RIIIIDING & LOT DATA

Zoning	CP-
Lot 1	1.00
Site Area	1.00
Retail Building	
No. of Stories	1 Sto
Building S.F.	4,200 S
Building Footprint	4,200 S
FAR / Building Coverage	0.09
Impervious Area	0.30 Ac. (30
Open Space	0.70 Ac. (70
Lot 2	
Site Area	0.85 A
Retail Building	
No. of Stories	1 Sto
Building S.F.	5,000 S
Building Footprint	5,000 S
FAR / Building Coverage	0.14
Impervious Area	0.43 Ac. (51
Open Space	0.42 Ac. (49
Lot 3	1
Site Area	2.58
Home Improvement	2.50
No. of Stories	1 Sto
Building S.F.	15,200 S
Building Footprint	15,200 S
FAR / Building Coverage	0.13
	1.60 Ac. (62
Impervious Area	0.98 Ac. (38
Open Space	0.98 Ac. (38
Tract A	
Site Area	0.60
Impervious Area	0.00 Ac. (0
Open Space	0.60 Ac. (100
Overall	
Site Area	5.03
Building S.F.	24,400 S
FAR / Building Coverage	0.11 2.33 Ac. (46
Trut / Building Coverage	0.77 4 /40
Impervious Area	2.33 Ac. (46

Lot 1	
Parking Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	22 Spaces
Parking Provided	
Standard Parking Provided	24 Spaces
Accessible Parking Spaces Provided	1 Spaces
Total Provided Parking	25 Spaces
Lot 2	
Parking Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	25 Spaces
Parking Provided	
Standard Parking Provided	33 Spaces
Accessible Parking Spaces Provided	2 Spaces
Total Provided Parking	35 Spaces
Lot 3	
Parking Required:	
Home Improvememt (4 / 1,000 S.F.)	
Total Required Parking	61 Spaces
Parking Provided	
Standard Parking Provided	87 Spaces
Accessible Parking Spaces Provided	4 Spaces
Total Provided Parking	91 Spaces

BUILDING & LOT DA	MA
Zoning	CP-2
Lot 1	
Site Area	1.00 Ac.
Retail Building	
No. of Stories	1 Story
Building S.F.	4,200 S.F.
Building Footprint	4,200 S.F.
FAR / Building Coverage	0.0967
Impervious Area	0.30 Ac. (30%)
Open Space	0.70 Ac. (70%)
950 95	
Lot 2	
Site Area	0.85 Ac.
Retail Building	
No. of Stories	1 Story
Building S.F.	5,000 S.F.
Building Footprint	5,000 S.F.
Building Footprint FAR / Building Coverage	0.1453
Impervious Area	0.43 Ac. (51%)
Open Space	0.42 Ac. (49%)
Lot 3	
Site Area	2.58 Ac.
Home Improvement	2.38 AC.
No. of Stories	1 Story
Building S.F.	15,200 S.F.
Building Footprint	15,200 S.F.
FAR / Building Coverage	0.1321
Impervious Area	1.60 Ac. (62%)
Open Space	0.98 Ac. (38%)
Орен эрисе	0.30 Ac. (30%)
Tract A	
Site Area	0.60 Ac.
Impervious Area	0.00 Ac. (0%)
Open Space	0.60 Ac. (100%)

PARKING SUMMARY	
Lot 1	
Parkina Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	22 Spaces
	·
Parking Provided	
Standard Parking Provided	24 Spaces
Accessible Parking Spaces Provided	1 Spaces
Total Provided Parking	25 Spaces
Lot 2	
Parking Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	25 Spaces
Parking Provided	
Standard Parking Provided	33 Spaces
Accessible Parking Spaces Provided	2 Spaces
Total Provided Parking	35 Spaces
Lot 3	
Parking Required:	
Home Improvememt (4 / 1,000 S.F.)	
Total Required Parking	61 Spaces
Double a Double d	
Parking Provided	07.0
Standard Parking Provided	87 Spaces
Accessible Parking Spaces Provided	4 Spaces
Total Provided Parking	91 Spaces

LEGEND

PL — PL — — — — — — — — — — — — — — — —	PROPERTY LINE LOT LINE RIGHT-OF-WAY 2' CURB & GUTTER 6" CURB BUILDING SETBACK LINE PARKING SETBACK LINE
	STANDARD DUTY ASPHALT PAVEMI
	PROPOSED BUILDING

CONCRETE PAVEMENT

CONCRETE SIDEWALK



<u>UTILITY NOTES:</u> VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

Know what's below.
Call before you dig.

LEGAL DESCRIPTION:

HIGHWAY 291, EXCEPT

ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 47 NORTH, RANGE 31 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING PART OF A PARCEL OF LAND DESCRIBED IN BOOK I-1847 AT PAGE 2006, SAID PARCEL LYING SOUTHEASTERLY OF MARKET STREET AND WESTERLY OF THE WEST RIGHT OF WAY LINE OF MISSOURI

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ALL THAT PART NOW PLATTED AS FIRESTONE SW MARKET STREET, RECORDED MAY 11, 2020 AS DOCUMENT NO. BOOK 190 AT PAGE 63

 $AREA = 219,027.21 \pm SQ.FT. / 5.028 \pm ACRES$

SITE PLAN NOTES:

1. All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference: A) City ordinances & O.S.H.A. Regulations.

B) The City of Lee's Summit Technical Specifications and Municipal Code.

2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times. 3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract

documents, City of Lee's Summit, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.

4. The contractor is responsible for coordination of his and his sub—contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.

5. The demolition and removal(or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits or hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.

6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.

7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.

8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.

9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.

10. SAFETY NOTICE TO CONTRACTOR: In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.

11. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.

2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF

PAVEMENT MARKING AND SIGNAGE NOTES:

1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.

2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.

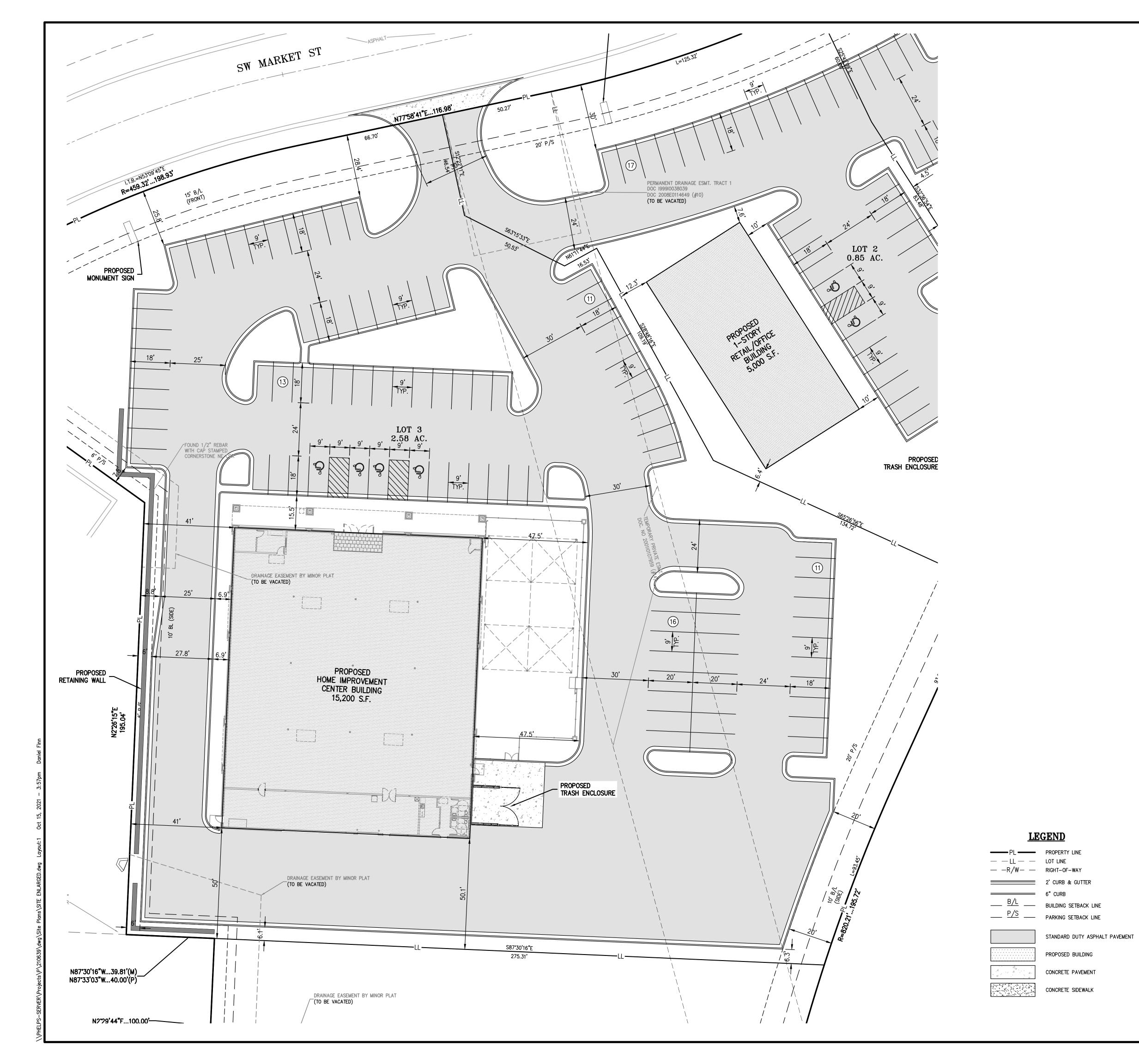
3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.

5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

ZONING:

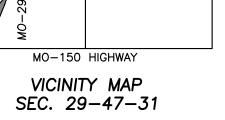
THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT.

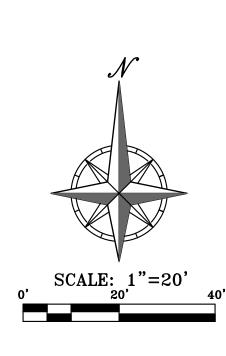


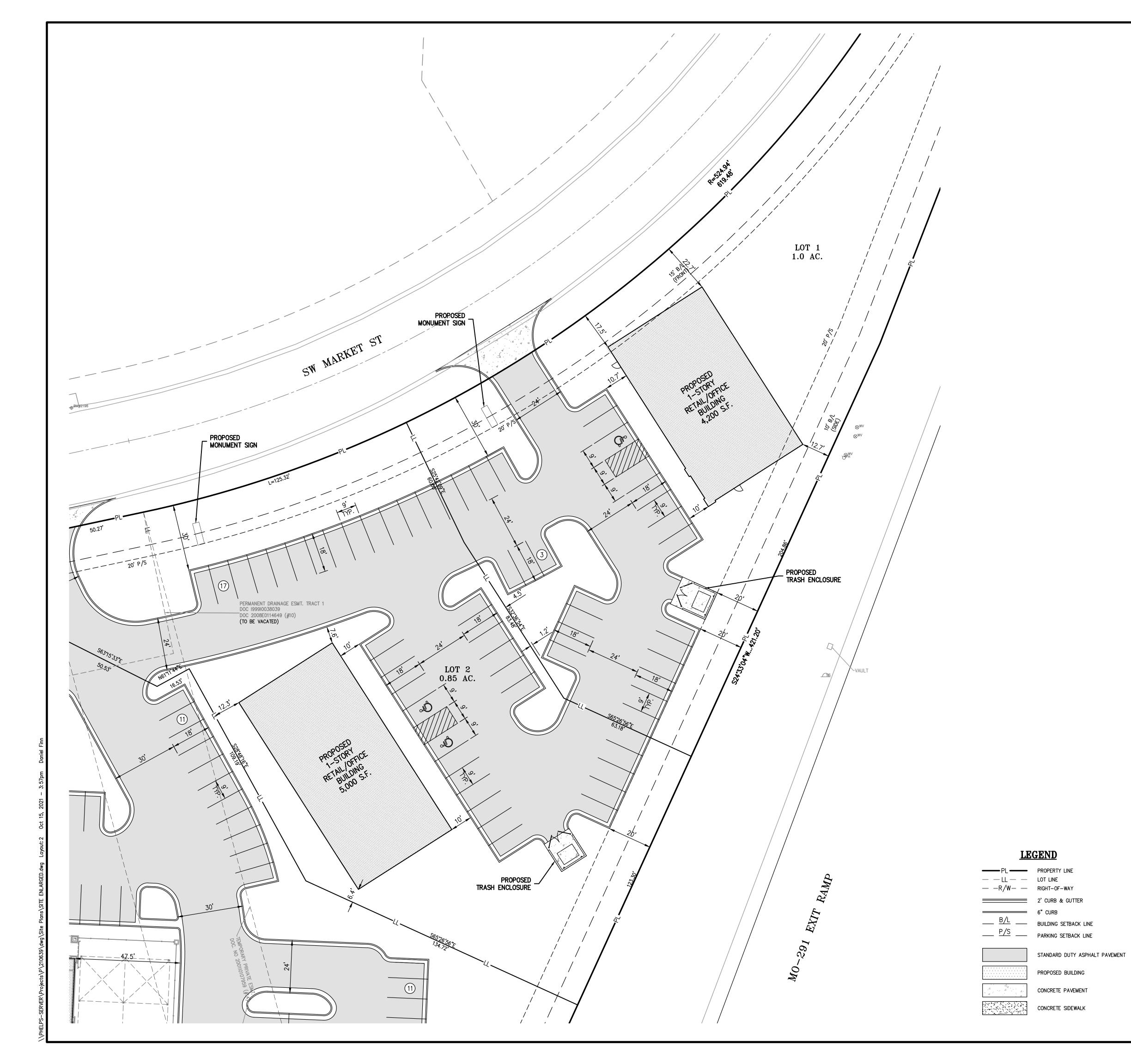


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THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
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NE1/4 NW1/4 I SW1/4 MO-150 HIGHWAY

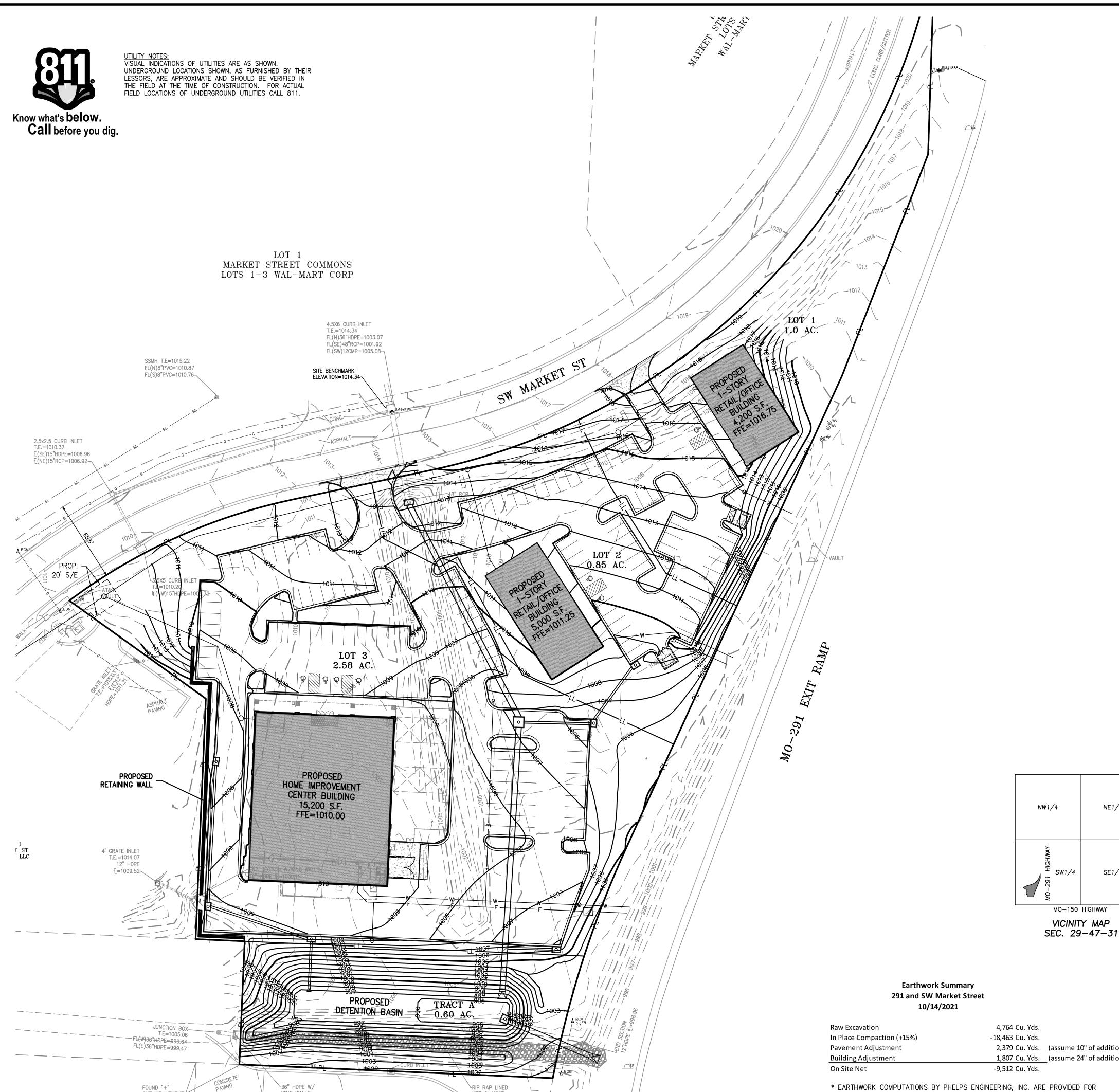






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CUT INPAVEMENT

LOT 1A

DATIDI TIO

WING WALLS

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FL=999.42

SITE GRADING NOTES:

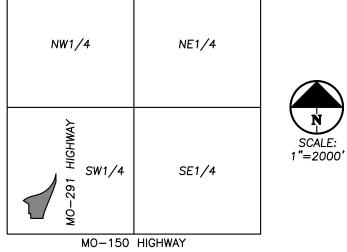
- 1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- 2. If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- 3. CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.
- 5. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- 6. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- 7. PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- 8. EARTHWORK:
 - A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - C) FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete
 - E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- 9. All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- 10. TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- 11. CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock
- 12. PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- 13. UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- 14. LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0436G, AND DATED JANUARY 20, 2017.

BENCHMARK:

- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING MODOT VRS 1. FOUND "" CUT IN CONCRETE SIDEWALK AT SOUTHWEST CORNER OF ADJACENT PROPERTY.
- ELEVATION = 987.14
- 2. SET "" CUT IN SOUTHWEST CORNER OF BACK OF CURB IN ADJACENT PARKING LOT TO THE NORTH AT NORTHWEST CORNER OF SURVEYED PROPERTY. ELEVATION = 990.19

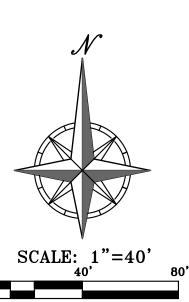


2,379 Cu. Yds. (assume 10" of additional excavation) 1,807 Cu. Yds. (assume 24" of additional excavation)

* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

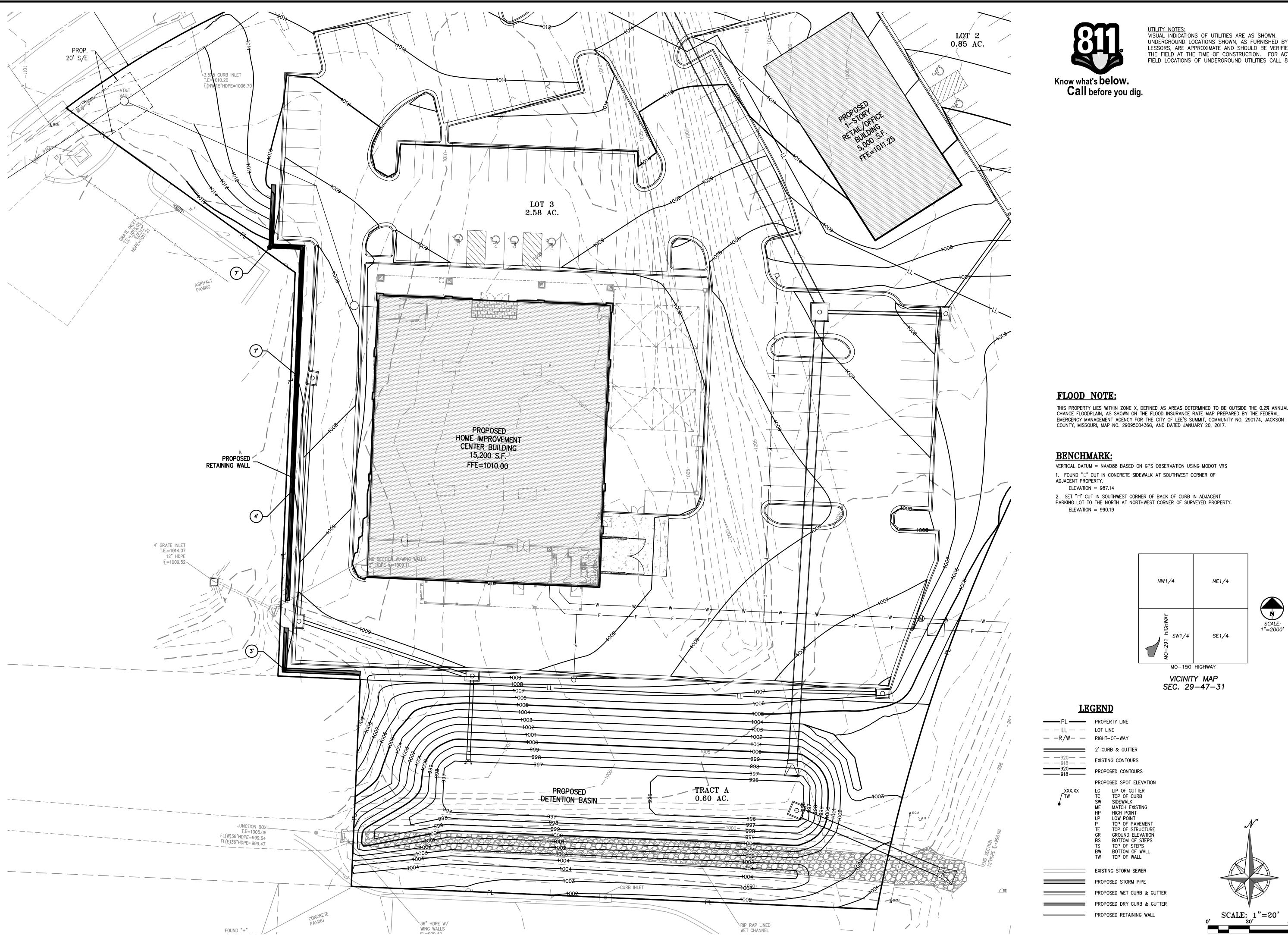
IFCEND

<u>LE</u> (<u>GEN</u>	<u>D</u>
PL — PL — — — — — — — — — — — — — — — —	LOT L	ERTY LINE LINE OF-WAY
	2' CU	IRB & GUTTER
— —920— — — —918— —	EXIST	ING CONTOURS
920—— 918——	PROP	OSED CONTOURS
	PROP	OSED SPOT ELEVATION
XXX.XX TW	LG TC SW ME HP LP TE GR BS TS BW TW	GROUND ELEVATION
	EXIST	ING STORM SEWER
	PROP	OSED STORM PIPE
	PROP	OSED WET CURB & GUTTE
	PROP	OSED DRY CURB & GUTTE
	PROP	OSED RETAINING WALL



GRADING ARKET STREE

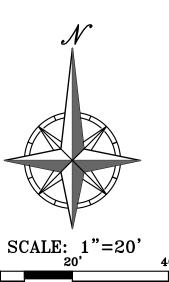
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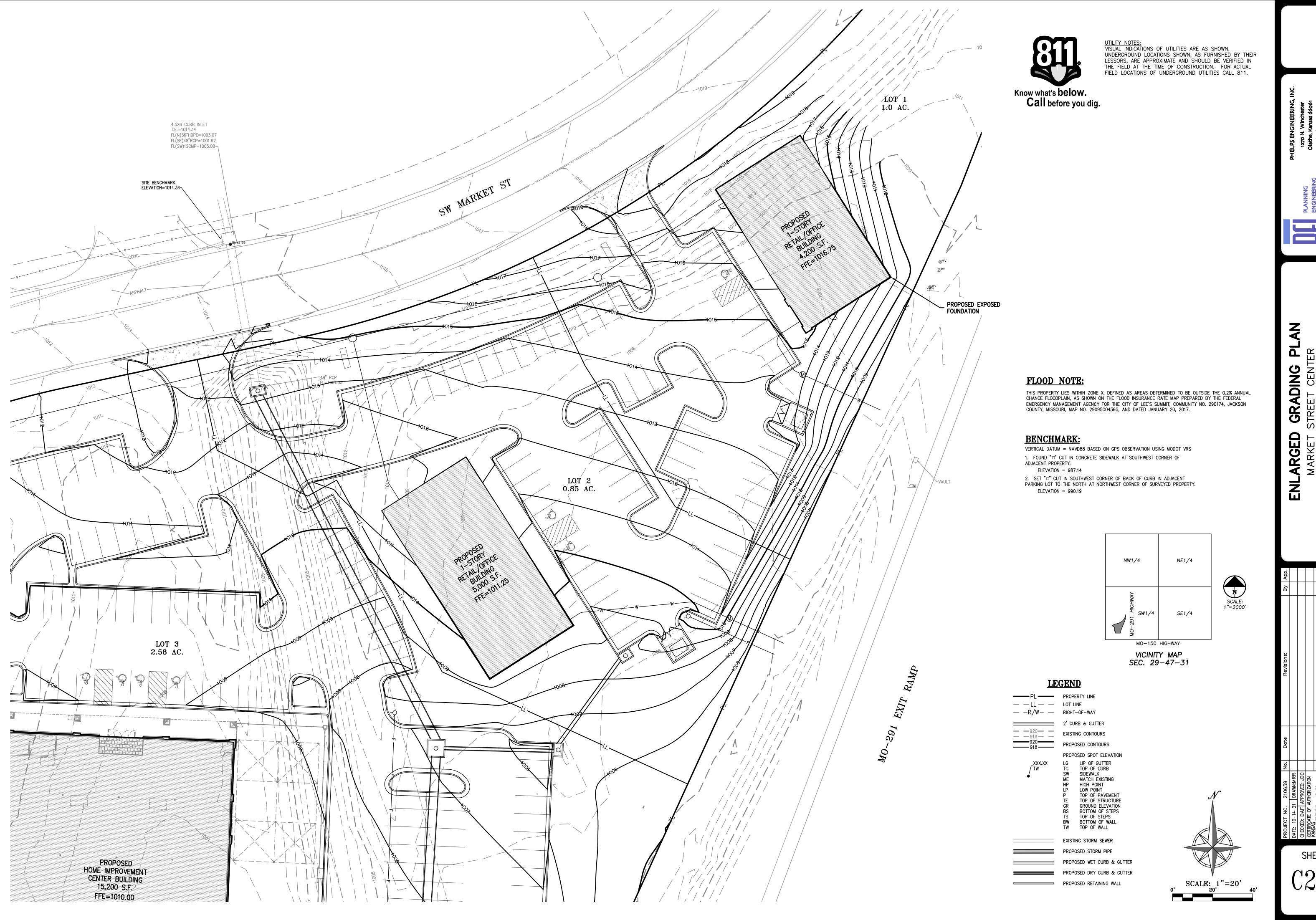


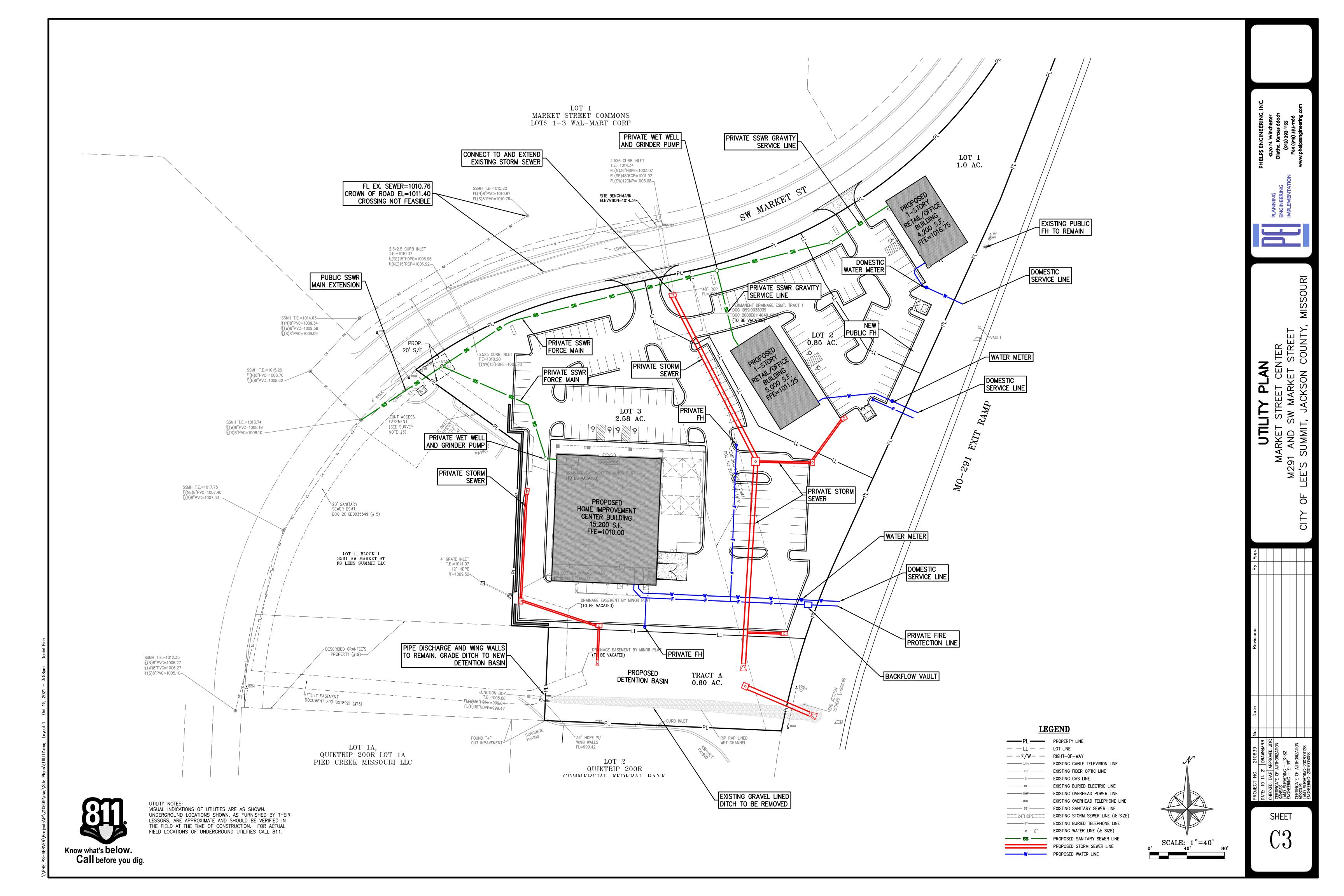
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GRADING STREET CENT W MARKET ST JACKSON CC

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL







BUILDING & LOT DATA

Zoning	CP-2
Lot 1	
Site Area	1.85 Ac.
Retail Building	
No. of Stories	1 Story
Building S.F.	7,200 S.F.
Building Footprint FAR / Building Coverage	7,200 S.F.
FAR / Building Coverage	0.0923
Impervious Area	0.73 Ac. (39%)
Open Space	1.12 Ac. (61%)
Lot 2	
Site Area	2.58 Ac.
Home Improvement	
No. of Stories	1 Story
Building S.F.	15,200 S.F.
Building Footprint	15,200 S.F.
FAR / Building Coverage	0.1321
Impervious Area	1.60 Ac. (62%)
Open Space	0.98 Ac. (38%)
Tract A	
Site Area	0.60 Ac.
Impervious Area	0.00 Ac. (0%)
Open Space	0.60 Ac. (100%)
Span Spans	1 0.000 Field (1.00.0)
Overall	
Site Area	5.03 Ac.
Building S.F.	22,400 S.F.
FAR / Building Coverage	0.1022
Impervious Area	2.33 Ac. (46%)
Open Space	2.70 Ac. (54%)

DADIZING GITAGANIZ

PARKING SUMMARY	
Lot 1	
Parking Required:	
Food and Beverage Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	36 Spaces
Parking Provided	
Standard Parking Provided	48 Spaces
Accessible Parking Spaces Provided	2 Spaces
Total Provided Parking	50 Spaces
Lot 2	
Parking Required:	
Home Improvement (4 / 1,000 S.F.)	
Total Required Parking	61 Spaces
Parking Provided	
Standard Parking Provided	87 Spaces
Accessible Parking Spaces Provided	4 Spaces
Total Provided Parking	91 Spaces

LEGEND

2' CURB & GUTTER

_____ B/L ____ BUILDING SETBACK LINE

PARKING SETBACK LINE

STANDARD DUTY ASPHALT PAVEMENT

PROPOSED BUILDING

CONCRETE PAVEMENT

CONCRETE SIDEWALK

PL PROPERTY LINE — — LL — — LOT LINE - RIGHT-OF-WAY



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Lot 1	
Site Area	1.85 Ac.
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4. The contractor is responsible for coordination of his and his sub—contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.

5. The demolition and removal(or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits or hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.

6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.

7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.

8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.

9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.

10. <u>SAFETY NOTICE TO CONTRACTOR:</u> In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.

11. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.

2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF

PAVEMENT MARKING AND SIGNAGE NOTES:

1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.

2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.

3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL

4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.

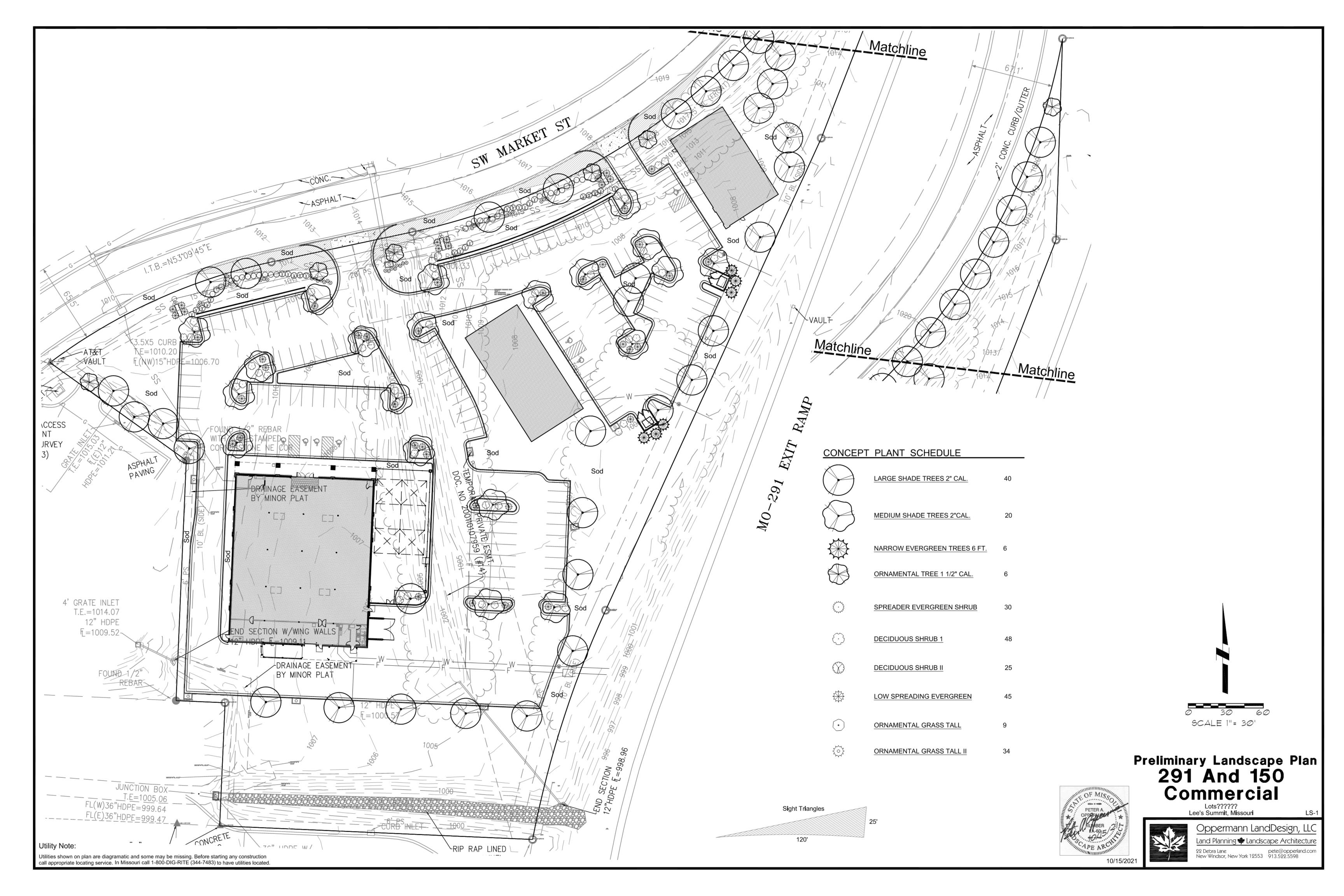
5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

ZONING:

THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT.



ONCEP.







Proposed Building for

Heartland Dental



north elevation



2 west elevation



3 east elevation

