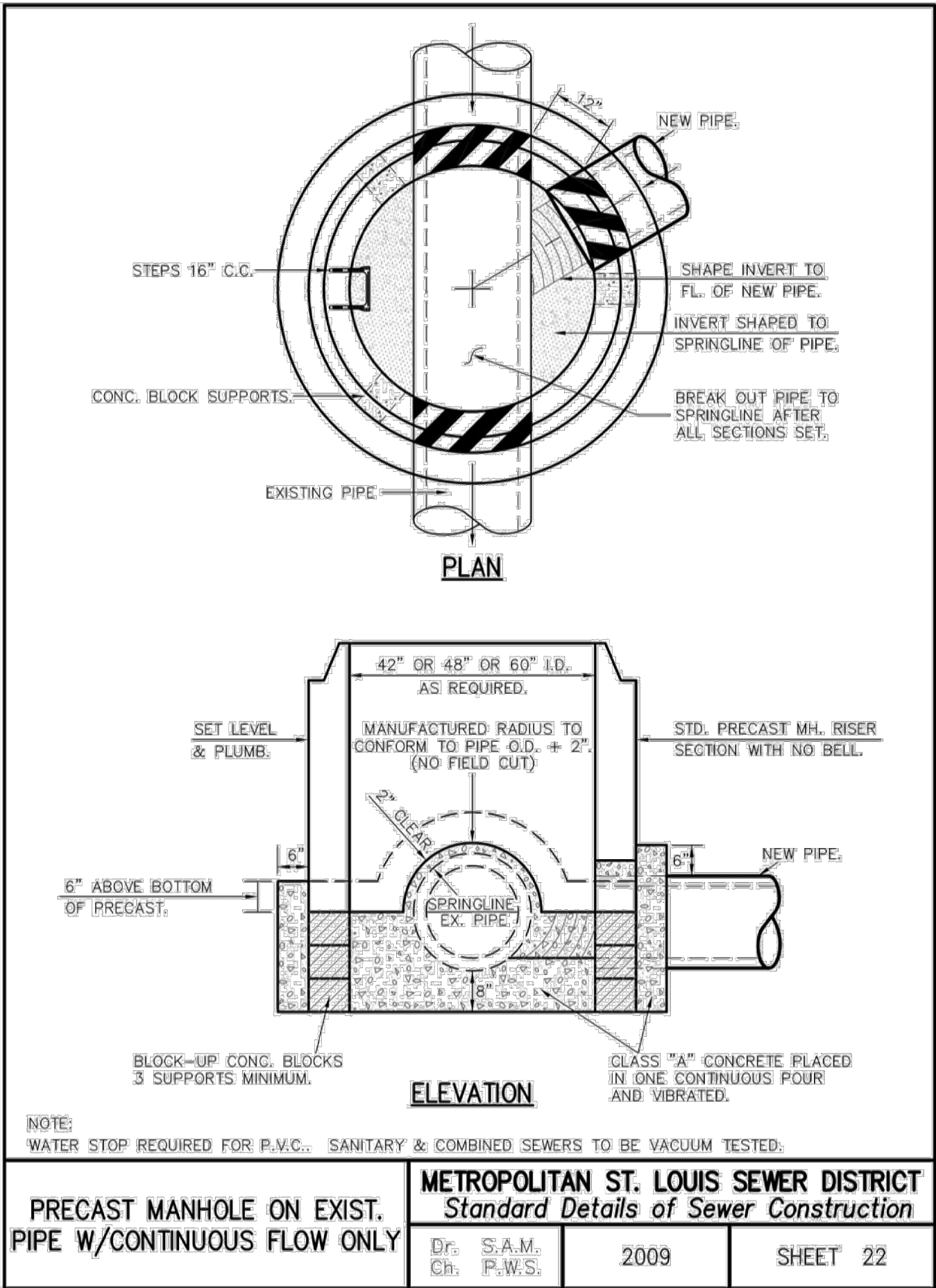
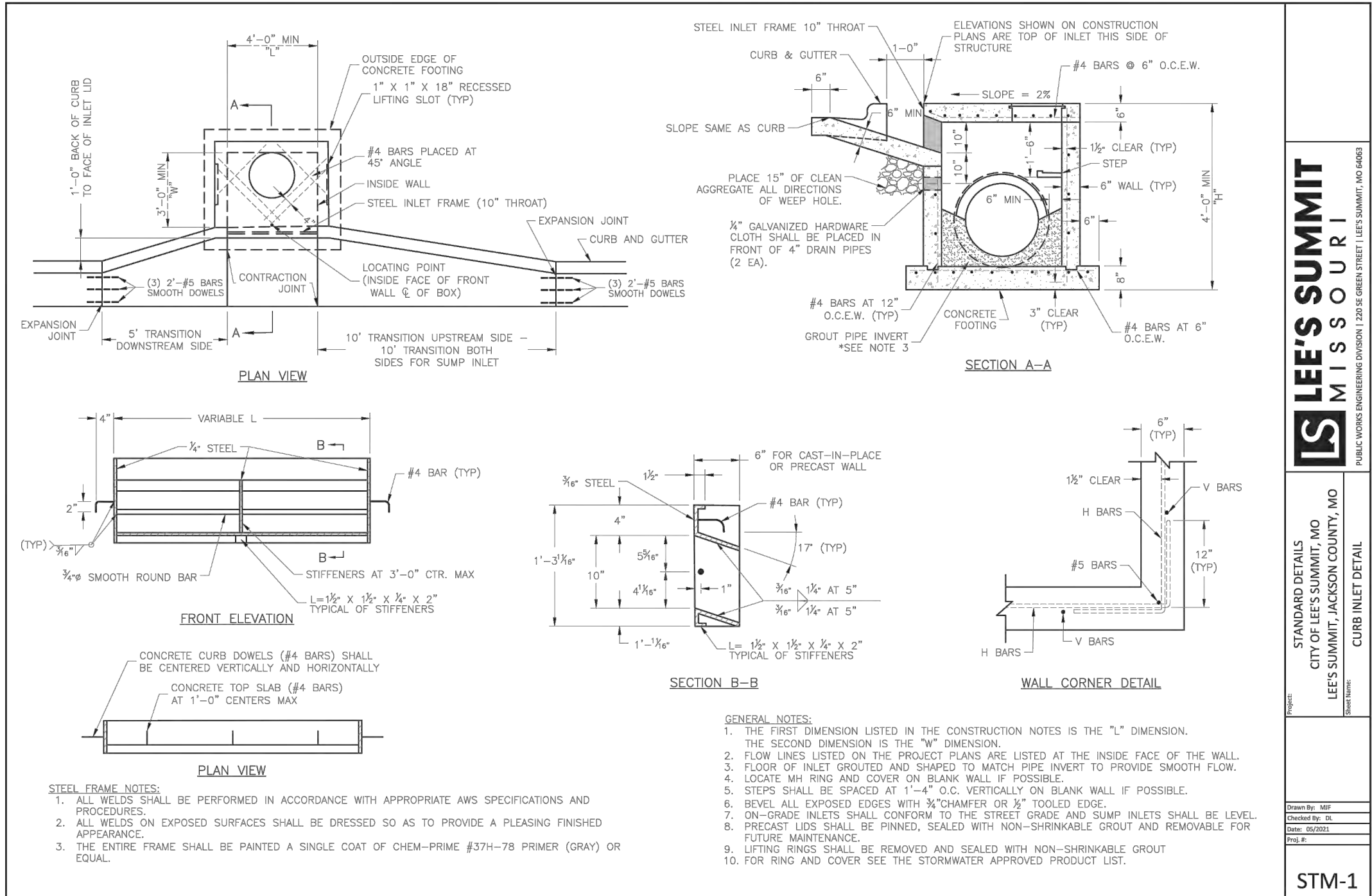
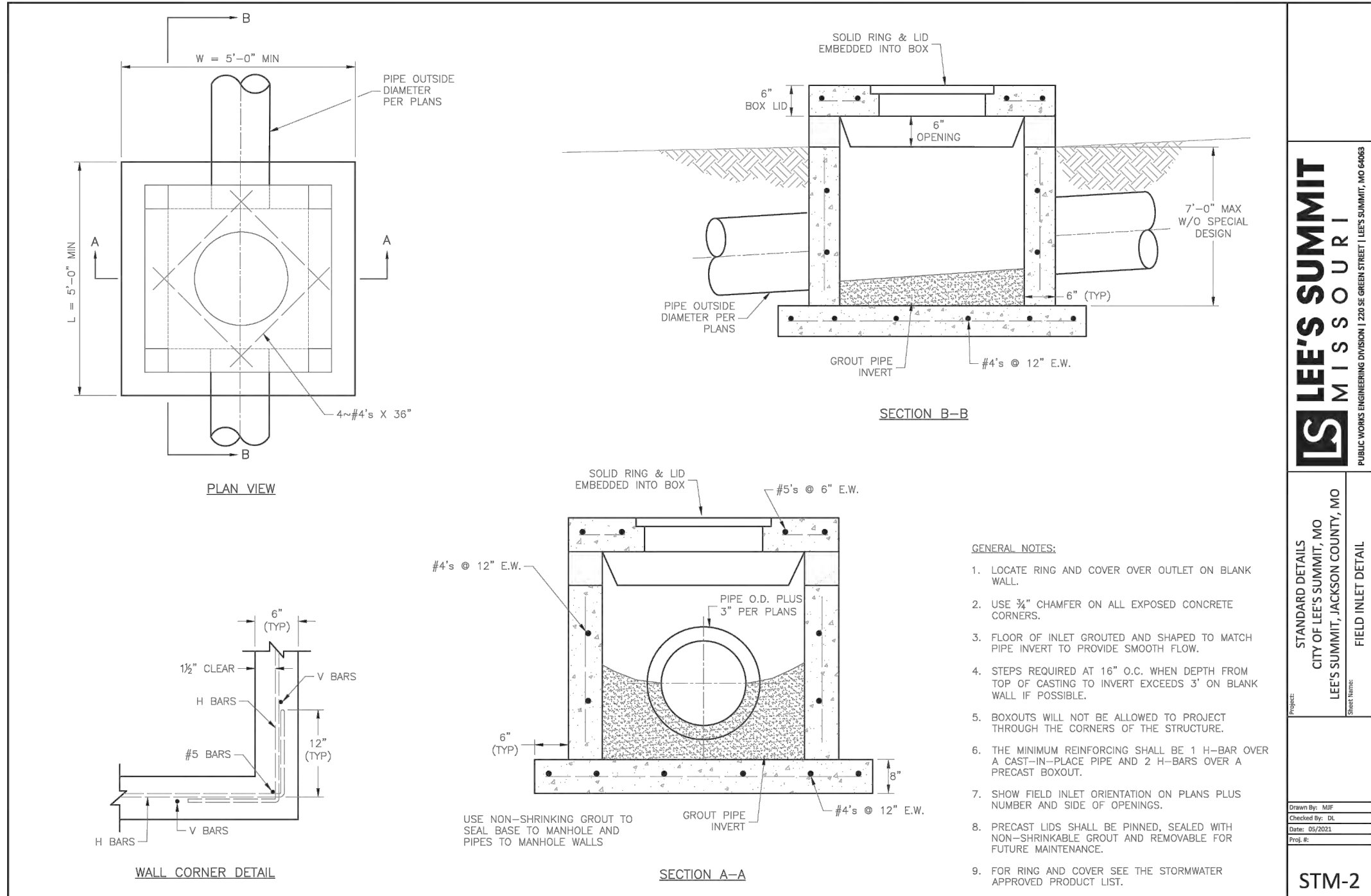
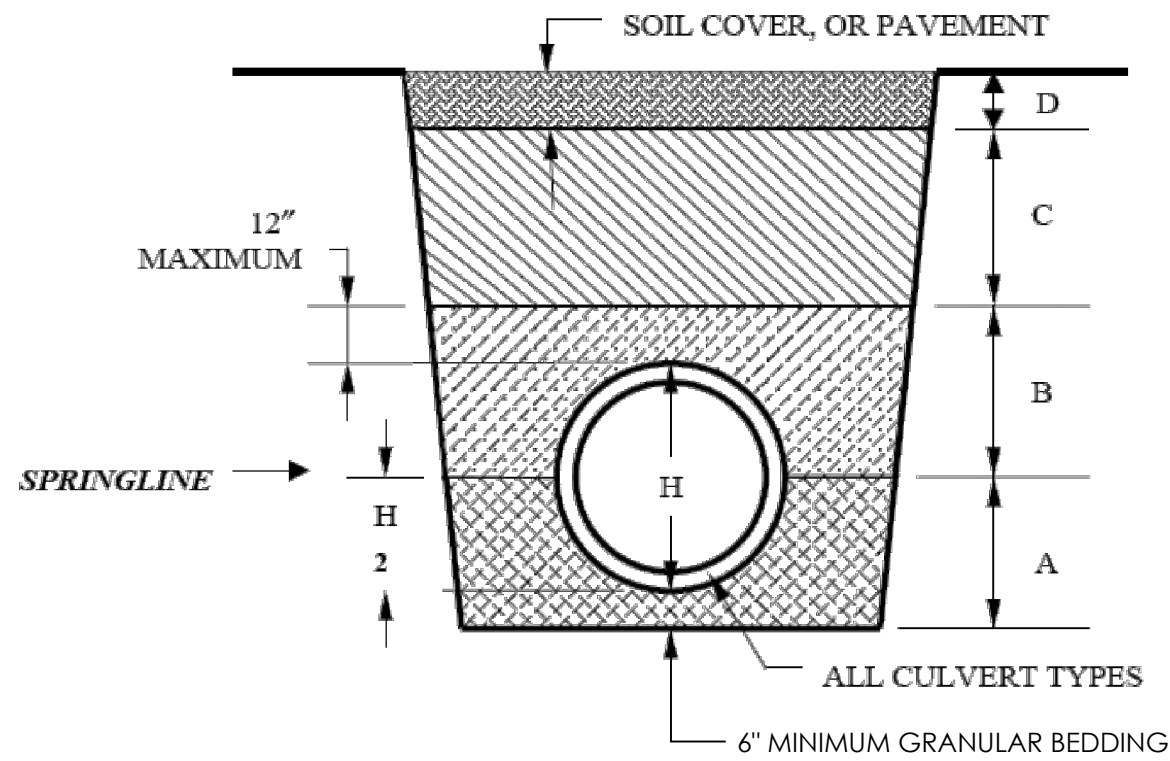
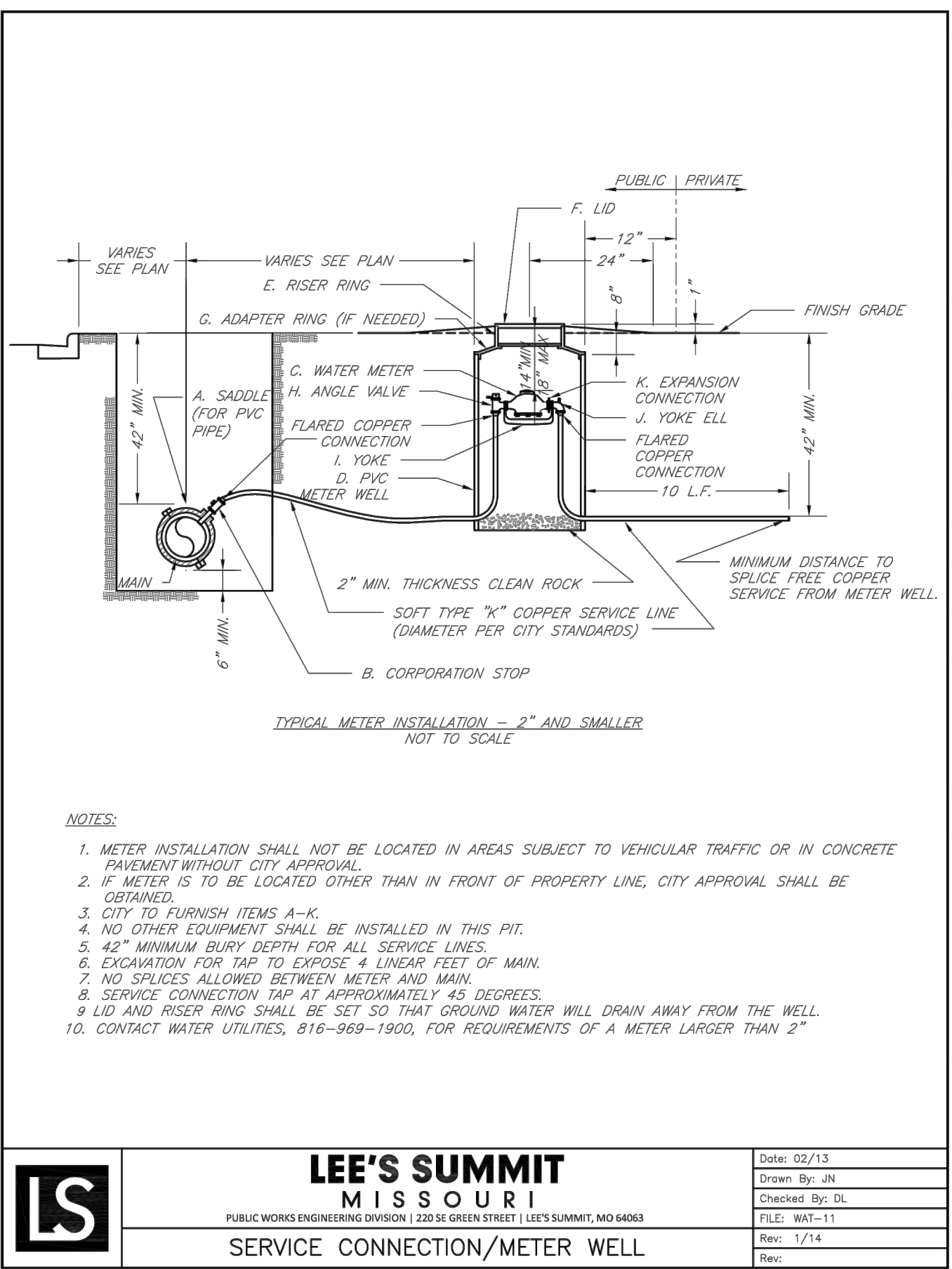
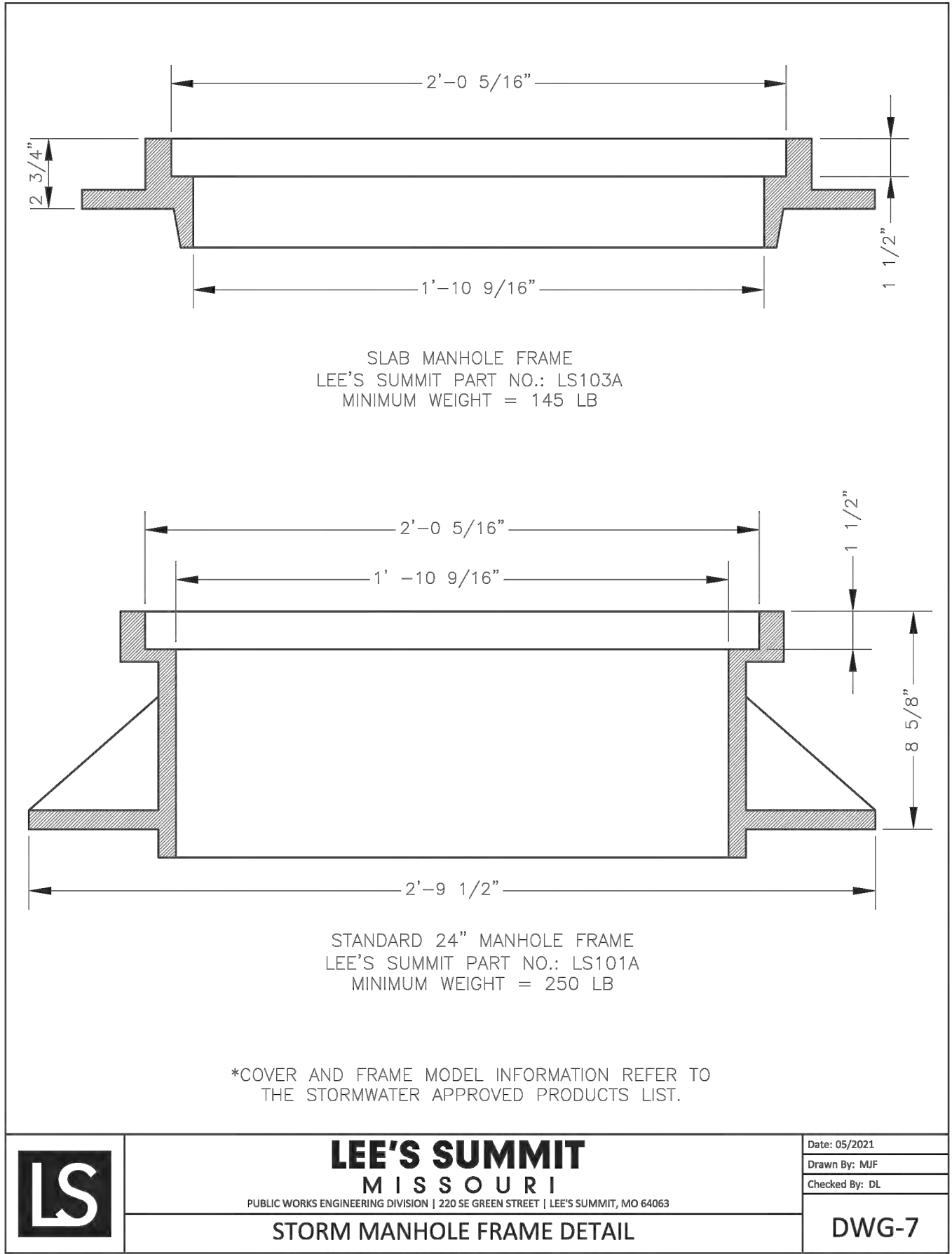
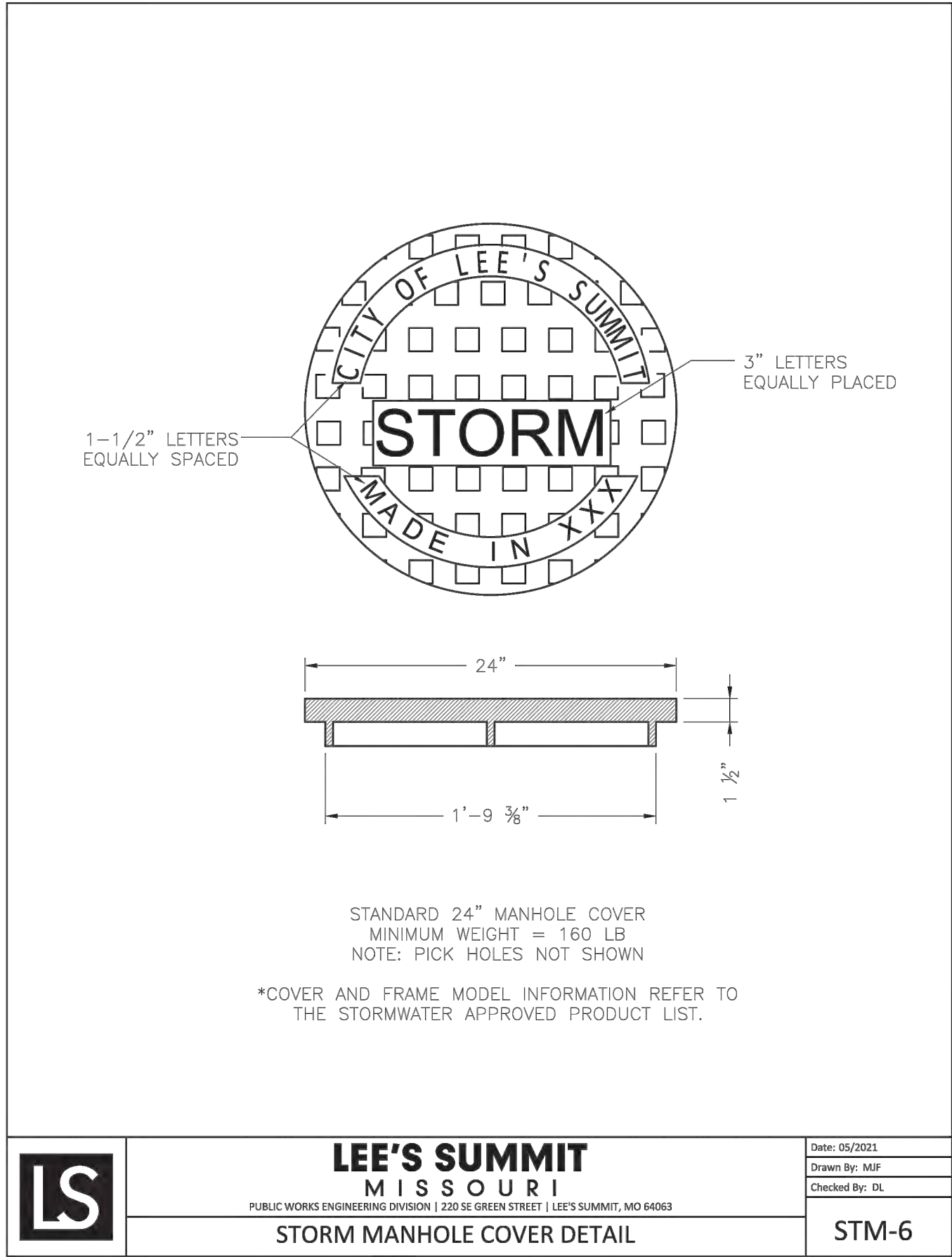
PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #S-2006000031
MISSOURI CERTIFICATE OF AUTHORITY #S-2006002819

ENGINEERS AUTHENTICATION
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STEVEN D. MARON P.E.
PROFESSIONAL ENGINEER
PE 2006007195



1. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION
2. ADA MAXIMUM RAMP SLOPE = 8.33%
3. ADA MAXIMUM CROSS SLOPE = 2.0%
4. DURING INSPECTION PROCESS, SIDEWALKS THAT EXCEED THE MAXIMUM ALLOWABLE SLOPES AT ALL WILL BE REJECTED.





CLEANOUT DETAIL
(NOT TO SCALE)

PREMIER DESIGN GROUP

100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #4-2000000031
MISSOURI CERTIFICATE OF AUTHORITY #4-2000007819

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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAY RD.
LEE'S SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
2	11-05-2021	REVISIONS PER CITY COMMENTS

Sheet Title

C-700

Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY

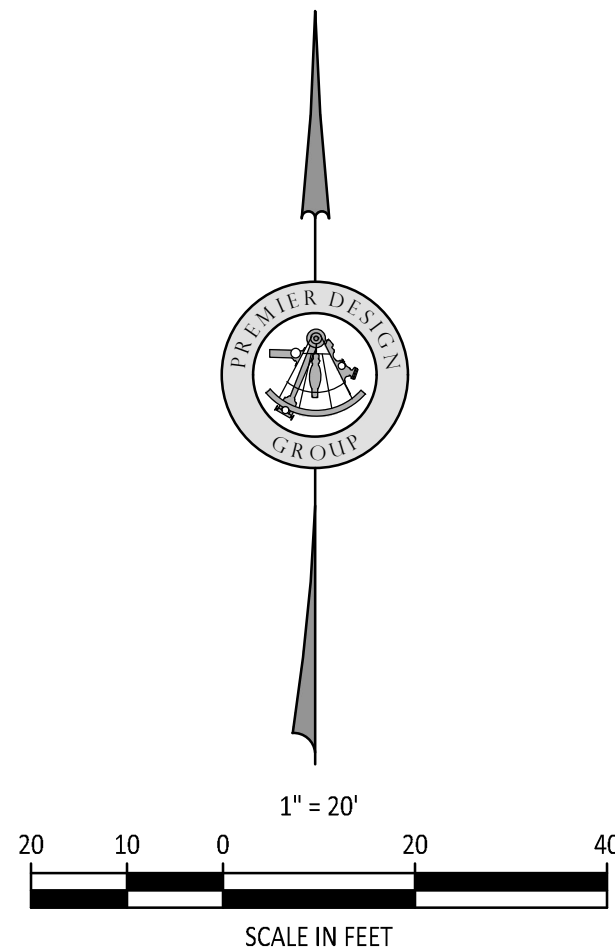
ISSUED FOR CONSTRUCTION

UTILITY DETAILS

MINIMUM TIME OF CONCENTRATION = 5 MINUTES
EXISTING SOILS TYPE = C
CN PVMT = 98
CN GRASS = 74
CN COMMERCIAL AREAS = 94

1. MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1008.00
2. THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

ID	EXISTING Q (CFS)
AREA A	
2-Year	3.46
10-Year	7.31
100-Year	12.87
AREA B	
2-Year	0.39
10-Year	0.59
100-Year	0.86



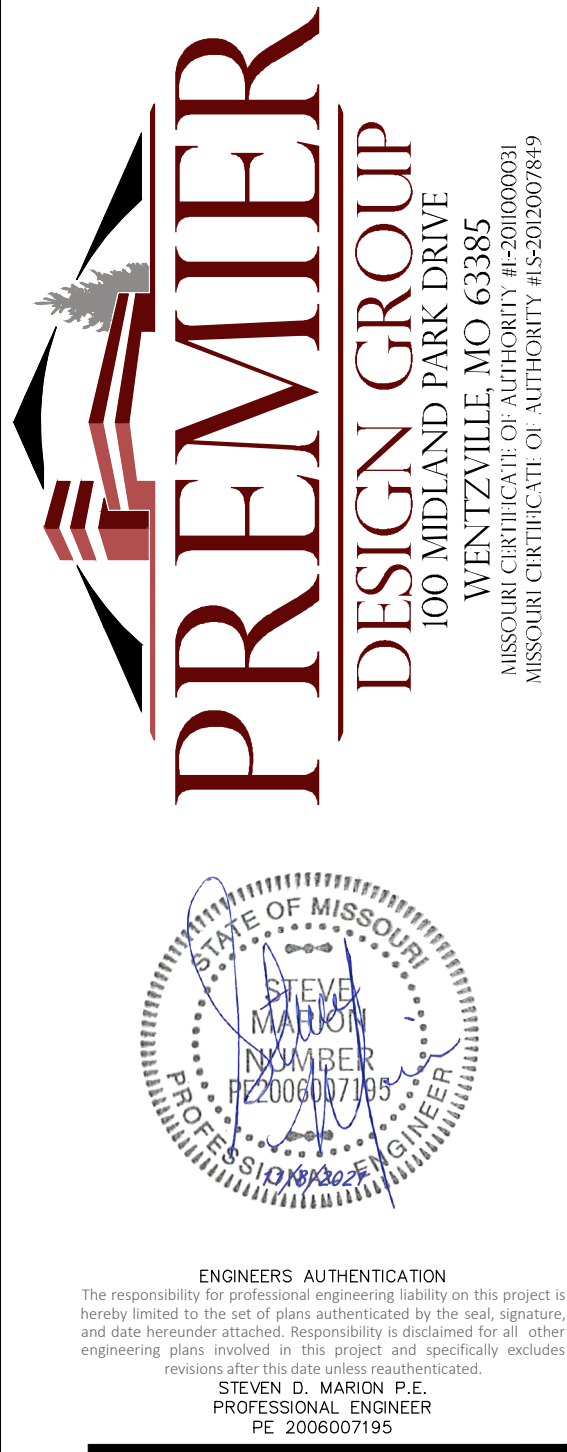
Project _____

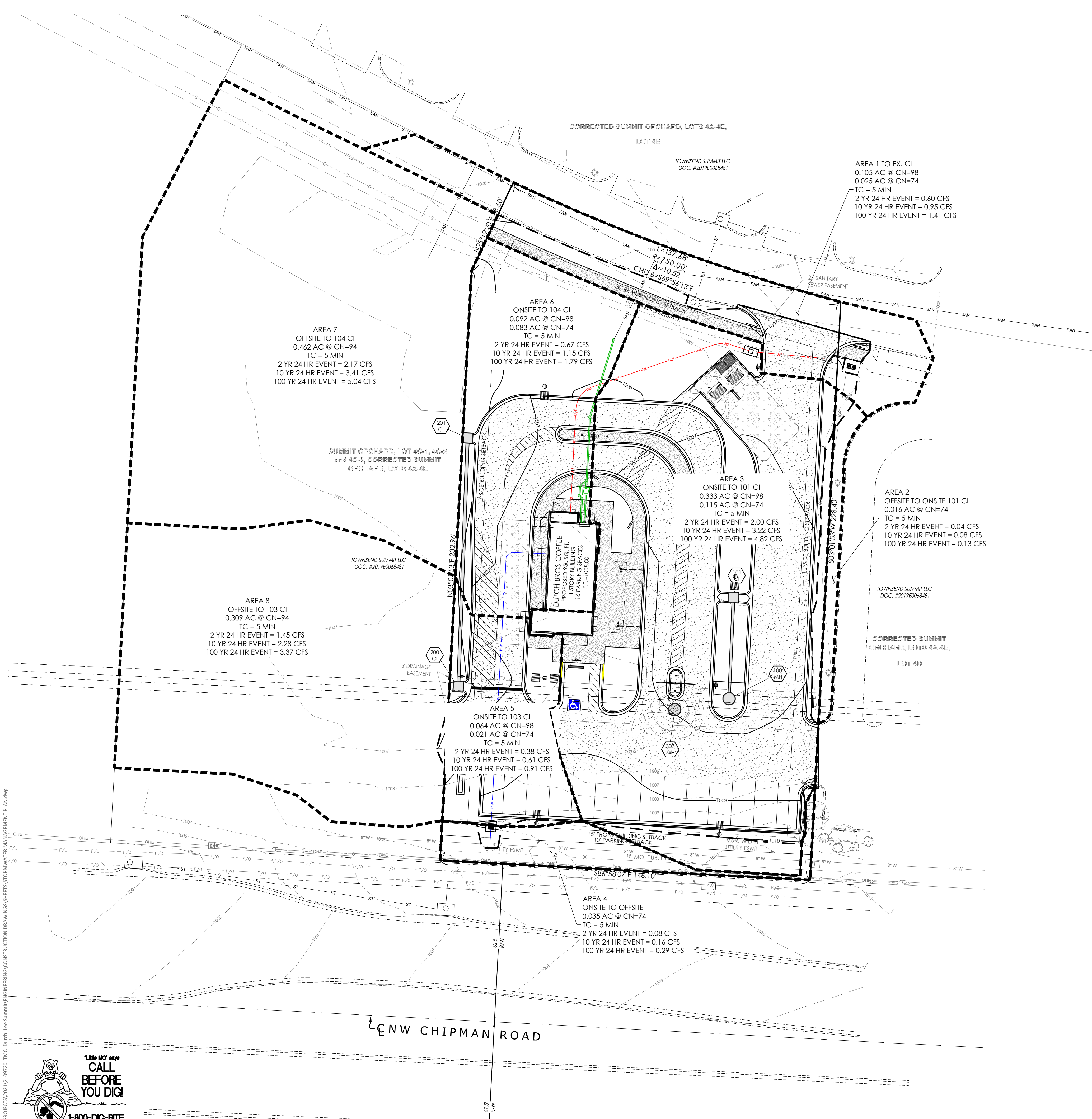
Date 9-30-2021

Sheet Number

ISSUED FOR CONSTRUCTION

EXISTING DRAINAGE AREA MAP





V:\Users\j\p\work\CIVIL 3D PROJECTS\2021\109720_TMAC_Dutch_Lee Summit\ENGINEERING\CONSTRUCTION DRAWINGS\SHEETS\STORMWATER MANAGEMENT PLAN.dwg

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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- MINIMUM TIME OF CONCENTRATION = 5 MINUTES
EXISTING SOILS TYPE = C
CN PVT = 98
CN GRASS = 74
CN COMMERCIAL AREAS = 94
- MASTER DRAINAGE PLAN NOTES**
- MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1008.00
 - THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

Row Labels	Peak Runoff (cfs)	Impervious Area	Pervious Area	Total Area	Composite CN	TC
AREA 1						
2-Year	0.60	0.105	0.025	0.13	93	5
10-Year	0.95	0.105	0.025	0.13	93	5
100-Year	1.41	0.105	0.025	0.13	93	5
AREA 2						
2-Year	0.04	0	0.016	0.016	74	5
10-Year	0.08	0	0.016	0.016	74	5
100-Year	0.13	0	0.016	0.016	74	5
AREA 3						
2-Year	2.00	0.333	0.115	0.448	92	5
10-Year	3.22	0.333	0.115	0.448	92	5
100-Year	4.82	0.333	0.115	0.448	92	5
AREA 4						
2-Year	0.08	0	0.035	0.035	74	5
10-Year	0.16	0	0.035	0.035	74	5
100-Year	0.29	0	0.035	0.035	74	5
AREA 5						
2-Year	0.38	0.064	0.021	0.085	92	5
10-Year	0.61	0.064	0.021	0.085	92	5
100-Year	0.91	0.064	0.021	0.085	92	5
AREA 6						
2-Year	0.67	0.092	0.083	0.175	87	5
10-Year	1.15	0.092	0.083	0.175	87	5
100-Year	1.79	0.092	0.083	0.175	87	5
AREA 7						
2-Year	2.17	0.462	0	0.462	94	5
10-Year	3.41	0.462	0	0.462	94	5
100-Year	5.04	0.462	0	0.462	94	5
AREA 8						
2-Year	1.45	0.309	0	0.309	94	5
10-Year	2.28	0.309	0	0.309	94	5
100-Year	3.37	0.309	0	0.309	94	5

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #S-2006000081

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STEVEN D. MARON P.E.
PROFESSIONAL ENGINEER
PE 2006007195

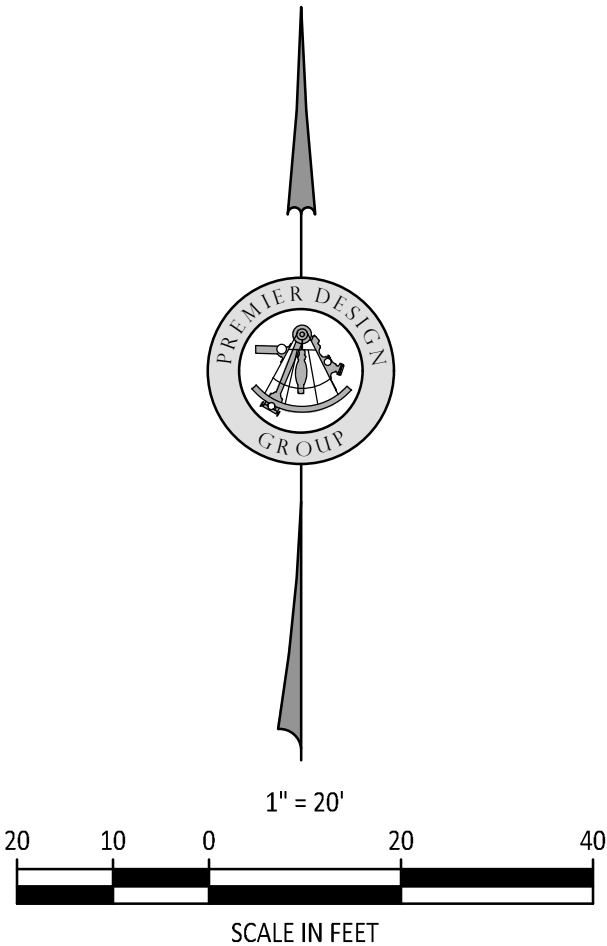
DUTCH BROS
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INDIANAPOLIS, IN 46280

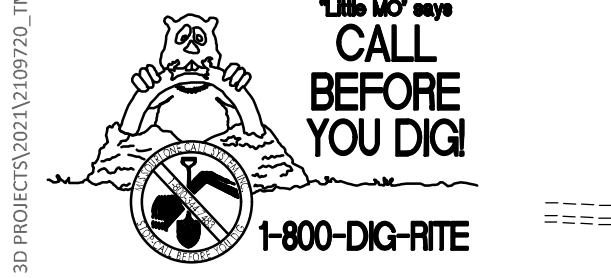
Project
Date
Revision Date
Revision Number
Description of Changes
Sheet Title

STORMWATER MANAGEMENT PLAN

C-801

Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY
ISSUED FOR CONSTRUCTION





UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	B & B	3" CAL	
CF	5	CORNUS FLORIDA	FLOWERING DOGWOOD	B & B	3" CAL	
SI	6	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	3" CAL	
TH	7	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	15 GAL		6' TALL MIN.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
BG	6	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	3 GAL		
CA	27	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL		
EC	7	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	3 GAL		
PD	2	PHYSOCARPUS OPUULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3 GAL		
RG	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL		
SY	1	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	3 GAL		
VI, CA	9	VIBURNUM CARLESII 'COMPACTUM'	KOREAN SPICE VIBURNUM	3 GAL		

LANDSCAPE PLAN NOTES:

- GENERAL:
- ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARDS.
 - ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
 - UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL MISSOURI ONE CALL 1-800-DIG-RITE)
 - PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUND COVER TO WITHIN 12" OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN THE AREA.
 - IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
 - VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
 - REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION.
 - STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
 - PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
 - ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 - ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
 - ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE IN ACCORDANCE TO GUIDELINES SET BY AAN STANDARDS. TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

- INSURANCE:
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.
- MULCH:
- ALL MULCH TO BE SHREDDED OAK BARK MULCH AT 3" DEPTH AFTER COMPACTION (UNLESS OTHERWISE NOTED). MULCH SHALL BE CLEAN AND FREE OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, MOLD, DELETERIOUS MATERIALS, ETC. PROVIDE 4" DIAMETER MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED OAK BARK MULCH.
 - MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL MULCH BEDS.
 - LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE SPADE CUT EDGE.
- MAINTENANCE:
- LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUND COVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
 - CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.

- TOPSOIL:
- TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF MINIMUM 4" MINIMUM AND GRADE SMOOTH.
 - PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
 - ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL.
 - LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH.

- MISC. MATERIAL:
- PROVIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.
 - TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.

- TURF:
- ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS NOTED OTHERWISE WITH A TURF-TYPE KENTUCKY BLUE GRASS-RESCUE MIX. LAWN AREAS SHALL BE UNCONDITIONALLY WARRANTED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE.
 - ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED AND THE SOD SHALL HAVE STAKES PLACED.
 - ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
 - RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
 - SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE.
 - OFF-SITE LAND DISTURBED SHALL BE SODDED AND RESTORED TO A CONDITION BETTER THAN EXISTING.

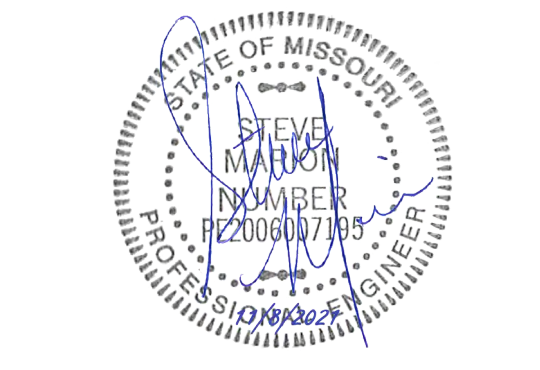
- SIGHT TRIANGLES:
- NO LANDSCAPE MATERIAL OR OTHER OBSTRUCTIONS SHALL BE PLACED OR BE MAINTAINED WITHIN THE SIGHT DISTANCE AREA SO AS NOT TO IMPEDE THE VISION BETWEEN A HEIGHT OF THIRTY INCHES (30") AND TEN FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.
 - THE TRIANGLE ADJACENT TO STREET INTERSECTIONS SHALL BE FORMED BY MEASURING FROM THE POINT OF INTERSECTION OF THE FRONT AND SIDE LOT LINES A DISTANCE OF 20' MINIMUM ALONG SAID FRONT AND SIDE LOT LINES AND CONNECTING THE POINTS SO ESTABLISHED TO FORM THE SIGHT TRIANGLE AREA.
 - SIGHT TRIANGLES AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE ACCESS WAY (EXCEPT FOR SINGLE FAMILY RESIDENCES) SHALL ALSO BE FORMED AS OUTLINED IN NOTE #2 ABOVE.

- WARRANTY:
- ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
 - ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
 - ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
 - LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

LANDSCAPE PLAN REQUIREMENTS

- REQUIRED FRONT YARD LANDSCAPING
 - ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE
 - ONE SHRUB REQUIRED FOR EACH 20 FEET OF STREET FRONTAGE
 - REQUIRED OPEN YARD LANDSCAPING
 - ONE TREE FOR EVERY 5,000 SQ. FT. OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES
 - TWO SHRUBS PER 5,000 SQ. FT. OF TOTAL LOT AREA
 - REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
 - REFER TO LANDSCAPE PLAN FOR SCREENING OF TRASH ENCLOSURE.
- PROVIDED FRONT YARD LANDSCAPING
- TREES PROVIDED - 283.78' OF STREET FRONTAGE / 30 FEET = 10 TREES
 - SHRUBS PROVIDED - 283.78' OF STREET FRONTAGE / 20 FEET = 14 SHRUBS
- PROVIDED OPEN YARD LANDSCAPING
- TREES PROVIDED - 36,068 SQ. FT. - 950 BLDG SQ. FT. = 35,118 SQ. FT. / 5,000 SQ. FT. = 7 TREES
 - SHRUBS PROVIDED - 36,068 SQ. FT. / 5,000 SQ. FT. = 7.2 x 2 = 15 SHRUBS
- REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
- REFER TO LANDSCAPE PLAN - 7 EMERALD ARBORVITAE PROVIDED

SEED AND MULCH WITH GUARANTEE FOR ESTABLISHMENT OF GRASS WITHIN 3-6 MONTHS.



ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the art of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date notes were developed.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

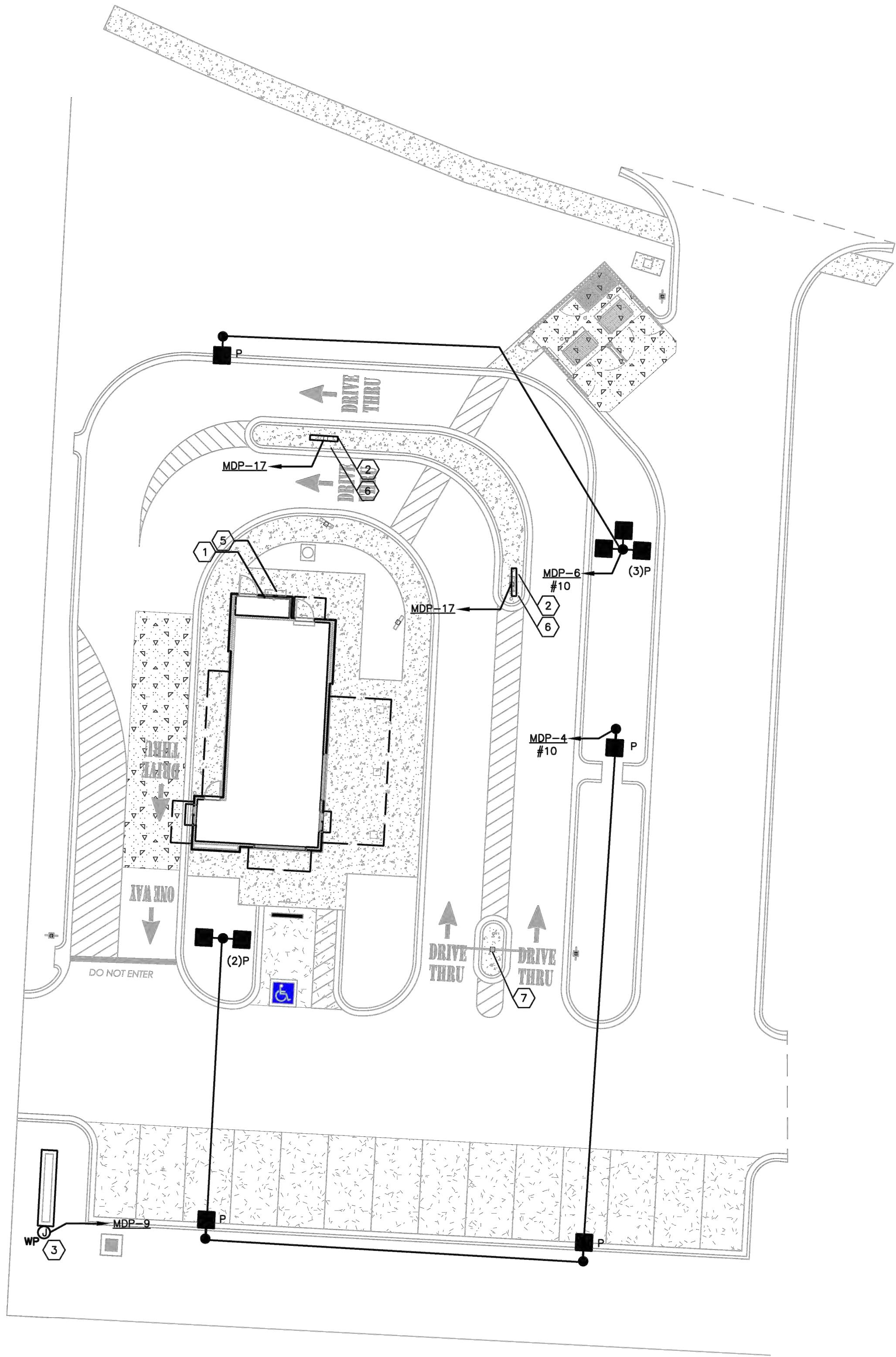
DUTCH BROS
LEE'S SUMMIT, MO
500 NW CHIPMAN RD.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
9-30-2021

#	Revision Date	Description of Changes
1	10-21-2021	REVISIONS PER CITY COMMENTS
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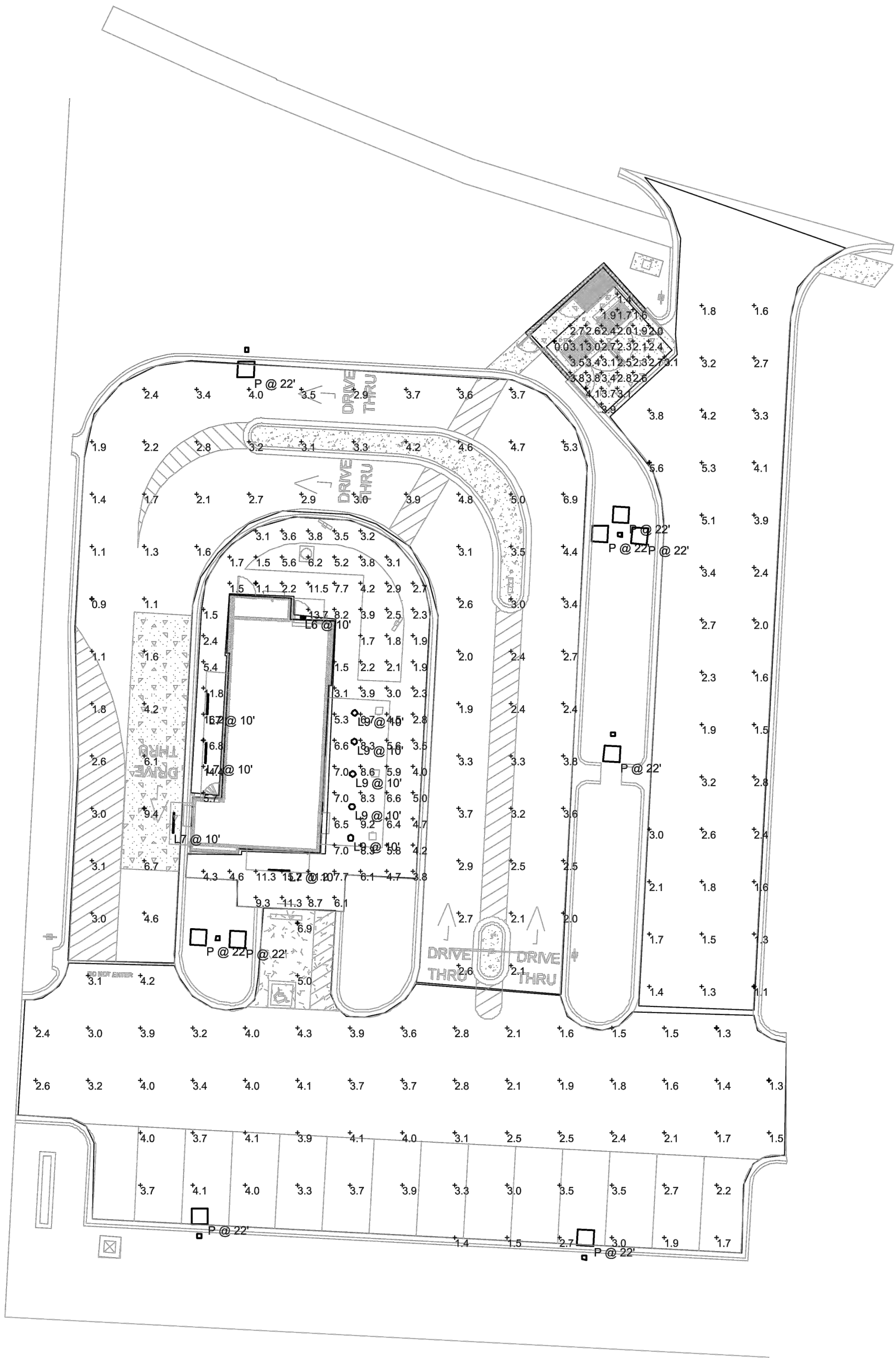
Sheet Number
L-100
Project No. 2109720
Drawn By A. JONES
Checked By M. FOGARTY
ISSUED FOR CONSTRUCTION

LANDSCAPE PLAN







PLAN NORTH
1
ELECTRICAL SITE PLAN
1/16" = 1'-0"
0 8' 16' 32'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building	+	5.7 fc	16.8 fc	1.1 fc	15.3:1	5.2:1
Drive Thru	+	3.2 fc	9.4 fc	0.9 fc	10.4:1	3.6:1
Drive Way	+	2.7 fc	5.6 fc	1.1 fc	5.1:1	2.5:1
Parking	+	3.0 fc	6.9 fc	1.3 fc	5.3:1	2.3:1
Trash	+	2.7 fc	4.1 fc	0.0 fc	N/A	N/A



PLAN NORTH
2
SITE PHOTOMETRIC PLAN
1/16" = 1'-0"
0 8' 16' 32'

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	L6	1	RAB LIGHTING INC.	WPLED26-WPLED26/D10 (WALLPACK) - ALED26-ALED26/D10 (AREA LIGHTER)	CAST FINNED METAL HOUSING, MACHINED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SEMI-SPECULAR FINISH, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.	1	3474	0.92	30
	L7	4	Self	WPLED26-WPLED26/D10 (WALLPACK) - ALED26-ALED26/D10 (AREA LIGHTER)	CROWN-L90-277V 830_BA110	1	4200	0.92	40
	L9	5	DMF LIGHTING	DRDS-4R-10930	DRDS-4R-10930	1	1015	0.92	11.8
	P	9	NLS Lighting	NV-1-T4-48L-1-40K-UNV-HSS	T4 OPTICS WITH BLACK HSS	1	9674	0.92	156

KEYED NOTES

- 1 LOCATION OF UTILITY METER DISCONNECT SWITCH AND CT CABINET. REFER TO "RISER DIAGRAM" ON SHEET E3.01.
- 2 PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#6G. IN 2" PVC ROUTED BELOW GRADE FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL COME UP IN CENTER OF POST. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS/DIMENSIONS FOR GC TO MATCH. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- 3 PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#6G. IN 2" PVC ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- 4 NOT USED.
- 5 LOCATION OF CABLE INTERNET DEMARC
- 6 PROVIDE 2" CONDUIT W/ PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE . COORDINATE W/ SIGN MANUFACTURER.
- 7 PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGNAGE AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.

MIN. DUTCH BROS REQUIREMENTS:

- SFTC AT BUILDING
- SFTC AT SITE/PARKING
- SFTC AT TRASH ENCLOSURE

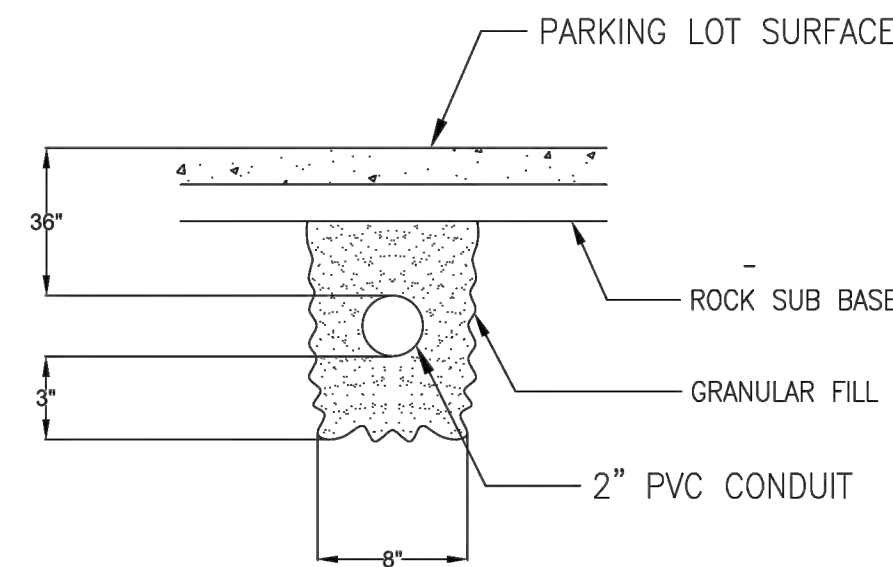
SEE S1.4 FOR POLE BASE DETAIL

GENERAL NOTES

1. FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER, AND SANITARY SEWER LOCATIONS; SEE CIVIL SITE PLAN.
2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS. INCOMING POWER AND TELEPHONE SERVICES IS EXISTING TO REMAIN. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

SITE NOTES

WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.



3 TRENCHING DETAIL

E100 SCALE: N.T.S.



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XX.XX.XX

Project No: MO0102
Dutch Bros Coffee - New Freestanding Store
500 NW Chipman Road, Lee's Summit, Missouri 64086
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT:
10.8.2021

REV	DATE	DESCRIPTION

SHEET NAME:

ELECTRICAL
SITE & PHOTOMETRIC
PLAN

SHEET NUMBER:

E0.01