A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.

- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 X
- D. FOR PARTITION TYPES SEE SHEET A030 X
- D. FOR PARTITION TYPES SEE SHEET AU30 X

MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.

E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
 F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL

AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A

- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR FILL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
- M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS
- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.
- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
- INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.

C. ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE

- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- E. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT VALUEY

ROOF KEYED NOTES (#)

- 1. PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- FOLLY ADHERED T.P.O. ROOF MEMBRANE.

 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- 5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- 6. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- 7. ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- 8. GUTTER TO DOWNSPOUT TO MAIN ROOF

DOWNSPOUT CALC

AREA OF 1 VILLA:

1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S.
(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120

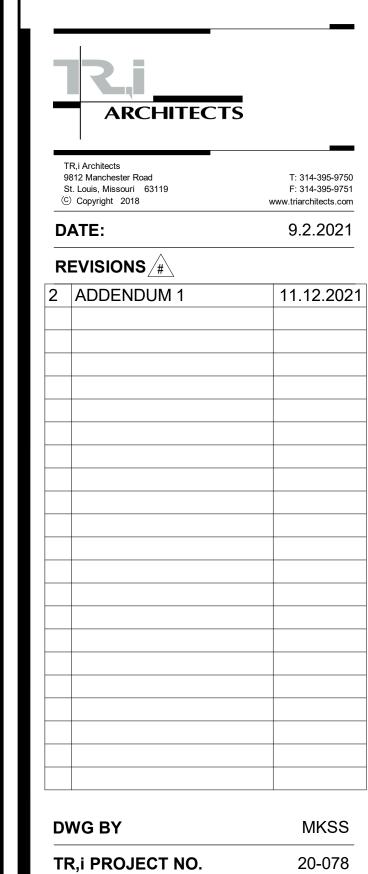
1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA
USE (1) 4" SQ. DOWNSPOUTS PER VILLA



BOB D CAMP
SM ENGINEE
GENERAL CC
LATIMER SO
ASSOCIATES



Vanguard Villa



SHEET NO.

