

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 420 SW LONGVIEW BLVD IN DISTRICT PMIX, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2020-224 submitted by Box Real Estate Development, LLC, requesting approval of a preliminary development plan in District PMIX (Planned Mix Use District) on land located at 420 SW Longview Blvd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on October 8, 2020, and rendered a report to the City Council containing findings of fact and a recommendation that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 17, 2020, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and,

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

Lot 7, TOWER PARK COMMERCIAL - PHASE 2, Lots 5, 6, 7, Tracts A and B, a subdivision in Lee's Summit, Jackson County, Missouri.

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated August 25, 2020. The architectural style and building materials for the proposed new building shall be consistent with the building elevations date issued August 6, 2020 and August 26, 2020.
2. Alternate Parking ratios based on the ULI Shared Parking Analysis Study dated April 3, 2003, shall be approved as part of the preliminary development plan for Lot 7 in accordance with Article 8, Division II (Parking) of the UDO.

**BILL NO. 20-202****ORDINANCE NO. 9012**

3. The applicant shall prepare descriptions of right-of-way vacations and any necessary easements for the following locations prior to final occupancy:

Excess right-of-way along the west side of SW Longview Blvd shall be vacated between SW Fascination Dr to SW Kessler Dr, generally including the existing slip lanes and angle parking in order to mirror the right-of-way limits along the east side of SW Longview Blvd.

SECTION 3. That development shall be in accordance with the preliminary development plan, issued August 25, 2020, and building elevations issued August 6, 2020, August 26, 2020 as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 1st day of December, 2020.

  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

  
for Stacy Lombardo  
City Clerk Trisha Fowler Arcuri

**BILL NO. 20-202**

**ORDINANCE NO. 9012**

APPROVED by the Mayor of said city this 1<sup>st</sup> day of December, 2020.

  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

  
\_\_\_\_\_  
City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney Brian Head





LOT 9  
TOWER PARK COMMERCIAL PHASE 2  
OWNER: SALE COMMUNITIES INC.

LOT 9  
TOWER PARK COMMERCIAL PHASE 2  
LOTS 5 & 7 TRACTS 4 & B  
310 SW TOWER PARK DRIVE  
OWNER: JIMMIE LONGVIEW LLC

NO SW LONGVIEW BLDG  
OWNER: JIMMIE LONGVIEW LLC  
LOT 9  
TOWER PARK COMMERCIAL PHASE 2  
LOTS 5 & 7 TRACTS 4 & B

### GRADING LEGEND:

2.00' 0"	GPS SPOT ELEVATION
1.00' 0"	PROPOSED TOP OF CURB ELEVATION
1.00' 0"	PROPOSED PAVEMENT SURFACE ELEVATION
1.00' 0"	FINISHED FLOOR ELEVATION
---	EXISTING CONTOUR
---	PROPOSED CONTOUR

\* ALL SIDEWALKS TO BE INSTALLED WITH 1" MINIMUM CURB ELEVATION

### PAVEMENT LEGEND:

[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	EXISTING ASPHALT PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	EXISTING CONCRETE PAVEMENT
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	EXISTING CONCRETE SIDEWALK
[Symbol]	PROPOSED 12" DRAIN & CULVERT
[Symbol]	PROPOSED 12" DRAIN & CULVERT - OPEN
[Symbol]	EXISTING 12" DRAIN & CULVERT
[Symbol]	REMOVE EXISTING ASPHALT PAVEMENT
[Symbol]	REMOVE EXISTING CONCRETE SIDEWALK

### GRADING NOTES:

- NO EXISTING GRADE OR ELEVATION DATA WAS OBTAINED FOR THE EXISTING GRADE. THE PROPOSED GRADE IS BASED ON THE PROPOSED PAVEMENT SURFACE ELEVATION.
- RECONSTRUCT EXISTING DRAIN AND CULVERT UNDER NEW PAVEMENT. ALL EXISTING DRAIN AND CULVERT SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
- INSTALL 12" DRAIN AND CULVERT UNDER NEW PAVEMENT. ALL EXISTING DRAIN AND CULVERT SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
- ALL EXISTING ASPHALT PAVEMENT SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
- ALL EXISTING CONCRETE PAVEMENT SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
- ALL EXISTING CONCRETE SIDEWALK SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
- ALL EXISTING CONCRETE SIDEWALK SHALL BE RECONSTRUCTED TO A MINIMUM OF 12" DRAIN AND CULVERT.
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**SCHLAGEL**  
PLANNERS ARCHITECTS  
PREPARED BY  
SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

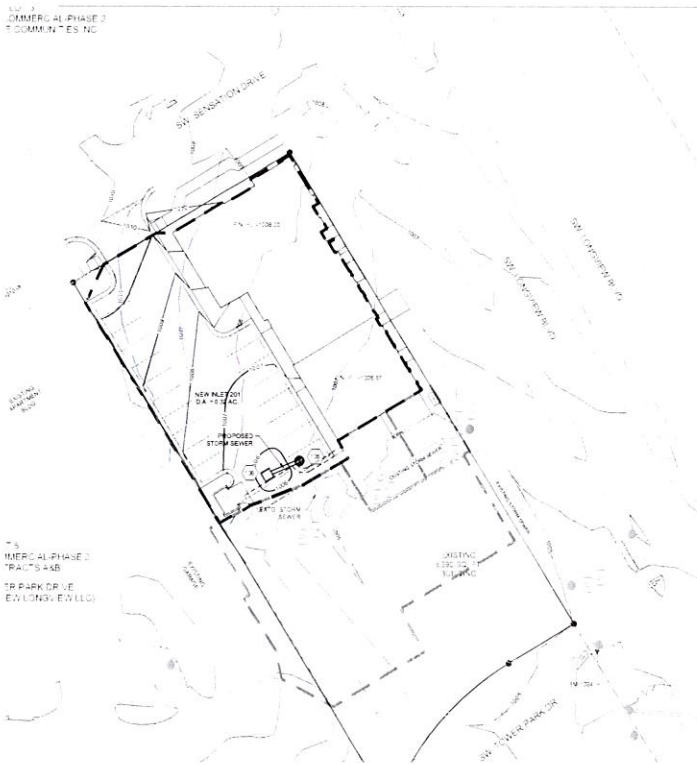
STATE OF THE PROJECT: SEVEN (7) DAYS FROM THE DATE OF THE PLAN REVIEW  
PROJECT BENCHMARK: 1.000' ASL, PLANNING MAP NUMBER 00000000 DATED JANUARY 22, 2017



**PROJECT BENCHMARK:**  
WILSONVILLE, MISSOURI  
ON 12/15/2016 AT 10:00 AM  
PROJECT BENCHMARK: 1.000' ASL, PLANNING MAP NUMBER 00000000 DATED JANUARY 22, 2017

SCALE: 1" = 100'  
SHEET: C2.0

COMMERCIAL PHASE 2  
ECONOMICS INC.



7-5  
IMMERCIAL-PHASE 2  
TRACTS A&B  
120 PARK DRIVE  
E.W. LONG, E.W. LLC

1847-1848 OF THE 1840-1841, 1842-1843, 1844-1845, 1846-1847, 1848-1849, 1850-1851, 1852-1853, 1854-1855, 1856-1857, 1858-1859, 1860-1861, 1862-1863, 1864-1865, 1866-1867, 1868-1869, 1870-1871, 1872-1873, 1874-1875, 1876-1877, 1878-1879, 1880-1881, 1882-1883, 1884-1885, 1886-1887, 1888-1889, 1890-1891, 1892-1893, 1894-1895, 1896-1897, 1898-1899, 1900-1901, 1902-1903, 1904-1905, 1906-1907, 1908-1909, 1910-1911, 1912-1913, 1914-1915, 1916-1917, 1918-1919, 1920-1921, 1922-1923, 1924-1925, 1926-1927, 1928-1929, 1930-1931, 1932-1933, 1934-1935, 1936-1937, 1938-1939, 1940-1941, 1942-1943, 1944-1945, 1946-1947, 1948-1949, 1950-1951, 1952-1953, 1954-1955, 1956-1957, 1958-1959, 1960-1961, 1962-1963, 1964-1965, 1966-1967, 1968-1969, 1970-1971, 1972-1973, 1974-1975, 1976-1977, 1978-1979, 1980-1981, 1982-1983, 1984-1985, 1986-1987, 1988-1989, 1990-1991, 1992-1993, 1994-1995, 1996-1997, 1998-1999, 2000-2001, 2002-2003, 2004-2005, 2006-2007, 2008-2009, 2010-2011, 2012-2013, 2014-2015, 2016-2017, 2018-2019, 2020-2021, 2022-2023, 2024-2025, 2026-2027, 2028-2029, 2030-2031, 2032-2033, 2034-2035, 2036-2037, 2038-2039, 2040-2041, 2042-2043, 2044-2045, 2046-2047, 2048-2049, 2050-2051, 2052-2053, 2054-2055, 2056-2057, 2058-2059, 2060-2061, 2062-2063, 2064-2065, 2066-2067, 2068-2069, 2070-2071, 2072-2073, 2074-2075, 2076-2077, 2078-2079, 2080-2081, 2082-2083, 2084-2085, 2086-2087, 2088-2089, 2090-2091, 2092-2093, 2094-2095, 2096-2097, 2098-2099, 2100-2101, 2102-2103, 2104-2105, 2106-2107, 2108-2109, 2110-2111, 2112-2113, 2114-2115, 2116-2117, 2118-2119, 2120-2121, 2122-2123, 2124-2125, 2126-2127, 2128-2129, 2130-2131, 2132-2133, 2134-2135, 2136-2137, 2138-2139, 2140-2141, 2142-2143, 2144-2145, 2146-2147, 2148-2149, 2150-2151, 2152-2153, 2154-2155, 2156-2157, 2158-2159, 2160-2161, 2162-2163, 2164-2165, 2166-2167, 2168-2169, 2170-2171, 2172-2173, 2174-2175, 2176-2177, 2178-2179, 2180-2181, 2182-2183, 2184-2185, 2186-2187, 2188-2189, 2190-2191, 2192-2193, 2194-2195, 2196-2197, 2198-2199, 2200-2201, 2202-2203, 2204-2205, 2206-2207, 2208-2209, 2210-2211, 2212-2213, 2214-2215, 2216-2217, 2218-2219, 2220-2221, 2222-2223, 2224-2225, 2226-2227, 2228-2229, 2230-2231, 2232-2233, 2234-2235, 2236-2237, 2238-2239, 2240-2241, 2242-2243, 2244-2245, 2246-2247, 2248-2249, 2250-2251, 2252-2253, 2254-2255, 2256-2257, 2258-2259, 2260-2261, 2262-2263, 2264-2265, 2266-2267, 2268-2269, 2270-2271, 2272-2273, 2274-2275, 2276-2277, 2278-2279, 2280-2281, 2282-2283, 2284-2285, 2286-2287, 2288-2289, 2290-2291, 2292-2293, 2294-2295, 2296-2297, 2298-2299, 2300-2301, 2302-2303, 2304-2305, 2306-2307, 2308-2309, 2310-2311, 2312-2313, 2314-2315, 2316-2317, 2318-2319, 2320-2321, 2322-2323, 2324-2325, 2326-2327, 2328-2329, 2330-2331, 2332-2333, 2334-2335, 2336-2337, 2338-2339, 2340-2341, 2342-2343, 2344-2345, 2346-2347, 2348-2349, 2350-2351, 2352-2353, 2354-2355, 2356-2357, 2358-2359, 2360-2361, 2362-2363, 2364-2365, 2366-2367, 2368-2369, 2370-2371, 2372-2373, 2374-2375, 2376-2377, 2378-2379, 2380-2381, 2382-2383, 2384-2385, 2386-2387, 2388-2389, 2390-2391, 2392-2393, 2394-2395, 2396-2397, 2398-2399, 2400-2401, 2402-2403, 2404-2405, 2406-2407, 2408-2409, 2410-2411, 2412-2413, 2414-2415, 2416-2417, 2418-2419, 2420-2421, 2422-2423, 2424-2425, 2426-2427, 2428-2429, 2430-2431, 2432-2433, 2434-2435, 2436-2437, 2438-2439, 2440-2441, 2442-2443, 2444-2445, 2446-2447, 2448-2449, 2450-2451, 2452-2453, 2454-2455, 2456-2457, 2458-2459, 2460-2461, 2462-2463, 2464-2465, 2466-2467, 2468-2469, 2470-2471, 2472-2473, 2474-2475, 2476-2477, 2478-2479, 2480-2481, 2482-2483, 2484-2485, 2486-2487, 2488-2489, 2490-2491, 2492-2493, 2494-2495, 2496-2497, 2498-2499, 2500-2501, 2502-2503, 2504-2505, 2506-2507, 2508-2509, 2510-2511, 2512-2513, 2514-2515, 2516-2517, 2518-2519, 2520-2521, 2522-2523, 2524-2525, 2526-2527, 2528-2529, 2530-2531, 2532-2533, 2534-2535, 2536-2537, 2538-2539, 2540-2541, 2542-2543, 2544-2545, 2546-2547, 2548-2549, 2550-2551, 2552-2553, 2554-2555, 2556-2557, 2558-2559, 2560-2561, 2562-2563, 2564-2565, 2566-2567, 2568-2569, 2570-2571, 2572-2573, 2574-2575, 2576-2577, 2578-2579, 2580-2581, 2



**PROJECT BENCHMARK:**  
WOMANENT FOUN  
ON SE 1/4 SEC 10, SQUARE ON STORM CURB NE 1/4 SEC  
AT NORTH-WEST INTERSECTION OF SW TOWER  
PARK DRIVE AND SW LONDRIVEN BOULEVARD  
NORTHING: 399891748  
EASTING: 2802985473  
ELEV: 1054.39

1-800-344-7483 or 811  
moica.com

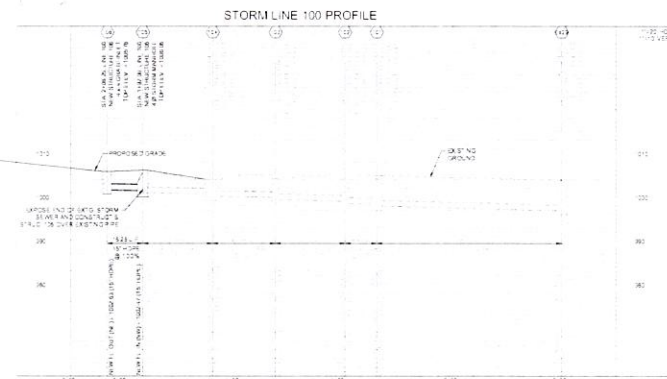
**Schlager & Associates, P.A.**

Project Name: Lower Park - Lot 7 - Phase 1  
Project #: 20-100  
Time: 6/23/2020 12:51

Design Storm	100
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Card Type: CG-1  
City: Lee's Summit

Real Composites

[illegible]

**SCHLAGEL**  
PLANNERS SURVIVORS LANDSCAPE ARCHITECTS

2012A912 JV

SCHLAZEL &amp; ASSOCIATES P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
4420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

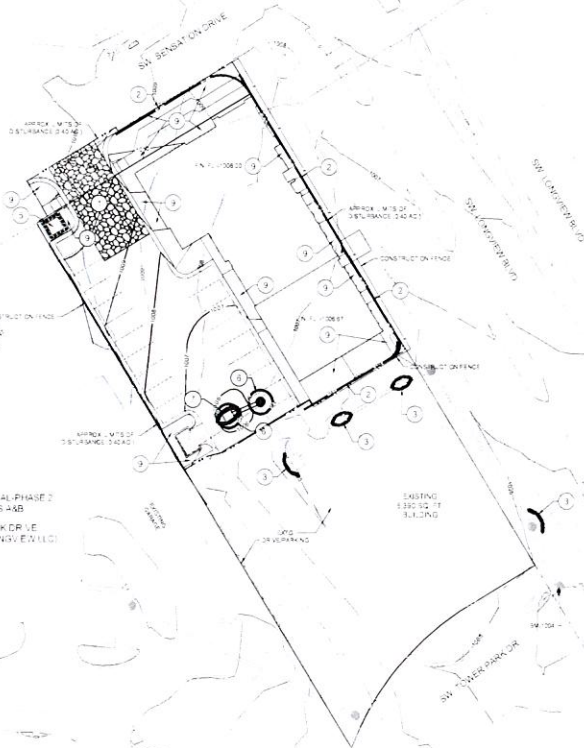
Figure 1 shows a storm sewer plan and profile. The plan view at the top shows a sewer line with manholes (MH) and a catch basin (CB) along a street. The profile view below shows the vertical alignment of the sewer line, including the invert elevations and the ground surface. The profile view is labeled "STORM SEWER PLAN AND PROFILE".

5411

C3.0



LOT 3  
TOWER PARK COMMERCIAL PHASE 2  
OWNER: SALE COMMUNITIES INC



LOT 3  
TOWER PARK COMMERCIAL PHASE 2  
LOT 5 & 7 "TRACTS 4&B"  
420 SW TOWER PARK DR  
OWNER: JIM NEW LONGVIEW LLC

420 SW LONGVIEW BLVD  
OWNER: JIM NEW LONGVIEW LLC  
LOT 8  
TOWER PARK COMMERCIAL PHASE 2  
LOT 5 & 7 "TRACTS 4&B"

NOTES: THE PROJECT IS WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA 10000 N. HAZARD MITIGATION MAP NUMBER 26060400 DATED JANUARY 22, 2017



**PROJECT BENCHMARK:**  
MONUMENT: 1000  
20' BENCH MARK: 1000  
1" = 100' SCALE: 1000  
1" = 100' SCALE: 1000  
1" = 100' SCALE: 1000

1-800-344-1813 or 811  
mofca.com

### EROSION AND SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	IMP PLAN NO.	IMP DESCRIPTION	REMOVE AT END OF STAGE	NOTES
1. SITE PREP AND DISTURBANCE	1	CONSTRUCTION IN TRAILS & STAGNO AREA	1	MAINTAIN REPAIR OR REPLACE AS NECESSARY
2. FENCE LINE AND DISTURBANCE	2	CONSTRUCTION IN TRAILS & STAGNO AREA	2	MAINTAIN REPAIR OR REPLACE AS NECESSARY
3. MASS GRADING	3	CONSTRUCTION IN TRAILS & STAGNO AREA	3	MAINTAIN REPAIR OR REPLACE AS NECESSARY
4. UTILITY CONSTRUCTION	4	CONSTRUCTION IN TRAILS & STAGNO AREA	4	MAINTAIN REPAIR OR REPLACE AS NECESSARY
5. AFTER FINISHING OPERATIONS	5	CONSTRUCTION IN TRAILS & STAGNO AREA	5	MAINTAIN REPAIR OR REPLACE AS NECESSARY
6. FINAL DISTURBANCE AND DISTURBANCE	6	CONSTRUCTION IN TRAILS & STAGNO AREA	6	MAINTAIN REPAIR OR REPLACE AS NECESSARY

### SITE SPECIFIC NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THERE ARE NO KNOWN UTILITIES OR OBSTRUCTIONS IN THE PROJECT AREA.
3. NEARBY TO THE PROJECT IS THE 100 YEAR FLOOD PLAIN PER FEMA 10000 N. HAZARD MITIGATION MAP NUMBER 26060400 DATED JANUARY 22, 2017.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

LEGEND	
1. TEMPORARY STORAGE AREA OR ACCESS	1. SILT FENCE P-20 (10' AND 30' WAYS)
2. CONSTRUCTION ENTRANCE AND EXIT	2. SILT FENCE P-20 (10' AND 30' WAYS)
3. CONSTRUCTION FENCE	3. SILT FENCE P-20 (10' AND 30' WAYS)
4. CONSTRUCTION FENCE	4. SILT FENCE P-20 (10' AND 30' WAYS)
5. CONSTRUCTION FENCE	5. SILT FENCE P-20 (10' AND 30' WAYS)
6. CONSTRUCTION FENCE	6. SILT FENCE P-20 (10' AND 30' WAYS)
7. CONSTRUCTION FENCE	7. SILT FENCE P-20 (10' AND 30' WAYS)
8. CONSTRUCTION FENCE	8. SILT FENCE P-20 (10' AND 30' WAYS)
9. CONSTRUCTION FENCE	9. SILT FENCE P-20 (10' AND 30' WAYS)
10. CONSTRUCTION FENCE	10. SILT FENCE P-20 (10' AND 30' WAYS)



PREPARED BY  
SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

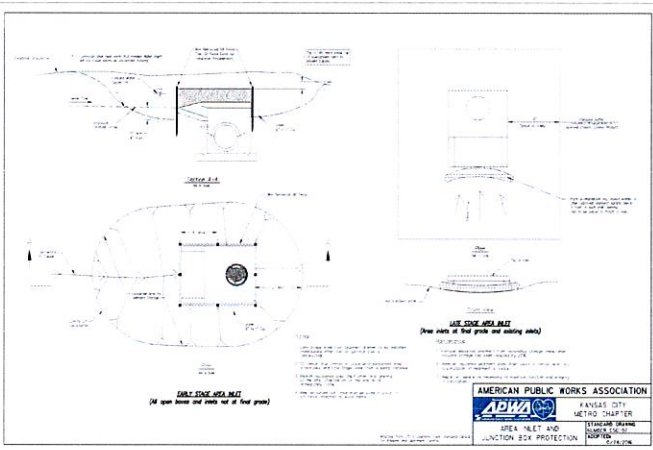
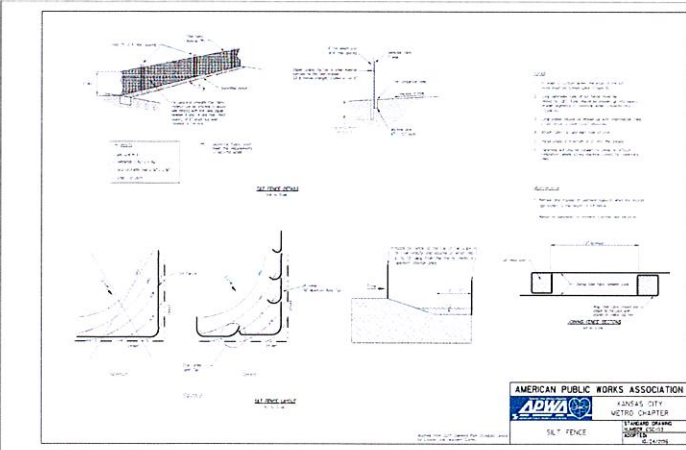
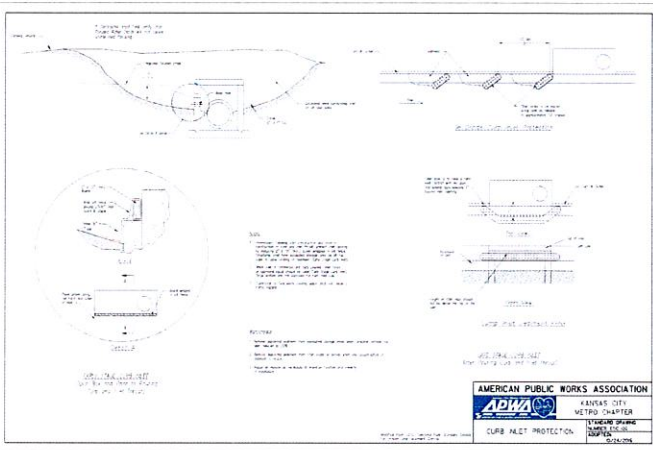
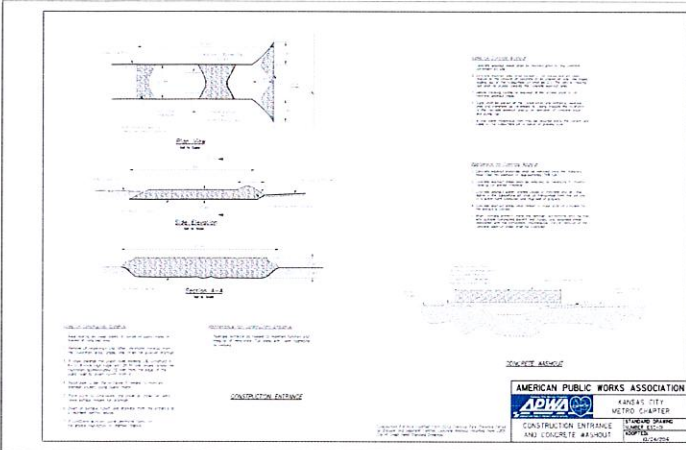
DATE	DESCRIPTION
10/1/2017	1. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	2. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	3. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	4. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	5. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	6. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	7. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	8. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	9. PRELIMINARY DEVELOPMENT PLANS
10/1/2017	10. PRELIMINARY DEVELOPMENT PLANS

REVISION  
CONTROL PLAN

SHEET

C5.0

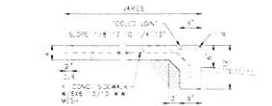




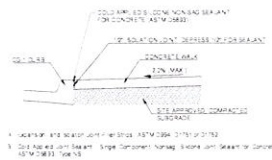


- 2 "HOLE CENTERS SHALL BE PLACED IN "HOLE CENTERS"  
3 "HOLE CENTERS" SHALL BE PLACED AT 20" CENTERS AND WHERE WALLS ARE  
4 "KEY" INTO CONCRETE  
5 "A. CONCRETE SHALL BE COMPACTED  
6 WHEN "1" SERVICE BOXES, "HOLE BOXES" OR "HOLE" SHALL BE LESS THAN  
7 "1" SQUARE FOOT BE PLACED IN THE "HOLE" AND "1" SERVICE BOXES  
8 SHALL BE PLACED IN THE "HOLE" OF THE "HOLE" AND "HOLE" SHALL BE  
9 WHEN "1" SERVICE BOXES, "HOLE BOXES" OR "HOLE" SHALL BE LESS THAN  
10 "1" SQUARE FOOT BE PLACED IN THE "HOLE" AND "1" SERVICE BOXES SHALL BE PLACED IN THE  
11 "HOLE" OF THE "HOLE" AND "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE  
12 "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE  
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16 "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE  
17 "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE PLACED IN THE "HOLE" AND "HOLE" SHALL BE  
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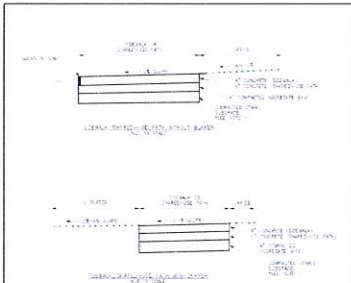
### TYPICAL CONCRETE SIDEWALK DETAILS



INTEGRAL CURB/SIDEWALK DETAIL

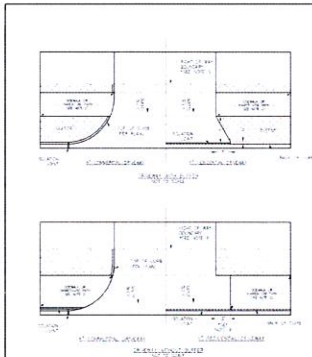


SIDEWALK @ BACK OF CURB DETAIL

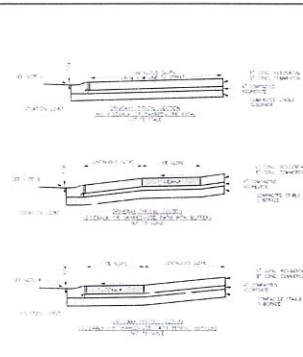


1. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
2. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
3. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
4. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
5. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
6. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
7. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
8. SUBJECT MUST BE OF SOUND MIND AND BODY AND BE ABLE TO COMPREHEND THE NATURE AND CONSEQUENCES OF HIS ACTS
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	<b>LEE'S SUMMIT</b> <b>MISSOURI</b> <small>TWIGG MORRIS ENGINEERING CONSULTANTS, LLC 225 EAST 1000 S. SUITE 200, JOLIET, ILLINOIS 61798</small>	Date: 08-17 Drawn By: JLD Checked By: JLD Printed By: JLD
	<b>SIDEWALK/SHARED-USE PATH DETAIL</b>	<b>GEN-2</b>



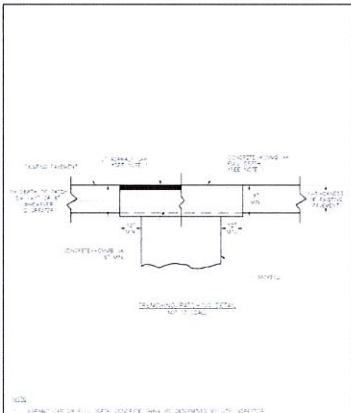
1. The purpose of this study is to determine the effect of the use of the computer on the learning of the English language. The study was conducted in a classroom setting where the students were divided into two groups. The first group used the computer for their English lessons, while the second group did not. The results of the study showed that the students who used the computer had a higher level of proficiency in English than those who did not. This suggests that the use of the computer can be an effective tool for teaching the English language.



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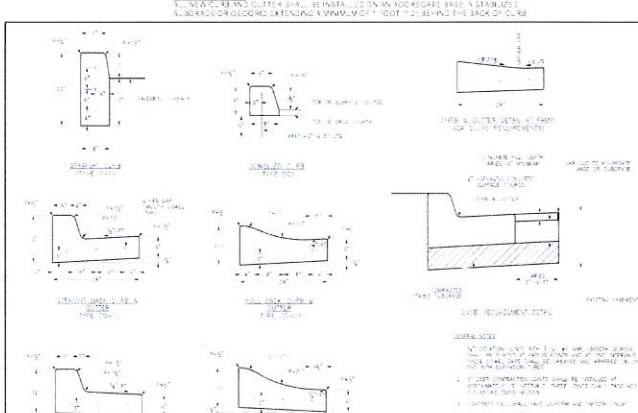
GENERAL NOTE

ALL NEW CURB AND CUTTER SHALL BE INSTALLED ON AN ADEQUATE BASE, A STABILIZED SUBGRADE OR GEOTEXT. EXTENDING A MINIMUM OF 1 FOOT (2) BEHIND THE BACK OF CURB.



- bioRxiv preprint doi: <https://doi.org/10.1101/201905.01.265193>; this version posted May 1, 2019. The copyright holder for this preprint (which was not certified by peer review) is the author/funder, who has granted bioRxiv a license to display the preprint in perpetuity. It is made available under aCC-BY-NC-ND 4.0 International license.

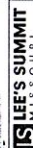
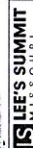
	<b>LEE'S SUMMIT MISSOURI</b> <small>MULTI-MEDIA DESIGN AND CONSTRUCTION, INC. 10000 N. STATE ST. SUITE 100 LEE'S SUMMIT, MO 64080</small>	DATE: 08/01/07 DRAWN BY: JLD CHECKED BY: JLD PROJECT NO.: 07-001
	<b>TRENCHING/PATCHING ROADWAYS DETAIL</b>	<b>GEN-5</b>

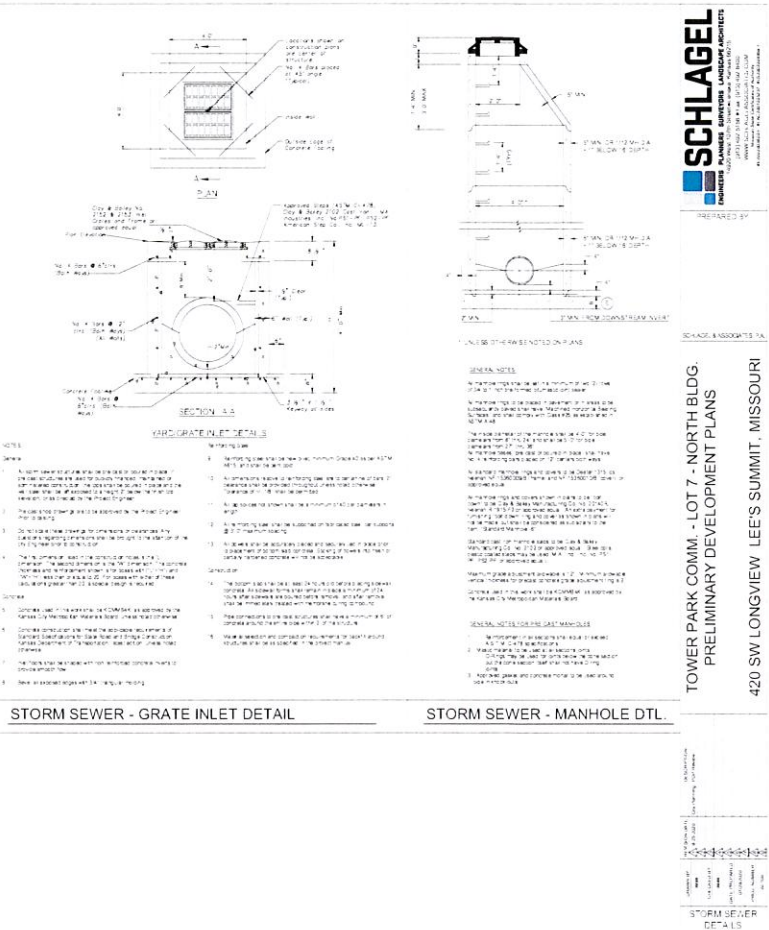
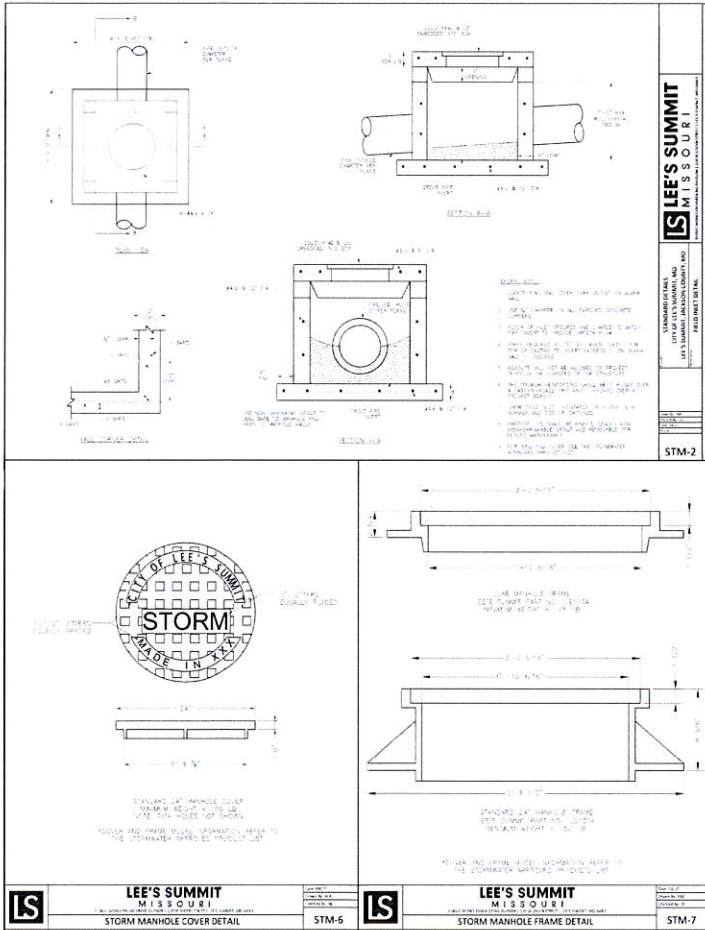


- [illegible]

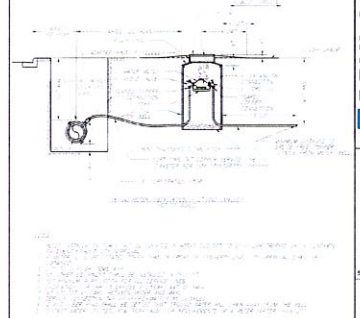
[illegible][illegible]

GEN-4	STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO	 <b>LEE'S SUMMIT</b> MISSOURI
SHEET NO. 100 DATE 10/1/00 PROJECT NO. 100	PROJECT: NEW DEVELOPMENT FOR LEE'S SUMMIT CUMBER & GUTTER FOR TAIL	









**LEE'S SUMMIT**  
**MISSOURI**  
 SERVICE CONNECTION/METER WELL

**SCHLAGEL**  
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
 PRELIMINARY DEVELOPMENT PLANS

UTILITY DETAILS

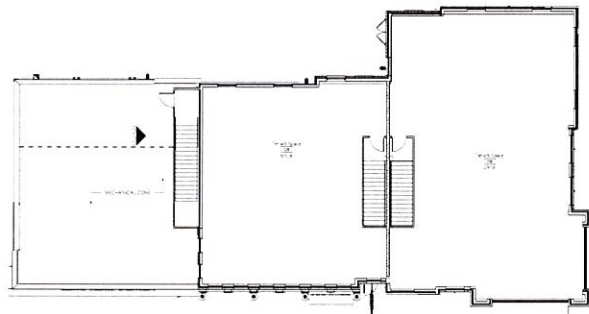
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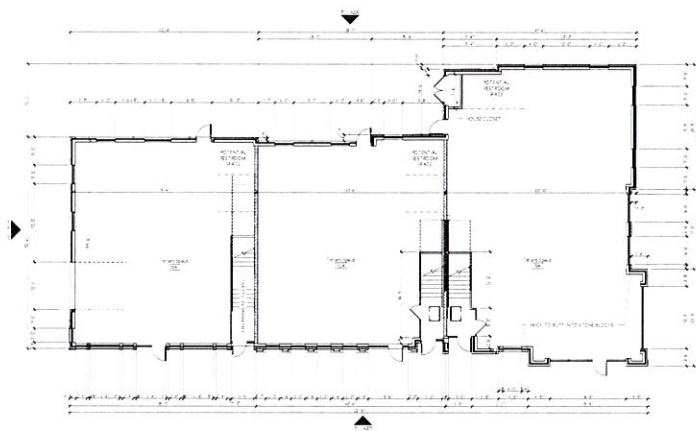


GENERAL NOTES-FLOOR PLAN

1. ALL DIMENSIONS ARE IN FEET AND INCHES (F'-INCHES).
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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2 SECOND FLOOR PLAN



01 FIRST FLOOR PLAN

LOT 7, BUILDING 31

TEL: 734.769.4474 FAX: 734.769.4475

FLOOR PLANS

A101

[illegible][illegible]

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 10/28/2008 08:15:17  
 www.merck.com

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Q3	56.4	879,220

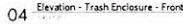
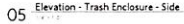
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LOT 7 BUILDING 31  
 10000 N. 10TH AVE.  
 SUITE 100, DENVER, CO 80231

TEL: 303.733.1000  
 FAX: 303.733.1001  
 WWW.CLOCKWORK.CO

STUDIO VAGLEY  
 A210



Proposed Uses			Parking Needs - Full Build-out													
Business Type	SqFt / Units	Use Type	UDO per 1,000 SF	Peak Parking	M-F 8am-6pm	M-F 6pm-12am	M-F 12am-6am	Sat & Sun 8am-6pm	Sat & Sun 6pm-12am	Sat & Sun 12am-6am						
450 SW Longview - Main Floor	5,390	Retail	5	27	90%	24	80%	22	5%	1	100%	27	70%	19	5%	1
440 SW Longview - Main Floor	1,800	Retail	5	9	90%	8	80%	7	5%	0	100%	9	70%	6	5%	0
430 SW Longview - Main Floor	1,800	Retail	5	9	90%	8	80%	7	5%	0	100%	9	70%	6	5%	0
430-1/2 SW Longview - 2nd Story	1,800	Office	4	7	100%	7	10%	1	5%	0	5%	0	5%	0	5%	0
420 SW Longview - Main Floor	2,400	Retail	5	12	90%	11	80%	10	5%	1	100%	12	70%	8	5%	1
420-1/2 SW Longview - 2nd Story	2,400	Office	4	10	100%	10	10%	1	5%	0	5%	0	5%	0	5%	0
Totals	15,590					68		47		4		58		41		4

#### Parking Needs Summary

Parking Required (w/out Shared Model)  
 Parking Required (w/Shared Parking Model)  
 Parking Spots Saved

#### Full Build-Out

74  
 68  
 6 8%

#### Spots Provided

Front angled parking  
 Far West row  
 Center row  
 Shared Spots (within walking distance)

#### Full Build-Out

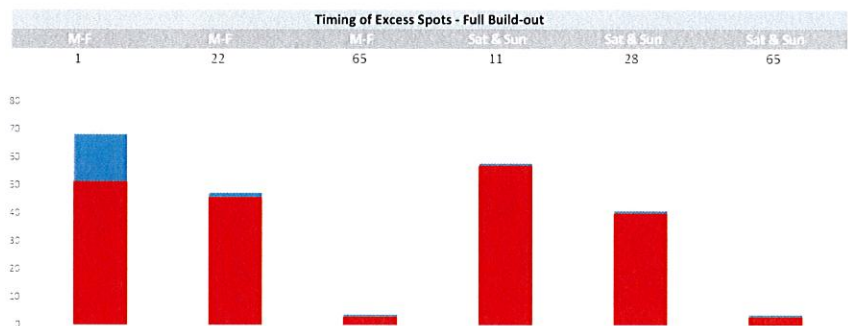
18  
 21  
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#### Total Spots Needed:

68

#### Total Spots Provided:

69



#### Shared Parking References:

Online Transportation Demand Management Encyclopedia: <http://www.vtpi.org/tdm/tdm89.htm>  
 Mary Smith (2005), "Shared Parking", ULI / ICSC  
 Geoffrey Booth, et al (2002), "Ten Principles for Reinventing Suburban Business Districts", ULI

PL2020-224 Preliminary Development Plan

420 SW Longview Blvd

