



BUILDING & LOT DATA

Zoning	CP-2
Lot 1	
Site Area	1.00 Ac.
Retail Building	
No. of Stories	1 Story
Building S.F.	4,200 S.F.
Building Footprint	4,200 S.F.
FAR / Building Coverage	0.0967
Impervious Area	0.30 Ac. (30%)
Open Space	0.70 Ac. (70%)
Lot 2	
Site Area	0.85 Ac.
Retail Building	
No. of Stories	1 Story
Building S.F.	5,000 S.F.
Building Footprint	5,000 S.F.
FAR / Building Coverage	0.1453
Impervious Area	0.43 Ac. (51%)
Open Space	0.42 Ac. (49%)
Lot 3	
Site Area	2.58 Ac.
Home Improvement	
No. of Stories	1 Story
Building S.F.	15,200 S.F.
Building Footprint	15,200 S.F.
FAR / Building Coverage	0.1321
Impervious Area	1.60 Ac. (62%)
Open Space	0.98 Ac. (38%)
Tract A	
Site Area	0.60 Ac.
Impervious Area	0.00 Ac. (0%)
Open Space	0.60 Ac. (100%)
Overall	
Site Area	5.03 Ac.
Building S.F.	24,400 S.F.
FAR / Building Coverage	0.1114
Impervious Area	2.33 Ac. (46%)
Open Space	2.70 Ac. (54%)

PARKING SUMMARY

Lot 1	
Parking Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	22 Spaces
Parking Provided	
Standard Parking Provided	24 Spaces
Accessible Parking Spaces Provided	1 Spaces
Total Provided Parking	25 Spaces
Lot 2	
Parking Required:	
Retail Sales (5 / 1,000 S.F.)	
Total Required Parking	25 Spaces
Parking Provided	
Standard Parking Provided	33 Spaces
Accessible Parking Spaces Provided	2 Spaces
Total Provided Parking	35 Spaces
Lot 3	
Parking Required:	
Home Improvement (4 / 1,000 S.F.)	
Total Required Parking	61 Spaces
Parking Provided	
Standard Parking Provided	87 Spaces
Accessible Parking Spaces Provided	4 Spaces
Total Provided Parking	91 Spaces

LEGEND

PL	PROPERTY LINE
LL	LOT LINE
R/W	RIGHT-OF-WAY
2' CURB & GUTTER	
6" CURB	
B/L	BUILDING SETBACK LINE
P/S	PARKING SETBACK LINE
STANDARD DUTY ASPHALT PAVEMENT	
PROPOSED BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	



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LEGAL DESCRIPTION:

ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 47 NORTH, RANGE 31 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING PART OF A PARCEL OF LAND DESCRIBED IN BOOK 1-1847 AT PAGE 2006, SAID PARCEL LYING SOUTHEASTERLY OF MARKET STREET AND WESTERLY OF THE WEST RIGHT OF WAY LINE OF MISSOURI HIGHWAY 291, EXCEPT

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ALL THAT PART NOW PLATTED AS FIRESTONE SW MARKET STREET, RECORDED MAY 11, 2020 AS DOCUMENT NO. 2020E0041392 IN PLAT BOOK 190 AT PAGE 63

AREA = 219,027.21± SQ.FT. / 5.028± ACRES

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:  
A) City ordinances & O.S.H.A. Regulations.  
B) The City of Lee's Summit Technical Specifications and Municipal Code.
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- The demolition and removal(or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
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- Refer to the building plans for site lighting electrical requirements, including conduits, pole boxes, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70° AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60° AND RISING. TWO COATS SHALL BE APPLIED.

ZONING:

THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT.



PHILIPS ENGINEERING, INC.  
1370 N. Winchester  
Olathe, Kansas 66061  
(913) 393-1155  
Fax: (913) 393-1165  
www.philipsengineering.com



SITE PLAN  
MARKET STREET CENTER  
M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

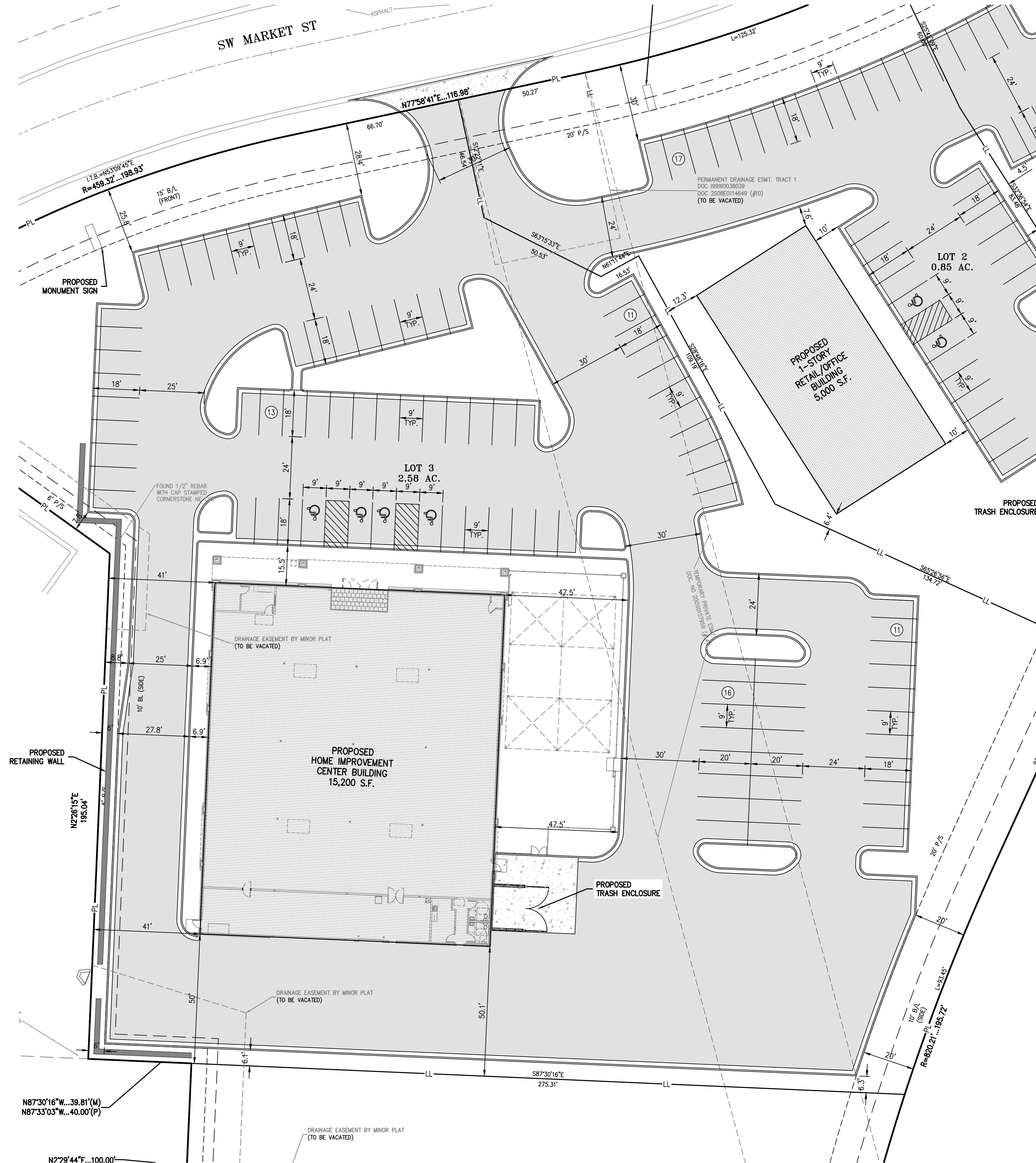
PROJECT NO.	210639	No.		Date	
CHECKED	DAF	APPROVED	JDC		
CORPORATE DATE OF AUTHORIZATION					
LAND SURVEYING - LS-82					
ENGINEERING - E-361					
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING-200701028					
ENGINEERING-200700329					

SHEET

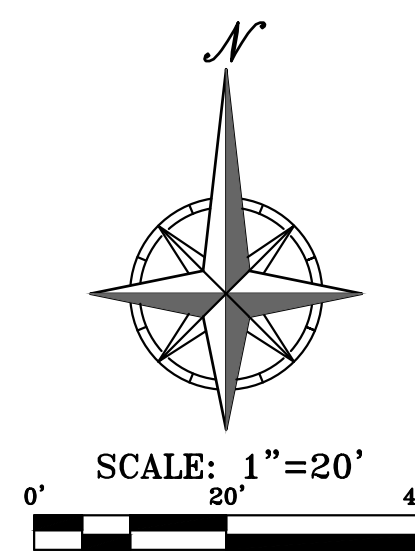
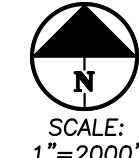
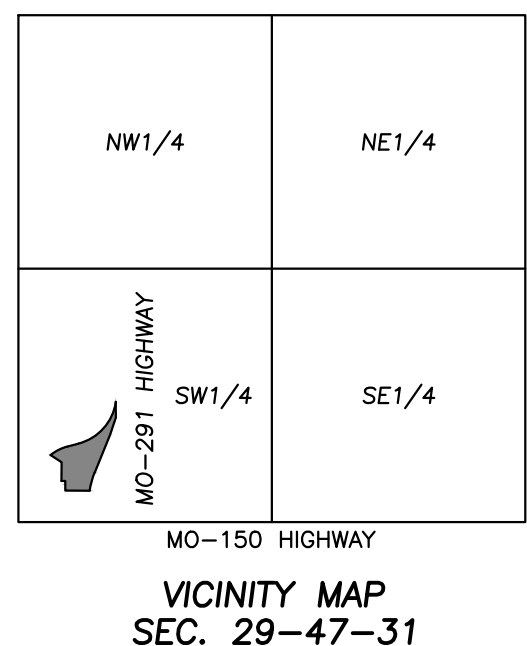
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- LEGEND**
- PL — PROPERTY LINE
  - LL — LOT LINE
  - R/W — RIGHT-OF-WAY
  - 2' CURB & GUTTER
  - 6" CURB
  - B/L — BUILDING SETBACK LINE
  - P/S — PARKING SETBACK LINE
  - STANDARD DUTY ASPHALT PAVEMENT
  - PROPOSED BUILDING
  - CONCRETE PAVEMENT
  - CONCRETE SIDEWALK



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
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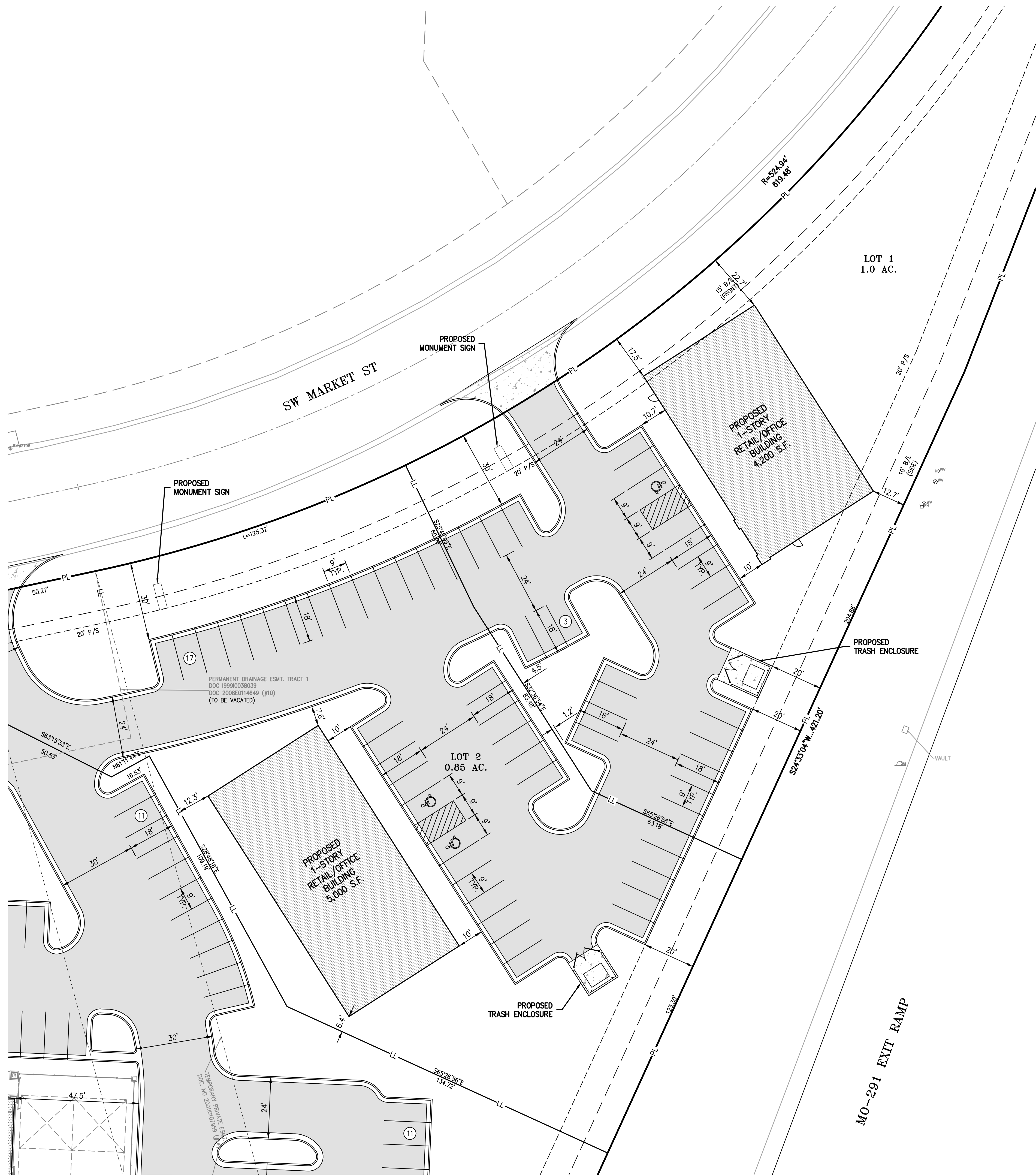
**SITE PLAN**  
MARKET STREET CENTER  
M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROJECT NO.	210639	DATE	10-14-21	DRAWN BY	MMR	CHECKED	DAF	APPROVED	JDC
DATE	10-14-21	DRAWN BY	MMR	CHECKED	DAF	APPROVED	JDC		
CERTIFICATE OF AUTHORIZATION									
LAND SURVEYING - LS-82									
ENGINEERING - E-361									
CERTIFICATE OF AUTHORIZATION									
LAND SURVEYING-20070128									
ENGINEERING-20070028									

SHEET  
C1.1



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PLANNING  
ENGINEERING  
IMPLEMENTATION



**SITE PLAN**  
MARKET STREET CENTER  
M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROJECT NO.	210639	No.	Date	Revisions:	By	App.
DATE: 10-14-21	DRAWN: MRR					
CHECKED: DAF	APPROVED: JDC					
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING - LS-82						
ENGINEERING - E-361						
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING - 200700128						
ENGINEERING - 200700329						

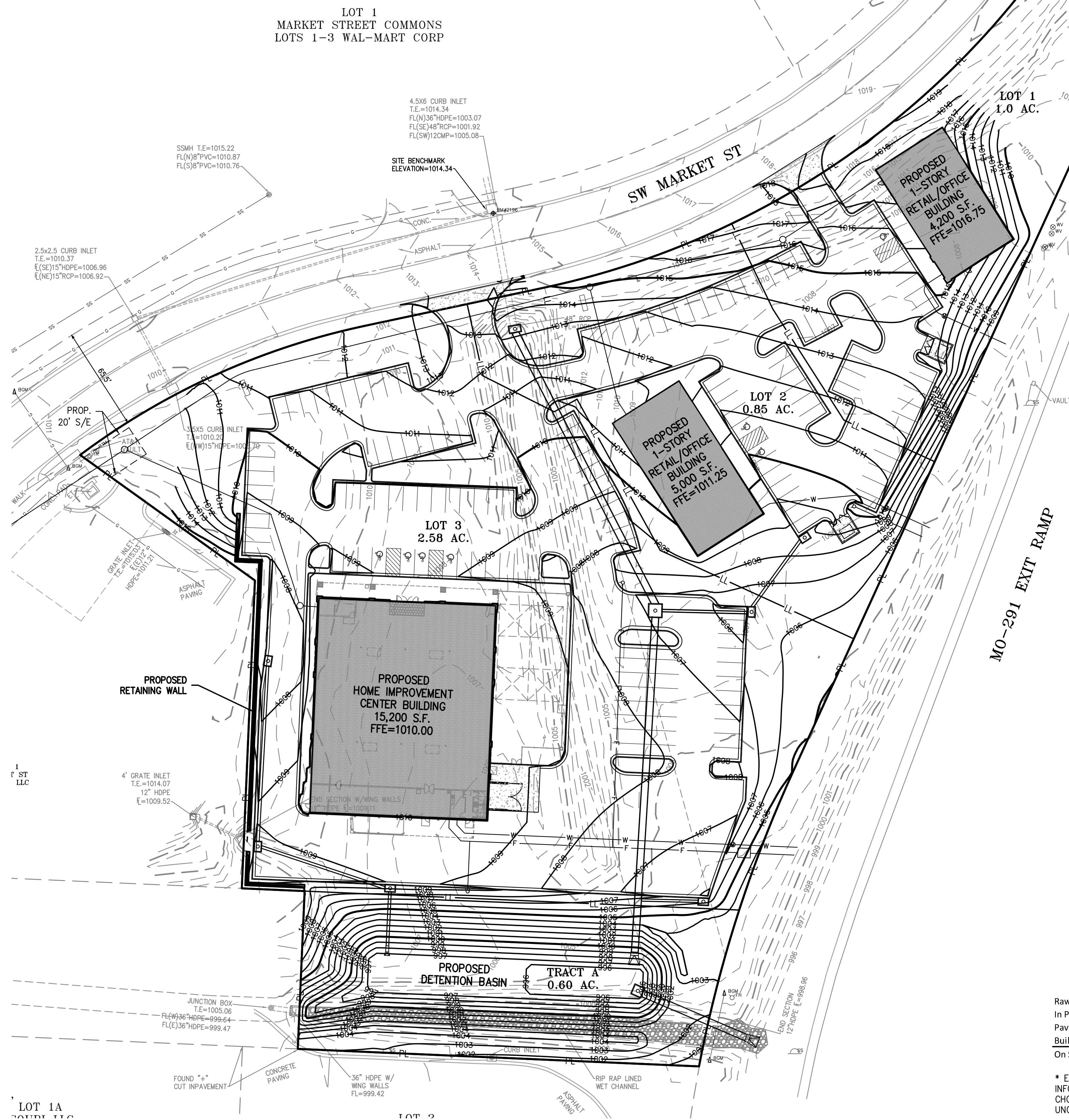
SHEET

C1.2





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C2

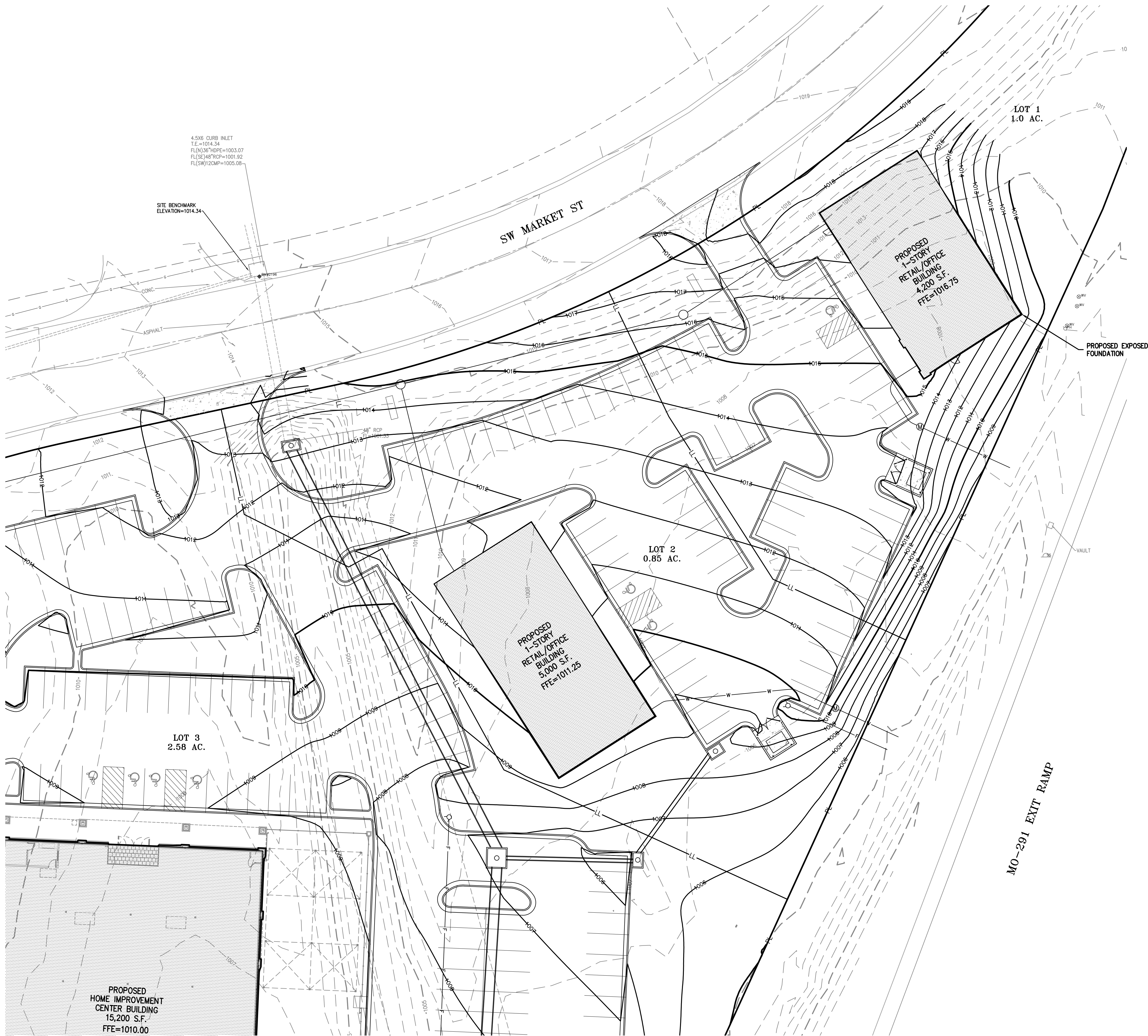
**GRADING PLAN**  
MARKET STREET CENTER  
M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI







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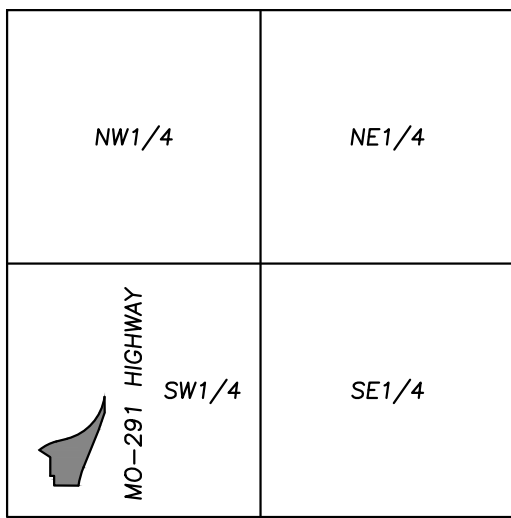
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**FLOOD NOTE:**

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0436G, AND DATED JANUARY 20, 2017.

**BENCHMARK:**

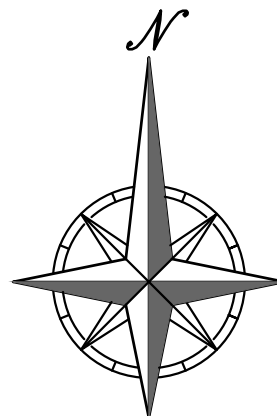
- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING MODOT VRS
1. FOUND "C" CUT IN CONCRETE SIDEWALK AT SOUTHWEST CORNER OF ADJACENT PROPERTY.  
ELEVATION = 987.14
  2. SET "C" CUT IN SOUTHWEST CORNER OF BACK OF CURB IN ADJACENT PARKING LOT TO THE NORTH AT NORTHWEST CORNER OF SURVEYED PROPERTY.  
ELEVATION = 990.19



VICINITY MAP  
SEC. 29-47-31

**LEGEND**

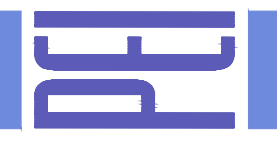
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- LG LIP OF GUTTER
- TC TOP OF CURB
- SW SIDEWALK
- ME MATCH EXISTING
- HP HIGH POINT
- LP LOW POINT
- P TOP OF PAVEMENT
- TE TOP OF STRUCTURE
- GR GROUND ELEVATION
- BS BOTTOM OF STEPS
- TS TOP OF STEPS
- BW BOTTOM OF WALL
- TW TOP OF WALL
- EXISTING STORM SEWER
- PROPOSED STORM PIPE
- PROPOSED WET CURB & GUTTER
- PROPOSED DRY CURB & GUTTER
- PROPOSED RETAINING WALL



SCALE: 1"=20'  
0' 20' 40'

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**ENLARGED GRADING PLAN**

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M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROJECT NO.	210639	No.	Date	Revisions:	By	App.
CHECKED: DAF	APPROVED: JDC					
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LAND SURVEYING - LS-82						
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LAND SURVEYING-200701028						
ENGINEERING-200705039						

SHEET

C2.2

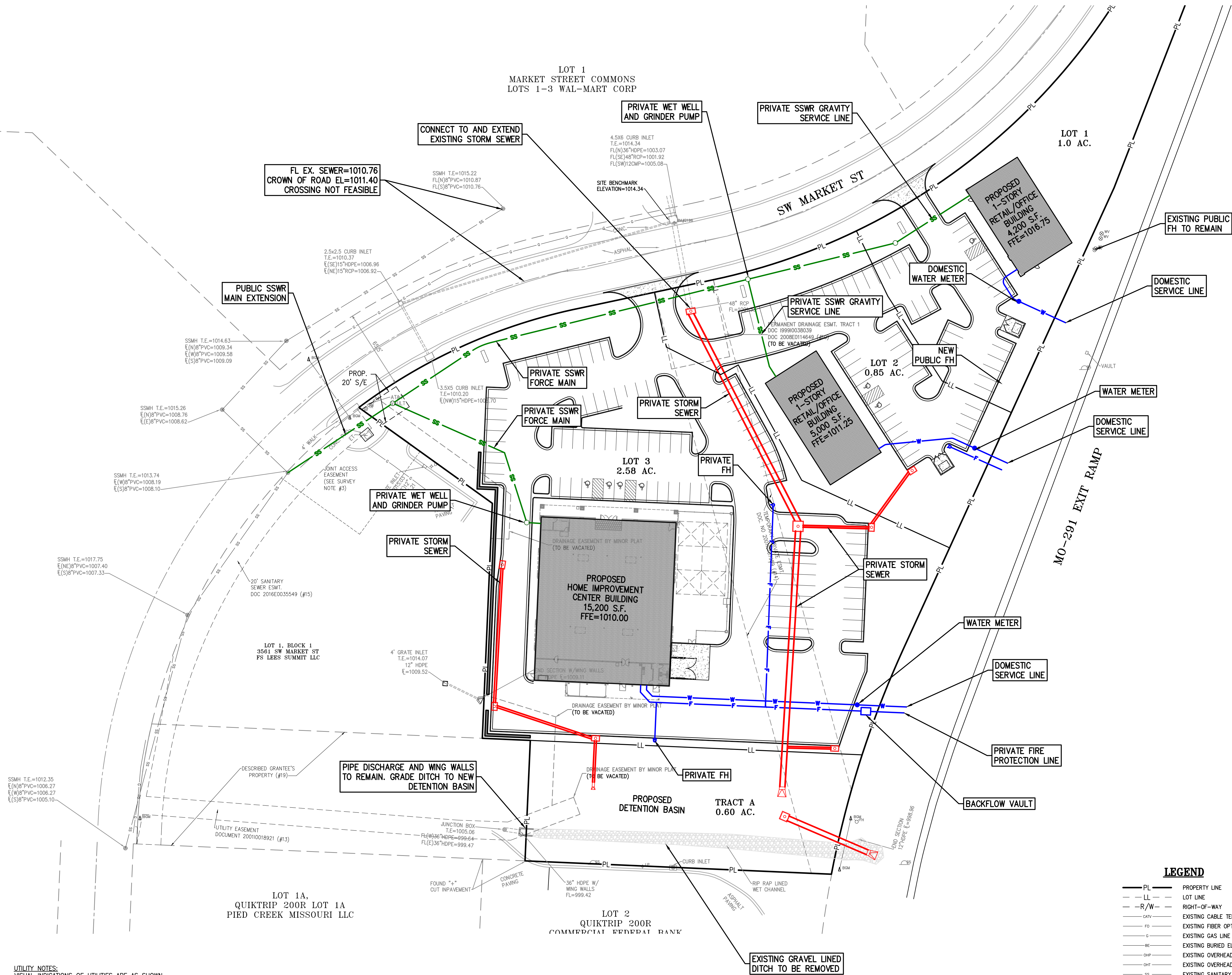


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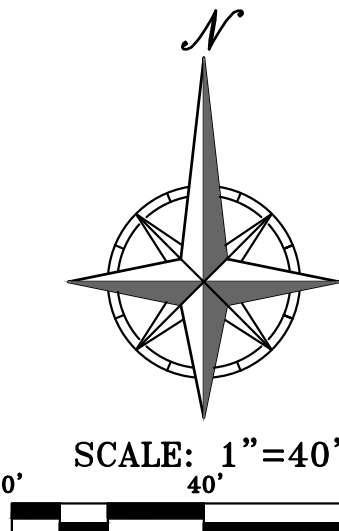


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— R/W —	RIGHT-OF-WAY	— CTV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE	— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC LINE	— OHP —	EXISTING OVERHEAD POWER LINE
— OHT —	EXISTING OVERHEAD TELEPHONE LINE	— SS —	EXISTING SANITARY SEWER LINE
— SS —	EXISTING SANITARY SEWER LINE	— SS —	EXISTING STORM SEWER LINE (& SIZE)
— BT —	EXISTING BURIED TELEPHONE LINE	— W —	EXISTING WATER LINE (& SIZE)
— W —	EXISTING WATER LINE (& SIZE)	— SS —	PROPOSED SANITARY SEWER LINE
— SS —	PROPOSED STORM SEWER LINE	— W —	PROPOSED WATER LINE



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ENGINEERING - 200700208						

SHEET  
C3





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- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

ZONING:

THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT.



SCALE: 1"=40'  
0' 40' 80'

PHILIPS ENGINEERING, INC.  
1370 N. Winchester  
Olathe, Kansas 66061  
(913) 393-1155  
Fax: (913) 393-1165  
www.philipsengineering.com

PLANNING  
ENGINEERING  
IMPLEMENTATION



SITE CONCEPT ALTERNATE

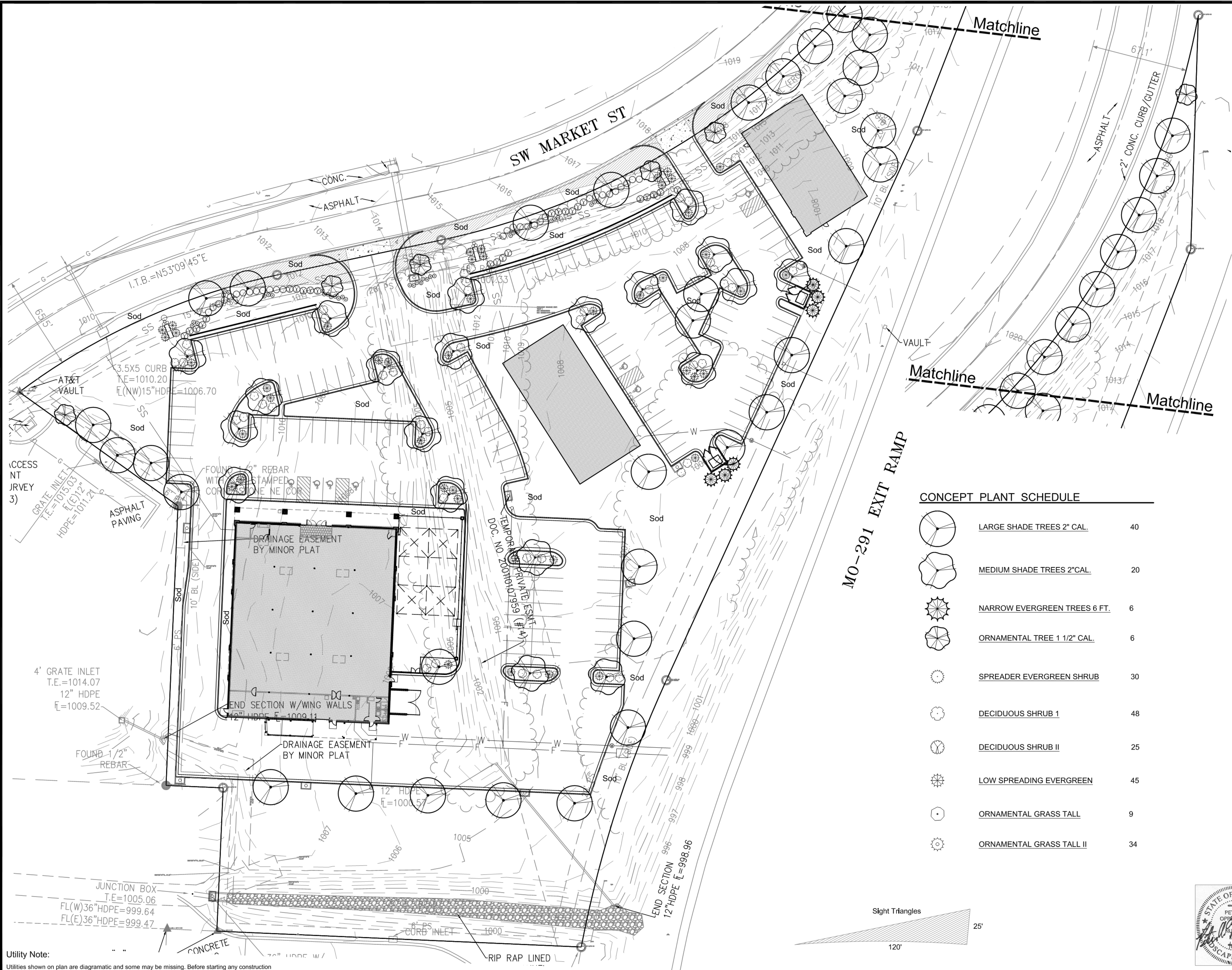
MARKET STREET CENTER  
M291 AND SW MARKET STREET  
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROJECT NO.	210639	Date	No.	Revisions:
CHECKED: DAF	APPROVED: JDC			
CORPORATE SEAL				
LAND SURVEYING - LS-82				
ENGINEERING - E-361				
CERTIFICATE OF AUTHORIZATION				
LAND SURVEYING-200700128				
ENGINEERING-200700208				








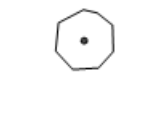


SHEET

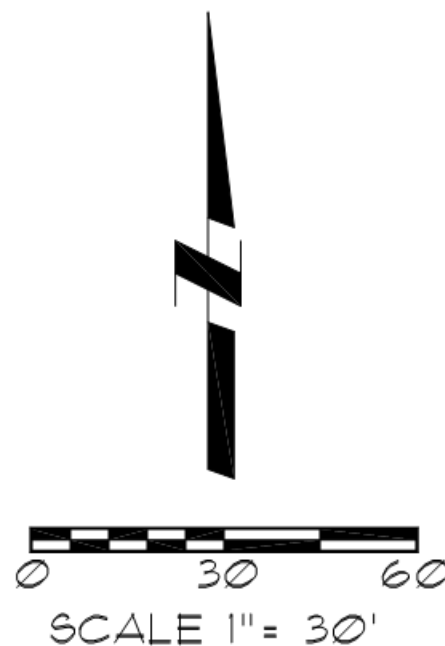
C4





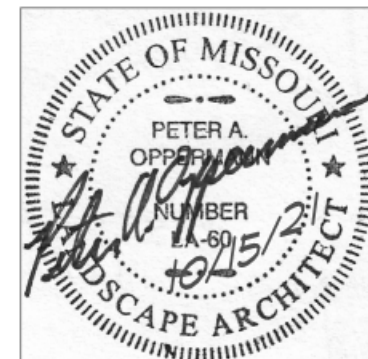
CONCEPT PLANT SCHEDULE

	LARGE SHADE TREES 2" CAL.	40
	MEDIUM SHADE TREES 2" CAL.	20
	NARROW EVERGREEN TREES 6 FT.	6
	ORNAMENTAL TREE 1 1/2" CAL.	6
	SPREADER EVERGREEN SHRUB	30
	DECIDUOUS SHRUB I	48
	DECIDUOUS SHRUB II	25
	LOW SPREADING EVERGREEN	45
	ORNAMENTAL GRASS TALL	9
	ORNAMENTAL GRASS TALL II	34



Preliminary Landscape Plan  
291 And 150  
Commercial

Lots??????  
Lee's Summit, Missouri LS-1




Oppermann LandDesign, LLC  
Land Planning & Landscape Architecture  
22 Debra Lane  
New Windsor, New York 12553  
pete@opperland.com  
913.592.5598

10/15/2021


Utility Note:  
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.




**PFM1** Pre-Finished Metal  
'Berridge' Sierra Tan [parapet cap . metal trim]



**NSV**  
 'Canyon Stone' Mountain  
 [random . ledge]

 **AAS** Anodized Aluminum Storefront  
Clear anodized aluminum storefront system with nominal  
1 3/4" x 4 1/2" frame and tempered 1" insulated glazing:  
'Kawneer' or approved equal



**WD** Wood Siding  
Accoya Wood Siding  
Sonoran w/ Dados Profile

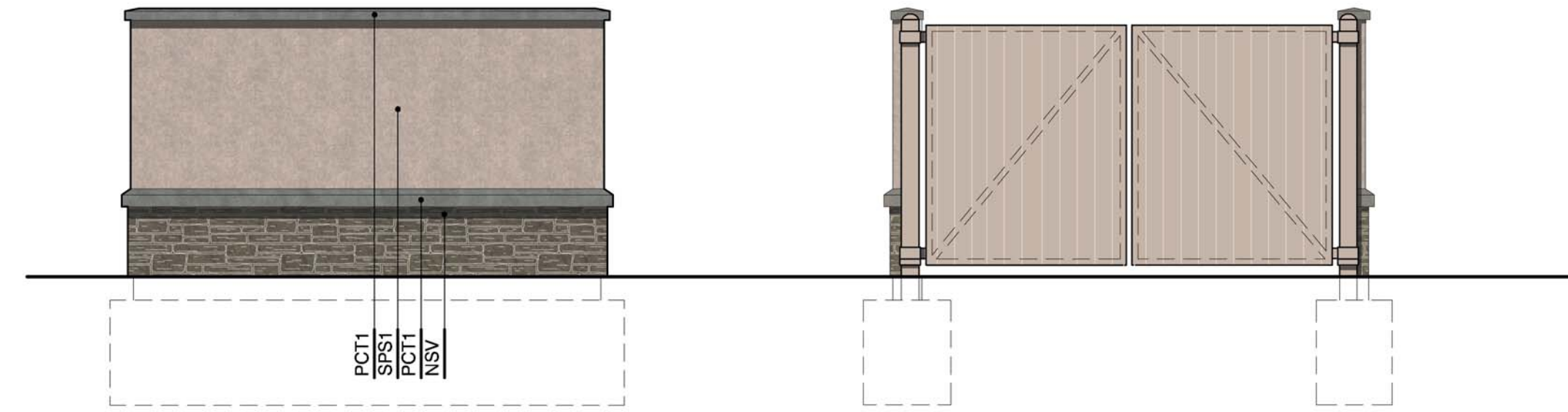
**PCT1** Pre Cast Trim  
'Northfield Block' Cordova Stone . Graphite Groundface nominal  
6x16 units with standard tooled concave mortar joints  
[masonry caps]

 **SPS1**  
Class PB 'Dryvit' Quartzputz Finish to match 110 Van Dyke  
[field]

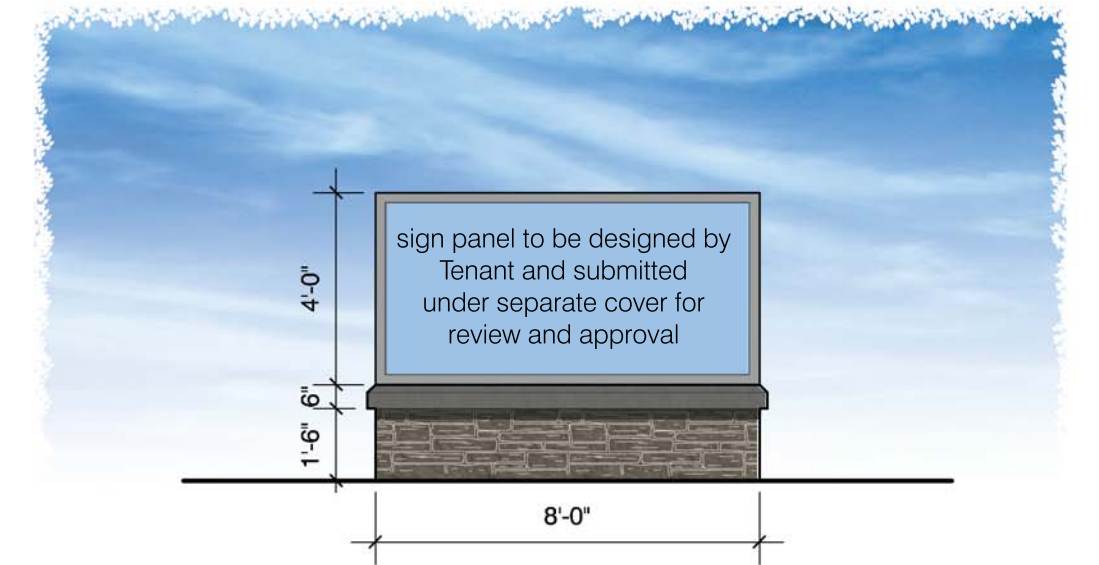
 **SPS2**  
Class PB 'Dryvit' Quartzputz Finish to match 614 *Smoke Signal*  
[trim]

Per UDC 440.010.B.2(b) a minimum of 15 percent of the area of each facade shall be recessed, projected, or alternatively staggered from the primary plane of the wall not less than one foot in depth or projection, excluding windows, doors or overhead doors.

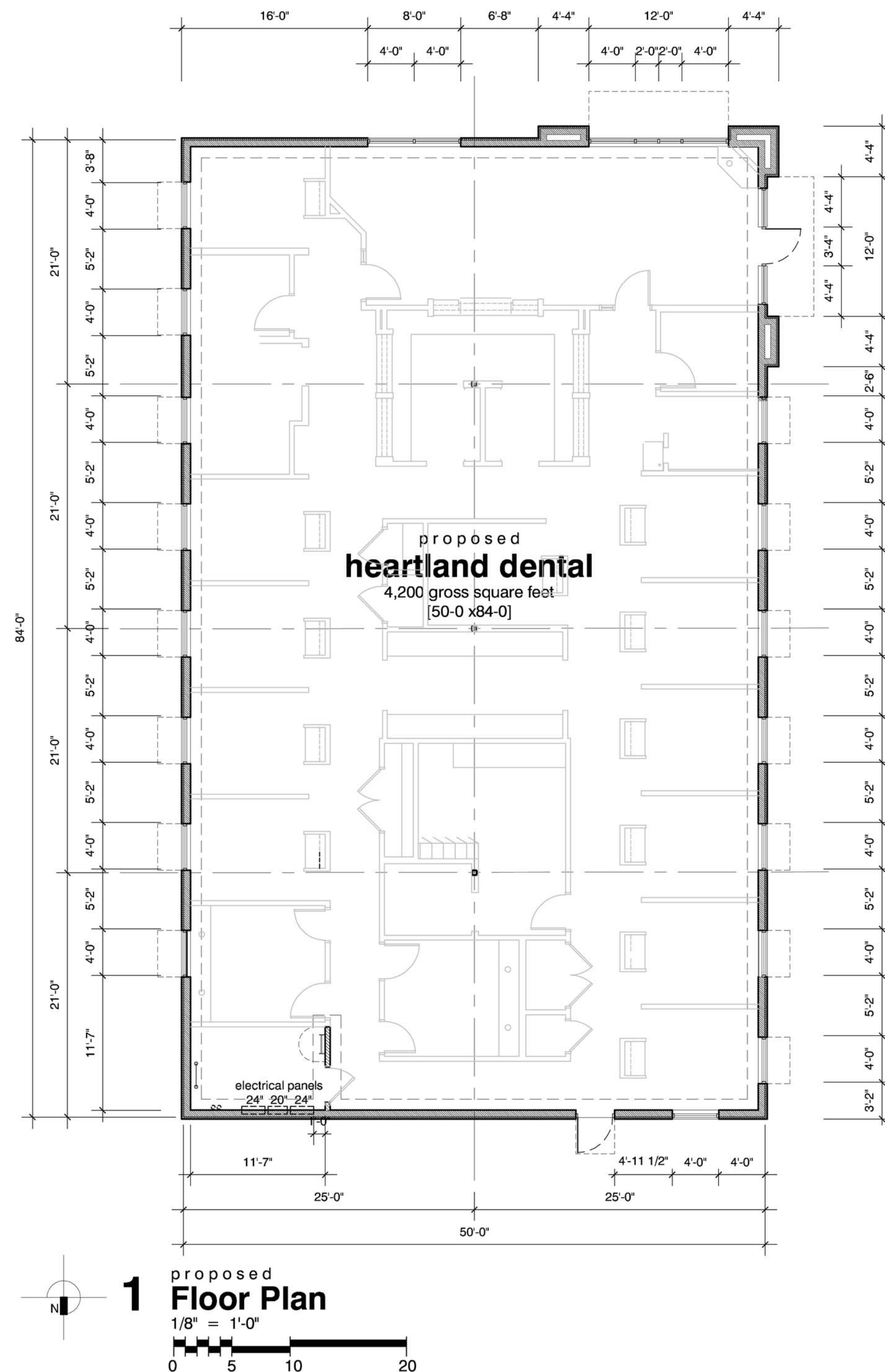
Elevation	Non-Projected	Projected
West	836 sf [57.85%]	609 sf [42.15%]
South	425 sf [49.30%]	437 sf [50.70%]
North	715 sf [83.53%]	141 sf [16.47%]
East	1090 sf [77.58%]	315 sf [22.41%]



**7** proposed  
**Trash Enclosure**  
1/4" = 1'-0"



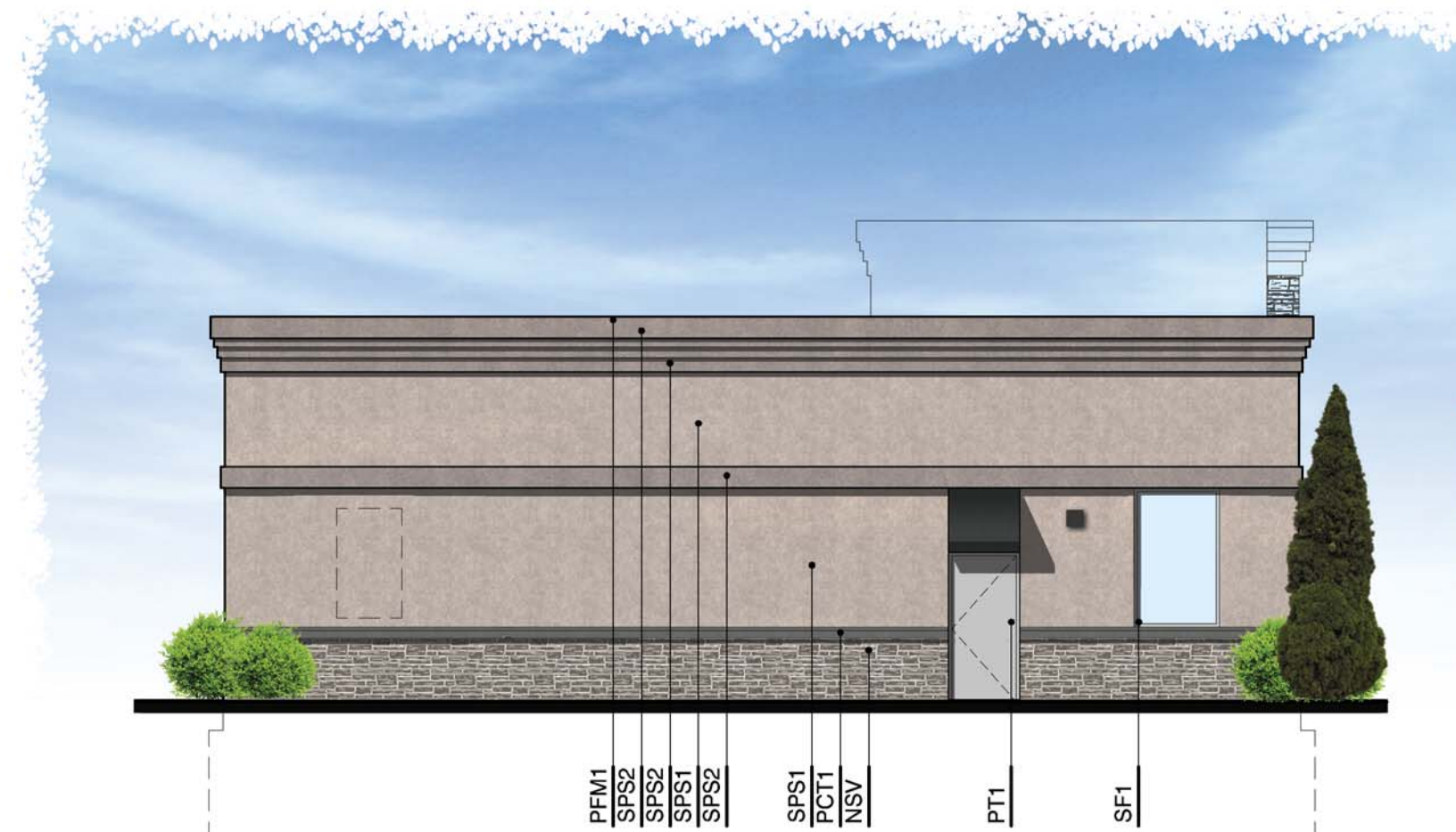
**6** proposed  
**Monument Sign**  
1/4" = 1'-0"



**2** proposed  
**West Elevation**  
1/8" = 1'-0"



**3 proposed**  
**South Elevation**  
1/8" = 1'-0"



4 proposed  
**North Elevation**  
1/8" = 1'-0"



**5** proposed  
**East Elevation**  
1/8" = 1'-0"





**1** north elevation  
scale: 1/8" = 1'-0"



**2** west elevation  
scale: 1/8" = 1'-0"



**3** east elevation  
scale: 1/8" = 1'-0"



**4** south elevation  
scale: 1/8" = 1'-0"