

**Stormwater / BMP Facility Maintenance Plan**  
**Stoney Creek Development to include all phases of development**

**Lee's Summit, MO**

***PREPARED BY:***



***PREPARED FOR:***

Clayton Properties Group, d.b.a. Summit Homes



Matthew J. Schlicht PE

Revision

| Date | Comment | By |
|------|---------|----|
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## **PURPOSE**

Stormwater Best Management Practices (BMPs) are implemented in this development to meet stormwater discharge water-quality standards of the City of Lee's Summit, Missouri. Permanent BMPs are provided via this development. In order for physical stormwater BMPs to be effective, proper maintenance is essential. Maintenance includes both routinely scheduled activities, as well as non-routine repairs that may be required after large storms, or because of other unforeseen conditions. Maintenance of site specific BMPs is the responsibility of the property owner and a requirement of approval for these developments. The property owner, heirs and assigns shall maintain appropriate funds to provide all maintenance required up to and including replacement of said facilities at end of their useful life. The property owners shall require implementation of this manual for all BMPs with land ownership transfer to subsequent property owners, heirs and assigns.

### **1. General Site Overview**

The sites are generally located south of MO-150 Highway, west of Ward Road, east of Pryor Road and north of County Line Road. The projects have been developed in numerous phases starting around 2001 with phases recorded as Parkwood at Stoney Creek and Stoney Creek Estates. The "green" shaded areas below are areas within the development that contain a detention facility, BMP facility, Stream Buffer Area or Floodplain. These areas require a certain amount of maintenance to ensure the design or protection of these areas is maintained.

The sites drain primarily to the east into an unnamed tributary of Raintree Lake and ultimately into Middle Big Creek, with the exception of The Manor at Stoney Creek 2<sup>nd</sup> Plat, which drains to south.

## 1.1 Location of Stormwater BMP's

Stormwater detention basins are located within

- Tract J, The Reserve at Stoney Creek 1<sup>st</sup> Plat
- Tract K, The Reserve at Stoney Creek 2<sup>nd</sup> Plat
- Tract L, The Reserve at Stoney Creek 3<sup>rd</sup> Plat
- Tract P, Manor at Stoney Creek 2<sup>nd</sup> Plat

Appendix A contains the Final Plats for each of the plats listed above.



## **1.2 Types of Stormwater Best Management Practices**

There are many different measures which can provide stormwater BMPs. The below list are the ones utilized within these developments.

- Stormwater dry detention basin
  - Basins were designed to control release rates from various storm frequency storm events, which was accomplished by various orifice sizes located within the outlet structure
  - Basin bottom is design with a minimum 2% slope to direct water toward the outlet structure.
- Native Vegetation

## **2. MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES**

Stormwater management facilities need to be maintained to function properly. This section will discuss how to properly maintain the facilities within this development.

### **2.1 Floodplain and Stream Buffer Areas**

The Reserve at Stoney Creek 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Plat have areas that are designated on the plat as stream buffer and floodplain areas. These areas are based on the storm water runoff from the upper watershed portions draining into these areas. The stream buffer is a specific width on both sides of the current stream channel and is intended for the protection of the natural stream areas. The floodplain is updated by the County Flood Manager on a regular basis and within this section of the development portions of these tracts have been identified as areas subject to flooding during the 1% flood chance or the typically referred to 100 year storm event.

The basic intent of both of these identified areas is to keep the areas clear of debris, construction and any potential obstruction that can impede storm water drainage.

### **2.2 Extended Dry Detention Basin**

Extended dry detention basins provide detention for the water quality volume with a 40-hour release rate, along with detention for up to the 100-year storm event. These basins are typically simple in design, which helps make them relatively easy and inexpensive to maintain.

Generally, the basin is design to be completely drained within 40 hours following a storm event equal to or greater than the 2 year event.

The basins within this development are planted with standard grass and have a minimum 2% slope, which maintenance requirements were discussed as shown in Table 1, focusing on the maintenance for the overall detention basin and not focused on the vegetation.

**Table 1. Maintenance of Extended Dry Detention Basin**

| Required Action            | Maintenance Objective                                                                                                                                                                         | Frequency of Action                                                                                                                                                                                               |
|----------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Debris and Litter Removal  | Removal of debris and litter from the basin area to minimize outlet clogging and improve aesthetics                                                                                           | Periodically and after large rain events                                                                                                                                                                          |
| Repairing Erosion          | If erosional channels occur due to lack of vegetation and large rainfall events, the area shall be re-graded to fill in the channels and new vegetation shall be established per Section 2.3. | Periodically, as occurs after large rain events                                                                                                                                                                   |
| Inspection of Outlet       | To ensure the outlet box for the basin is function properly                                                                                                                                   | Yearly in the springtime and periodically until winter                                                                                                                                                            |
| Inspection of the Spillway | To ensure spillway is stable and functioning correctly                                                                                                                                        | Yearly in the springtime and periodically until winter                                                                                                                                                            |
| Removal of Sediment        | To ensure the basin has enough volume to handle rainfall events and function as designed                                                                                                      | Rare once the area draining to the basin is fully developed and vegetation established. Should occur if owner notices large amounts of silt in the bottom that is preventing the basin from draining/functioning. |

Maintenance for the basin shall be minimal to the owner, however if unforeseen events happen, the owner shall restore the basin, per the detention basin As-built sheets, Appendix B.

## 2.3 Native Vegetation

Native vegetation provides many benefits for stormwater management. Per the APWA/MARC BMP manual, dated October 2012, the below are some of these benefits:

- Containing species of plants indigenous to the area, vegetation will be able to thrive in the local climate with less maintenance.
- Deep roots enhance stormwater infiltration into the soil.
- With deep-rooted nature, native vegetation is able to withstand flooding events as well as extended dry periods.
- Reduces flow velocity of stormwater runoff.
- Attracts wildlife and improved biological diversity.
- Requires little to no fertilizer or chemical maintenance, as well as reduced amounts of water to survive.

With these benefits, the bottom of a stormwater basin is an ideal place for native vegetation to be planted. The basins are intended to be vegetated by natives. Some of the typical plants one may see are below:

- |                      |               |                   |
|----------------------|---------------|-------------------|
| • Prairie Cordgrass  | • Aster       | • Fescue          |
| • Dark Green Bulrush | • Iris        | • Cattail*        |
| • Dudley's Rush      | • Sedge       | • Switchgrass     |
| • Milkweed           | • Coneflower  | • Indian Grass    |
| • Fox Sedge          | • Goldenrod   | • Little Bluestem |
| • Water Plantain     | • Blazingstar | • Big Bluestem    |

\*Cattail growth shall be monitored to limit spread and not crowd out other species.

The maintenance requirements for native vegetation will vary depending on the climate, thus the maintenance of such should be flexible and allowed to change over time to allow responses to nature. The plan laid out in the below table are recommendations, the formal maintenance shall be adoptive based on the recommendations in Table 2.

**Table 2. Maintenance of Native Vegetation**

| Required Action                                           | Maintenance Objective                                                                                   | Frequency of Action                                                                |
|-----------------------------------------------------------|---------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|
| Debris and Litter Removal                                 | Removal of debris and litter from the basin area to minimize outlet clogging and improve aesthetics     | Periodically and after large rain events                                           |
| 1 <sup>st</sup> year of establishment-mowing*             | To maintain a healthy level of vegetation                                                               | Mow no more than monthly to a minimum height of 5"                                 |
| 2 <sup>nd</sup> year of establishment-mowing*             | To maintain a healthy level of vegetation                                                               | Mow once in June to a minimum height of 8", spot treat weeds as necessary          |
| 3 <sup>rd</sup> year and beyond of establishment-mowing*  | To maintain a healthy level of vegetation                                                               | Mow once in the off-season (Late October to Early March) to a minimum height of 8" |
| Removal of invasive species                               | To encourage a healthy native plant environment, growth of species invasive to the area shall not occur | Periodically                                                                       |
| Seeding (recommend to use a mix with the above plantings) | To establish plantings in bare areas                                                                    | Shall occur if areas are bare soil for extend period of time                       |

\*Native vegetation shall never be mowed in wet or muddy conditions.

## **2.4 Inspection of Facilities**

The above sections mentioned maintenance and frequency for each action. When an inspection of the facilities is performed, the form found in Appendix C, shall be filled out and included in this report for record keeping. It is recommended that owner walks around the facility areas yearly to check conditions and make sure no major concerns are occurring. If they see something of concern, they should reach out to a licensed professional for a deeper inspection of the issues and guidance on repairs required.

## **2.5 Repair of Facilities**

Many maintenance items can be done by the owner, however if larger repairs are needed the owner shall seek out a qualified contractor. Items that may require a contractor to perform are:

- Removal of sediment build up.
  - If there is undeveloped land, in proximity of the basin, sediment may be placed there with proper erosion control measure and seeding shall occur.
  - If the surrounding area is fully developed, then sediment shall be hauled off site to a proper disposal location.
- Repairs to the concrete outlet structure, spillway, or outlet pipe.
- Major erosional channels occurring on the sides slopes of the basin.

### **3.CHANGES TO THE CURRENT PLAN**

This section will discuss the process if changes are desired to the current Stormwater/ B M P Facility Maintenance Plan.

#### ***3.1Ownership Change***

In the event of ownership change of the land which BMPs are located on, the following steps should be performed.

1. Current owner shall have all BMPs inspected and reviewed to be fully functioning, per this plan. If deficiencies are found both parties shall discuss and agree upon a plan to address deficiencies.
2. City shall be notified via writing of the ownership change within 30 days.
3. Appendix D shall be updated with the new owner information.

#### ***3.2 Additional Land Added to the Development***

If additional land is added into the development, this document shall be updated to include any stormwater management facilities located within the additional area. A revision date shall be provided for the document along with a copy provided to the City of Lee's Summit, Missouri for review.

#### ***3.3 Changes to How Maintenance is Performed***

If the owner has desire to change the recommended maintenance mentioned in this document, they shall prepare an update to this document and present it to Development Services Department with the City of Lee's Summit, Missouri to review. The City may require a licensed professional to update the recommendations.

# Appendix A

## Final Plats of Sites

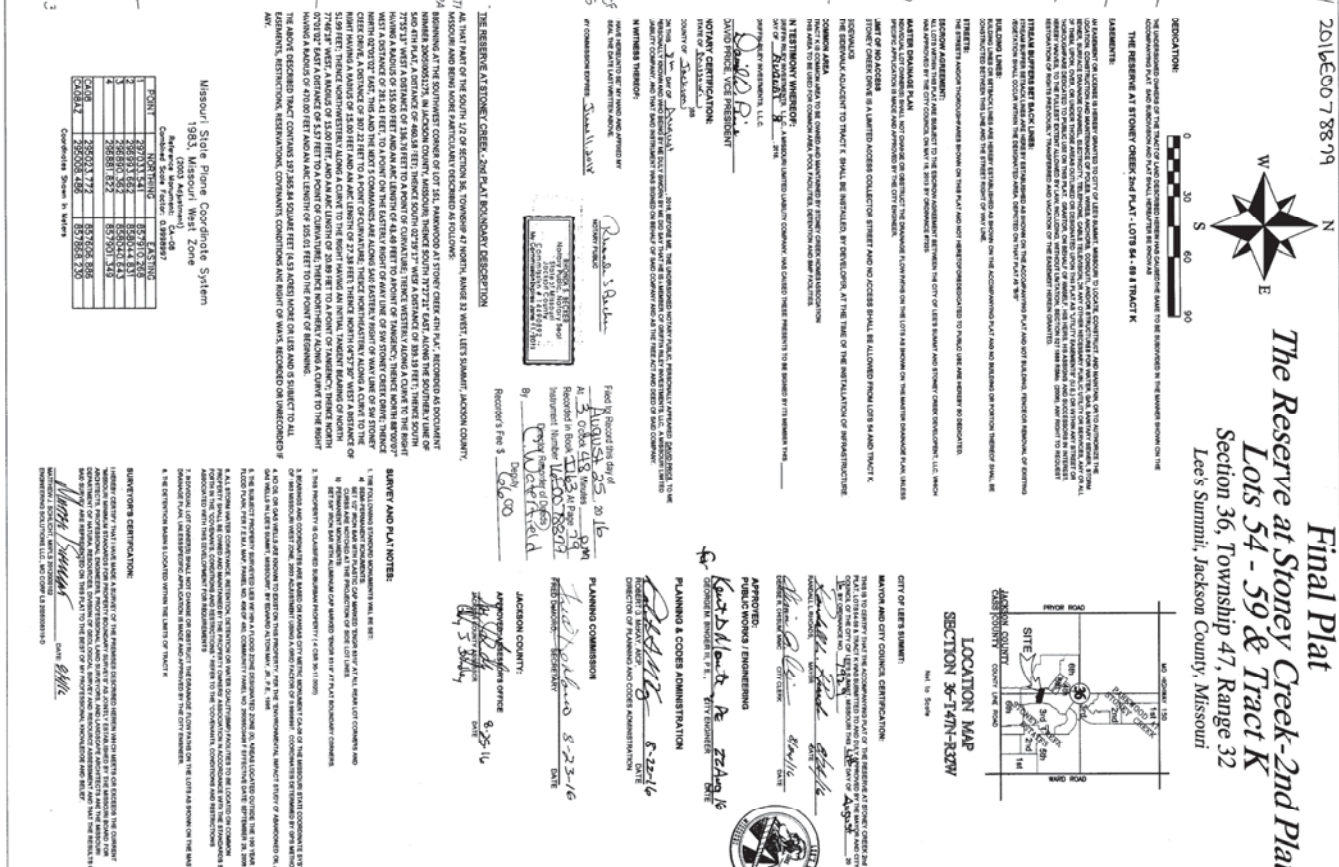
The Reserve at Stoney Creek, 1<sup>st</sup> Plat

The Reserve at Stoney Creek, 2<sup>nd</sup> Plat

The Reserve at Stoney Creek, 3<sup>rd</sup> Plat

The Manor at Stoney Creek, 2<sup>nd</sup> Plat





**Final Plat**  
***The Reserve at Stoney Creek-2nd Plat***  
***Lots 54 - 59 & Tract K***  
Section 36, Township 47, Range 32  
Lee's Summit, Jackson County, Missouri



| REVISIONS |  |
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The Reserve at Stoney Creek 2nd Plat  
Lots 54 - 59 & Tract K  
Section 36, Township 47, Range 32  
Lee's Summit, Jackson County, Missouri

### Final Plat

|                       |         |          |        |                     |              |
|-----------------------|---------|----------|--------|---------------------|--------------|
| SHEET                 | SECTION | TOWNSHIP | RANGE  | COUNTY              | JOB NO.      |
| 1 OF 1                | 36      | 47       | 32     | Jackson             | Stoney Creek |
| DRAWN BY              |         |          | SCALE  | DATE OF PREPARATION |              |
| M. Schicht, P.L.S. PF |         |          | 1"=30' | September 9, 2015   |              |



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50 SE 30TH STREET  
LEWIS SUMMIT, MO 64082  
P: (816) 673-0888 F: (816) 673-0849



2018E0021905

**DEDICATION:**

THE UNDERSIGNED OWNERS OF THE TRACT OF LAND DESCRIBED HEREIN HAVE CAUSED THE SAME TO BE SURVEYED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT. SAID SURVEY AND PLAT SHALL RESPECTIVELY BE GROWN AS:

**THE MANOR AT STONEY CREEK 2nd PLAT - LOTS 42 - 51 & TRACTS N-P**

**EXEMPTION:**  
THE MANOR AT STONEY CREEK 2nd PLAT - LOTS 42 - 51 & TRACTS N-P IS HEREBY GRANTED TO THE CITY OF JEFFERSON, MISSOURI, TO BE USED FOR THE PURPOSES OF A PARK, AND THE CITY OF JEFFERSON, MISSOURI, IS HEREBY GRANTED TO THE MANOR AT STONEY CREEK 2nd PLAT - LOTS 42 - 51 & TRACTS N-P, TO BE USED FOR THE PURPOSES OF A PARK. THE CITY OF JEFFERSON, MISSOURI, IS HEREBY GRANTED TO THE MANOR AT STONEY CREEK 2nd PLAT - LOTS 42 - 51 & TRACTS N-P, TO BE USED FOR THE PURPOSES OF A PARK. THE CITY OF JEFFERSON, MISSOURI, IS HEREBY GRANTED TO THE MANOR AT STONEY CREEK 2nd PLAT - LOTS 42 - 51 & TRACTS N-P, TO BE USED FOR THE PURPOSES OF A PARK.

**BUILDING LINES:**  
BUILDING LINES ON TRACTS N-P ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THE LINE AND THE STREET RIGHT OF WAY LINE.

**STREETS:**  
STREETS: JACOBSON TOWNSHIP LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THE LINE AND THE STREET RIGHT OF WAY LINE.

**MASTERS DRAINAGE PLAT:**  
INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR CONTRACT THE DRAINAGE FLOWLINE ON THE LOTS AS SHOWN ON THE MASTER DRAINAGE PLAT. THE DRAINAGE FLOWLINE SHALL BE AS SHOWN ON THE MASTER DRAINAGE PLAT.

**COMMON AREA:**  
TRACTS N, P AND COMMON AREA TO BE OWNED AND MAINTAINED BY STONEY CREEK ESTATES HOME OWNERS ASSOCIATION, INC. THIS AREA TO BE USED FOR DETENTION AND BMP FACILITIES.

**IN TESTIMONY WHEREOF:**  
I, THE UNDERSIGNED, HAVE CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANOR THIS

**NOTARY CERTIFICATION:**  
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Filed for Record this day of

March 14, 2018

Instrument Number: 18E0021905

By: [Signature]

Recorded this day of

May 1, 2018

Recorded this day of

May 1, 2018

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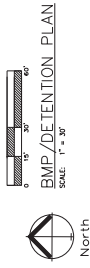
May 1, 2018

# Appendix B

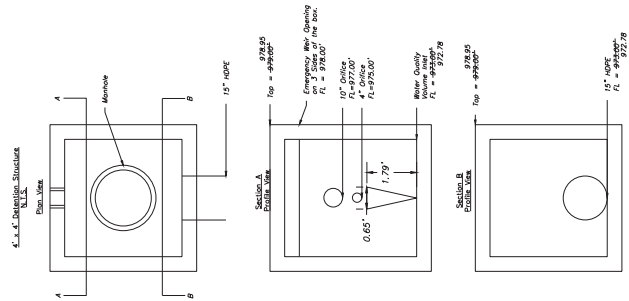
## As-built of Constructed BMP / Basin Facilities

Tract J, The Reserve at Stoney Creek, 1<sup>st</sup> Plat  
Tract K, The Reserve at Stoney Creek, 2<sup>nd</sup> Plat  
Tract L, The Reserve at Stoney Creek, 3<sup>rd</sup> Plat  
Tract P, The Manor at Stoney Creek, 2<sup>nd</sup> Plat

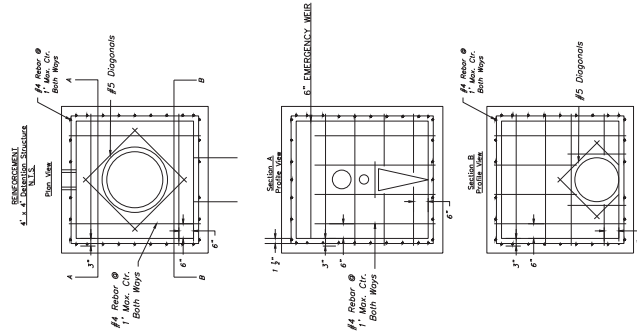
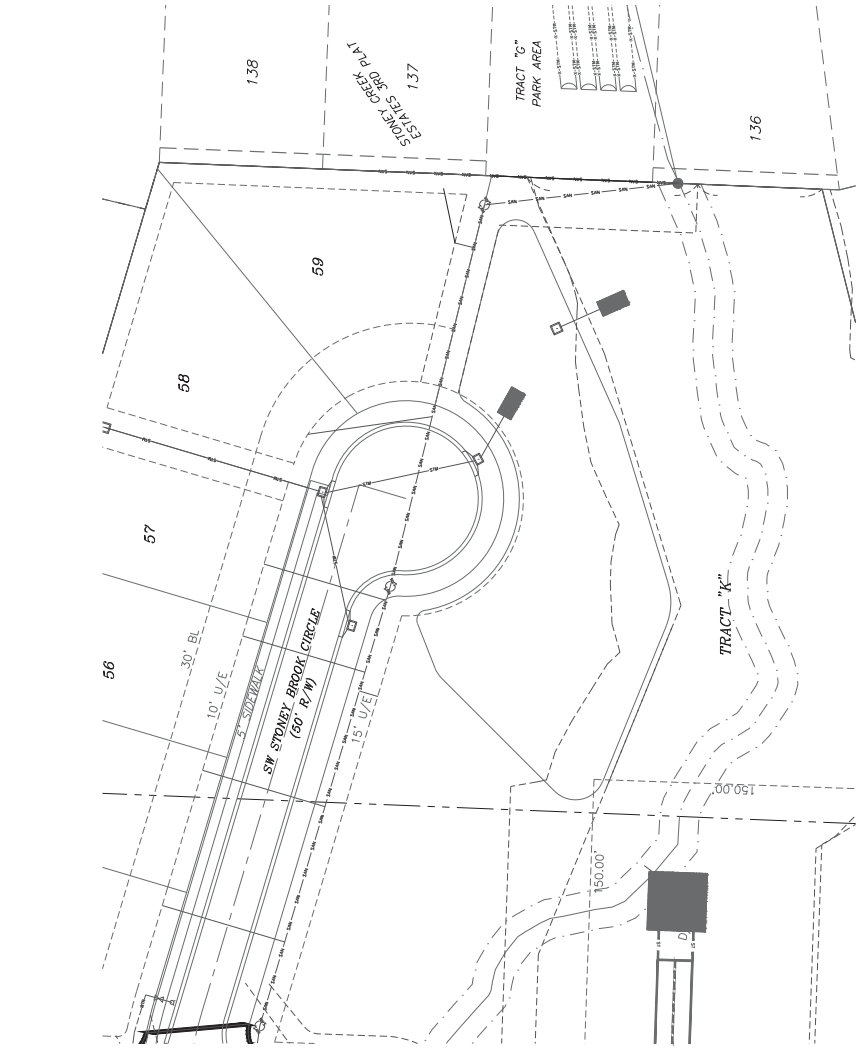


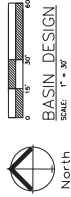


NOTE:  
DETENTION IS A PRIVATE FEATURE TO BE MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION, INCLUDING THE OUTLET PIPE AND ASSOCIATED RIP RAP.



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~~900.09~~ Indicates data replac-  
information. All other data  
and has not been field veri-

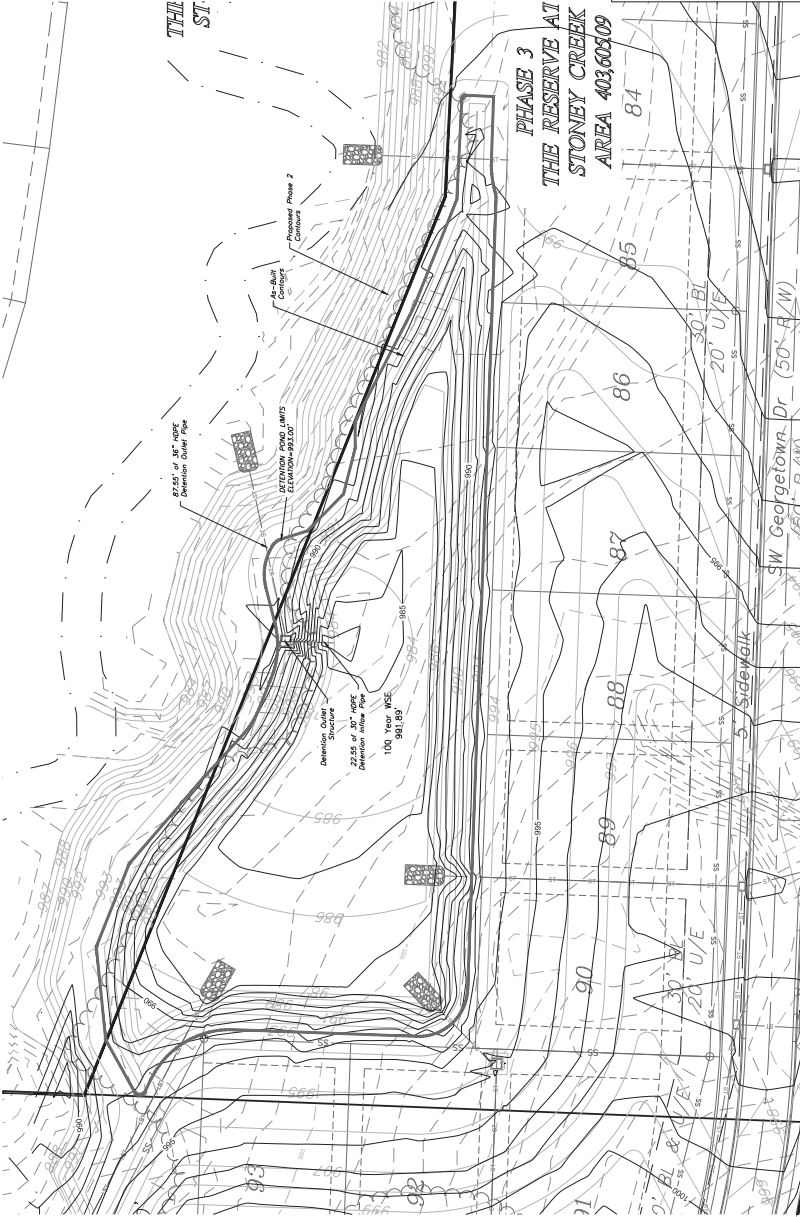
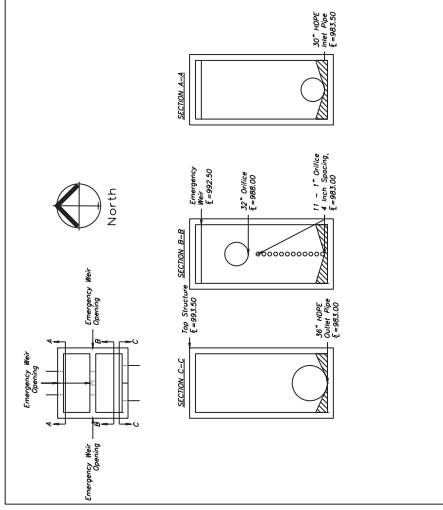




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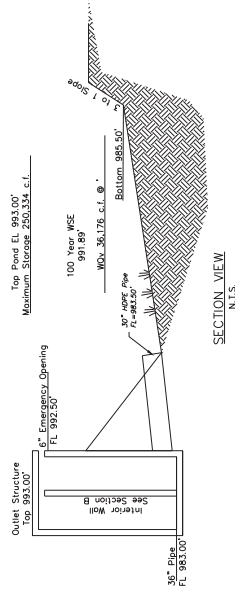
DETENTION OUTLET STRUCTURE  
SCALE: 1" = 5'



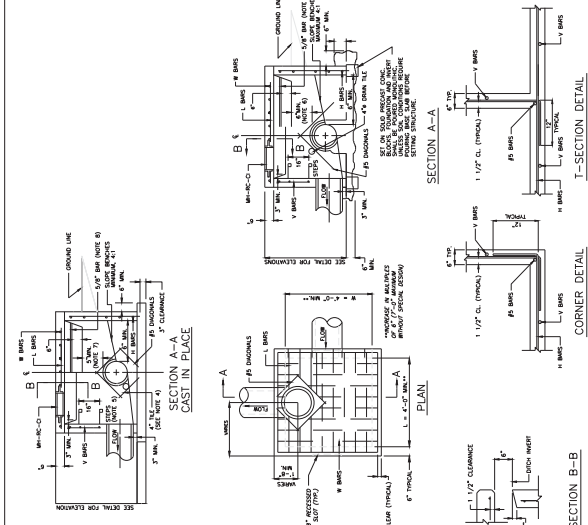
PHASE 3  
THE RESERVE AT  
STONEY CREEK  
AREA 403.60309

GENERAL NOTES:

1. Locate ring and cover over outlet.
2. All work and materials shall conform to ASTM Sect. 2600.
3. Use 1/4" diameter strip on all exposed concrete corners.
4. Slope required @ 16" O.C. when depth from top of casting to invert exceeds 4 feet.
5. Barouts will not be allowed to project through the corners of the structure.
6. The minimum reinforcing shall be 1 H-bar over a cast-in place pipe and 2 H-bars over a precast conduit.
7. Limit opening height to 6" with No. 5 galvanized bars extending to corner rebars.
8. Show field inlet orientation on plans plus number and size of opening.
9. G.R. = one half outside pipe diameter (O.D.).
10. 11" x 11" field pipe or precast hole shall be located at existing pipe and in the first floor jump points. These lines or openings shall be capped with 6" galvanized wire mesh on the outside of the inlet and clear the invert and base concrete.
11. Location of the Manhole shall be located along the Northeast side of the structure.



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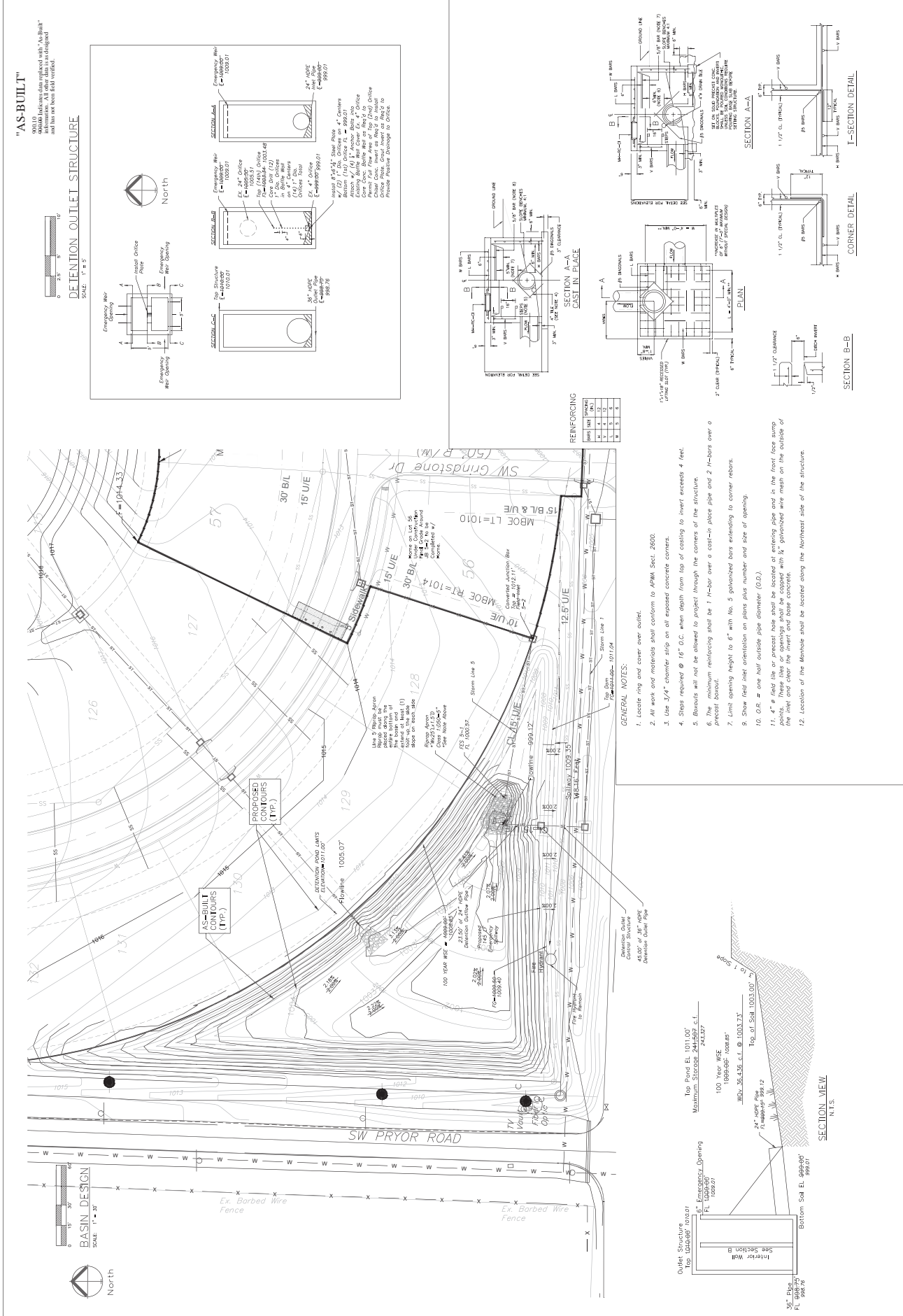
DETENTION BASIN / BMP PLAN  
Construction Plans for:  
The Reserve at Stony Creek - 3rd Plat  
Lee's Summit, Jackson County, Missouri

THE RESERVE  
AT STONEY CREEK  
3RD PLAT  
JULY 18, 2017

The Reserve at Stony Creek - 3rd Plat  
Lee's Summit, Jackson County, Missouri

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# Appendix C

Stormwater BMP Basin Inspection Form

# STORMWATER BMP INSPECTION REPORT FORM

Location of BMP: \_\_\_\_\_

BMP Type: \_\_\_\_\_

Date of Inspection: \_\_\_\_\_

Inspected by: \_\_\_\_\_

| Maintenance Item                         | Features |    |     | Comments |
|------------------------------------------|----------|----|-----|----------|
|                                          | Yes      | No | N/A |          |
| Functioning to avoid complaints          |          |    |     |          |
| Aesthetically maintained                 |          |    |     |          |
| Free of trash and debris                 |          |    |     |          |
| Good vegetation cover                    |          |    |     |          |
| Free of invasive species                 |          |    |     |          |
| Evidence of erosion                      |          |    |     |          |
| Bottom of basin clear of excess sediment |          |    |     |          |
| Outlet structure in working condition    |          |    |     |          |
| Spillway in working condition            |          |    |     |          |
|                                          |          |    |     |          |
|                                          |          |    |     |          |
|                                          |          |    |     |          |
|                                          |          |    |     |          |
|                                          |          |    |     |          |

Action to be taken: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# Appendix D

Ownership Forms

### OWNERSHIP INFORMATION

Ownership information shall be updated in the event the property owner where the stormwater BMP's are located changes. Below is contact information for the property owner, shall they need to be contacted regarding the stormwater BMPs.

| Stormwater BMP Property Ownership |                                                        |
|-----------------------------------|--------------------------------------------------------|
| Property Owner                    | Clayton Properties Group, dba Summit Homes             |
| Contact Person                    | Travis Ruf                                             |
| Address                           | 120 SE 30 <sup>th</sup> Street, Lee's Summit, MO 64082 |
| Phone Number                      | 816.246.6700                                           |
| Email Address                     | development@summithomeskc.com                          |
|                                   |                                                        |

| Stormwater BMP Property Change of Ownership |  |
|---------------------------------------------|--|
| Property Owner                              |  |
| Contact Person                              |  |
| Address                                     |  |
| Phone Number                                |  |
| Email Address                               |  |
|                                             |  |

| Stormwater BMP Property Change of Ownership |  |
|---------------------------------------------|--|
| Property Owner                              |  |
| Contact Person                              |  |
| Address                                     |  |
| Phone Number                                |  |
| Email Address                               |  |
|                                             |  |

| Stormwater BMP Property Change of Ownership |  |
|---------------------------------------------|--|
| Property Owner                              |  |
| Contact Person                              |  |
| Address                                     |  |
| Phone Number                                |  |
| Email Address                               |  |
|                                             |  |