PROJECT DIRECTORY

OWNER / DEVELOPER

TM CROWLEY 501 PENNSYLVANIA PARKWAY SUITE 160 INDIANAPOLIS, IN 46280 (317) 705-8800

CIVIL ENGINEER PREMIER DESIGN GROUP 100 MIDLAND PARK DRIVE WENTZVILLE, MO 63385 314-925-7444 CONTACT: MATT FOGARTY

MUNICIPALITY CITY OF LEE'S SUMMIT 200 SE GREEN LEE'S SUMMIT, MO 64063 (816) 969-1200 CONTACT: DEVELOPMENT SERVICES DEPARTMENT

EXISTING LEGEND

	:713	TING LEGEND
\bigcirc	FOL	JND IRON PIPE
\odot	SET	IRON PIPE
\cdot	FOL	JND STONE MONUMENT
Ç,	FIR	E HYDRANT
\mathbb{X}	WA	TER VALVE
$\langle w \rangle$	WA	TER METER VAULT
ICV	IRR	IGATION CONTROL VALVE
бх	GAS	S VALVE
$\langle G \rangle$	GAS	S METER
¢ *	LIG	HT STANDARD
é	CLE	AN OUT
	SAN	NITARY SEWER MANHOLE
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目	STO	ORM SEWER INLET
BLRD	PIP	E BOLLARD
4	SIG	N
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TSB	TR/	AFFIC SIGNAL BOX
MW O	МО	NITORING WELL
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	STO	ORM DOUBLE CURB INLET
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	·	STORM SEWER MANHOLE
		GRATE INLET
		DOUBLE CURB INLET
•		PIPE BOLLARD
-•-	_	SIGN
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—Ugl	_	
· · ·	т —	UNDERGROUND TELEPHONE
—он		OVERHEAD ELECTRIC/PHONE
	N—	2" WATER MAIN
6"\		6" WATER MAIN
8"\		8" WATER MAIN
–X" G		GAS LINE
		CONTOUR LINE
-50	7—	JOINT OUR LINE

Little MO' asy -800-DIG-RITE UNDERGROUND UTILITIES AND OSHA SAFETY NOTE: Underground utilities and structures have been plotted from available information and therefore, their location must be considered

by these plans shall be strictly followed (ie. trenching, blasting, etc.)

UTILITY PROVIDERS

WATER

CITY OF LEE'S SUMMIT WATER 1200 SE HAMBLEN RD LEE'S SUMMIT, MO 64081 (816) 969 1900 CONTACT: T.B.D.

ELECTRIC EVERGY 1351 NW WARD RD LEE'S SUMMIT, MO 64086 (888) 471-5275 CONTACT: RON DEJARNETTE

GAS SPIRE 1117 S. PLEASANT ST INDEPENDENCE, MO 64050 (800) 582-1234 CONTACT: T.B.D.

TELEPHONE AT&T BUSINESS COMMUNICATION SERVICES (618) 346-6400 CONTACT: T.B.D.

FIRE DEPARTMENT CITY OF LEE'S SUMMIT FIRE PROTECTION 207 E. DOUGLAS BLVD LEE'S SUMMIT, MO 64063 (816) 969-1313 CONTACT: MIKE SNIDER - FIRE CHIEF

SANITARY SEWER CITY OF LEE'S SUMMIT SEWER 1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 (816) 969 1900 CONTACT: T.B.D.

CABLE SPECTRUM 188 NW OLDHAM PKWY LEE'S SUMMIT, MO 64081 (874) 874 2389 CONTACT: T.B.D.



500 NW CHIPMAN RD.

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3, CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



1" = 250'

DISTURBED AREA = 0.73 ACRES

COORDINATE DATA:

PER ST. JACKSON COUNTY REGULATIONS, COORDINATE VALUE ARE SHOWN IN U.S. FEET AND ALL BEARINGS ARE GRID BEARINGS. ALL DISTANCES ARE GROUND DISTANCES. N: X,XXX,XXX.XXX USft. (in U.S. FEET) E: XXX,XXX.XXX USft. (IN U.S. FEET) PER MISSOURI COORDINATE SYSTEM 1983, WEST ZONE (ZONE NO. 2403) GRID FACTORS = 0.99899480

BEARINGS ADOPTED:

BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) WEST ZONE

ELEVATION ADOPTED:

THE ELEVATIONS WERE ESTABLISHED USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S VRS, RTK SYSTEM AND IS REFERENCED TO THE NAVD 88 DATUM WITH GEOID 18.



SHEET INDEX

C-000	COVER SHEET
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PROPERTY DATA

OVERALL SITE ACREAGE	±0.828 ACRES
ADDRESS	500 NW CHIPMAN RD.
PARCEL ID#	52-900-03-42-00-0-00-000
EXISTING ZONING	PMIX - PLANNED MIXED USE
CURRENT LAND USE	VACANT COMMERCIAL PROPERTY
PROPOSED LAND USE	COMMERCIAL

LEGAL DESCRIPTION:

ALL OF LOT 4C, SUMMIT ORCHARD, LOT 4C-1, 4C-2 AND 4C-3, CORRECTED SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

SITE COVERAGE CALCULATIONS

SITE AREA = ±0.828 ACRES / 36,067.68 S.F. FLOOR TO AREA RATIO 950/36,068 = 0.026 FAR

EXISTING IMPERVIOUS AREA PARKING LOT AND BUILDING 0.046 ACRES OF PAVEMENT 0.00 ACRES OF BUILDING

EXISTING GREEN SPACE 0.782 ACRES

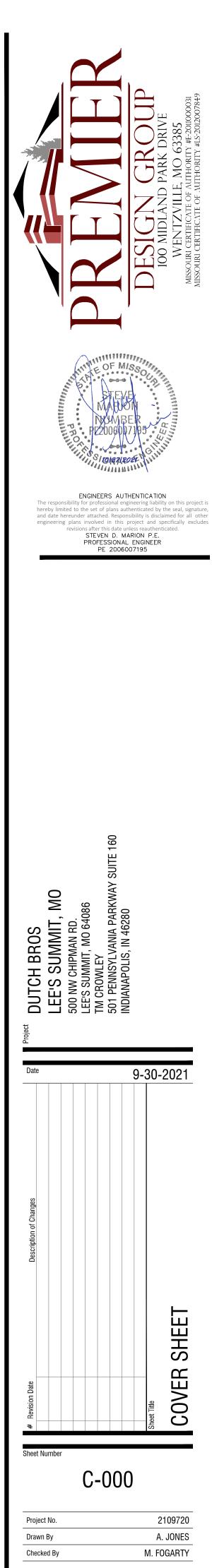
EXISTING PERCENT OF IMPERVIOUS AREA COVERAGE = 5.56% PROPOSED IMPERVIOUS AREA PARKING LOT AND BUILDING 0.540 ACRES OF PAVEMENT

0.022 ACRES OF BUILDING

PROPOSED GREEN SPACE 0.266 ACRES OF GREEN SPACE

PROPOSED PERCENT OF IMPERVIOUS AREA COVERAGE = 67.87%

ELECTRONIC DRAWING NOTE: ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.



PAVING, GRADING, AND DRAINAGE NOTES:

- IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

- TO EXISTING CONCRETE PAVEMENT
- UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED.

10. FIELD DENSITY TESTS SHALL BE TAKEN AT A FREQUENCY AS REQUIRED IN THE PROJECT SPECIFICATIONS. SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ARCHITECT AND CIVIL ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE

- CIVIL ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- CURB ELEVATIONS.

- 17. CONTRACTOR SHALL REFERENCE ARCHITECT AND ELECTRICAL PLANS AND PROVIDE CONDUIT NEEDED FOR LOT LIGHTING AND SIGNAGE PRIOR TO SITE PAVING.
- 18. PAVING LINE AND GRADE SHALL "FLUSHOUT" ALONG ALL CONNECTIONS TO EXISTING PAVING.

- ARE NOTED AS FOLLOWS:



GRADING PLAN NOTES:

- 2. ALL GRADES SHALL BE WITHIN 0.1 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
- 4. PARKING LIGHTING, UTILITIES AND TREES. THE REMOVAL AND DISPOSAL OF ALL ITEMS SHALL BE INCLUDED IN THE BID.
- AND DETAILS.
- 6.
- SHOULD THE EROSION CONTROL PLAN AND DETAILS PROVE TO BE INSUFFICIENT DUE TO UNFORESEEN CIRCUMSTANCES.

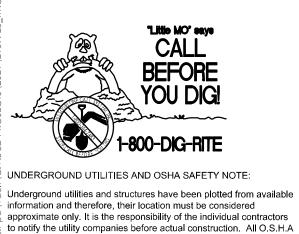
- 19. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

ADA COMPLIANCE NOTES:

- SLOPES ARE NOT EXCEEDED.

ABBREVIATIONS:

MH..... MANHOLE CURB INLET DCI..... DOUBLE CURB INLET GSI..... 2GSI..... ADS DOME DME.... END OF PIPE FLARED END SECTION INTERCEPTOR MANHOLE TRENCH DRAIN ATG..... ADJUST TO GRADE TBR..... TO BE REMOVED TBR&R..... TO BE REMOVED & REPLACED



rules and regulations established for the type of construction required

by these plans shall be strictly followed (ie. trenching, blasting, etc.)

1. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT.

ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE RE-GRADED AND LANDSCAPED OR PAVED, (WHATEVER WAS THERE BEFORE DISTURBANCE). ALL DISTURBED AREAS SHALL BE REPAIRED TO THE PREVIOUS CONDITION OR BETTER THAN BEFORE AREA WAS DISTURBED.

TRAFFIC CONTROL ON ALL STATE, CITY AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION . IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT

THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE ANY WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL EVENT UNTIL SOIL IS STABILIZED. 5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND THE PROJECT SPECIFICATIONS. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT TO FULL DEPTH OF EXISTING PAVEMENT. CONTRACTOR SHALL PREPARE A SMOOTH, SOUND, VERTICAL FACE AND MATCH THE EXISTING PAVEMENT ELEVATION UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL LONGITUDINAL BUTT JOINTS WHEN CONNECTING

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS ARE NOT OVERLY COMPACTED AND DO NOT CONTAIN LIMEROCK. THE CONTRACTOR SHALL EXCAVATE AND REMOVE ALL

ALL DRAINAGE STRUCTURES SHALL BE DE-SILTED AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS

9. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS UNDER BUILDING. TOPSOIL MAY BE STOCKPILED ON SITE FOR REPLACEMENT IN GREEN AREAS.

BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. REQUIREMENTS) EXIST TO AND FROM EVERY ACCESSIBLE DOOR. IN NO CASE Shall handicap ramp slopes exceed 1 vertical to 12 horizontal. In no case shall sidewalk cross slopes exceed 2.0 percent. In no case shall longitudinal sidewalk

ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES. 12. CONTRACTOR ADJUSTMENT TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED, ONLY WITH THE PRIOR APPROVAL OF THE CIVIL ENGINEER. CONTRACTOR SHALL CONTACT THE

13. SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. WHERE APPLICABLE, ADD 0.50 FEET TO SPOT GRADES SHOWN FOR TOP OF

14. THE CONTRACTOR TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO, THE INSTALLATION OF BMP'S AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BMP'S MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE TEMPORARY BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES LOCAL, STATE, OR FEDERAL WATER QUALITY STANDARDS.

15. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS, IN GOOD CONDITION, AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY JURISDICTIONAL AGENCIES.

16. IF ANY EXISTING STRUCTURES, FACILITIES, OR IMPROVEMENTS (PUBLIC OR PRIVATE) TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, FACILITY, OR IMPROVEMENT AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

19. ALL BENDS LESS THAN 42" DIAMETER MUST BE FACTORY MANUFACTURED BENDS

20. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICE REPORT FOR THIS SITE.

21. PAVING CONTRACTOR IS RESPONSIBLE FOR ALL LAY DOWN CURBS AT INTERSECTIONS WHERE BARRIER FREE RAMPS ARE TO BE CONSTRUCTED.

22. REFERENCE DETAIL SHEETS FOR PAVEMENT JOINT SPACING AND REQUIREMENTS. ALL SAWCUT AND JOINT LOCATIONS WILL BE AS REQUIRED BY THE CITY OF LEE'S SUMMIT INSPECTOR. 23. PRIVATE STORM PIPE MATERIAL SHALL BE PER CITY OF LEE'S SUMMIT SPECIFICATIONS.

24. ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT

GRND=FINISHED GROUND AT YARD DRAINS, TOP OF FINISHED GRADE IN NON-PAVEMENT AREAS

1. THE CONTRACTOR SHALL RESTORE OFFSITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SODDED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED OR DETAILED.

THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION, PAVEMENT AREAS, BUILDING MATERIALS, BUILDING MATERIAL TYPES,

5. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE OWNER/DEVELOPER. SILTATION CONTROL WILL BE PROVIDED AS REQUIRED TO PREVENT RUN-OFF. REFER TO THE EROSION CONTROL PLAN(S)

ALL TRASH, DEBRIS, ORGANIC MATERIAL, REFUSE, FROZEN EARTH, ETC., SHALL BE REMOVED FROM FILL AREAS PRIOR TO THE PLACEMENT OF CONTROLLED FILL. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS

THE CONTRACTOR SHALL PROVIDE EROSION CONTROL PER THE EROSION CONTROL PLAN(S) AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES AS REQUESTED BY THE CITY OF LEE'S SUMMIT,

8. CARE SHALL BE EXERCISED IN COMPACTION OF BACKFILL MATERIALS OVER THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES. JOINTS, SEALS AND/OR THE PIPES AND STRUCTURES THEMSELVES, COMPACTION AND PLACING OF BACKFILL AND FILL MATERIALS SHALL BE PERFORMED UNDER THE CONTINUOUS SUPERVISION OF AN APPROVED TESTING LABORATORY. FILL SHALL NOT BE PLACED ON FROZEN GROUND, NOR SHALL FILLING OPERATIONS CONTINUE WHEN THE TEMPERATURE IS SUCH AS TO PERMIT THE LAYER UNDER PLACEMENT TO

9. ALL CITY, COUNTY, AND STATE ROADS SHALL BE KEPT FREE OF DIRT DAILY.

10. FINAL GRADES SHALL MATCH EXISTING ELEVATIONS AT THE LAND DISTURBANCE LIMITS UNLESS OTHERWISE SHOWN.

11. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT AND EPA STANDARDS.

12. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF LEES SUMMIT AND EPA STANDARDS.

13. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.

14. ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE IS AN ORDINARY LAND DISTURBANCE AND THE APPROPRIATE PERMIT(S) MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. 15. G.C. TO BE AWARE THAT A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAT APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.

16. ALL WORK SHALL BE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICES REPORT FOR THIS PROJECT.

17. ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT AREAS SHALL BE REPAIRED BY FULL SLAB REPLACEMENT UNLESS SPECIFICALLY AUTHORIZED BY THE DEVELOPER OR MUNICIPALITY HAVING JURISDICTION.

18. ALL UTILITY SPOILS SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S BID. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR AND UTILITY INSTALLER.

1. CONTRACTOR SHALL CONFIRM ALL EXISTING SLOPES FOR ACCESSIBLE ROUTES AS WELL AS THE ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES WITH A SLOPE METER TO CONFIRM MAXIMUM

2. CONTRACTOR IS REQUIRED TO PROVIDE AS-BUILT SPOT ELEVATIONS ALONG THE ACCESSIBLE ROUTES SHOWN ON THIS PLAN EVERY 10 FEET IN ORDER TO CONFIRM MAXIMUM (2%) CROSS-SLOPE AND MAXIMUM (5%) SLOPES IN THE DIRECTION OF TRAVEL. IN ADDITION. SPOT ELEVATIONS ARE REQUIRED ON ALL CORNERS AND MIDPOINTS OF ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES TO CONFIRM MAXIMUM 2% SLOPES ARE NOT EXCEEDED IN ALL DIRECTIONS. THIS INFORMATION SHALL BE PROVIDED, A MINIMUM OF 2 WEEKS BEFORE STORE TURNOVER.

3. THE GENERAL AND CONCRETE CONTRACTOR SHALL FIELD VERIFY ADA SLOPES DURING CONCRETE POUR. A 2' SMART LEVEL WITH AN ACCURACY TO .029 PERCENT SHALL BE USED FOR VERIFYING SLOPES. ANY SLOPES IN THE ADA AREAS THAT EXCEED A 2% CROSS SLOPE ALONG THE BUILDING, ADA STALLS AND/OR SIDEWALK, 5% RUNNING SLOPE FOR SIDEWALKS AWAY FROM THE PROPOSED PETSUITES BUILDING, AND EXCEED 8.3% ON RAMPS SHALL BE REMOVED AND REPLACED AT THE CONCRETE CONTRACTOR'S EXPENSE. THE SURVEYOR FOR STAKING CAN PROVIDE A REFERENCE FOR ELEVATION HOWEVER CONFIRMATION IS REQUIRED BY SLOPE LEVEL DURING CONSTRUCTION.

AREA INLET (OPEN 4 SIDES UNLESS NOTED OTHERWISE) DAI...... DOUBLE AREA INLET (OPEN 6 SIDES UNLESS NOTED OTHERWISE.

GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRATE, ADD 0.50' FOR TOP OF SIDE INTAKE.) 2 GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRATE, ADD 0.50' FOR TOP OF SIDE INTAKE.)

DENOTES HYDRAULIC GRADE JUMP

GENERAL NOTES:

- ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION, GENERALLY, THE MOST STRINGENT SPECIFICATION SHALL APPLY.
- MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- CONDITIONS
- THE METHOD TO USE FOR SUCH WORK.
- INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- ANY REQUIRED CONSTRUCTION PERMITS
- WHICH THE OWNER AND CIVIL ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- DIRECTLY FROM THE TESTING AGENCY. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE CIVIL ENGINEER AND TO CITY A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR
- CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- 13. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND CIVIL
- 14. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS
- TO PUBLIC SAFETY.

- 20. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DEVICES AND PLANS FOR ANY STREET WORK
- THEREFROM SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
- 23. LIGHT POLES AND SIGNS SHALL NOT BE PLACED IN ADA ACCESSIBLE ROUTES, ACCESSIBLE ACCESS AISLES, AND/OR REINFORCED ZONES BEHIND RETAINING WALLS.
- FROM THE RESIDENTIAL NEIGHBORS AS POSSIBLE
- 25. CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE SECURE FROM TRESPASSERS AT ALL TIMES.
- 27. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY FENCE OR WALL PERMITS FROM THE CITY.

UTILITY PLAN NOTES:

1.	ALL FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2.	CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXIST
3.	CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6' COVER ON ALL WATERLINES AND 3'-6' ON ALL SANITARY SEV
4.	CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
5.	EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6.	REFER TO MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR ACTUAL TIE-IN LOCATIONS FOR UTILITIES.
7.	THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES A COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCA ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8.	ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPAN
9.	ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
10.	THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNE WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF T
11.	ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING INCLUDED IN THE CONTRACTORS BID.
12.	G.C. IS TO PROVIDE TRENCH, WIRE, AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES, BACKFILL AND G
13.	G.C. SHALL BE RESPONSIBLE FOR ANY TAPS TO BE MADE UNDER THE SUPERVISION OF THE CITY WATER DIVISION.
14.	ANY DISTURBED SIDEWALK SHALL BE FULL SLAB REPLACEMENT.
15.	EXISTING SANITARY SEWER AND WATER SERVICE SHALL NOT BE INTERRUPTED.
16.	THE CONTRACTOR SHALL INCLUDE THE COST ESTIMATE PROVIDED BY EVERGY IN HIS/HER BID FOR THE RELOCATION
17.	THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE(S) WILL BE DETERMINED BY THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
18.	ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT
19.	ALL LATERAL SEWER CONSTRUCTION METHODS TO CONFORM TO LATEST STANDARDS AND SPECIFICATIONS FOR DETAILS.
20.	ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY THE CITY OF LEE'S SUMMIT WATER UTILITIES.
21.	CONNECTION TO PUBLIC SEWER MAINS SHALL BE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SEWER SANITARY. CONNECTION TO PUBLIC SEWERS.
22.	ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVING SHALL BE GRANULARLY FILLED WITH 3/- WITH CITY OF LEE'S SUMMIT STANDARDS.
23.	TYPE "C" BEDDING PER CITY OF LEE'S SUMMIT STANDARDS REQUIRED FOR PIPES IN ROCK.
24.	ALL TRENCH BACKFILLS UNDER PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILLED. TREN GRANULAR BACKFILL IN LIEU OF THE EARTH BACKFILL COMPACTED TO 90 PERCENT OF THE STANDARD AASHTO T-
25.	ALL CONCRETE PIPE SHALL BE REINFORCED, AND CONFORM TO A.S.T.M. DESIGNATION C76-80 CLASS III UNLESS
26.	ALL DIMENSIONS ARE TO THE CENTERLINE OF STRUCTURE EXCEPT FOR END OF PIPES OR FLARED ENDS. FLARED EN SECTIONS PER PROPOSED TYPE OF FLARED END SUBMITTED. REFER TO THE CORRESPONDING SEWER PROFILE SHE
27.	PLUMBING CONTRACTOR AND SURVEYOR SHALL CONFIRM STRUCTURES PROPOSED ON THESE PLANS MATCH THE LOCATIONS DEPENDING ON THE STRUCTURE AND TYPE, THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ON THESE PLANS. GENERAL CONTRACTOR SHALL REIMBURSE CIVIL ENGINEER FOR ANY TIME AND MATERIALS TO TO REDUCE OVERALL CONSTRUCTION COSTS.
28.	STANDARDS AND DETAILS FROMCITY OF LEE'S SUMMIT STANDARDS PLANS SHALL SUPERCEDE THESE REQUIREMENT

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT SPECIFICATIONS, CITY OF LEE'S SUMMIT "STANDARD DETAILS", THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL, LATEST EDITION, THE PROJECT SPECIFICATIONS BOOK, AND THESE CONSTRUCTION PLANS. IN CASE OF CONFLICTING SPECIFICATIONS FOR DETAILS, THE CIVIL

2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING

4. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK (INCLUDING ORDERING OF MATERIALS) IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR CEC WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, 3-WAY CONTRACTS, AND BONDS PRIOR TO CONSTRUCTIONS. 7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS, COPIES OF

ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER & CIVIL ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL TO THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR

9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE CIVIL ENGINEER OF RECORD AND THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER

REGISTERED IN THE STATE OF MISSOURI DEPICTING THE ACTUAL FILED LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE

11. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED

12. CONTRACTORS SHALL VERIFY BENCHMARKS AND DATUMS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS

ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION

15. ALL DIMENSIONS GIVEN ARE TO FACE OF CURB AND/OR BUILDING. DIMENSIONS FOR PIPES AND STRUCTURES ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED ON PLANS.

16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATIONS AND INSTALLATIONS OF FRANCHISE UTILITIES NECESSARY FOR ON- AND OFF-SITE CONSTRUCTION.

17. ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNAGE SHALL BE LOCATED OUT OF THE PEDESTRIAN, AUTOMOBILE, AND TRUCK ROUTES AND SHALL BE LOCATED BETWEEN THREE TO FIVE FEET BEHIND THE NEAREST BACK OF CURB UNLESS INDICATED OTHERWISE ON PLANS. SIGN HEIGHT, LOCATION, AND STRUCTURE SHALL BE SUCH THAT THE SIGNS POSE NO THREAT

18. ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED. FIELD ADJUSTMENTS OF LOCATION AND ORIENTATION OF THE SIGNS ARE TO BE MADE TO ACCOMPLISH THIS.

19. CONTRACTOR SHALL REPLACE ANY FENCING, CURBING, ETC. THAT IS DESTROYED OR DAMAGED DUE TO THE CONSTRUCTION ACTIVITIES.

21. ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS ONTO DEVELOPED OR UNDEVELOPED AREAS WILL BE ALLOWED. ANY DAMAGE RESULTING

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A TRENCH SAFETY PLAN TO THE DEVELOPER AT THE TIME OF THE PRE-CONSTRUCTION MEETING, OR PRIOR TO BEGINNING CONSTRUCTION OF THESE IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH MISSOURI STATE LAW AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH. NO OPEN TRENCHES WILL BE ALLOWED OVERNIGHT. ONSITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

24. TO THE MAXIMUM EXTENT PRACTICAL, CONSTRUCTION STAGING, WORKER PARKING, AND ANY OTHER POTENTIALLY NOISY OR OFFENSIVE CONSTRUCTION ACTIVITY SHOULD BE LOCATED AS FAR

26. CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

28. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL PER CITY OF LEE'S SUMMIT STANDARDS.

72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE

LL WATERLINES AND 3'-6' ON ALL SANITARY SEWER LINES. DE BY BUILDING CONTRACTOR.

on and/or elevation of existing utilities as shown on these plans is based on records of the various utility FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE Y EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE

OVEMENTS SHOWN ON THE PLANS. BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.

KFILL AND BE MECHANICALLY COMPACTED. ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT EDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE

E AND ELECTRICAL SERVICES, BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION.

BY EVERGY IN HIS/HER BID FOR THE RELOCATION/REMOVAL OF ANY OVERHEAD ELECTRIC OR GUY WIRES. ISTING STRUCTURE(S) WILL BE DETERMINED BY THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER FIELD INSPECTOR. IF THE ALL BE ADJUSTED TO GRADE, IF NEEDED.

CCORDANCE WITH THE CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.

LATEST STANDARDS AND SPECIFICATIONS FOR THE CITY OF LEE'S SUMMIT SEWER STANDARD SPECIFICATIONS AND CONSTRUCTION

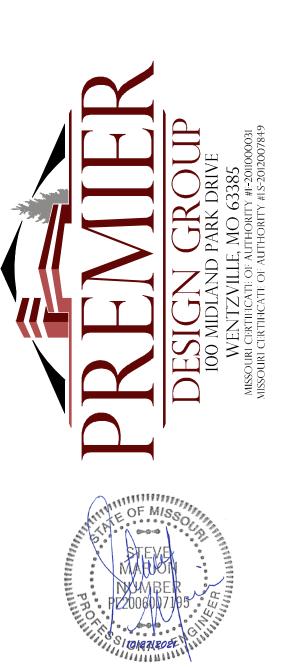
THE CITY OF LEE'S SUMMIT WATER UTILITIES. THE CITY OF LEE'S SUMMIT SEWER SANITARY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROVIDER PRIOR TO

PAVING SHALL BE GRANULARLY FILLED WITH 3/4" MINUS CRUSHED LIMESTONE ONLY. BACKFILL SHALL BE PLACED IN ACCORDANCE

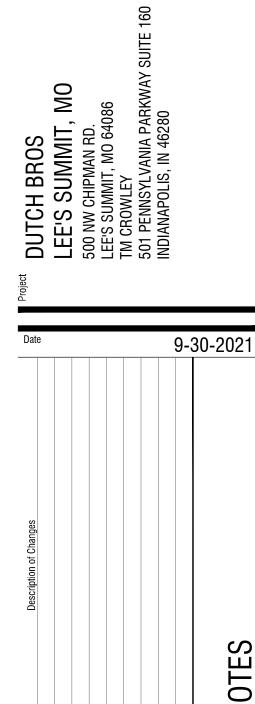
F-WAY SHALL BE GRANULAR BACKFILLED. TRENCH BACKFILLS UNDER PAVED AREAS, OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE) TO 90 PERCENT OF THE STANDARD AASHTO T-180 COMPACTION TEST A.S.T.M. D-1557

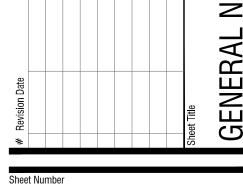
.S.T.M. DESIGNATION C76-80 CLASS III UNLESS OTHERWISE NOTED. OR END OF PIPES OR FLARED ENDS. FLARED END DIMENSIONS VARY. CONTRACTOR SHALL VERIFY LENGTHS FOR FLARED END

TO THE CORRESPONDING SEWER PROFILE SHEET FOR EXACT DIMENSIONS IF APPLICABLE. TURES PROPOSED ON THESE PLANS MATCH THE PROPOSED STRUCTURES THAT ARE ONSITE. DUE TO CHANGE OF ELEVATIONS, AND bing contractor shall be responsible for any issues for proposing a different type of structure or pipe than what is l engineer for any time and materials to address changes to structures or design from what has been approved.

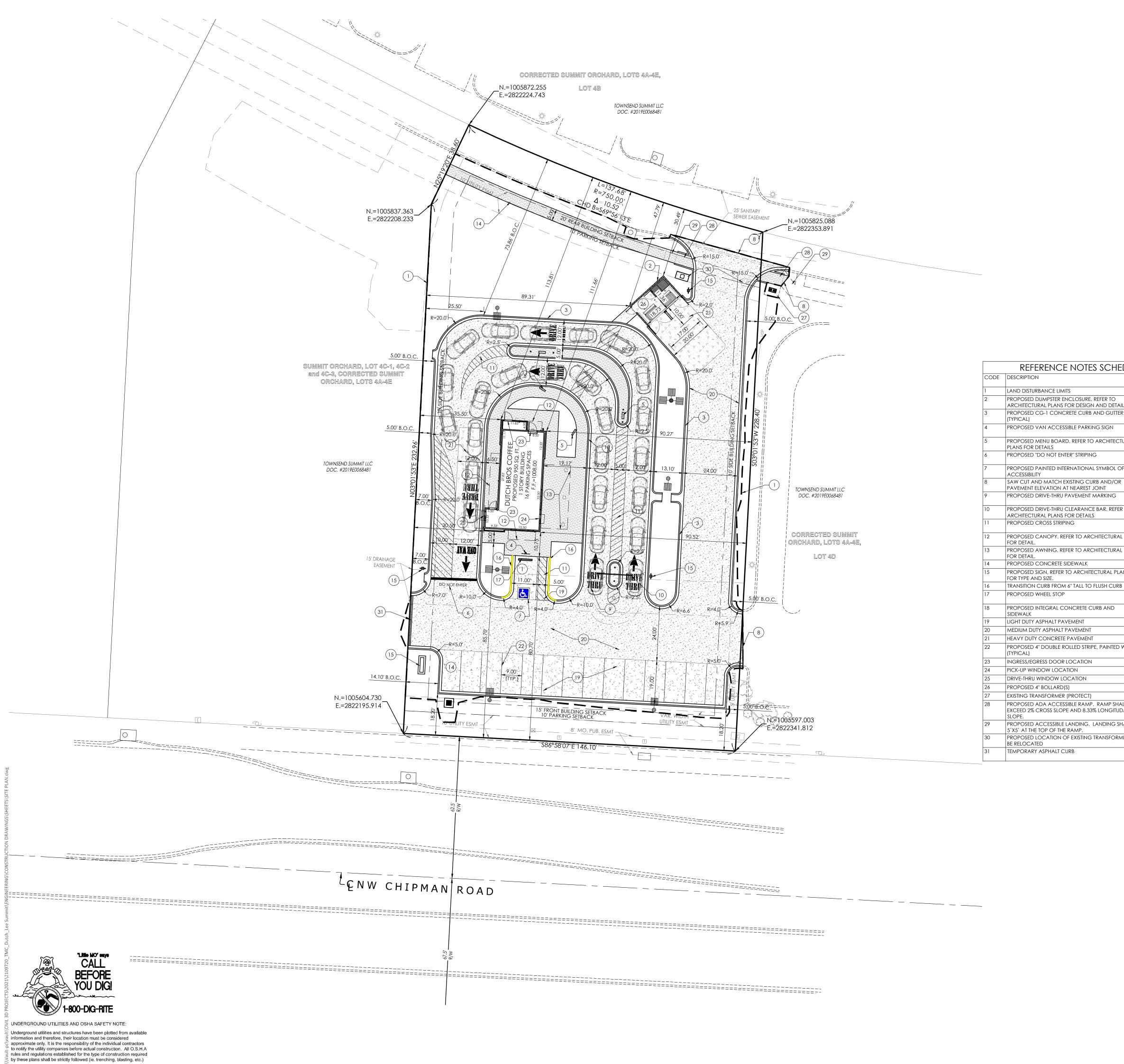








Project No.	2109720
Drawn By	A. JONES
Checked By	M. FOGARTY



PROJECT NOTES:

- 1. BASIS OF BEARINGS: THIS SURVEY WAS ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983 - WEST ZONE
- 2. CURRENT ZONING: PMIX PLANNED MIXED USE
- 3. SURROUNDING ZONING: PMIX PLANNED MIXED USE
- 4. SITE AREA = ± 0.828 ACRES
- 5. PROPOSED USE COFFEE SHOP 6. PROPOSED BUILDING HEIGHT - REFER TO ARCHITECTURAL PLANS
- 7. PARKING SETBACK:
- NONE PER RECORDED PLAT
- 8. BUILDING SETBACKS:
- FRONT BUILDING SETBACK: 15' ALONG NW CHIPMAN ROAD SIDE BUILDING SETBACK: NONE PER RECORDED PLAT REAR BUILDING SETBACK: NONE PER RECORDED PLAT
- 9. FLOOR AREA RATIO 950/36,068 = 0.026 FAR
- 10. IMPERVIOUS COVERAGE SITE = 67.75% 11. PARKING AND LOADING REQUIREMENTS
- REQUIRED PARKING: TWO PLUS 1 PER EMPLOYEE ON MAX. SHIFT 2 + 10 EMPLOYEES = 12 PARKING SPACE REQUIRED PROVIDED PARKING= 15 PARKING SPACES
- 12. PER FEMA FIRM PANEL #29095C0417G, EFFECTIVE ON 01/20/2017 THE PROPERTY IS ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE
- THE 0.2% ANNUAL CHANCE FLOODPLAIN. 13. THIS PROPERTY IS LOCATED WITHIN THE LITTLE CEDAR CREEK WATERSHED.
- 14. OIL AND GAS WELL LOCATIONS: BASED ON MIODNR STATE OIL AND GAS COUNCIL, THERE ARE NO ACTIVE WELLS AS OF JUNE 2, 2020. ALL EXISTING OIL AND GAS WELLS FOR THIS SECTION-TOWNSHIP-RANGE HAVE BEEN ABANDONED OR PLUGGED.

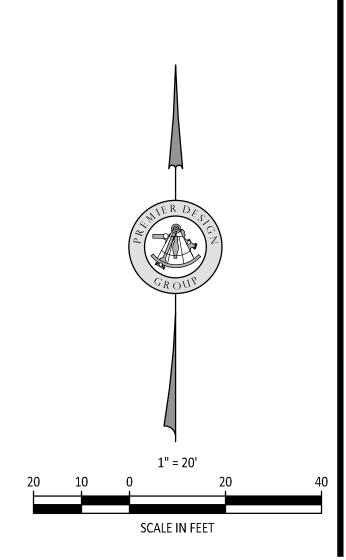
PAVEMENT NOTES

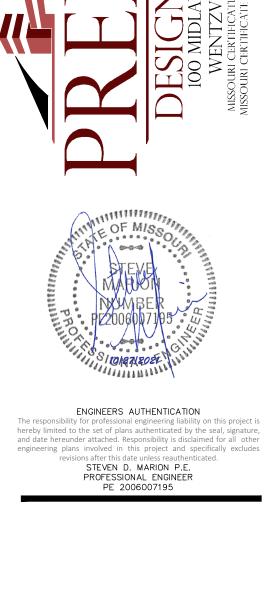
1. PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON PLAN)

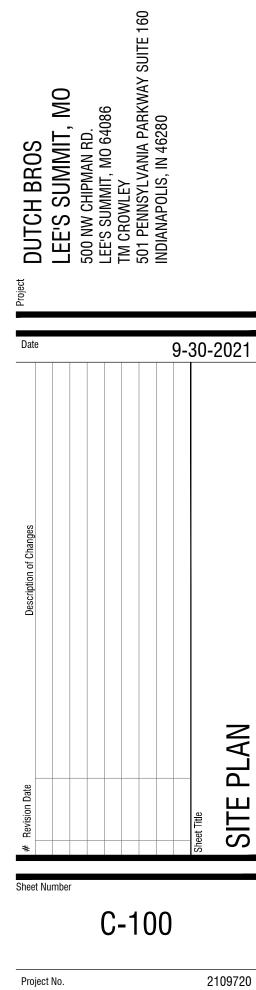
LIGHT DUTY ASPHALT PAVEMENT 1.5" TYPE "2.01" ASPHALT SURFACE COURSE 4" TYPE "2.01" ASPHALT BASE COURSE 6" MODOT TYPE 5 AGGREGATE WITH GEOGRID OR/ 6" MODOT TYPE 5 AGGREGATE WITH 6" CHEMICALLY STABILIZED BASE
MEDIUM DUTY ASPHALT PAVEMENT (DRIVE AISLE) 1.5" TYPE "2.01" ASPHALT SURFACE COURSE 5" TYPE "2.01" ASPHALT BASE COURSE 6" MODOT TYPE 5 AGGREGATE WITH GEOGRID OR/ 6" MODOT TYPE 5 AGGREGATE WITH 6" CHEMICALLY STABILIZED BASE

HEAVY DUTY CONCRETE PAVEMENT TRASH ENCLOSURE PAD & DRIVE-THRU PAD) 8" NON-REINFORCED PORTLAND CEMENT CONCRETE 4" MODOT TYPE 5 AGGREGATE BASE

<u>CONCRETE SIDEWALKS</u> 4" PORTLAND CEMENT CONCRETE 4" MODOT TYPE 5 AGGREGATE BASE

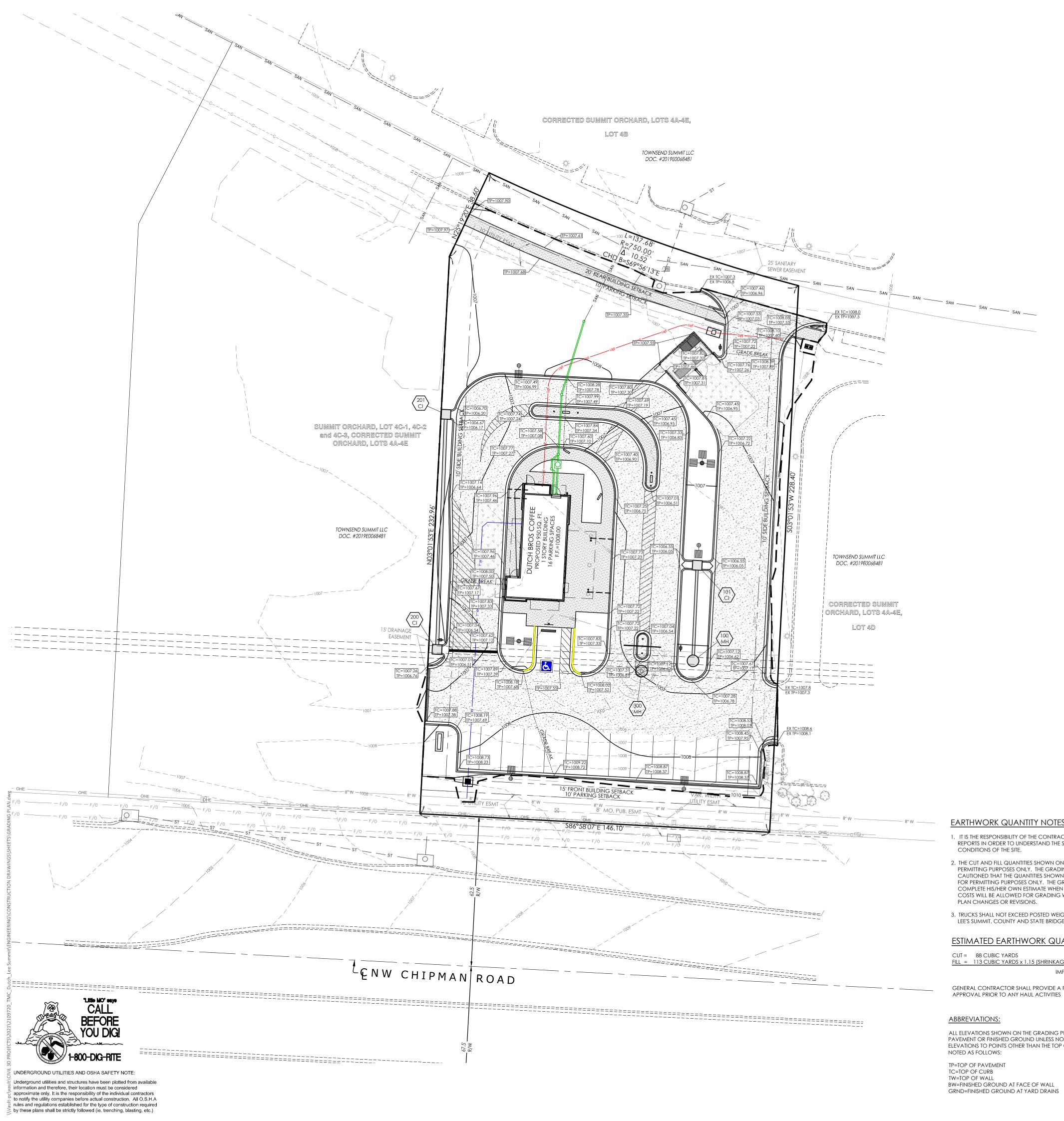






Project No.	2109720
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EARTHWORK QUANTITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ ALL APPLICABLE REPORTS IN ORDER TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS OF THE SITE.
- 2. THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR IS CAUTIONED THAT THE QUANTITIES SHOWN ARE THE ENGINEER'S ESTIMATE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL COMPLETE HIS/HER OWN ESTIMATE WHEN BIDDING. NO ADDITIONAL COSTS WILL BE ALLOWED FOR GRADING WITHOUT JUSTIFICATION DUE TO PLAN CHANGES OR REVISIONS.
- 3. TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR THE CITY OF LEE'S SUMMIT, COUNTY AND STATE BRIDGES DURING HAUL OPERATIONS.

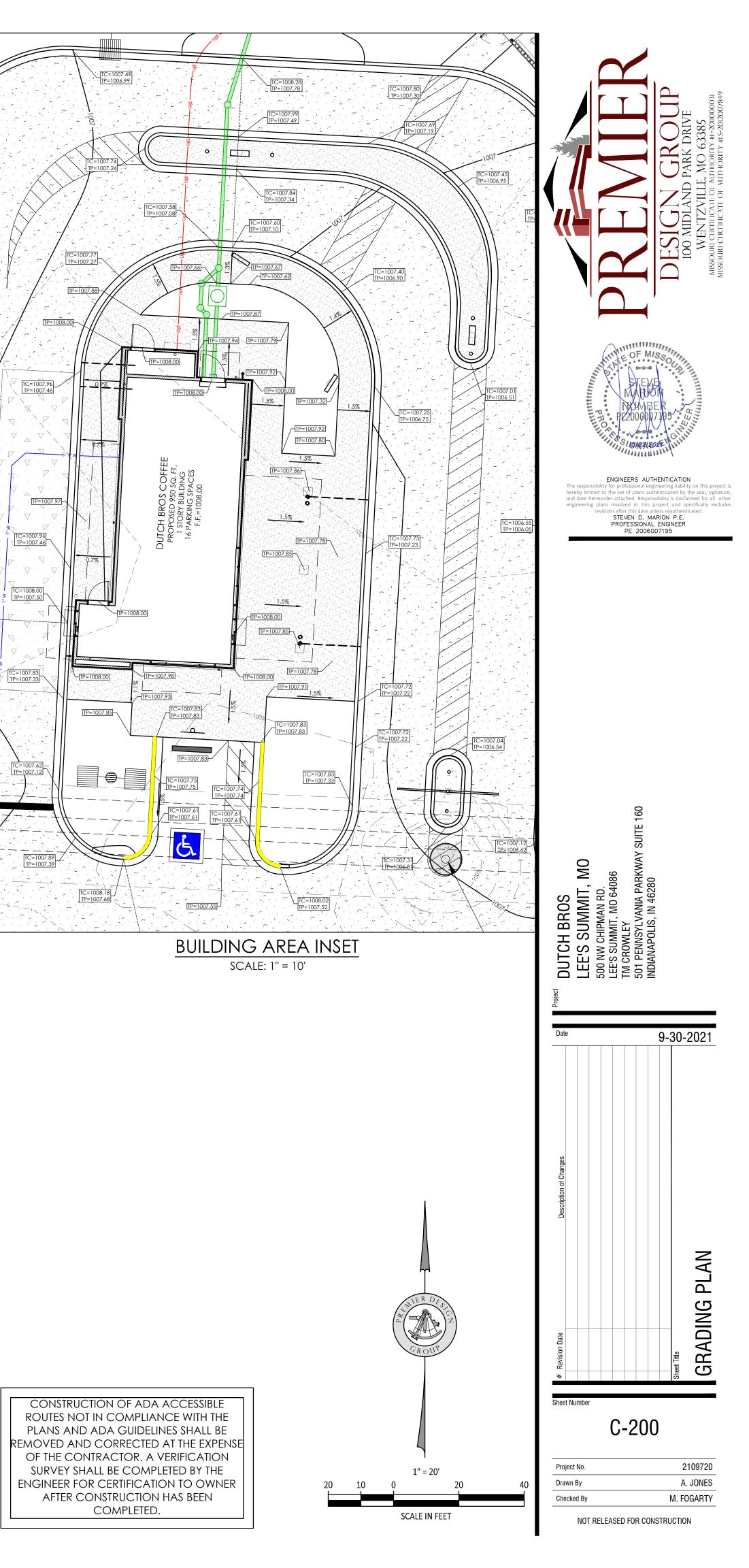
ESTIMATED EARTHWORK QUANTITIES:

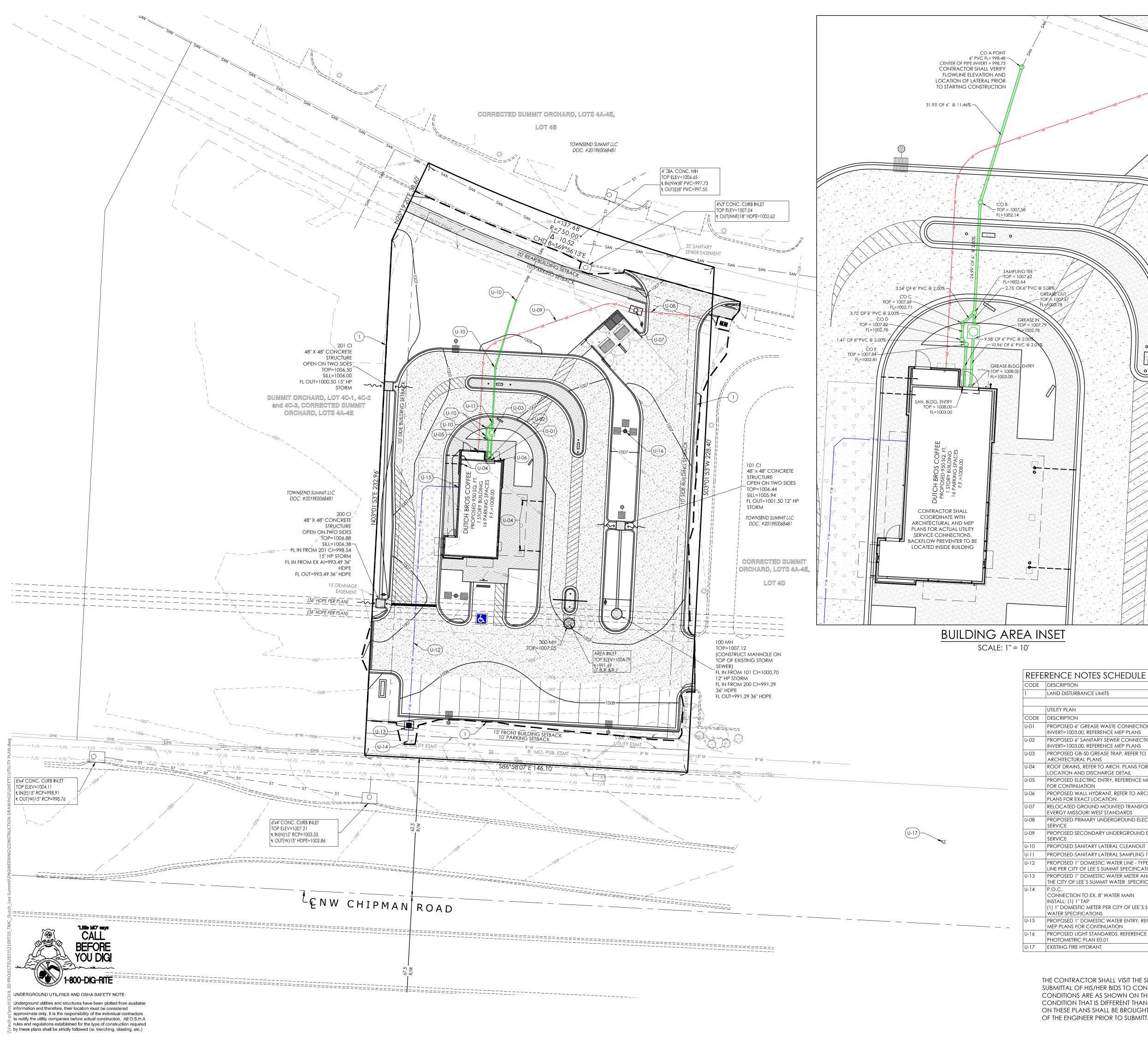
CUT = 88 CUBIC YARDS FILL = 113 CUBIC YARDS x 1.15 (SHRINKAGE) = 130 CUBIC YARDS IMPORT = 42 CUBIC YARDS

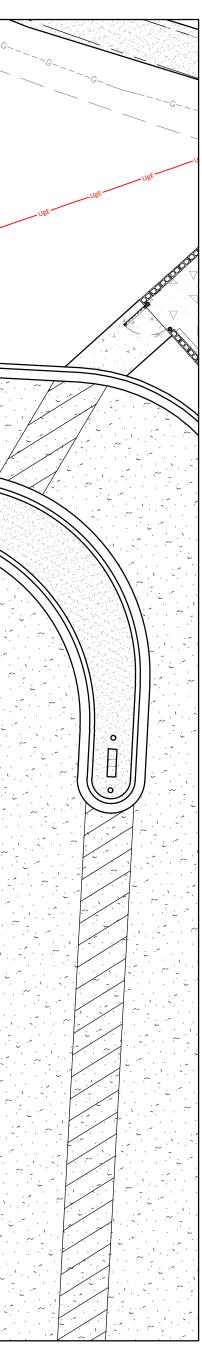
GENERAL CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR

ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE

BW=FINISHED GROUND AT FACE OF WALL GRND=FINISHED GROUND AT YARD DRAINS







LIMITS
E WASTE CONNECTION,
ERENCE MEP PLANS
RY SEWER CONNECTION,
REASE TRAP, REFER TO NS
TO ARCH. PLANS FOR EXACT CHARGE DETAIL
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ARY UNDERGROUND ELECTRIC
LATERAL CLEANOUT
LATERAL SAMPLING TEE
STIC WATER LINE - TYPE K COPPER
STIC WATER METER AND PIT PER
MMIT WATER SPECIFICATIONS
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NT

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF HIS/HER BIDS TO CONFIRM THAT THE SITE CONDITIONS ARE AS SHOWN ON THESE PLANS. ANY CONDITION THAT IS DIFFERENT THAN WHAT IS SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMITTAL OF BIDS.

UTILITY PLAN NOTES:

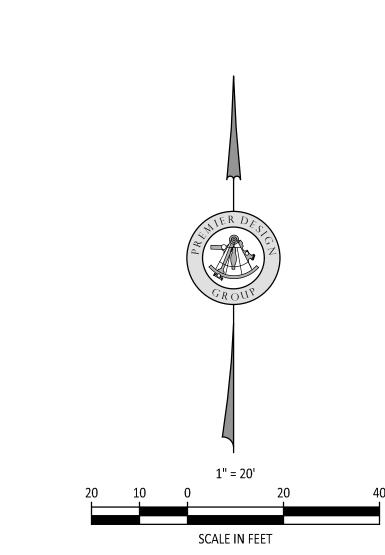
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE. 3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6' COVER ON ALL WATERLINES AND 3'-6' ON ALL SANITARY SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE COMPANY.
- 5. CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW
- REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 10. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND SPIRE FOR EXACT LOCATION OF GAS ENTRY. G.C. TO INCLUDE IN BID FOR CONTRACTOR ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY SPIRE .
- 11. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND EVERGY FOR EXACT LOCATION OF ELECTRIC ENTRY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY ELECTRIC COMPANY. 12. REFER TO MEP PLANS FOR GAS SERVICE SIZING.
- 13. ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE

MECHANICALLY COMPACTED.

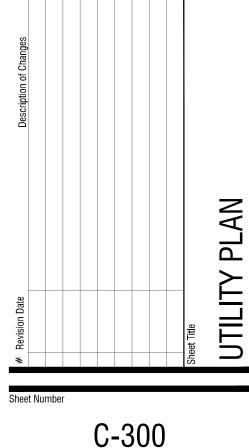
- 14. THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 15. ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
- 16. ALL CONSTRUCTION MATERIALS USED SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT AND STATE OF MISSOURI SPECIFICATIONS. 17. G.C. IS TO PROVIDE TRENCH PULL WIRE AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES, BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE
- AND ELECTRIC INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR. 18. GENERAL CONTRACTOR IS TO PROVIDE TRENCH, BACKFILL AND GRADE SMOOTH FOR
- A COMPLETE WATER LINE INSTALLATION.
- 19. ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT SHALL BE FULL SLAB REPLACEMENT.
- 20. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
- 21. ALL WATER LINES GREATER THAN 3" SHALL BE C-900 PVC PIPE. WATER LINES SMALLER THAN 3" SHALL BE TYPE "K" COPPER.
- 22. ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY CITY OF LEE'S SUMMIT WATER CODES. WATER TAP AND METERS UNDER 2" SHALL BE INSTALLED BY CITY OF LEE'S SUMMIT WATER UP TO THE RIGHT-OF-WAY LINES. WATER TAP AND METERS OVER 2" SHALL BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT TO SCHEDULE CONNECTION TO PUBLIC WATER.
- 23. SANITARY LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR PIPES THAT CROSS ABOVE WATER MAINS, THIS PIPE SHALL BE AWA C900 UNLESS WATER MAIN IS CASED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT WER TO SCHEDULE CONNECTION TO PUBLIC SEWER
- 24. CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS FOR ANY DISRUPTIONS TO EXISTING UTILITY SERVICES.
- 25. CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPAIR AND REPLACEMENT REQUIRED FOR ALL UTILITY CONNECTIONS AND INSTALLATIONS. 26. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY AND ALL
- APPLICABLE TAP AND SERVICE FEES AS LISTED IN THE MOST CURRENT EDITION OF CITY OF LEE'S SUMMIT RULES AND REGULATIONS FOR CUSTOMER SERVICE
- COORDINATION WITH THE ELECTRIC, TELEPHONE AND CATV COMPANIES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE CONDUCTED IN A MANNER THAT RESULTS IN AN EFFICIENT AND TIMELY RELOCATION AND REMOVAL OF THE EXISTING FACILITIES.

"PRIVATE".

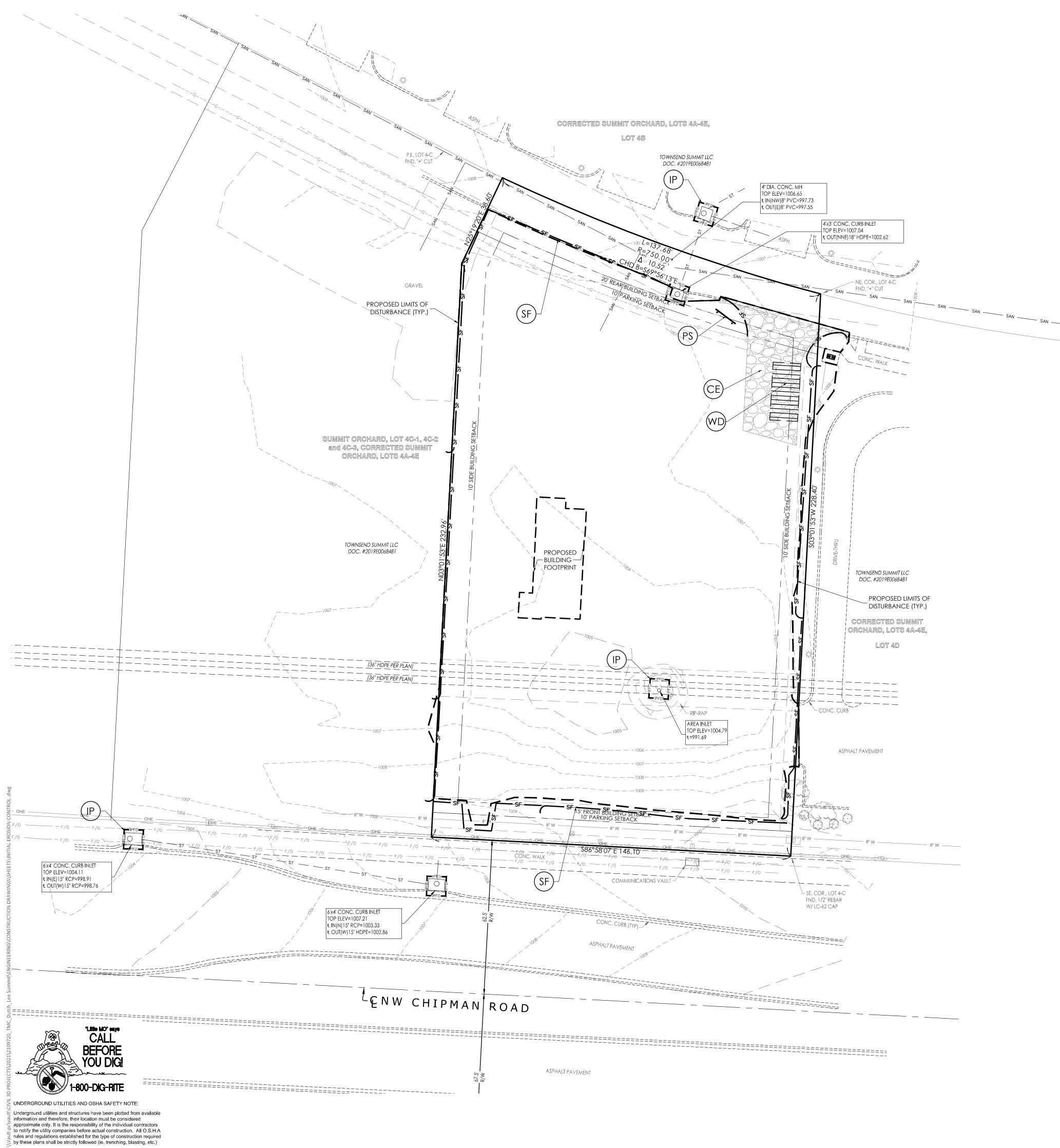
- 28. GROUND ELEVATIONS SHALL BE WITHIN 6" OF THE FINAL PROPOSED ELEVATIONS PRIOR THE START OF ELECTRIC, TELEPHONE AND CATV RELOCATIONS OR INSTALLATIONS OF NEW SERVICE.
- 29. CONTRACTOR SHALL REFERENCE ELECTRICAL PLANS FOR FURTHER INFORMATION AND FOR CONDUIT ROUTING TO LIGHT STANDARDS AND ANY GROUND MOUNTED SIGNS. 30. ALL UTILITY IMPROVEMENTS (SERVICES, EXTENSIONS, CONNECTIONS, ETC.) TO BE
- 31. BUILDING SEWER STUBS BEING DISCONNECTED FROM THE SEWER MAIN SHALL BE DISCONNECTED BY THE WATER UTILITIES DEPARTMENT, AFTER THE CONTRACTOR HAS PROVIDED ACCESS TO THE SEWER MAIN VIA AN OSHA COMPLIANT EXCAVATION WITH PROPER SHORING AS NECESSARY. WATER UTILITIES STAFF RESERVE THE RIGHT TO NOT ENTER ANY TRENCH DETERMINED TO BE UNSAFE.



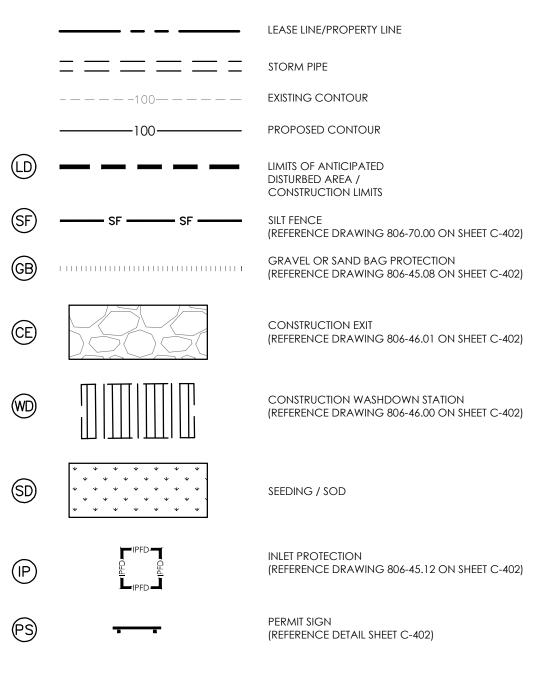




2109720 Project No A. JONES Drawn By M. FOGARTY Checked By



EROSION CONTROL SYMBOL LEGEND



CONSTRUCTION SEQUENCING ACTIVITIES:

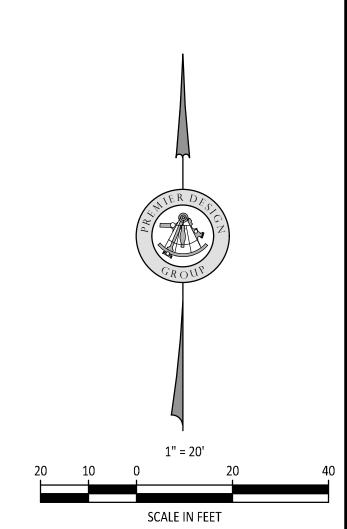
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP's

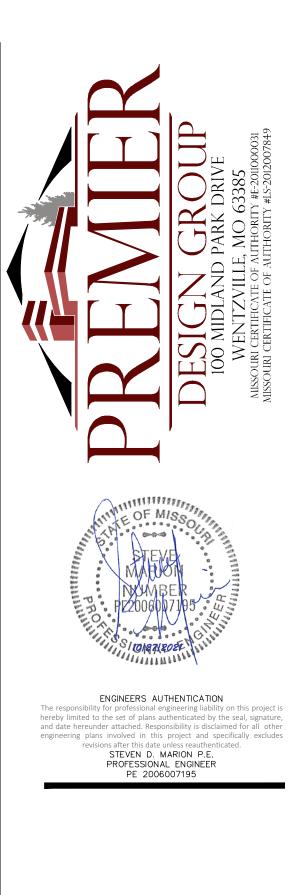
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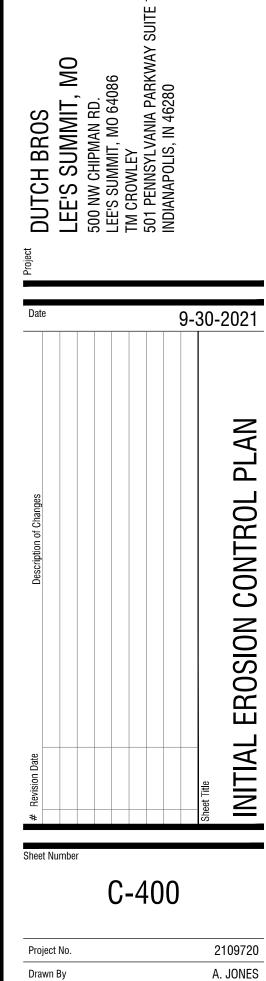
- 1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
- 2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
- 3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
- 4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
- 5. THE JOB SITE TRAILER, DUMPSTER, FUELING AREA, STORAGE & LAY-DOWN AREA SHALL BE LOCATED BY THE GENERAL CONTRACTOR AT THE START OF CONSTRUCTION. THESE ITEMS MUST BE NOTED BY THE CONTRACTOR ON THE SWPPP DRAWINGS.
- 6. SOIL STOCKPILES AND DEMOLITION DEBRIS STOCKPILES SHALL HAVE SILT FENCES INSTALLED IF LEFT ON SITE & UNDISTURBED FOR MORE THAN 13 DAYS.

ALL PROJECT SITES ARE REQUIRED TO COMPLY WITH REQUIREMENTS OF THE "CLEAN WATER ACT" ESTABLISHED BY THE US ENVIRONMENTAL PROTECTION AGENCY.

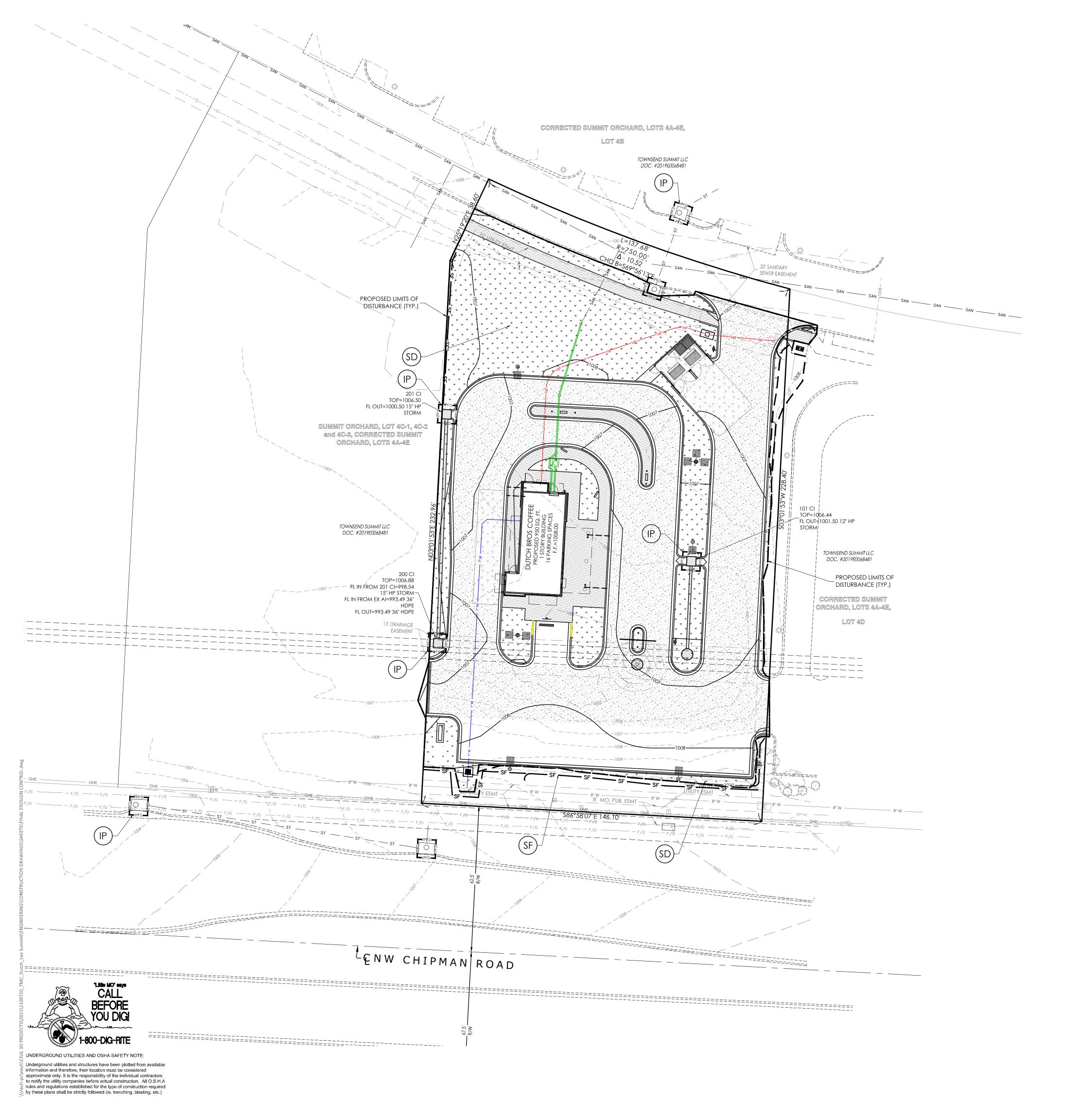
THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM REQUIRES PERMITS TO BE ISSUED BY REGULATORY AGENCIES WHEN PROJECT SITES DISTURB 1 ACRE OR MORE.



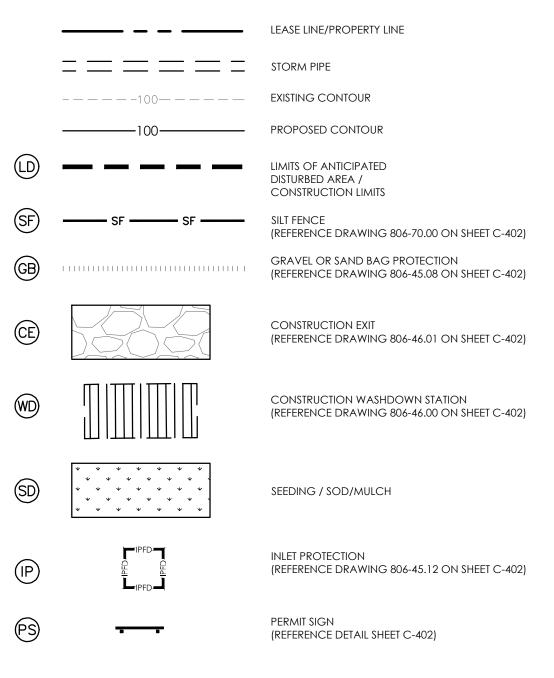




necked By	M. FOGAR
NOT RELEASED FO	R CONSTRUCTION



EROSION CONTROL SYMBOL LEGEND



CONSTRUCTION SEQUENCING ACTIVITIES:

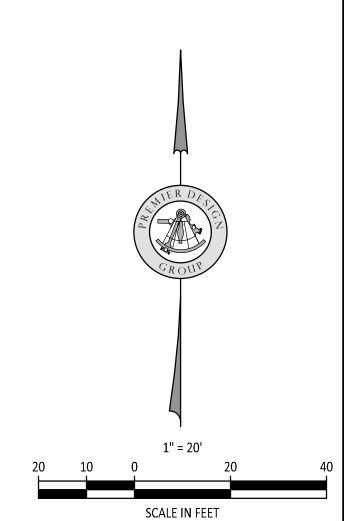
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
 INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
 BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP's
 <u>NOTES:</u>

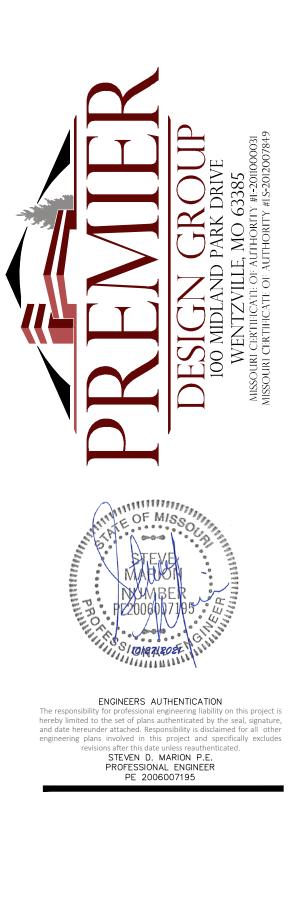
NOIL3.

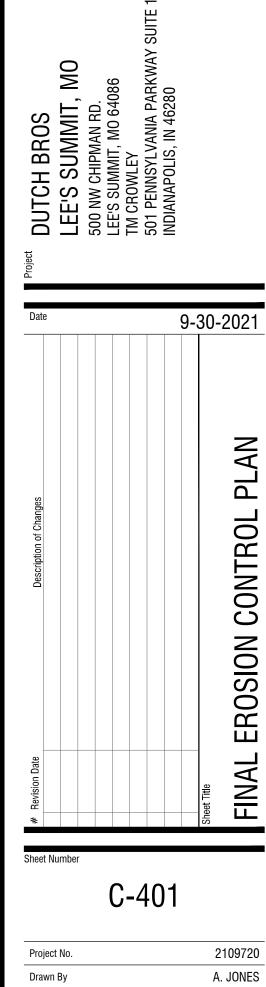
- REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
- 3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
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Checked By

M. FOGARTY

GENERAL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT FROM THE CITY OF CITY OF LEE'S SUMMIT AS REQUIRED.
- 2. THE CONTRACTOR SHALL KEEP & MAINTAIN A COPY OF THE LAND DISTURBANCE PERMIT(S) AND, EROSION CONTROL PLANS AT THE PROJECT SITE DURING CONSTRUCTION.
- 3. ALL EROSION CONTROL MEASURES MUST MEET LOCAL REQUIREMENTS AND THE "PROTECTING WATER QUALITY, A FIELD GUIDE TO EROSION, SEDIMENT AND STORM WATER BEST MANAGEMENT PRACTICES FOR DEVELOPMENT SITES IN MISSOURI AND KANSAS". THE DOCUMENT IS AVAILABLE FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES AND CAN BE DOWNLOADED FROM THE DNR WEBSITE AT HTTP:/WWW.DNR.MO.GOV/ENV/WPP/WPCP-GUIDE.HTM.
- 4. PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITIES, EROSION AND SEDIMENT CONTROL MEASURES AND APPLICABLE BMPS SHALL BE INSTALLED.
- 5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE START OF GRADING SO THAT SITE BMPS CAN BE VERIFIED.
- 6. THE GENERAL CONTRACTOR SHALL HAVE ULTIMATE CONTROL OF THE SITE AND REQUIRE THAT ALL SUBCONTRACTORS, UTILITY COMPANIES, AND ANY PERSON PERFORMING LAND DISTURBING ACTIVITIES CONFORM TO THE REQUIREMENTS OF THE PERMITS ISSUED FOR THE SITE. THIS INCLUDES CONFORMANCE TO THE STORM WATER POLLUTION PLAN PREPARED & MAINTAINED FOR THE SITE.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM WATER RUNOFF AND EROSION THROUGHOUT CONSTRUCTION.
- 8. THIS EROSION CONTROL PLAN HAS BEEN PREPARED AS A BEGINNING POINT AND SHOULD EVOLVE AS SITE CONDITIONS WARRANT. THE GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL BMPS AS DEEMED NECESSARY TO ADEQUATELY RETAIN SEDIMENT ON-SITE.
- 9. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING TREES AND VEGETATION.
- 10. CONSTRUCTION MATERIAL STORAGE AND LAY-DOWN AREAS ARE TO BE AWAY FROM DRAINAGE COURSES AND LOW AREAS.
- 11. PROVIDE CONTAINERS FOR THE DISPOSAL OF WASTE PAINTS, SOLVENTS, CLEANING COMPOUNDS, ETC. 12. PROVIDE TRASH CONTAINERS ONSITE AND PERFORM REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE. SOLID WASTE SHALL INCLUDE, BUT NOT BE LIMITED TO, SCRAP BUILDING MATERIALS, PRODUCT/MATERIAL PACKAGING, FOOD AND DRINK CONTAINERS.
- 13. THE CONTRACTOR SHALL INSTALL CONTAINMENT BERMS & DRIP PANS AT PETROLEUM PRODUCT & LIQUID STORAGE TANK AREAS.
- 14. THE CONTRACTOR SHALL PROVIDE CONCRETE WASH OUT AREAS. CONCRETE TRUCKS SHALL NOT DISCHARGE SURPLUS CONCRETE OR WASH WATER ON THE GROUND OR INTO DITCHES. CONCRETE WASH-OUT AREAS SHALL BE DESIGNED TO ENSURE CONCRETE PARTICLES WILL NOT BE RELEASED FROM THE CONSTRUCTION SITE.
- 15. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES IF CONDITIONS WARRANT. DUST CONTROL MAY INCLUDE WATERING/IRRIGATION WIND BARRIERS SPRAY ON ADHESIVES TILLING OR CHEMICAL TREATMENT. ANY CLEANUP TO ADJACENT PROPERTIES DUE TO INADEQUATE DUST CONTROL WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- 16. THE CONTRACTOR SHALL PROVIDE FOR SOLID WASTE/TRASH COLLECTION. THE CONSTRUCTION SITE SHALL BE KEPT CLEAN AND ORDERLY.
- 17. THE CONTRACTOR SHALL PROVIDE FOR SANITARY WASTE COLLECTION DURING CONSTRUCTION. PORTA POTTIES SHALL BE LOCATED BY THE CONTRACTOR AND NOTED ON THE DRAWINGS.

CONSTRUCTION SWPPP LOC

- 1. BMP's SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HRS OF RAIN EVENTS OF 1/2" OR GREATER. REPAIR AND MAINTENANCE TO BMP'S SHALL BE DONE IMMEDIATELY.
- 2. THE CONTRACTOR SHALL SUBMIT AN INSPECTION REPORT WITHIN 72 HOURS AFTER EVERY STORM EVENT TO THE CITY ENGINEER.
- 3. THE CONTRACTOR SHALL ENSURE THE SITE CONFORMS TO THE REQUIREMENTS OF THE EROSION CONTROL PLANS AND INSTALL ADDITIONAL BMP'S SHOULD SITE CONDITIONS WARRANT.

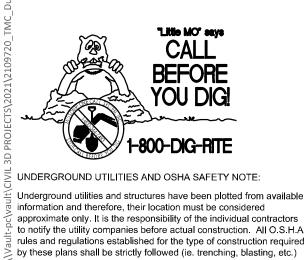
FINAL SITE STABILIZATION

- 1. ONCE GRADED AREAS ARE CONSTRUCTED TO FINAL GRADES, PERMANENT STABILIZATION SHALL BE ESTABLISHED.
- 2. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS DAMAGED BY CONSTRUCTION TO A CONDITION, EQUAL TO, OR BETTER THAN THE CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 3. ALL EROSION CONTROL BMP'S SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
- 4. ONCE THE SITE HAS REACH FINAL STABILIZATION, THE CONTRACTOR IS TO CLEAN AND REMOVE DEBRIS FROM BMP'S AND STORM WATER COLLECTION AREAS. BMP'S ARE THEN TO BE REMOVED.
 - POTENTIAL POLLUTANTS THAT MAY BE FOUND ON SITE DURING CONSTRUCTION:

Material Trade Name	Chemical/Physical Description	Storm Water Pollutants			
Erosion	Solid Particles	Soil, sediment			
Fertilizer	Liquid or solid grains	Nitrogen, phosphorus			
Pesticides (insecticides, fungicides, herbicides, rodenticides)	Various colored to colorless liquid, powder, pellets, or grains	Chlorinated hydrocarbons, organophosphates, carbonates, arsenic			
Asphalt	Black solid	Oil, petroleum distillates			
Concrete	White solid	Limestone, sand			
Plaster	White granules or powder	Calcium Sulphate, calcium carbonate, sulfuric acid			
Glue, adhesives	White or yellow liquid	Polymers, epoxies			
Paints	Various colored liquid	Metal oxides, Stoddard solvent, talc, calcium carbonate, arsenic			
Curing compounds	Creamy white liquid	Naphtha			
Wood preservatives	Clear amber or dark brown liquid	Stoddard solvent, petroleum distillates, arsenic, copper, chromium.			
Hydraulic oil/fluids	Brown oily petroleum hydrocarbon	Mineral oil			
Gasoline	Colorless, pale brown or pink petroleum hydrocarbon	Benzene, ethyl benzene, toluene, xylene, MTBE			
Diesel Fuel	Clear, blue-green to yellow liquid	Petroleum distillate, oil & grease, naphthalene, xylenes			
Antifreeze/coolant	Clear green/yellow liquid	Ethylene glycol, propylene glycol, heavy metals (copper, lead, zinc)			

MATERIALS STORED ON SITE:

- 1. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS. IF POSSIBLE, MATERIALS SHALL BE STORED UNDER A ROOF OR OTHER ENCLOSURE.
- 2. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. THE MANUFACTURER'S RECOMMENDATIONS FOR THE PROPER USE AND DISPOSAL OF THEIR PRODUCTS SHALL BE FOLLOWED. THE CONSTRUCTION MANGER SHALL INSPECT THE ON-SITE MATERIALS DAILY TO ENSURE THE PROPER USE AND DISPOSAL.
- 3. HAZARDOUS PRODUCTS SHALL BE KEPT IN RESEALABLE CONTAINERS. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED. ALL FEDERAL, STATE AND CITY REGULATIONS SHALL BE FOLLOWED WHEN DISPOSING OF ANY HAZARDOUS WASTE.



MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:

- 1. SILT FENCING SHALL BE INSPECTED DAILY DURING PERIODS OF RAINFALL, IMMEDIATELY AFTER EACH SIGNIFICANT RAINFALL EVENT, AND WEEKLY DURING PERIODS OF NO RAINFALL. REPAIRS TO SILT FENCES SHALL BE DONE IMMEDIATELY. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 2. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY, AFTER EVERY RAINFALL EVENT, AND DURING HIGH VOLUMES OF TRAFFIC. REPAIRS TO THE CONSTRUCTION ENTRANCE SHALL BE MADE IMMEDIATELY. ALL SEDIMENTS, AND ALL OTHER MATERIALS, TRACKED ONTO PUBLIC ROADWAYS SHALL BE REMOVED IMMEDIATELY
- 3. SELECT STOCKPILE LOCATION TO AVOID SLOPES AND NATURAL DRAINAGE WAYS, AVOIDING TRAFFIC ROUTES. ON LARGE SITES, RE-SPREADING IS EASIER AND MORE ECONOMICAL WHERE TOPSOIL IS STOCKPILED IN SMALL PILES LOCATED NEAR AREAS WHERE THEY WILL BE USED.
- 4. INSPECT AND MAINTAIN ALL BMPS LOCATED DOWN HILL OF AREA BEING GRADED, AS INDICATED. ADDITIONAL BMPS SHOULD BE CONSTRUCTED IF IT IS OBSERVED THAT THE PROPOSED BMPS ARE NOT EFFECTIVELY LIMITING SEDIMENT TRANSPORT FROM THE SITE. TYPICAL BMPS THAT MIGHT BE UTILIZED INCLUDE, BUT ARE NOT LIMITED TO:
- SEDIMENT BARRIERS USE SILT FENCES, STRAW BALE SEDIMENT TRAPS OR OTHER BARRIERS WHERE NECESSARY TO RETAIN SEDIMENT
- TEMPORARY SEEDING PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 14 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE
- PERMANENT VEGETATION IF STOCKPILES WILL NOT BE USED WITHIN 12 MONTHS, THEY MUST BE STABILIZED WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH

SPILL CONTROL OF POLLUTANTS:

DISCOVERY.

CONSTRUCTION ENTRANCE (CE)

THE PROJECT SITE.

ENTRANCE/EXIT.

SILT FENCE (SF)

OR EQUAL.

REINSTALLED.

INLET PROTECTION (IP)

ALTERNATE.

FENCE SHALL BE REPLACED.

UNTIL THE SITE HAS BEEN CONSIDERED STABLE.

SOD OR SEEDING, MULCHING AND FERTILIZING (SD) (SM)

MINIMUM OF 4" OF TOPSOIL INSTALLED.

6. SOD SHALL BE DROUGHT RESISTANT FESCUE.

STAND OF GRASS IS ESTABLISHED.

4' (MINIMUM)

PERMIT SIGN

* * * * V V

V V

LANDSCAPING PLANS FOR LOCATIONS OF EACH.

SEEDED AND MULCHED IMMEDIATELY AFTER GRADING.

— RAIN GAUGE

SHALL BE CLEANED IMMEDIATELY.

- 1. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND SHALL RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- 2. CONCRETE TRUCKS SHALL ONLY WASH-OUT OR DISCHARGE SURPLUS CONCRETE, OR DRUM-WASH WATER, AT DEDICATED CONCRETE TRUCK WASH-OUT AREAS. NO EXCESS CONCRETE OR DRUM WASH WATER SHALL BE RELEASED FROM THE SITE.
- 3. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
- 4. ALL ASPHALTIC SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE
- MANUFACTURERS RECOMMENDATIONS.
- 5. FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. THE CONTENTS OF ANY PARTIALLY USED BAGS OF
- FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC CONTAINER TO AVOID SPILLS. 6. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE RELAYED TO SITE PERSONNEL AND THEY SHALL BE MADE AWARE OF THE LOCATION OF THE CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE STORED ON-SITE.

1. THE LOCATION OF A CONSTRUCTION ENTRANCE/EXIT HAS BEEN SHOWN ON THE EROSION CONTROL

ENTRANCE/EXIT AT THE START OF CONSTRUCTION. IN THE EVENT THE ENTRANCE IS LOCATED IN A

PLAN(S). THE CONTRACTOR SHALL INSTALL OR ESTABLISH A DESIGNATED CONSTRUCTION

DIFFERENT LOCATION, THE CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN.

2. A PERMIT SIGN SHALL BE INSTALLED AT OR NEAR THE CONSTRUCTION ENTRANCE FOR POSTING

3. AS PART OF THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL INSTALL A VEHICLE WASH

4. TRACKING IS NOT PERMISSIBLE. ANY TRACKING OF MUD AND/OR DEBRIS ONTO OFF-SITE ROADS

5. LOCATION AND FINAL DIMENSIONS OF THE CONSTRUCTION ENTRANCE, WASH DOWN AREA AND

8. UNLESS NOTED OTHERWISE, SILT FENCE SHALL BE A WOVEN GEOTEXTILE FABRIC SUCH AS MIRAFI 100X

6. ALL CONSTRUCTION TRAFFIC LEAVING THE PROJECT SITE SHALL UTILIZE THE CONSTRUCTION

STAGING AREAS SHALL BE ESTABLISHED BY THE GENERAL CONTRACTOR.

7. SILT FENCE TO BE ADJUSTED AS NECESSARY FOR CONSTRUCTION ACTIVITY.

10. SILT FENCES SHALL ONLY BE USED FOR STORM WATER SHEET FLOW CONDITIONS.

11. SILT FENCES SHALL FOLLOW CONTOURS AND UTILIZE "J" HOOKS TO HELP TRAP SEDIMENT.

12. SILT FENCES SHALL BE INSPECTED REGULARLY FOR RIPS, TEARS, OR DETERIORATION. DAMAGED

13. WHEN SEDIMENT BUILDS UP TO ONE HALF THE HEIGHT OF THE FENCE, IT SHALL BE CLEANED AND

2. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AROUND EACH INLET ONCE INLET

CONSTRUCTION IS COMPLETED. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED

1. ALL DISTURBED AREAS WHICH REMAIN UNWORKED FOR 14 DAYS, SHALL BE TEMPORARILY STABILIZED.

2. ALL TEMPORARY DIVERSION BERMS, DIVERSION DITCHES AND SOIL STOCKPILE AREAS SHALL BE

3. ALL AREAS DISTURBED DURING CONSTRUCTION, WHICH WILL NOT BE PAVED, SHALL HAVE A

4. GRASSED AREAS SHALL BE EITHER SODDED OR SEEDED AND MULCHED. REFER TO THE SITE AND

5. ALL RIGHT-OF-WAYS SHALL HAVE SOD INSTALLED. SOD SHALL MEET THE REQUIREMENTS OF THE

8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SODDED AND SEEDED AREAS UNTIL A HEALTHY

NOTES:

CLEARLY READABLE CONDITION AT ALL TIMES

PERMIT HAS BEEN TERMINATED.

BY THE GOVERNING AGENCY.

GOVERNING AGENCY.

THROUGHOUT CONSTRUCTION AND UNTIL THE

AND/OR EROSION AND SEDIMENT CONTROL

SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC

4. CONTRACTOR IS RESPONSIBLE FOR ENSURING

STABILITY OF THE INFORMATION SIGN.

7. TEMPORARY IRRIGATION MAY BE REQUIRED TO HELP ESTABLISH SODDED/SEEDED AREAS.

- SIGN TO BE CONSTRUCTED OF A

PLYWOOD OR OUTDOOR SIGN

CONSTRUCTED IN A MANNER TO

PERMIT SIGN DETAIL

(NOT TO SCALE)

PROTECT DOCUMENTS FROM

(WIND, SUN, MOISTURE, ETC.).

DAMAGE DUE TO WEATHER

RIGID MATERIAL, SUCH AS

BOARD. SIGN MUST BE

LOCAL JURISDICTION AND/OR THE DEPARTMENT OF TRANSPORTATION.

1. REFER TO THE INLET PROTECTION DETAILS FOR VARIOUS TYPES OF INLET PROTECTION. THE CONTRACTOR SHALL HAVE THE OPTION OF UTILIZING ANY TYPES SHOWN OR ACCEPTABLE

9. REFER TO THE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.

DOWN AREA. THE WASH DOWN AREA IS TO PREVENT THE TRACKING OF MUD AND DEBRIS FROM

IN CASE OF A SPILL. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND CLEANUP

PERSONNEL SHALL WEAR THE APPROPRIATE CLOTHING TO PREVENT INJURY FROM

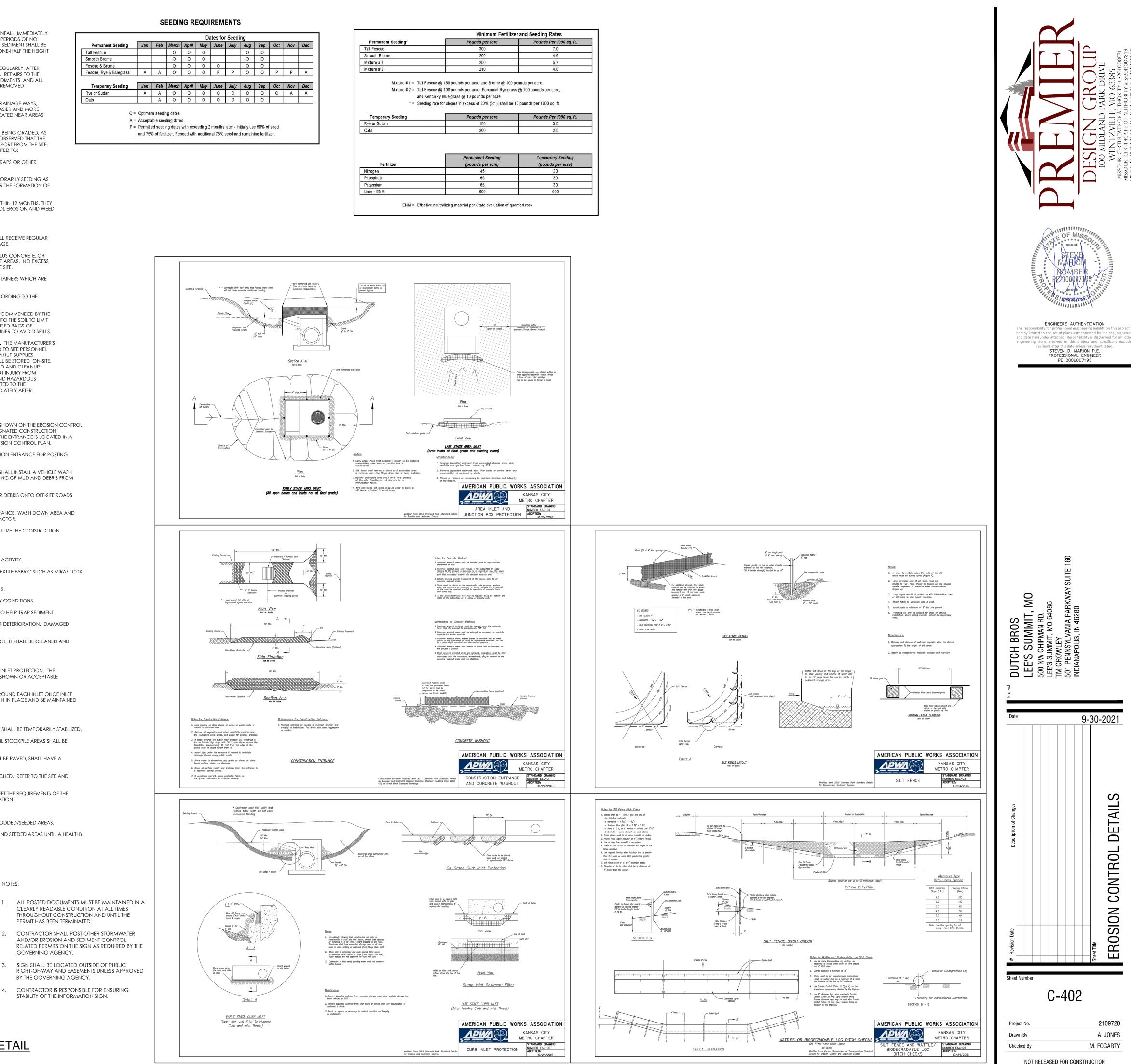
CONTACT WITH THE HAZARDOUS SUBSTANCE. SPILLS OF TOXIC AND HAZARDOUS MATERIAL, REGARDLESS OF THE SIZE OF THE SPILL, SHALL BE REPORTED TO THE

APPROPRIATE STATE AND LOCAL GOVERNMENT AGENCIES IMMEDIATELY AFTER

RELEVANT CONSTRUCTION PERMITS FOR THE PROJECT.

		Dates for Seeding										
Permanent Seeding	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov	Dec
Tall Fescue			0	0	0			0	0			
Smooth Brome			0	0	0			0	0			
Fescue & Brome			0	0	0	0		0	0			
Fescue, Rye & Bluegrass	A	A	0	0	0	Р	Р	0	0	Р	Р	A
Rye or Sudan	A	A	0	0	0	0	0	0	0	0	A	A
Temporary Seeding Rye or Sudan	A	A	0	April O	May O	0	July O	Aug O	Sep O	0	A	A
Oats		Α	0	0	0	0	0	0	0			

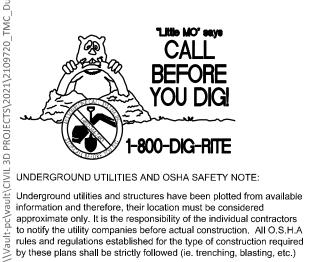
	Minimum Fertilize				
Permanent Seeding*	Pounds per acre	Pounds Per 1000 sq. ft.			
Tall Fescue	300	7.0			
Smooth Brome	200	4.6			
Mixture # 1	250	5.7			
Mixture # 2	210	4.8			
Mixture # 2 = Tall Fesc and Kent	ue @ 150 pounds per acre and Brome @ 100 po ue @ 100 pounds per acre; Perennial Rye grass ucky Blue grass @ 10 pounds per acre. rate for slopes in excess of 20% (5:1), shall be 10	@ 100 pounds per acre;			
Temporary Seeding	Pounds per acre	Pounds Per 1000 sq. ft.			
Temporary Seeding Rye or Sudan	Pounds per acre 150	Pounds Per 1000 sq. ft. 3.5			
Rye or Sudan	150	3.5 2.5 Temporary Seeding (pounds per acre)			
Rye or Sudan Oats	150 200 Permanent Seeding	3.5 2.5 Temporary Seeding			
Rye or Sudan Oats Fertilizer	150 200 Permanent Seeding (pounds per acre)	3.5 2.5 Temporary Seeding (pounds per acre)			
Rye or Sudan Oats Fertilizer Nitrogen	150 200 Permanent Seeding (pounds per acre) 45	3.5 2.5 Temporary Seeding (pounds per acre) 30			

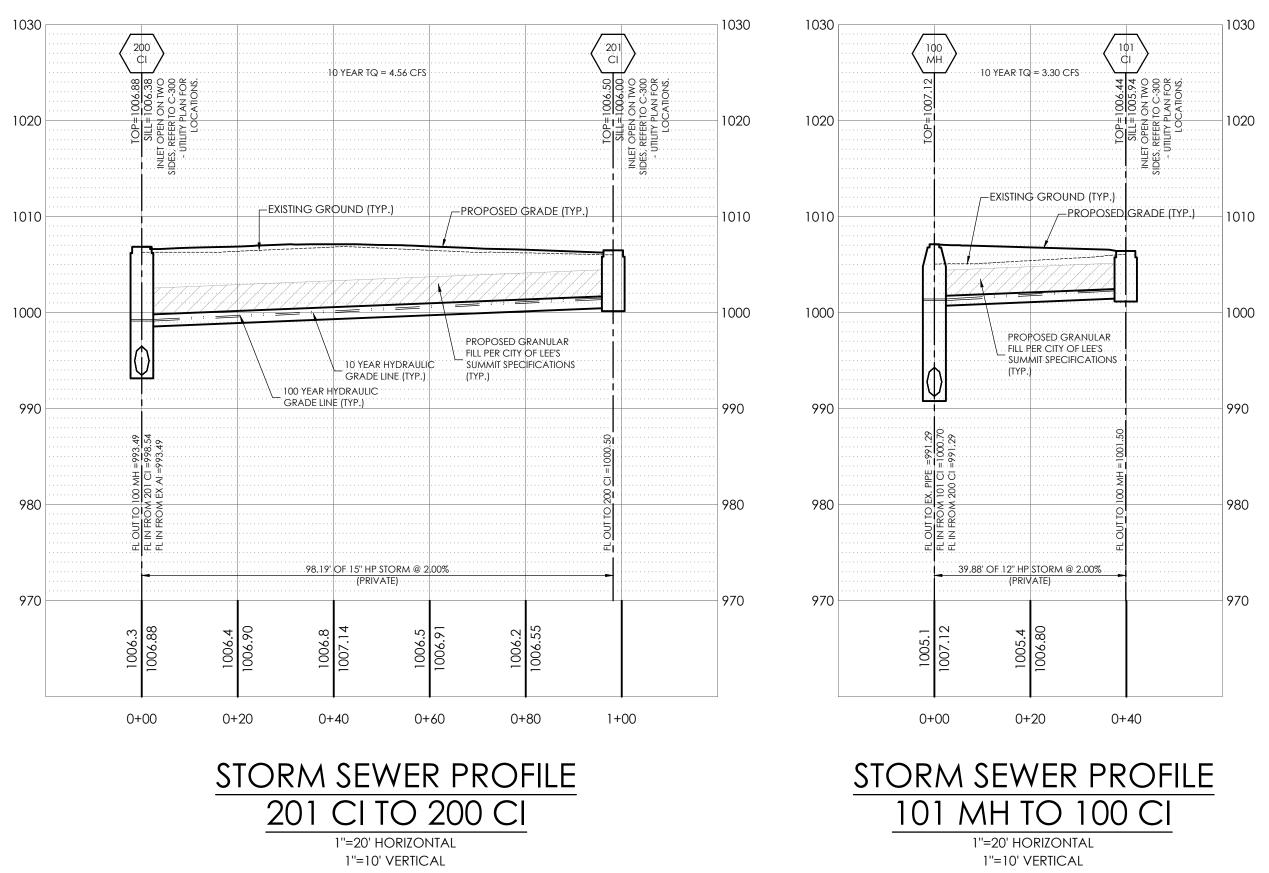


	10 YEAR S	STORM HYDI	AULICS																									
LineNo.	Linell	D InletI	LineLength	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSI ope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
			(ft)	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-10	00 101 C	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.78**	1002.28	1001.26	4.16	-87.458	7.28	0.39	1.00 z	0	n/a	5.46	3.3	3.3	0.02	100	3.3	0	0	n/a
2	104-10	03 104 C	98.19	15	1000.5	998.54	2	1006.5	1006.88	0.86**	1001.37	999.14	5.14	-87.844	7.89	0.39	1.00 z	0	0.39	9.88	4.56	4.56	0.02	100	4.56	0	0	n/a

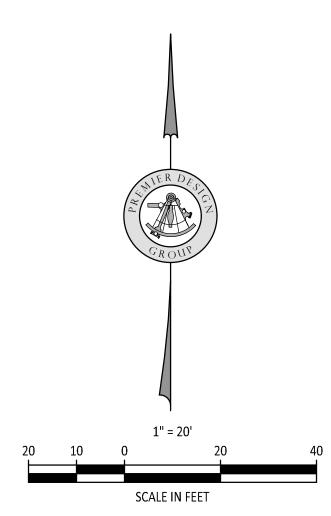
1	00 YEAR STORM HYDRUALICS

LineNo.	LineID	InletID	LineLength	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	CapacityFull	KnownQ	FlowRate	CrossSl ope, Sx	InletEff	QCaptured	QBypass	QCarryover	BypassDepth
			(ft)	(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(cfs)	(ft/ft)	(%)	(cfs)	(cfs)	(cfs)	(ft)
1	101-100	101 CI	39.877	12	1001.5	1000.7	2	1006.44	1007.12	0.91**	1002.41	1001.45	4.03	-87.458	7.88	0.67	1.00 z	0	n/a	5.46	4.95	4.95	0.02	100	4.95	0	0	n/a
2	104-103	104 CI	98.19	15	1000.5	998.54	2	1006.5	1006.88	1.05**	1001.55	999.3	4.95	-87.844	8.69	0.6	1.00 z	0	n/a	9.88	6.84	6.84	0.02	100	6.84	0	0	n/a





1''=20' HORIZONTAL 1''=10' VERTICAL



Sheet Number

Project No.

Drawn By

Checked By

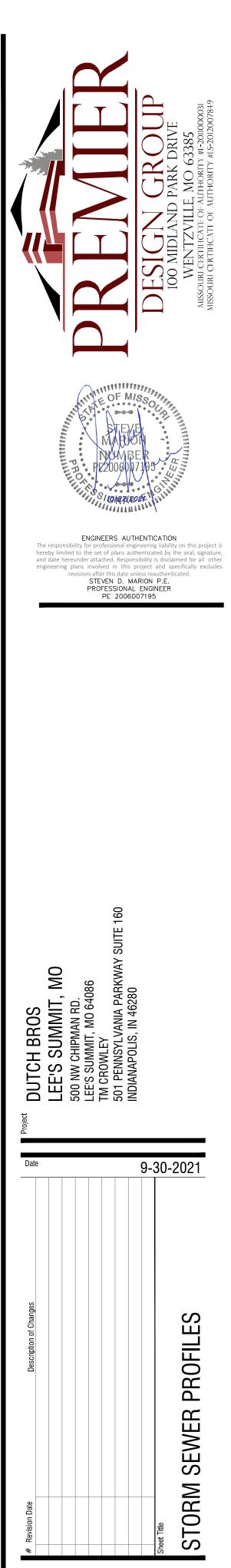
C-500

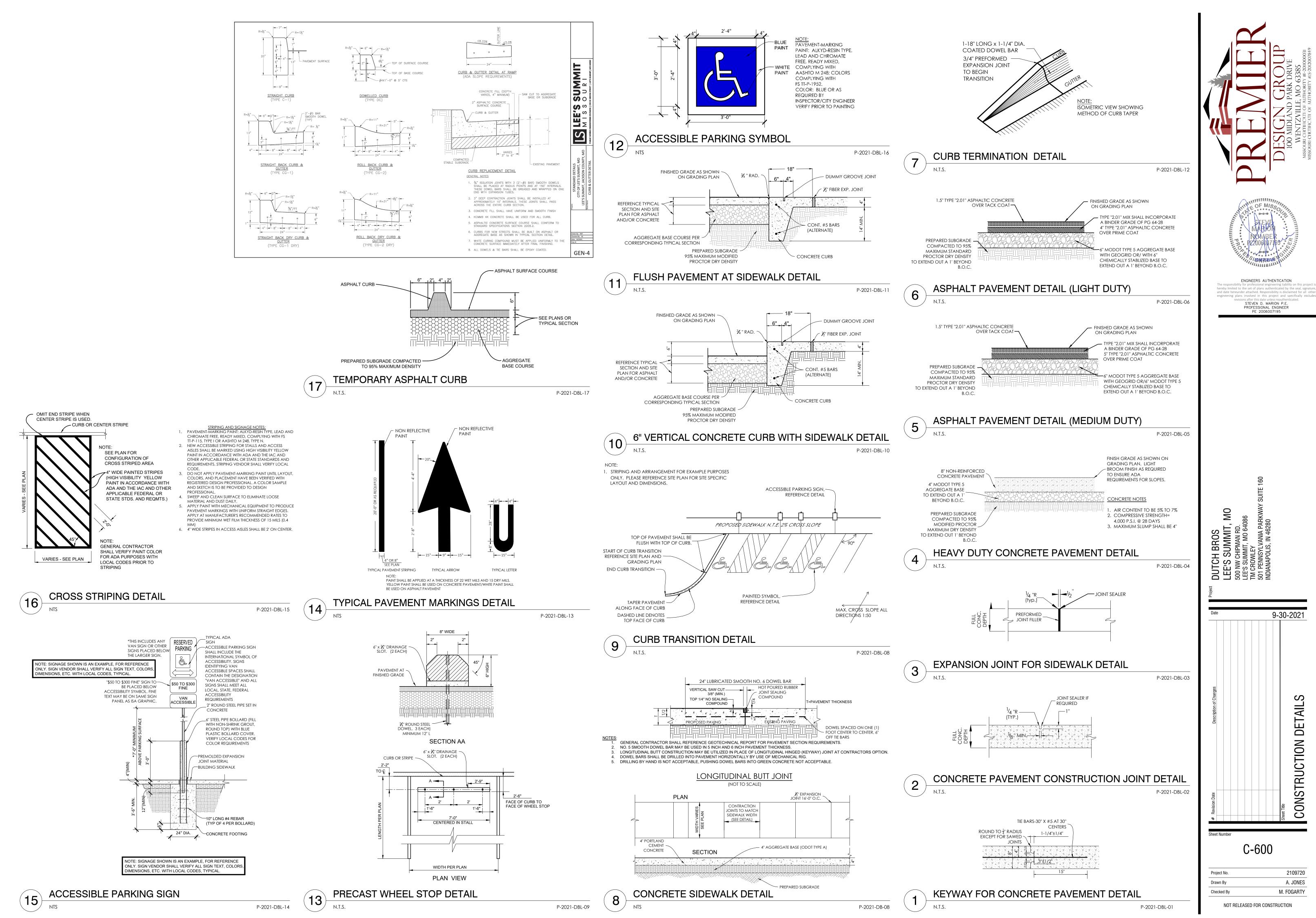
NOT RELEASED FOR CONSTRUCTION

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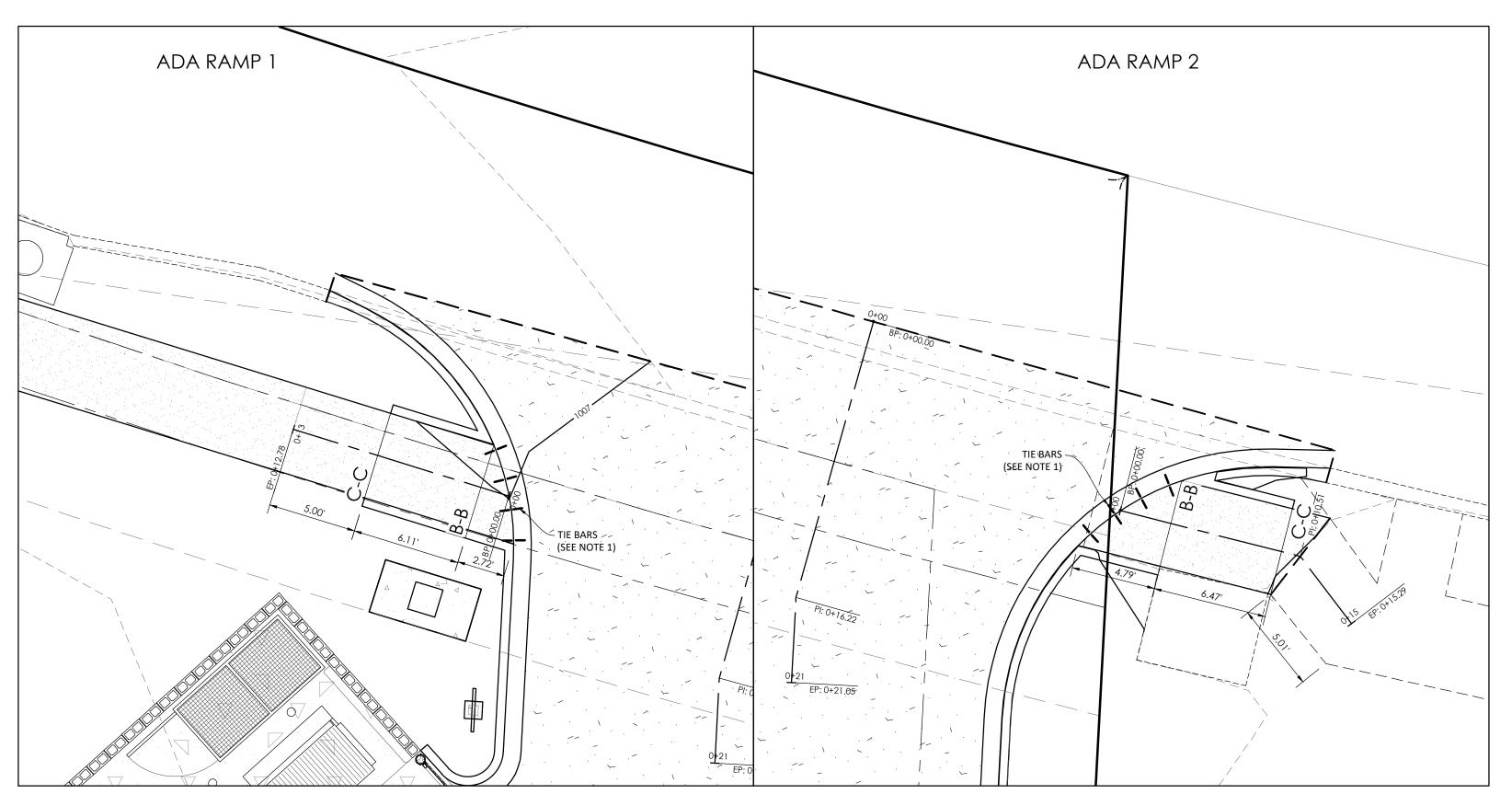
A. JONES

M. FOGARTY

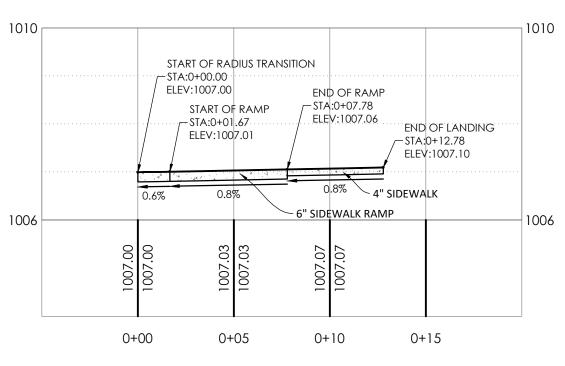


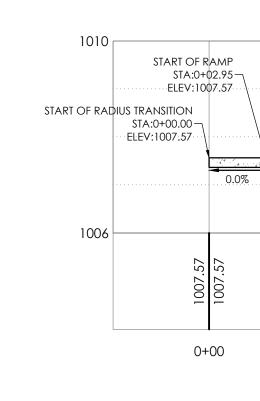


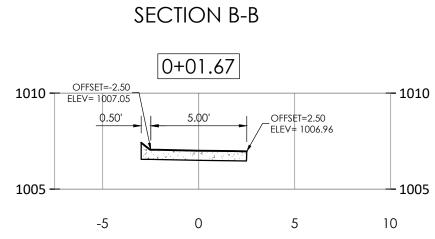




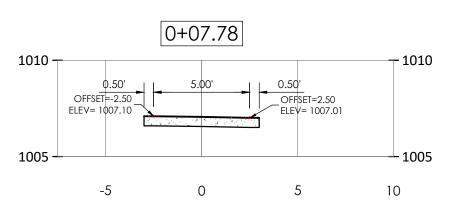
SECTION A-A

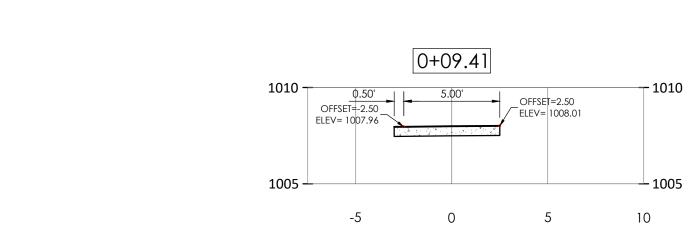


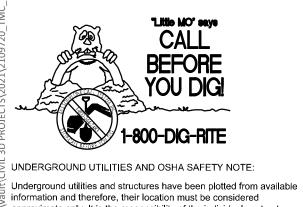






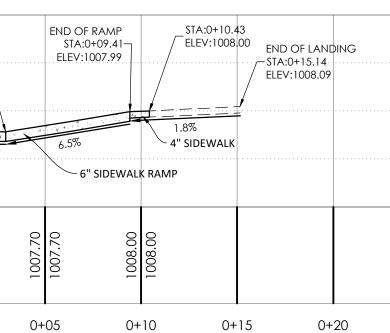






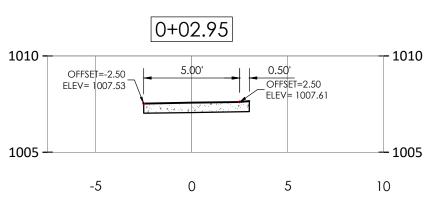
approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)

SECTION A-A

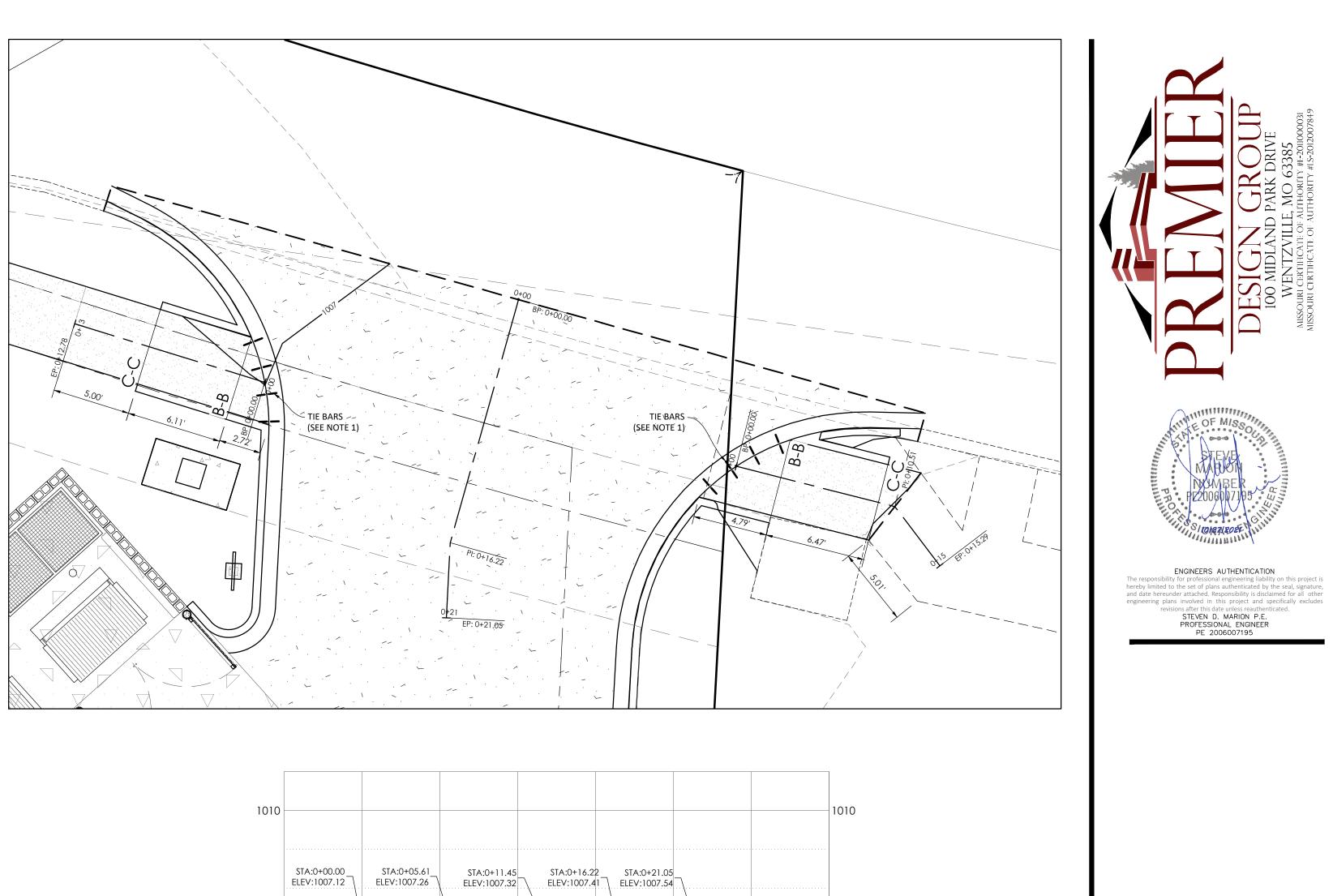


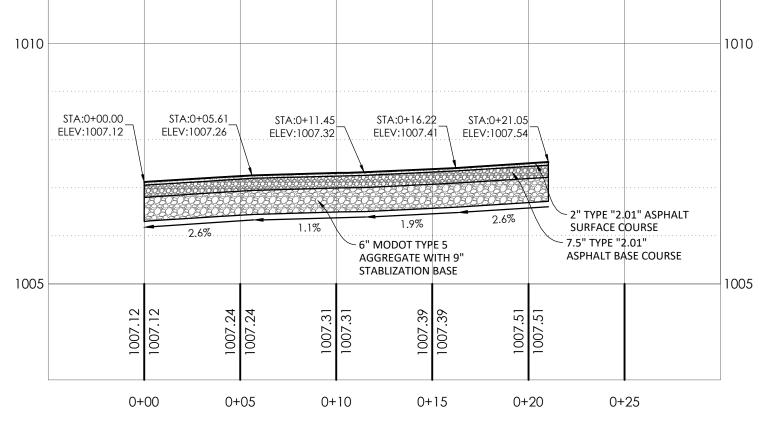
1006

SECTION B-B



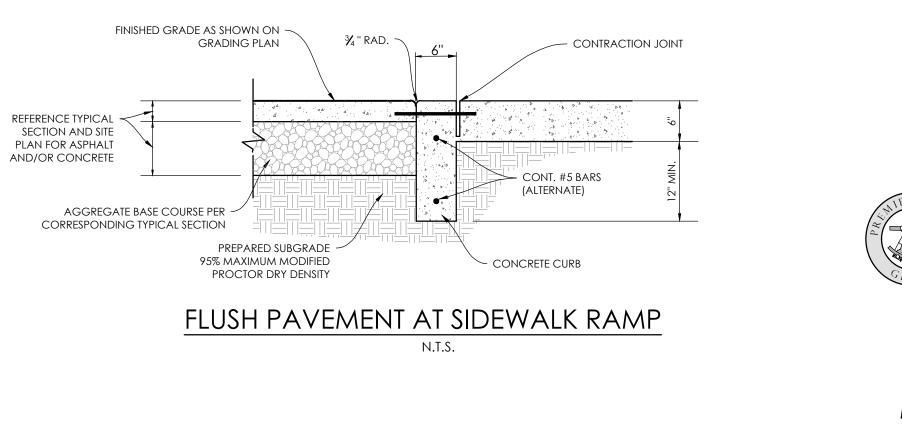
SECTION C-C





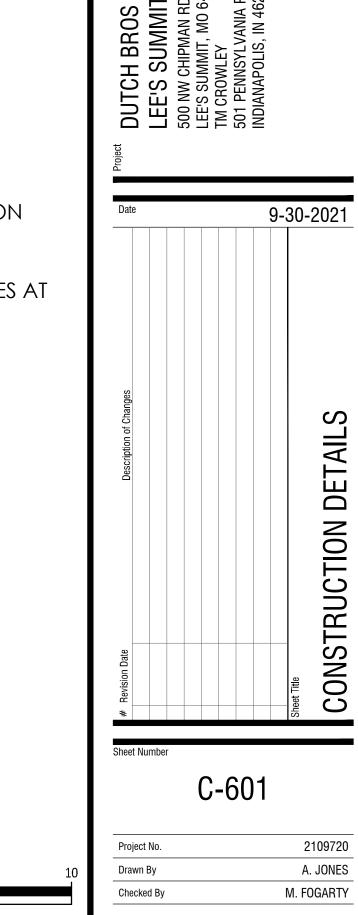
SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:

- 2. ADA MAXIMUM RAMP SLOPE = 8.33%
- 3. ADA MAXIMUM CROSS SLOPE = 2.0%
- ALL WILL BE REJECTED.



USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION

4. DURING INSPECTION PROCESS, SIDEWALKS THAT EXCEED THE MAXIMUM ALLOWABLE SLOPES AT



CONSTRUCTION DETAILS

MO

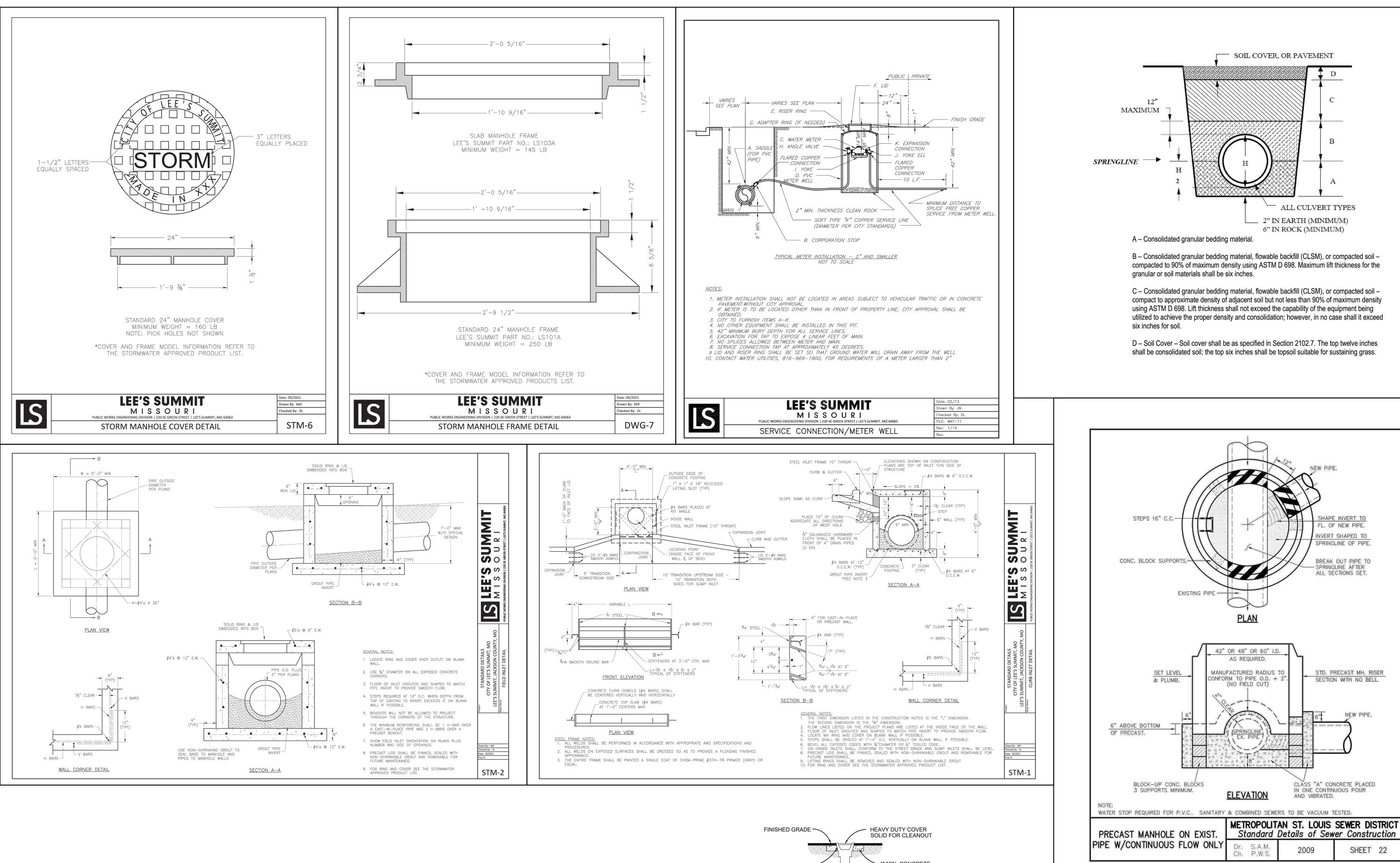
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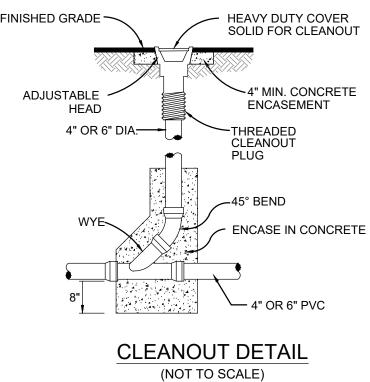
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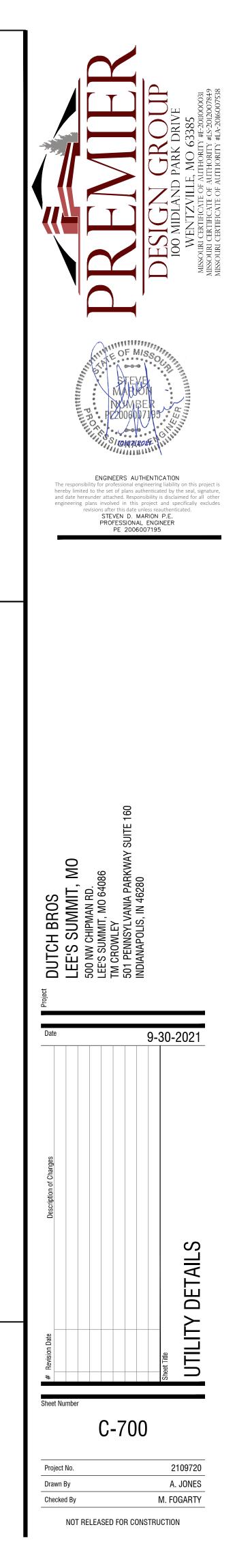
1" = 5'

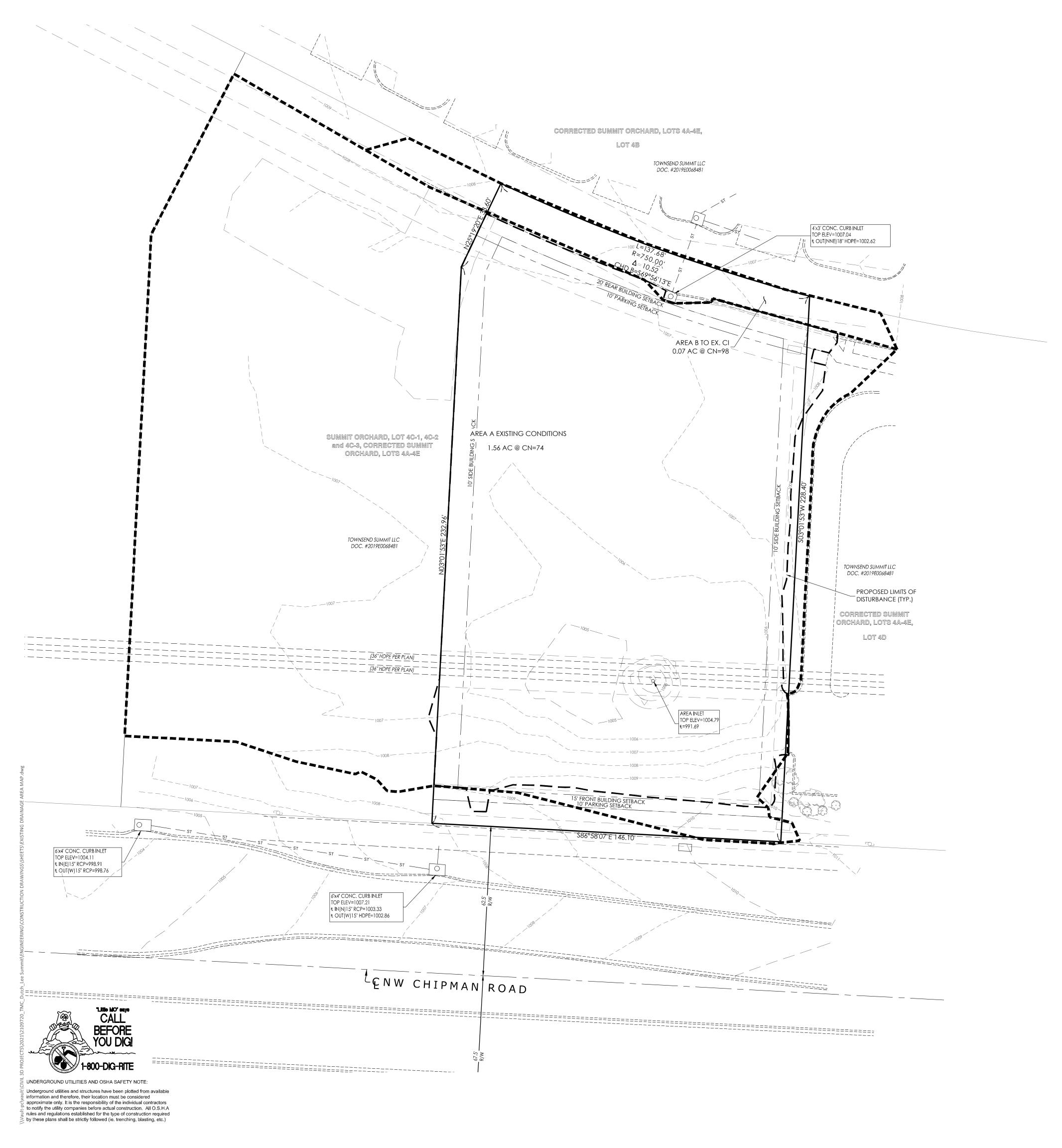
SCALE IN FEET

2.5









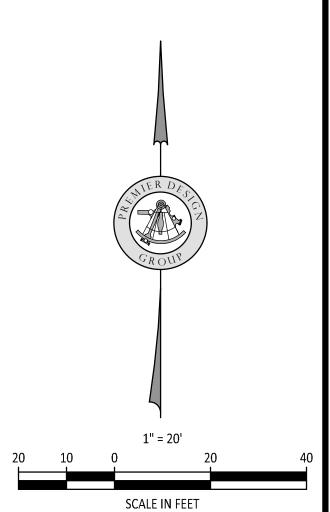
EX ID AREA A 2-Year 10-Year AREA B 2-Year 10-Year 100-Year THIS PLAN IS FOR DRAINAGE PURPOSES AND REFERENCE ONLY. DO NOT USE FOR CONSTRUCTION. MINIMUM TIME OF CONCENTRATION = 5 MINUTES EXISTING SOILS TYPE = C CN PVMT = 98 CN GRASS = 74 CN COMMERCIAL AREAS = 94

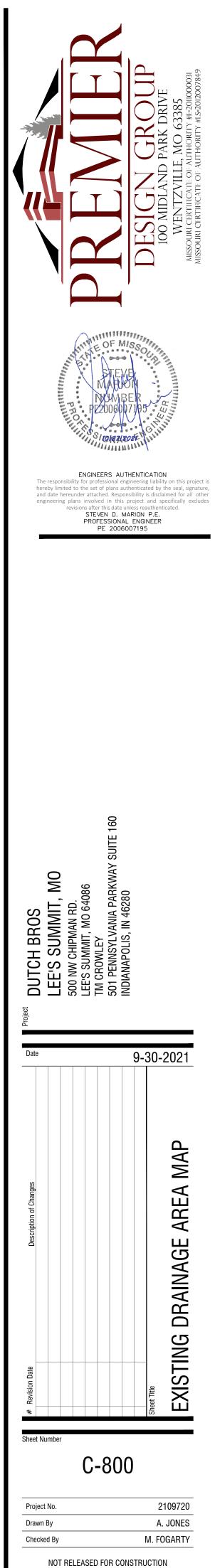
MASTER DRAINAGE PLAN NOTES

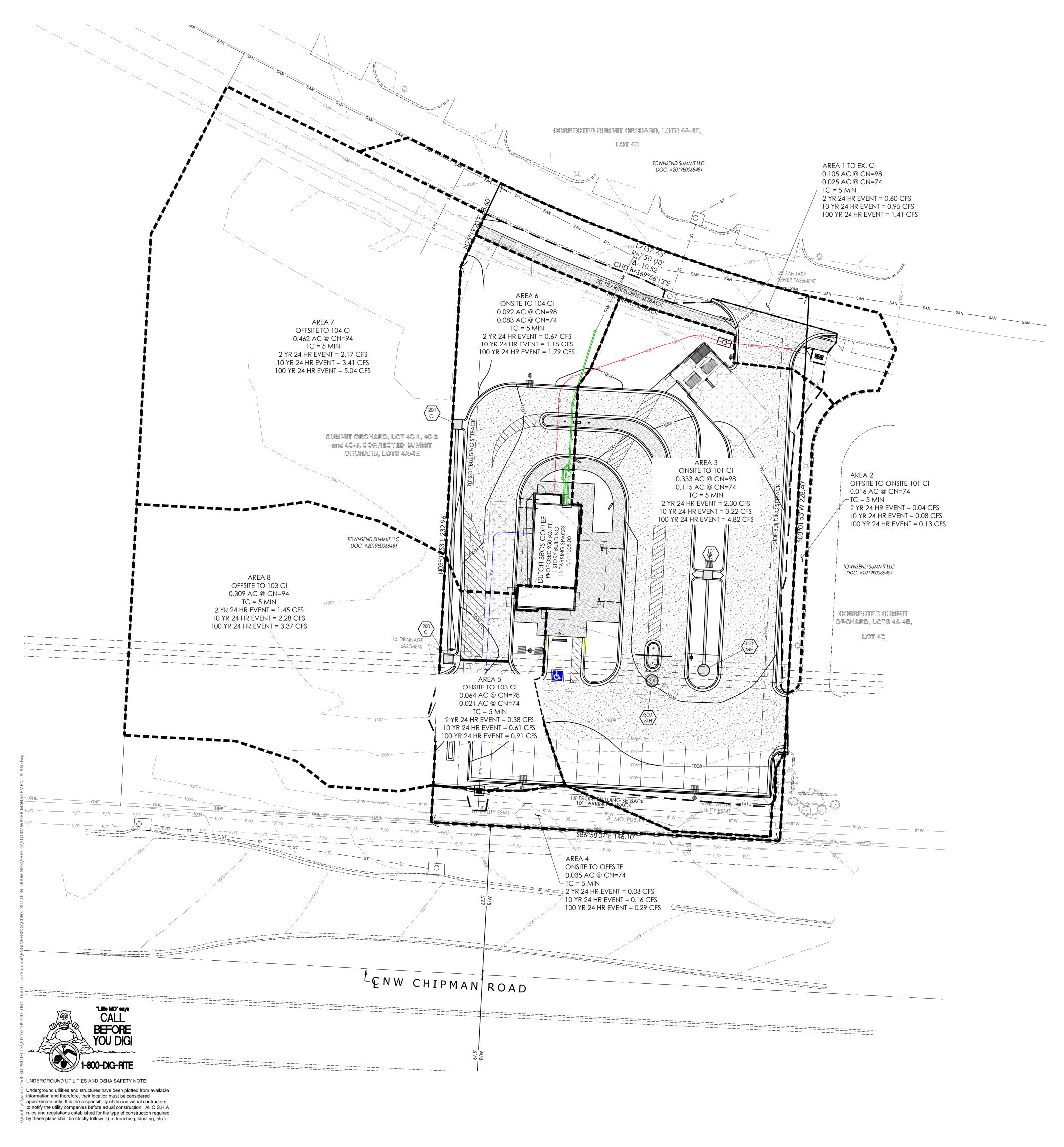
- 1. MBOE (MINIMUM BUILDING OPENING ELEVATION) ELEV = 1008.00
- 2. THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

EXISTING RUNOFF TABLE

	EXISTING Q (CFS)
	3.46
-	7.31
ar	12.87
	0.39
•	0.59
ar	0.86







Row Labels	Peak
AREA 1	
2-Year	0.60
10-Year	0.95
100-Year	1.41
AREA 2	
2-Year	0.04
10-Year	0.08
100-Year	0.13
AREA 3	
2-Year	2.00
10-Year	3.22
100-Year	4.82
AREA 4	
2-Year	0.08
10-Year	0.16
100-Year	0.29
AREA 5	
2-Year	0.38
10-Year	0.61
100-Year	0.91
AREA 6	
2-Year	0.67
10-Year	1.15
100-Year	1.79
AREA 7	
2-Year	2.17
10-Year	3.41
100-Year	5.04
AREA 8	
2-Year	1.45
10-Year	2.28
100-Year	3.37

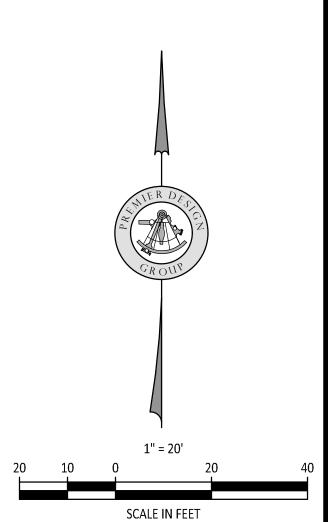
MINIMUM TIME OF CONCENTRATION = 5 MINUTES EXISTING SOILS TYPE = C CN PVMT = 98 CN GRASS = 74 CN COMMERCIAL AREAS = 94

MASTER DRAINAGE PLAN NOTES
1. MBOE - (MINIMUM BUILDING OPENING ELEVATION)

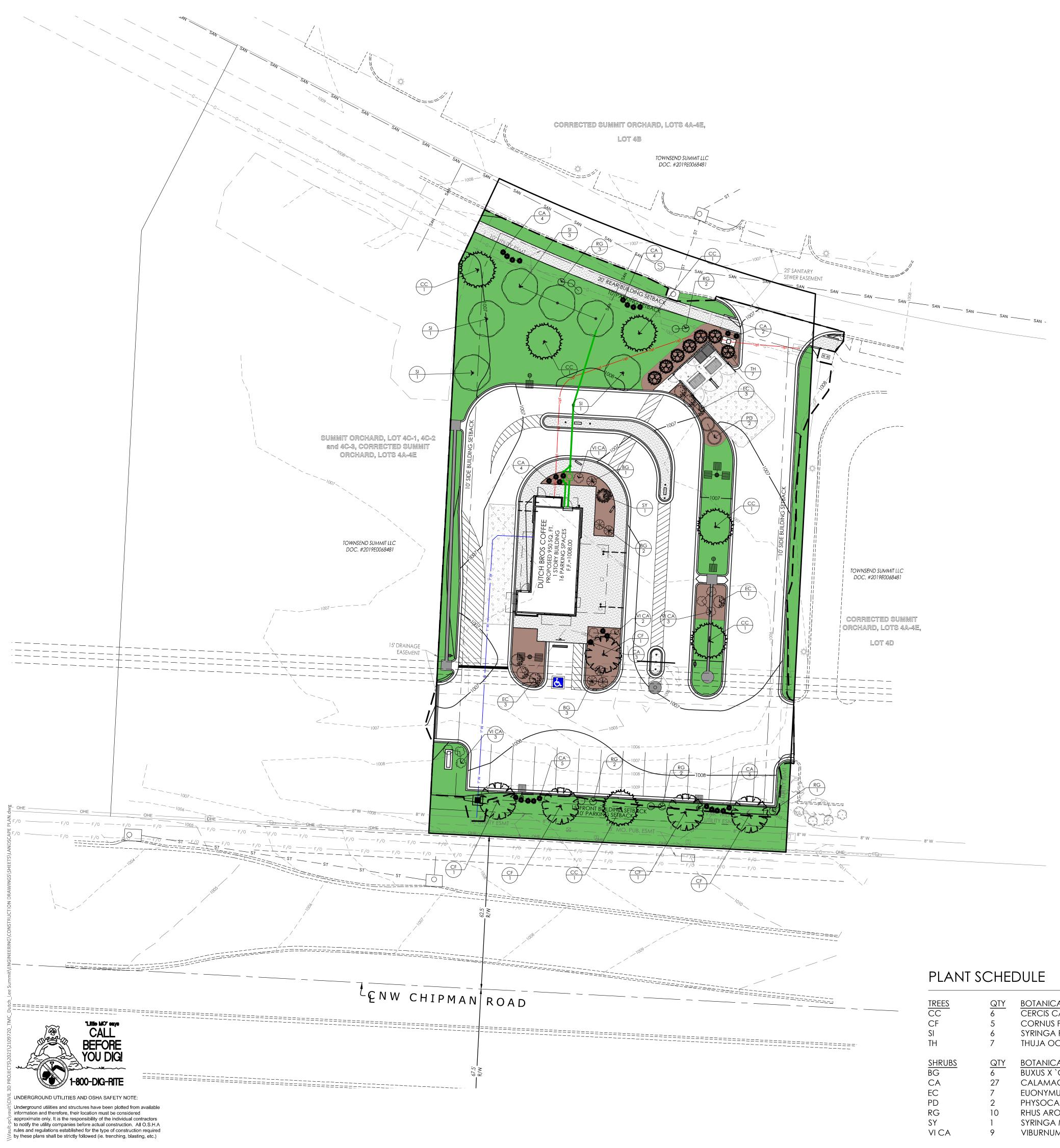
ELEV = 1008.00

 THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

					1
Runoff (cfs)	Impervious Area	Pervious Area	Total Area	Composite CN	тс
	0.105	0.025	0.13	93	5
	0.105	0.025	0.13	93	5
	0.105	0.025	0.13	93	5
	0	0.016	0.016	74	5
	0	0.016	0.016	74	5
	0	0.016	0.016	74	5
	0.333	0.115	0.448	92	5
	0.333	0.115	0.448	92	5
	0.333	0.115	0.448	92	5
	0	0.035	0.035	74	5
	0	0.035	0.035	74	5
	0	0.035	0.035	74	5
	0.064	0.021	0.085	92	5
	0.064	0.021	0.085	92	5
	0.064	0.021	0.085	92	5
	0.092	0.083	0.175	87	5
	0.092	0.083	0.175	87	5
	0.092	0.083	0.175	87	5
	0.462	0	0.462	94	5
	0.462	0	0.462	94	5
	0.462	0	0.462	94	5
	0.309	0	0.309	94	5
	0.309	0	0.309	94	5
	0.309	0	0.309	94	5



DESIGN CROUPDESIGN CROUPDESIGN CROUPDESIGN CROUPDESIGN CROUPDESIGN CROUPDESIGN CROUPDESIGN CRUPACITOR ALTOROUPDESIGN CRUPACITO
ENGINEERS AUTHENTICATION The responsibility for professional engineering liability on this project is
hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated. STEVEN D. MARION P.E. PROFESSIONAL ENGINEER PE 2006007195
Poloid DUTCH BROS LEE'S SUMMIT, MO 500 NW CHIPMAN RD. 500 NW CHIPMAN RD. 500 NW CHIPMAN RD. 1 LEE'S SUMMIT, MO 64086 TM CROWLEY 501 PENNSYLVANIA PARKWAY SUITE 160 INDIANAPOLIS, IN 46280
Date 9-30-2021
Environ Date Description of Changes Image: Provide the second of the secon
Sheet Number
Project No. 2109720 Drawn By A. JONES Checked By M. FOGARTY NOT RELEASED FOR CONSTRUCTION



1" = 20 SCALE IN FEET

TREES	<u>QTY</u>	<u>BOTANICAL NAME</u>
CC	6	CERCIS CANADENSIS
CF	5	CORNUS FLORIDA
SI	6	SYRINGA RETICULATA 'IVORY SILK'
TH	7	THUJA OCCIDENTALIS `EMERALD`
SHRUBS	QTY	BOTANICAL NAME
BG	6	BUXUS X `GREEN MOUND`
CA	27	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`
EC	7	EUONYMUS ALATUS `COMPACTUS`
PD	2	PHYSOCARPUS OPULIFOLIUS `DIABLO`
RG	10	RHUS AROMATICA `GRO-LOW`
SY	1	SYRINGA MEYERI `PALIBIN`
VI CA	9	VIBURNUM CARLESII `COMPACTUM`

	DSCAPE PLAN NOTES:
-	
	ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARDS. ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES
3.	PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER
4.	MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL
5.	MISSOURI ONE CALL, 1-800-DIG-RITE) PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUNDCOVER TO WITHIN 12" OF TRUNK OF TREES OR
6.	A. VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
	 B. REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION. C. STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S
7.	REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE
	CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
8. 9.	PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE. ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
10.	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
	ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT. ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE IN ACCORDANCE TO GUIDELINES SET BY AAN
NSH	STANDARDS. TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR. RANCE:
1.	THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.
AULO 1.	
2.	DEPTH OF SHREDDED OAK BARK MULCH. MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL MULCH BEDS.
	LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE SPADE CUT EDGE. NTENANCE:
1. 2.	LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUNDCOVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE. CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.
1.	SOIL: TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF 6" MINIMUM AND GRADE SMOOTH.
2.	PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
3. 4.	ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL. LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION
	OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH. MISC. MATERIAL: VIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.
1. URF	TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.
1.	ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS NOTED OTHERWISE WITH A TURF-TYPE KENTUCKY BLUE GRASS-FESCUE MIX. LAWN AREAS SHALL BE UNCONDITIONALLY WARRANTED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE.
2. 3	ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED AND THE SOD SHALL HAVE STAKES PLACED. ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
3. 4.	RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
5. 6.	SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE. OFF-SITE LAND DISTURBED SHALL BE SODDED AND RESTORED TO A CONDITION BETTER THAN EXISTING.
SIGH	T TRIANGLES:
1.	NO LANDSCAPE MATERIAL OR OTHER OBSTRUCTIONS SHALL BE PLACED OR BE MAINTAINED WITHIN THE SIGHT DISTANCE AREA SO AS NOT TO IMPEDE THE VISION BETWEEN A HEIGHT OF THIRTY INCHES (30") AND TEN FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.

FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.
2. THE TRIANGLE ADJACENT TO STREET INTERSECTIONS SHALL BE FORMED BY MEASURING FROM THE POINT OF INTERSECTION OF THE FRONT AND SIDE LOT LINES A DISTANCE OF 20' MINIMUM ALONG SAID FRONT AND SIDE LOT LINES AND CONNECTING THE POINTS DRM THE SIGHT TRIANGLE AREA 3. SIGHT TRIANGLES AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE ACCESS WAY (EXCEPT FOR

SINGLE FAMILY RESIDENCES) SHALL ALSO BE FORMED AS OUTLINED IN NOTE #2 ABOVE. WARRANTY:

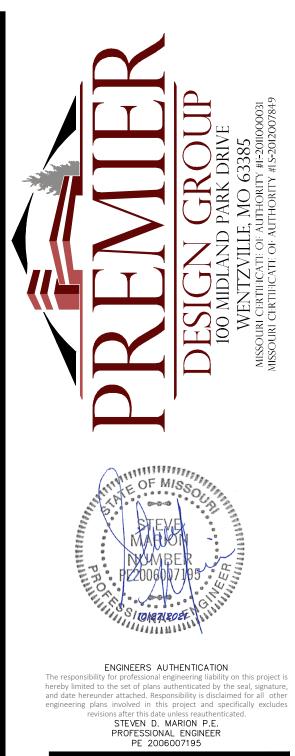
- ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
 ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF
- NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
- 3. ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD,
- UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
 LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

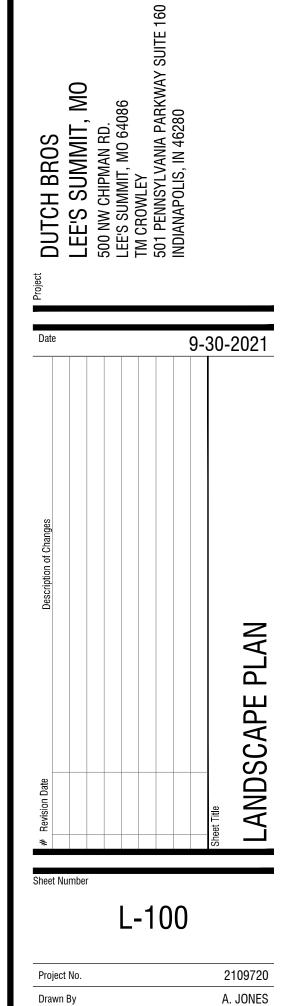
LANDSCAPE PLAN REQUIREMENTS

- 1. REQUIRED FRONT YARD LANDSCAPING A. ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE B. ONE SHRUB REQUIRED FOR EACH 20 FEET OF STREET FRONTAGE 2. REQUIRED OPEN YARD LANDSCAPING A. ONE TREE FOR EVERY 5,000 SQ. FT. OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES B. TWO SHRUBS PER 5,000 SQ. FT. OF TOTAL LOT AREA
- 3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING A. REFER TO LANDSCAPE PLAN FOR SCREENING OF TRASH ENCLOSURE.
- 1. PROVIDED FRONT YARD LANDSCAPING A. TREES PROVIDED - 283.78' OF STREET FRONTAGE / 30 FEET = 10 TREES B. SHRUBS PROVIDED- 283.78' OF STREET FRONTAGE / 20 FEET = 14 SHRUBS
- 2. PROVIDED OPEN YARD LANDSCAPING A. TREES PROVIDED- 36,068 SQ. FT. - 950 BLDG SQ. FT. = 35,118 SQ. FT. / 5,000 SQ. FT. = 7 TREES
- B. SHRUBS PROVIDED- 36,068 SQ. FT. / 5,000 SQ. FT = 7.2 x 2 = 15 SHRUBS
- 3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING A. REFER TO LANDSCAPE PLAN - 7 EMERALD ARBORVITAE PROVIDED

SEED AND MULCH WITH GUARANTEE FOR ESTABLISHMENT OF GRASS WTIHIN 3-6 MONTHS.

<u>COMMON NAME</u> EASTERN REDBUD FLOWERING DOGWOOD IVORY SILK JAPANESE TREE LILAC EMERALD ARBORVITAE	<u>CONT</u> B & B B & B B & B 15 GAL	<u>CAL.</u> 3"CAL 3"CAL 3"CAL	<u>SIZE</u> 6` TALL MIN.
<u>COMMON NAME</u> GREEN MOUND BOXWOOD FEATHER REED GRASS COMPACT BURNING BUSH DIABLO NINEBARK GRO-LOW FRAGRANT SUMAC DWARF KOREAN LILAC KOREAN SPICE VIBURNUM	<u>SIZE</u> 3 GAL 3 GAL 3 GAL 3 GAL 3 GAL 3 GAL 3 GAL		

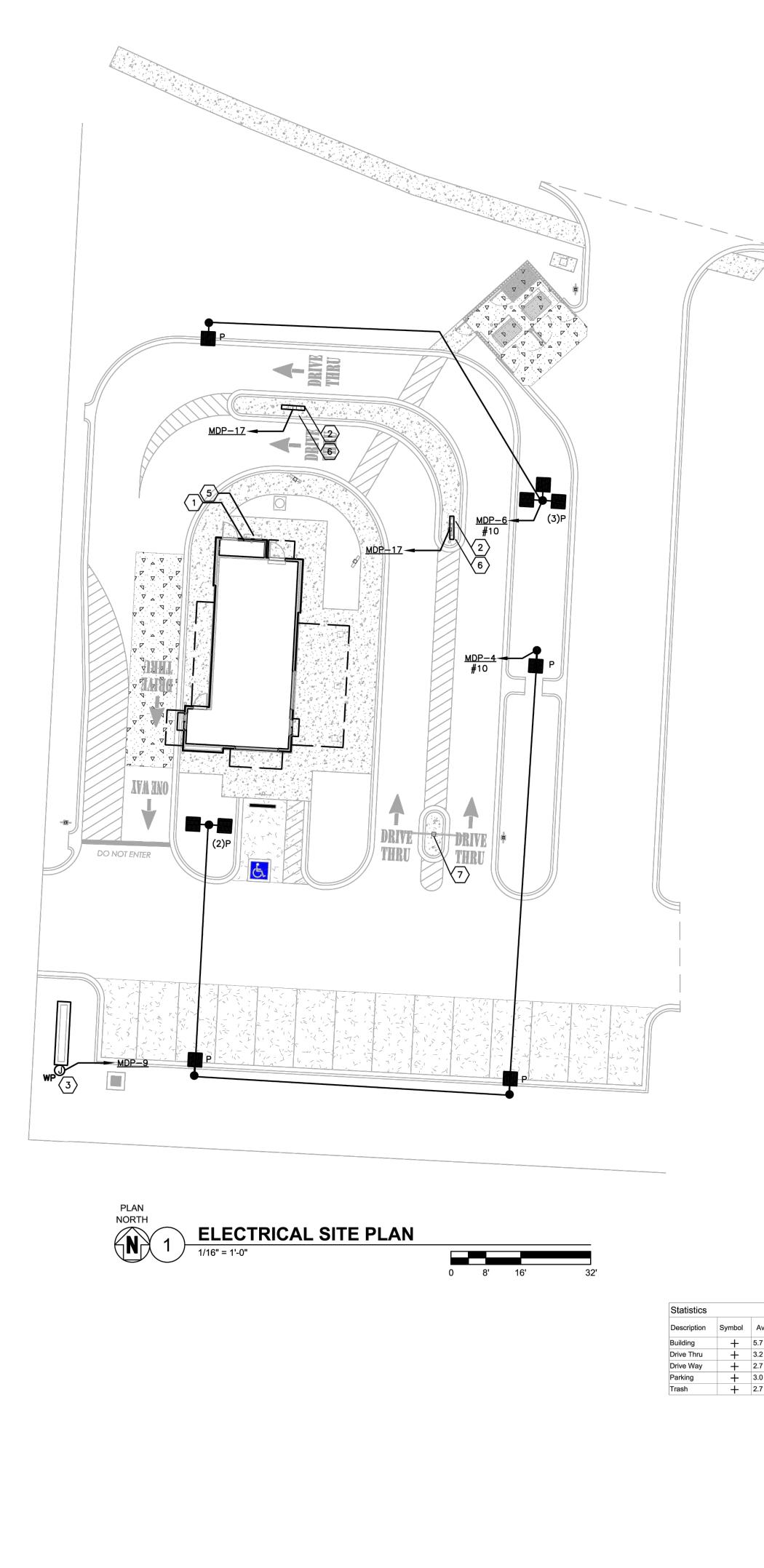


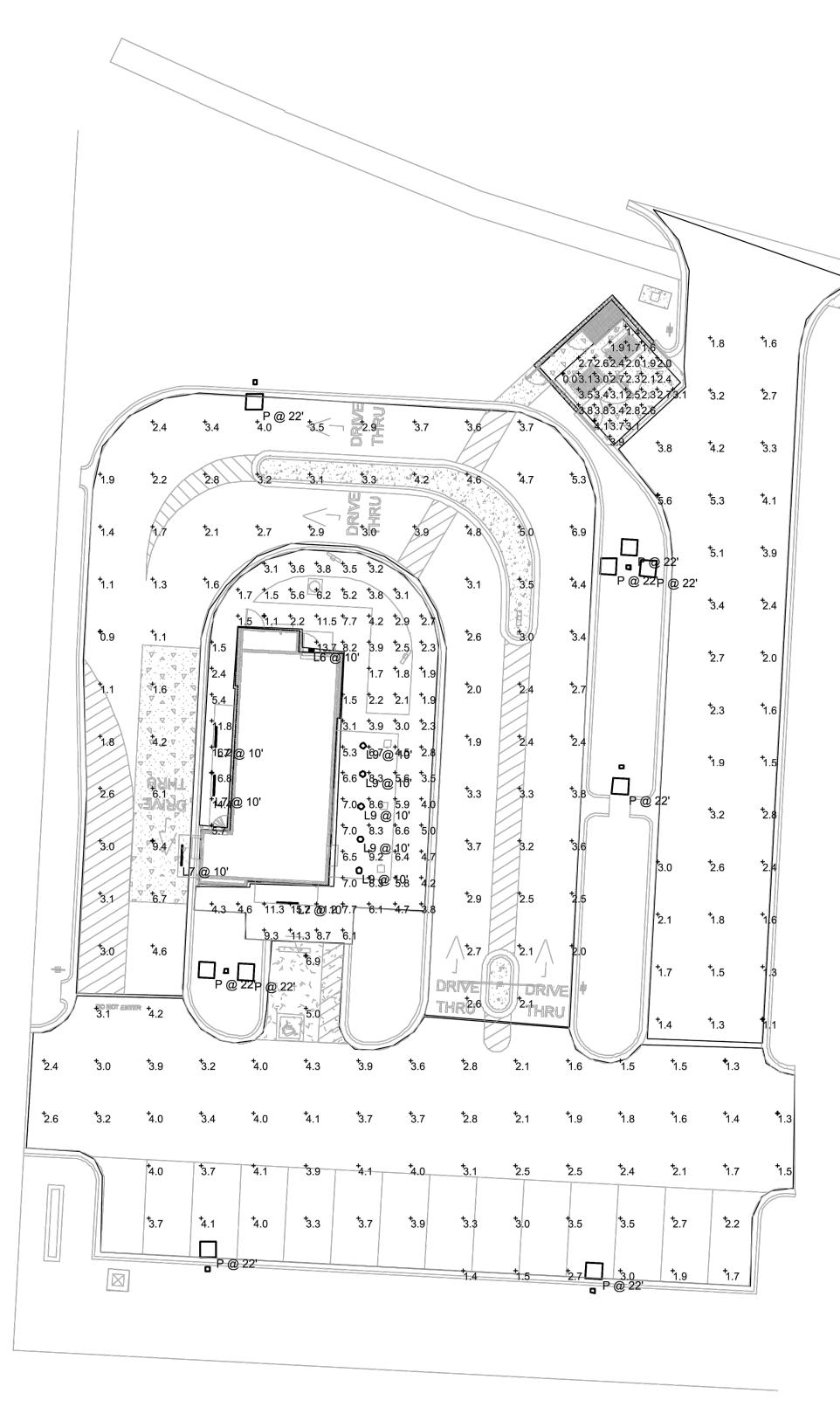


M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

Checked By







SITE PHOTOMETRIC PLAN 1/16" = 1'-0"



Avg	Max	Min	Max/Min	Avg/Min
5.7 fc	16.8 fc	1.1 fc	15.3:1	5.2:1
3.2 fc	9.4 fc	0.9 fc	10.4:1	3.6:1
2.7 fc	5.6 fc	1.1 fc	5.1:1	2.5:1
3.0 fc	6.9 fc	1.3 fc	5.3:1	2.3:1
2.7 fc	4.1 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	L6	1	RAB LIGHTING INC.	WPLED26-WPLED26/D10 (WALLPACK) - ALED26- ALED26/D10 (AREA LIGHTER)	CAST FINNED METAL HOUSING, MACHINED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SEMI-SPECULAR FINISH, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.	1	3474	0.92	30
	L7	4	Self	WPLED26-WPLED26/D10 (WALLPACK) - ALED26- ALED26/D10 (AREA LIGHTER)	CROWN-L90-277V 830_BA110	1	4200	0.92	40
0	L9	5	DMF LIGHTING	DRD5S-4R-10930	DRD5S-4R-10930	1	1015	0.92	11.8
	Р	9	NLS Lighting	NV-1-T4-48L-1-40K-UNV- HSS	T4 OPTICS WITH BLACK HSS	1	9674	0.92	156

	KEYED NOTES
$\langle 1 \rangle$	LOCATION OF UTILITY METER DISCONNET SWITCH AND CT CABINET. REFER TO "RISER DIAGRAM" ON SHEET E3.01.
2	PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#8G. IN 2" PVC ROUTED BELOW GRADE FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL COME UP IN CENTER OF POST. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS/DIMENSIONS FOR GC TO MATCH. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
3	PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#8G. IN 2" PVC ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
$\langle 4 \rangle$	NOT USED.
(5)	LOCATION OF CABLE INTERNET DEMARC
6	PROVIDE 2" CONDUIT W/ PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE . COORDINATE W/ SIGN MANUFACTURER.
$\langle 7 \rangle$	PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGNAGE AND CLEARANCE BAR FOR FUTURE DRIVE THRU

MIN. DUTCH BROS REQUIREMENTS: -5FTC AT BUILDING -3FTC AT SITE/PARKING -5FTC AT TRASH ENCLOSURE

SEE S1.4 FOR POLE BASE DETAIL

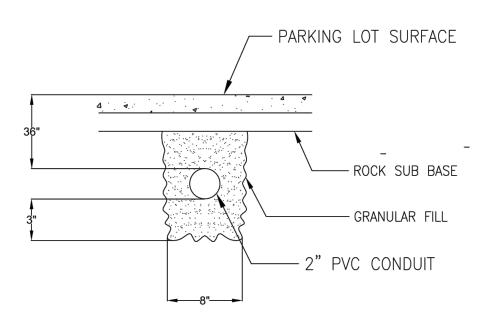
GENERAL NOTES

SENSORS.

- 1. FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER, AND SANITARY SEWER LOCATIONS; SEE CIVIL SITE PLAN.
- 2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS. INCOMING POWER AND TELEPHONE SERVICES IS EXISTING TO REMAIN. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

SITE NOTES

WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.





ACCOMPANIENCE CONTRACTION CONTRACT CORALIC, LLC EDIN CORALIC CORALIC, LLC EDIN CORALIC 2643 CAROUSEL DRIVE, ST. LOUIS, MO 63125 P. 314.578.4953 edin@coralicarchitecture.com CORALIC, LLC EDIN CORALIC 2643 CAROUSEL DRIVE, ST. LOUIS, MO 63125 P. 314.578.4953 edin@coralicarchitecture.com STRUCTURAL ENGINEER JAMES C. KREHER JIM KREHER 208 N. MAIN STREET, COLUMBIA, IL 62236 P. 618.281.8505 jimk@kreherengineering.com MEP ENGINEER Case Engineering DARRELL R. CASE 796 MERUS CT., FENTON, MO 63026 T. 636.349.1600 F. 636.349.1730 dcase@caseengineeringinc.com						
Project No: MO0102 Dutch Bros Coffee - New Freestanding Store 1207-000	for: Dutch Bros Coffee I 10 SW 4th St. Grants Pass, OR 97526					
SHEET NAME: ELECTRICA SITE & PHO PLAN SHEET NUMBER:	—					

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