

# LOT 10 LAKEWOOD BUSINESS PARK

LOT 10 I-470 BUSINESS & TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

ISSUED FOR:  
PERMIT - 09/24/2021



GENERAL NOTES	CONSTRUCTION NOTES	SHEET INDEX	VICINITY MAP																																																																																																																																																									
<p>1. CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND OWNER REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SUB-CONTRACTORS RECEIVE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.</p> <p>2. SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.</p> <p>3. ALL WORK AND MATERIALS SHALL CONFORM TO THE APPLICABLE CODES LISTED IN THE PROJECT CODE SUMMARY.</p> <p>4. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATIONS OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS AND THEIR INTENT.</p> <p>5. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND MAY NOT BE LIMITED TO NORMAL WORKING HOURS. PROVIDE SECURITY FENCE AND GATES AS NECESSARY AROUND THE AREA WITHIN THE SCOPE OF WORK.</p> <p>6. IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE APPROPRIATE LOCAL GOVERNING AGENCY.</p> <p>7. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY CONTRACT DOCUMENTS.</p> <p>8. ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY.</p> <p>10. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS.</p> <p>11. NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER.</p> <p>12. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, HVAC DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.</p> <p>13. ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE ONLY BY CERTIFIED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.</p> <p>14. WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.</p> <p>15. NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES ALLOWED BY CODE.</p> <p>16. INSTALLATION OF ANY BUILDING INSULATION WHICH CONTAINS OR UTILIZES AN OZONE DEPLETING COMPOUND IS PROHIBITED.</p> <p>17. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.</p> <p>18. THE BUILDING AND FACILITIES MUST BE ACCESSIBLE TO AND FUNCTIONAL FOR THE PHYSICALLY DISABLED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER STATE/FEDERAL GOVERNING AGENCIES.</p>	<p>1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.</p> <p>2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.</p> <p>3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</p> <p>4. REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</p> <p>6. NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.</p> <p>7. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</p> <p>8. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.</p> <p>9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</p> <p>10. GUTTER AND DOWNSPOUT SIZING PER OWNER'S CONTRACTOR.</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">ISSUE FOR PERMIT - 09/24/2021</p> <table border="1"> <thead> <tr> <th>#</th> <th>SHEET NAME</th> <th></th> </tr> </thead> <tbody> <tr> <td colspan="3"><b>GENERAL</b></td> </tr> <tr> <td>G-100</td> <td>COVER SHEET</td> <td>X</td> </tr> <tr> <td colspan="3"><b>CIVIL</b></td> </tr> <tr> <td>C-001</td> <td>COVER SHEET</td> <td>X</td> </tr> <tr> <td>C-101</td> <td>DEMOLITION PLAN</td> <td>X</td> </tr> <tr> <td>C-121</td> <td>EROSION CONTROL PLAN PHASE 1</td> <td>X</td> </tr> <tr> <td>C-122</td> <td>EROSION CONTROL PLAN PHASE 2</td> <td>X</td> </tr> <tr> <td>C-123</td> <td>EROSION CONTROL PLAN PHASE 3</td> <td>X</td> </tr> <tr> <td>C-131</td> <td>EROSION CONTROL DETAILS</td> <td>X</td> </tr> <tr> <td>C-132</td> <td>EROSION CONTROL DETAILS</td> <td>X</td> </tr> <tr> <td>C-201</td> <td>DIMENSION PLAN</td> <td>X</td> </tr> <tr> <td>C-301</td> <td>GRADING PLAN</td> <td>X</td> </tr> <tr> <td>C-401</td> <td>UTILITY PLAN</td> <td>X</td> </tr> <tr> <td>C-411</td> <td>STORM PROFILES</td> <td>X</td> </tr> <tr> <td>C-421</td> <td>DRAINAGE AREA MAP</td> <td>X</td> </tr> <tr> <td>C-501</td> <td>DETAILS</td> <td>X</td> </tr> <tr> <td colspan="3"><b>LANDSCAPE</b></td> </tr> <tr> <td>L-100</td> <td>LANDSCAPE PLAN</td> <td>X</td> </tr> <tr> <td colspan="3"><b>ARCHITECTURAL</b></td> </tr> <tr> <td>A-001</td> <td>LIFE SAFETY AND CODE SHEET</td> <td>X</td> </tr> <tr> <td>A-002</td> <td>ROOF DRAINAGE PLAN</td> <td>X</td> </tr> <tr> <td>A-100</td> <td>OVERALL MAIN LEVEL FLOOR PLAN</td> <td>X</td> </tr> <tr> <td>A-110</td> <td>MAIN LEVEL FLOOR PLAN - AREA A</td> <td>X</td> </tr> <tr> <td>A-111</td> <td>MAIN LEVEL FLOOR PLAN - AREA B</td> <td>X</td> </tr> <tr> <td>A-130</td> <td>ENLARGED PLANS</td> <td>X</td> </tr> <tr> <td>A-200</td> <td>ROOF PLAN</td> <td>X</td> </tr> <tr> <td>A-301</td> <td>EXTERIOR ELEVATIONS</td> <td>X</td> </tr> <tr> <td>A-400</td> <td>WALL SECTIONS &amp; DETAILS</td> <td>X</td> </tr> <tr> <td colspan="3"><b>STRUCTURAL</b></td> </tr> <tr> <td>S001</td> <td>STRUCTURAL GENERAL NOTES</td> <td>X</td> </tr> <tr> <td>S100</td> <td>FOUNDATION PLAN</td> <td>X</td> </tr> <tr> <td>S101</td> <td>FOUNDATION PLAN</td> <td>X</td> </tr> <tr> <td colspan="3"><b>MECHANICAL/PLUMBING</b></td> </tr> <tr> <td>MP001</td> <td>MECHANICAL AND PLUMBING SPECIFICATIONS AND SYMBOLS</td> <td>X</td> </tr> <tr> <td>MP002</td> <td>MECHANICAL AND PLUMBING SCHEDULES AND DETAILS</td> <td>X</td> </tr> <tr> <td colspan="3"><b>MECHANICAL</b></td> </tr> <tr> <td>M-101</td> <td>MECHANICAL PLAN WEST</td> <td>X</td> </tr> <tr> <td>M-102</td> <td>MECHANICAL PLAN EAST</td> <td>X</td> </tr> <tr> <td colspan="3"><b>PLUMBING</b></td> </tr> <tr> <td>P-101</td> <td>PLUMBING PLAN WEST</td> <td>X</td> </tr> <tr> <td>P-102</td> <td>PLUMBING PLAN EAST</td> <td>X</td> </tr> <tr> <td colspan="3"><b>ELECTRICAL</b></td> </tr> <tr> <td>E-001</td> <td>ELECTRICAL SPECIFICATIONS AND SYMBOLS</td> <td>X</td> </tr> <tr> <td>E-002</td> <td>PHOTOMETRIC PLAN</td> <td>X</td> </tr> <tr> <td>E-003</td> <td>PHOTOMETRIC PLAN</td> <td>X</td> </tr> <tr> <td>E-101</td> <td>ELECTRICAL PLAN - WEST</td> <td>X</td> </tr> <tr> <td>E-102</td> <td>ELECTRICAL PLAN - EAST</td> <td>X</td> </tr> <tr> <td>E-201</td> <td>ELECTRICAL EQUIPMENT POWER PLAN - WEST</td> <td>X</td> </tr> <tr> <td>E-202</td> <td>ELECTRICAL EQUIPMENT POWER PLAN - EAST</td> <td>X</td> </tr> <tr> <td>E-301</td> <td>ELECTRICAL SCHEDULES AND DIAGRAMS</td> <td>X</td> </tr> </tbody> </table>	#	SHEET NAME		<b>GENERAL</b>			G-100	COVER SHEET	X	<b>CIVIL</b>			C-001	COVER SHEET	X	C-101	DEMOLITION PLAN	X	C-121	EROSION CONTROL PLAN PHASE 1	X	C-122	EROSION CONTROL PLAN PHASE 2	X	C-123	EROSION CONTROL PLAN PHASE 3	X	C-131	EROSION CONTROL DETAILS	X	C-132	EROSION CONTROL DETAILS	X	C-201	DIMENSION PLAN	X	C-301	GRADING PLAN	X	C-401	UTILITY PLAN	X	C-411	STORM PROFILES	X	C-421	DRAINAGE AREA MAP	X	C-501	DETAILS	X	<b>LANDSCAPE</b>			L-100	LANDSCAPE PLAN	X	<b>ARCHITECTURAL</b>			A-001	LIFE SAFETY AND CODE SHEET	X	A-002	ROOF DRAINAGE PLAN	X	A-100	OVERALL MAIN LEVEL FLOOR PLAN	X	A-110	MAIN LEVEL FLOOR PLAN - AREA A	X	A-111	MAIN LEVEL FLOOR PLAN - AREA B	X	A-130	ENLARGED PLANS	X	A-200	ROOF PLAN	X	A-301	EXTERIOR ELEVATIONS	X	A-400	WALL SECTIONS & DETAILS	X	<b>STRUCTURAL</b>			S001	STRUCTURAL GENERAL NOTES	X	S100	FOUNDATION PLAN	X	S101	FOUNDATION PLAN	X	<b>MECHANICAL/PLUMBING</b>			MP001	MECHANICAL AND PLUMBING SPECIFICATIONS AND SYMBOLS	X	MP002	MECHANICAL AND PLUMBING SCHEDULES AND DETAILS	X	<b>MECHANICAL</b>			M-101	MECHANICAL PLAN WEST	X	M-102	MECHANICAL PLAN EAST	X	<b>PLUMBING</b>			P-101	PLUMBING PLAN WEST	X	P-102	PLUMBING PLAN EAST	X	<b>ELECTRICAL</b>			E-001	ELECTRICAL SPECIFICATIONS AND SYMBOLS	X	E-002	PHOTOMETRIC PLAN	X	E-003	PHOTOMETRIC PLAN	X	E-101	ELECTRICAL PLAN - WEST	X	E-102	ELECTRICAL PLAN - EAST	X	E-201	ELECTRICAL EQUIPMENT POWER PLAN - WEST	X	E-202	ELECTRICAL EQUIPMENT POWER PLAN - EAST	X	E-301	ELECTRICAL SCHEDULES AND DIAGRAMS	X	
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Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT  
DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safetyministorage.com

LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064



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REVISIONS	NO.	DATE	DESCRIPTION

DRAWN BY: NC  
CHECKED BY: NC  
PROJECT #: 21-1902  
ISSUE DATE: 2021.09.24  
ISSUED FOR:  
ISSUE FOR PERMIT  
COVER SHEET



# Lot 10 I-470 BUSINESS AND TECHNOLOGY CENTER

## DEVELOPMENT PLAN

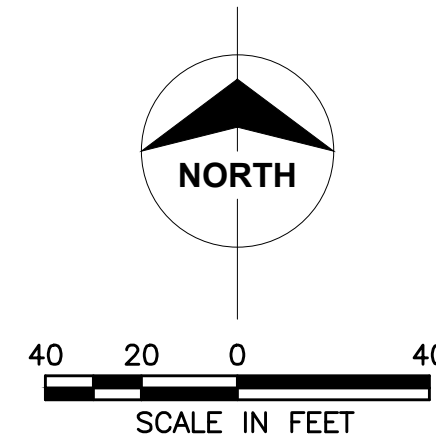
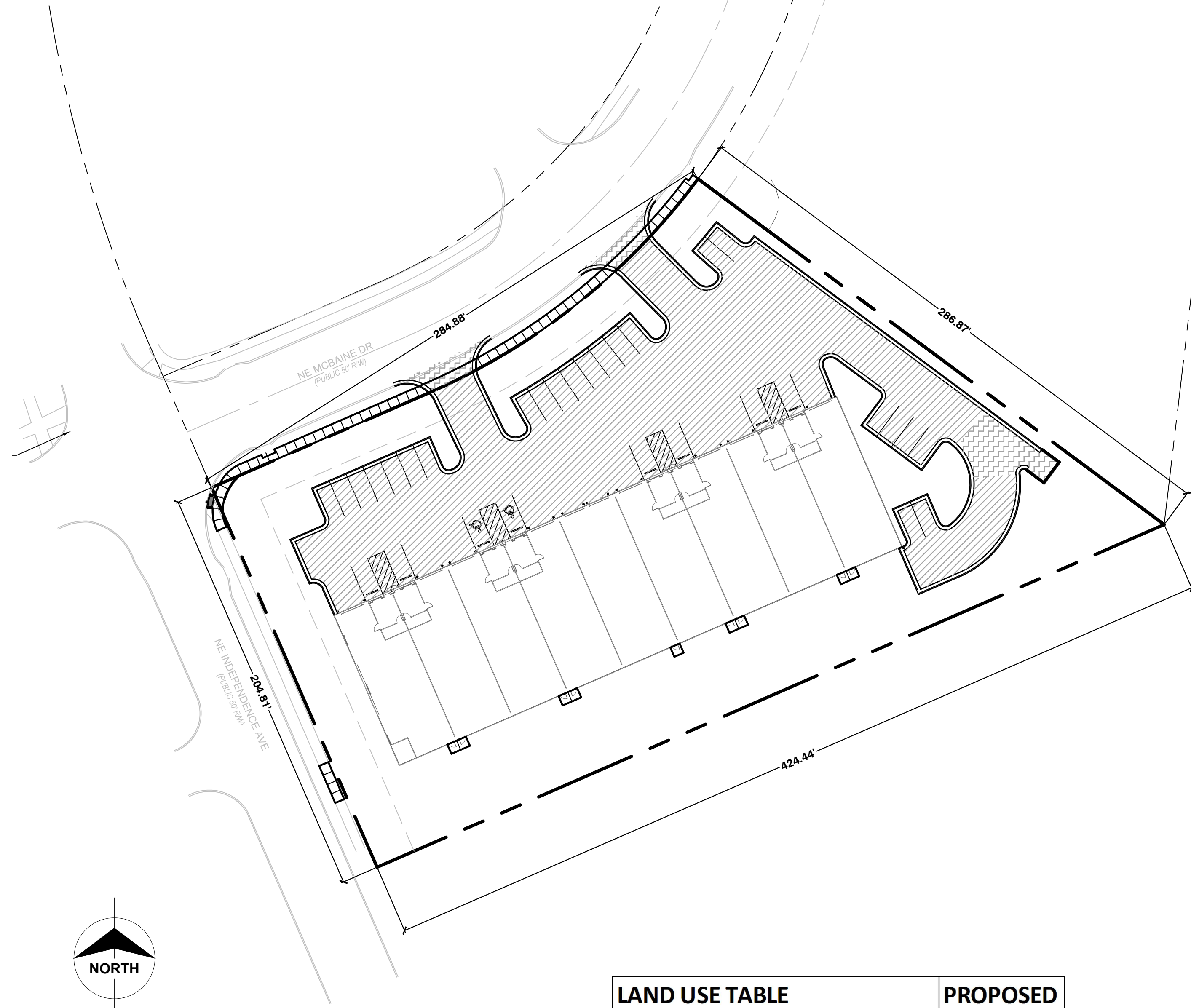
### LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

#### GENERAL NOTES

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE AND ALL SUPPLEMENTS THERE TO.
- REFER TO THE CURRENT VERSION OF THE KC METRO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, STANDARD SPECIFICATIONS & INSTALLATION FOR THE GUIDING REFERENCE AS WELL MDNR.
- DO NOT SCALE THESE DRAWINGS.
- NO GEOLOGICAL INVESTIGATION WAS PERFORMED ON THIS SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, BONDS, AND INSURANCE REQUIRED BY THE CITY.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY. THEY DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- THE DEVELOPER / OWNER SHALL CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
- ALL EXCESS MATERIAL SHALL BE REMOVED LEGALLY FROM SITE AND DISPOSED OF OFF SITE.
- TRAFFIC CONTROL AND MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT.
- EROSION CONTROL MEASURES SHALL BE PROVIDED AT ALL LOCATIONS WHERE DRAINAGE IS LEAVING THE PROJECT SITE. THE EROSION CONTROL PLAN SHOWS MINIMUM EROSION CONTROL MEASURES TO BE PROVIDED. ADDITIONAL SITE SPECIFIC MEASURES MAY BE NECESSARY AND SHALL BE PROVIDED BY THE DEVELOPER / OWNER, AT THE CONTRACTOR'S EXPENSE.
- ANY EXISTING OR NEW STORM SEWER INLETS IN USE DURING DEMOLITION, GRADING OR CONSTRUCTION SHALL HAVE INLET PROTECTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PLAN SHOWN CONDITIONS TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES SHOWN ON THESE PLANS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING ANY RELATED WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND INSTALLATIONS, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF EXCAVATION OR TRENCHING, AND PROTECT THE SAME AS REQUIRED TO MAINTAIN GOOD OPERATING CONDITION.
- THE CONTRACTOR SHALL USE HIS OWN INFORMATION AND NOT RELY UPON ANY INFORMATION SHOWN ON THE DRAWINGS CONCERNING EXISTING UNDERGROUND INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO EXISTING UNDERGROUND INSTALLATIONS SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT, OR DAMAGES. ALL DAMAGE TO EXISTING UTILITIES INCLUDING SERVICE CONNECTIONS SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND OBTAIN ALL NECESSARY INSPECTIONS THROUGHOUT THE CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, AND SIGNS AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACT WITH THE OWNER. ADDITIONALLY, ALL EXISTING UTILITY TOPS SHALL BE ADJUSTED TO FINISHED GRADE.
- REMOVAL OF EXISTING PAVING AND/OR BORING AT THE CONTRACTOR'S DISCRETION SHALL BE INCLUDED AS A PART OF ALL UTILITY INSTALLATIONS WHERE APPLICABLE AT THE CONTRACTOR'S EXPENSE AS WELL AS REPLACEMENT/REPAIR OF ALL DISTURBED MATERIALS IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND CODES.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULES AND ACTIVITIES WITH THE APPROPRIATE UTILITY OWNER AND ADJACENT PROPERTY OWNERS TO MINIMIZE DISRUPTION TO ADJACENT PROPERTY OWNERS INCLUDING VEHICULAR ACCESS.
- THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK, INCLUDING DEMOLITION AND REMOVAL, WITH THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS PRIOR TO DISCONTINUATION OF SERVICE. UTILITIES NOT NOTED FOR DEMOLITION SHALL REMAIN IN SERVICE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES UNTIL THE RELOCATED UTILITIES ARE INSPECTED AND APPROVED.
- ALL EXISTING UTILITIES SHALL BE REMOVED BACK TO THE CLOSEST STRUCTURE AND CAPPED AT THAT LOCATION UNLESS OTHERWISE INDICATED IN THESE PLANS.
- REMOVE ALL TREES, GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- ALL SLOPES, CUT OR FILL, SHALL BE GRADED TO MAXIMUM FINISH SLOPE OF THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL. NO GRADED SLOPE SHALL EXCEED 3:1 WITHOUT SPECIFIC SLOPE PLANTING OR REINFORCEMENT.
- SITE SHALL BE GRADED TO ENSURE DRAINAGE OF WATER FROM ALL SURFACES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURFACE AND GROUNDWATER CONTROL MEASURES.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED.
- STORM DRAINAGE SYSTEMS WITHIN THE PROJECT AREA ARE TO BE COMPLETELY CLEANED AT THE COMPLETION OF THE PROJECT.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
- ALL SOILS UNDERCUTTING, OVER EXCAVATION, UNDER DRAIN INSTALLATION, AND ROCK FILLS SHALL BE DETERMINED AND DIRECTED BY THE SOILS ENGINEER.
- FILL AREAS TO BE COMPACTED TO 95% STANDARD PROCTOR MINIMUM UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS TO RECEIVE 6 INCHES OF TOPSOIL AND TO BE SEED AND MULCHED.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

#### CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.



#### LEGAL DESCRIPTION

LOT 10, WOODBURY ESTATES, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

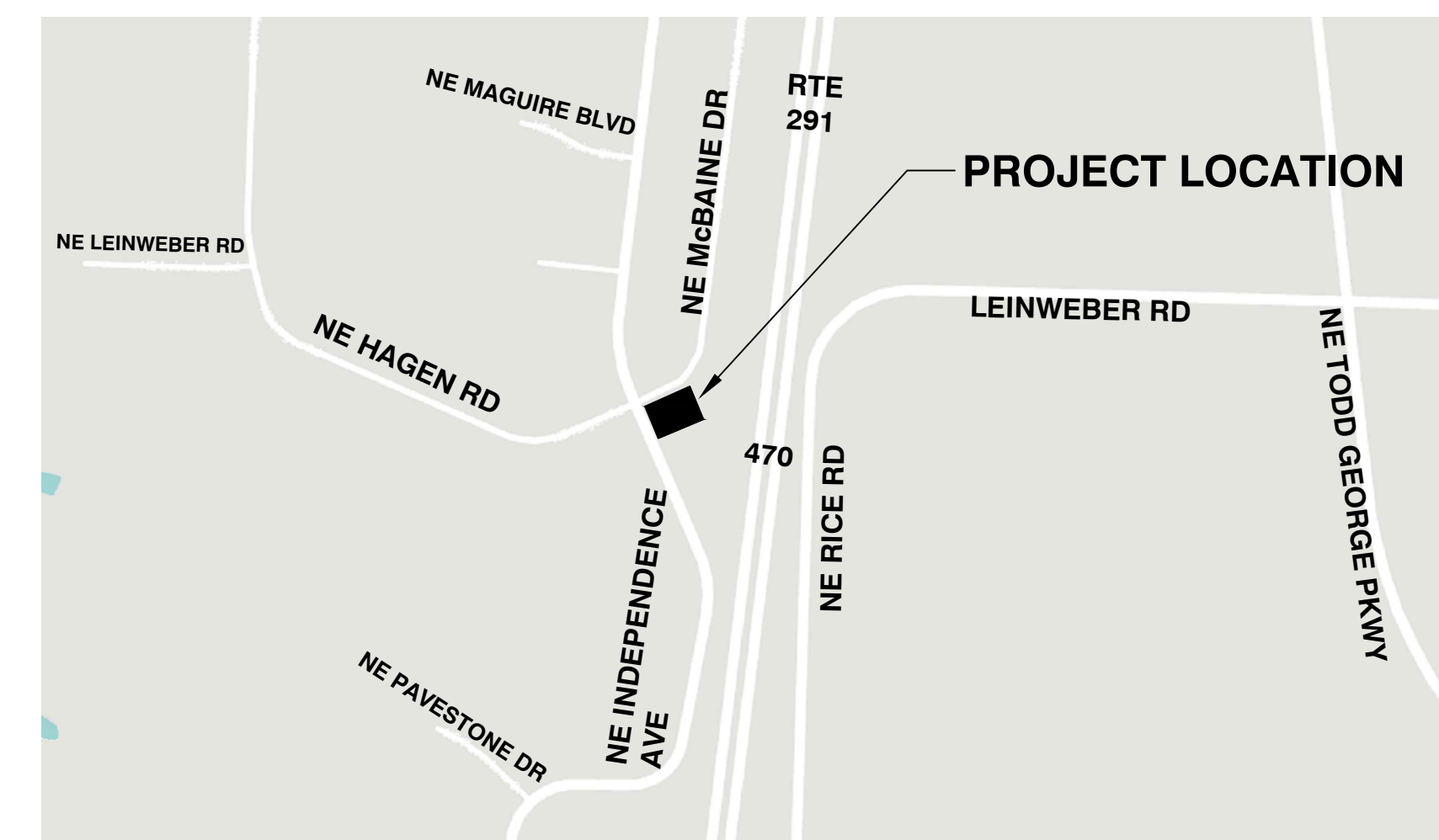
#### DEVELOPER:

David Ward  
Ward Development  
1120 NW Eagle Ridge Blvd.  
Grain Valley, MO  
816-229-8115

#### NOTES:

- Site is located within an area of minimal flood hazard (Flood Zone X) in FEMA FIRM Panel number 29095C0430G (effective 1/20/2017).
- No oil or gas wells are present on site per Missouri DNR record.
- Requirements of the City of Lee's Summit Design and Construction Manual shall govern.

LAND USE TABLE	PROPOSED
TOTAL FLOOR AREA (SF)	21,897
NUMBER OF DWELLING UNITS	0
LAND AREA (AC)	1.79
REQUIRED PARKING SPACES	28
PROVIDED PARKING SPACES	31
IMPERVIOUS COVERAGE (AC)	1.26
FLOOR AREA RATIO (FAR)	0.281



#### INDEX

- C-001 Cover Sheet
- C-101 Demolition Plan
- C-121 Erosion Control Plan Phase 1
- C-122 Erosion Control Plan Phase 2
- C-123 Erosion Control Plan Phase 3
- C-131 Erosion Control Details
- C-132 Erosion Control Details
- C-201 Dimension Plan
- C-301 Grading Plan
- C-401 Utility Plan
- C-411 Storm Profiles
- C-421 Drainage Area Map
- C-501 Details
- L-100 Landscape Plan

#### UTILITIES

**EVERGY**  
1200 Main St.  
PO Box 418679  
Kansas City, MO 64141  
888.471.5275

**SPIRE**  
3025 SE Clover Dr.  
Lee's Summit, MO 64082  
800.582.1234

**CITY OF LEE'S SUMMIT**  
220 SE Green St.  
Lee's Summit, MO 64063  
816.969.1800

**AT&T**  
215 N Spring St.  
Independence, MO 64050  
816.325.5610

**SPECTRUM**  
6550 Winchester Ave.  
Kansas City, MO 64133  
816.358.5360

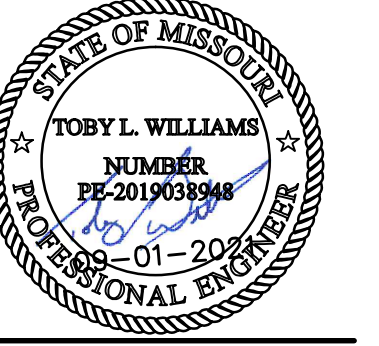
**MISSOURI ONE CALL**  
1.800.344.7483



Certificates of Authority  
Architecture: MO 310 / KS 13  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE  
PE-2019038948 (MISSOURI #)



PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE/DESCRIPTION

PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

COVER SHEET



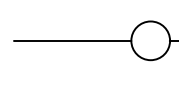

C-001



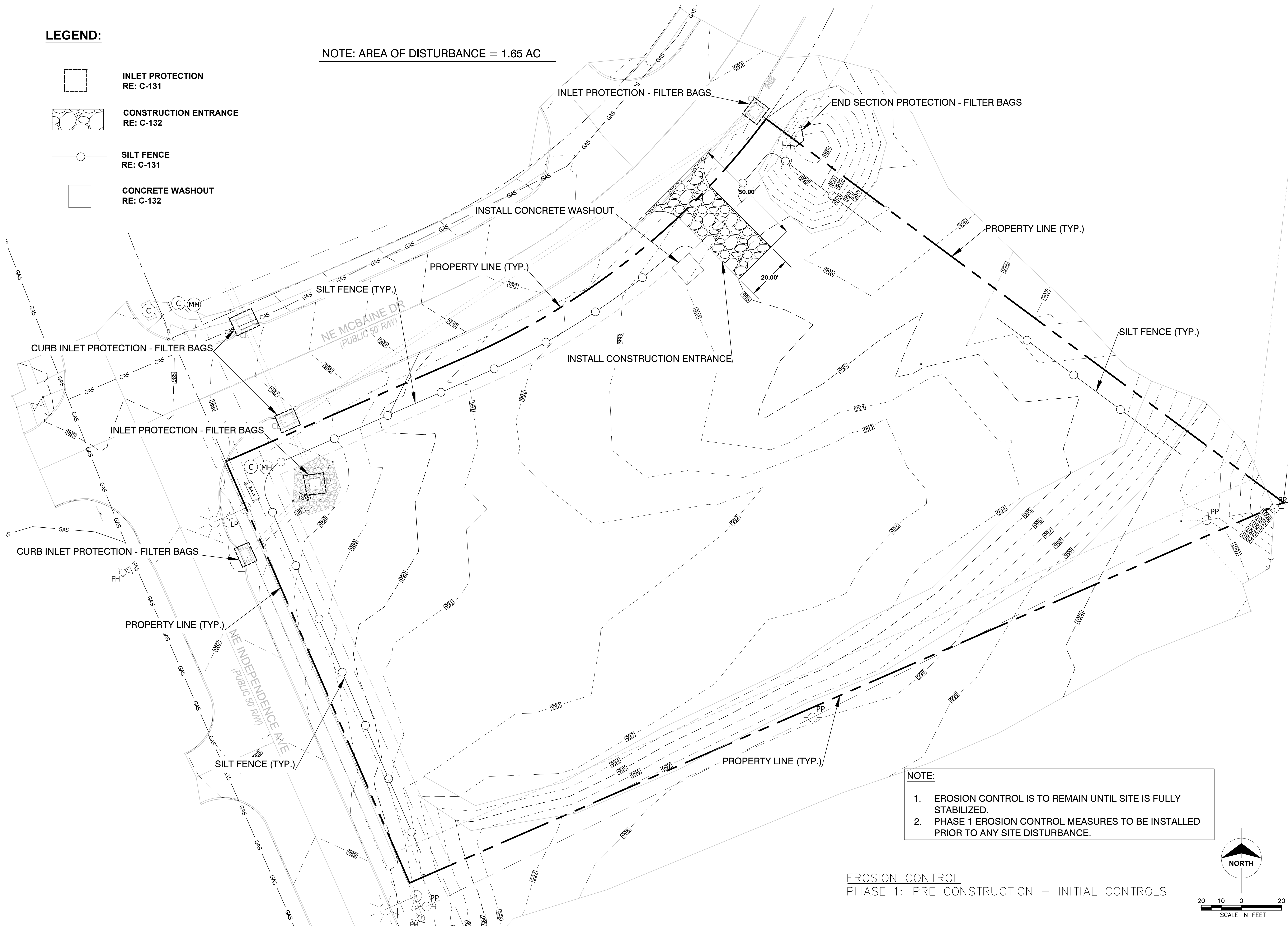




**LEGEND:**

-  **INLET PROTECTION**  
RE: C-131
-  **CONSTRUCTION ENTRANCE**  
RE: C-132
-  **SILT FENCE**  
RE: C-131
-  **CONCRETE WASHOUT**  
RE: C-132

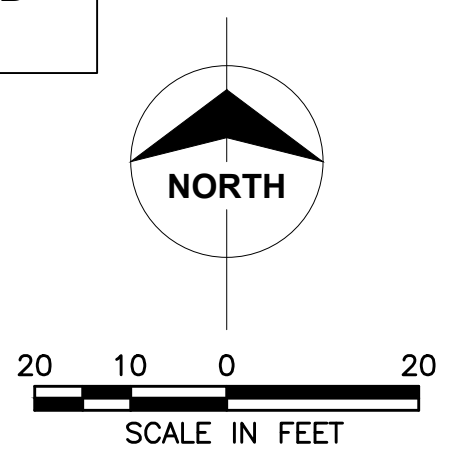
NOTE: AREA OF DISTURBANCE = 1.65 AC



**NOTE:**

1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
2. PHASE 1 EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.

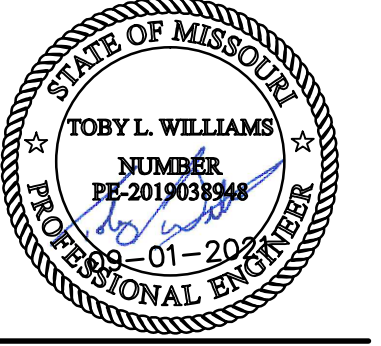
**EROSION CONTROL  
PHASE 1: PRE CONSTRUCTION – INITIAL CONTROLS**



Certificates of Authority  
Architecture: MO 318 / KS 33  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

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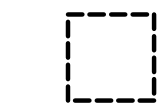

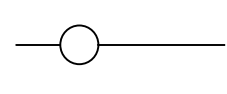
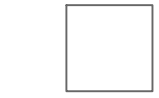
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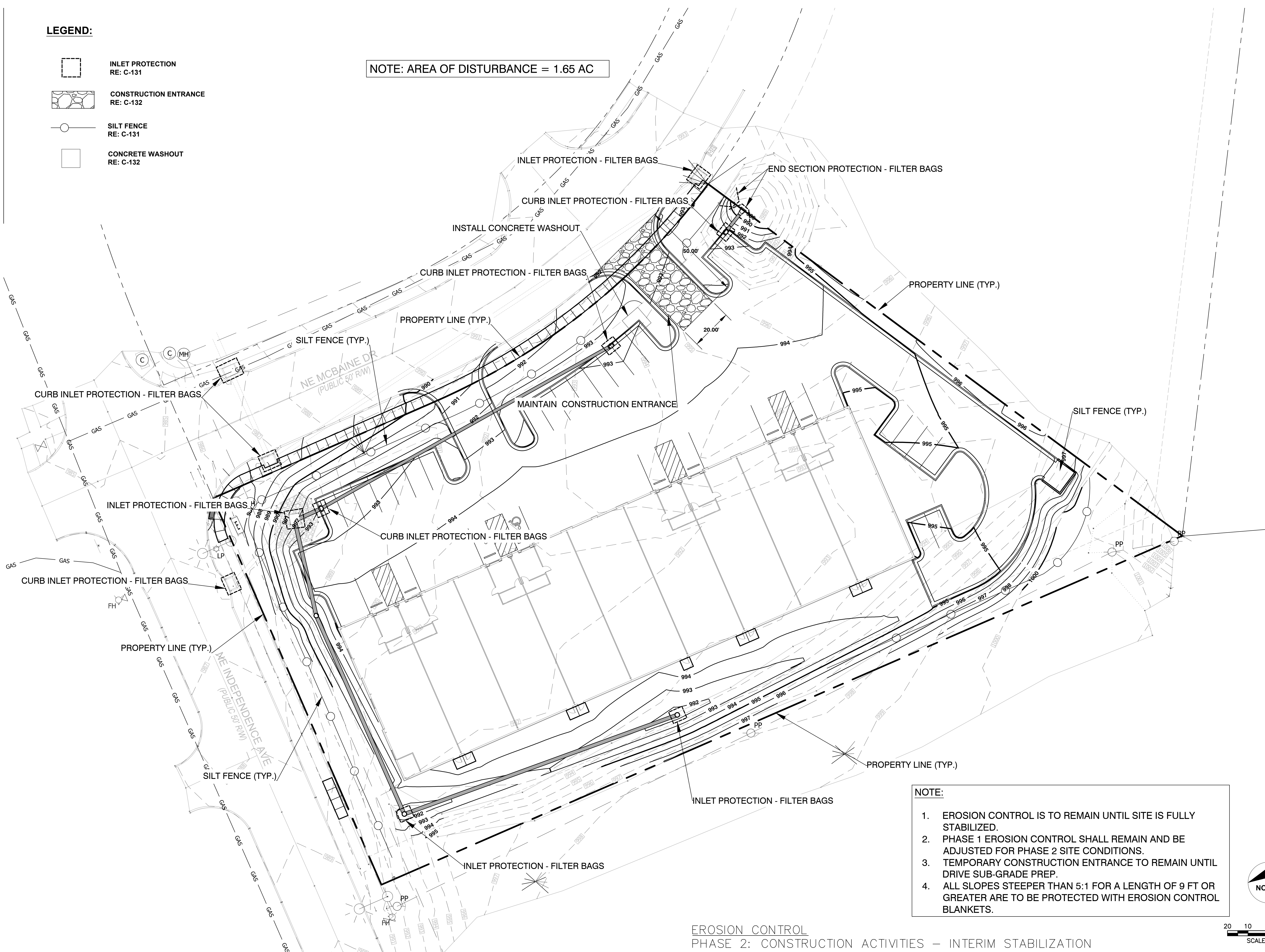
**FOR PERMIT**  
EROSION CONTROL PLAN  
PHASE 1



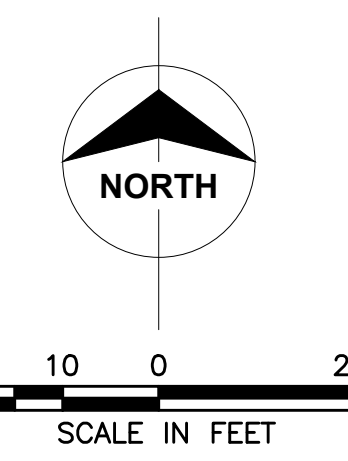
**LEGEND:**

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RE: C-131
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RE: C-132
-  SILT FENCE  
RE: C-131
-  CONCRETE WASHOUT  
RE: C-132

NOTE: AREA OF DISTURBANCE = 1.65 AC



- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
  2. PHASE 1 EROSION CONTROL SHALL REMAIN AND BE ADJUSTED FOR PHASE 2 SITE CONDITIONS.
  3. TEMPORARY CONSTRUCTION ENTRANCE TO REMAIN UNTIL DRIVE SUB-GRADE PREP.
  4. ALL SLOPES STEEPER THAN 5:1 FOR A LENGTH OF 9 FT OR GREATER ARE TO BE PROTECTED WITH EROSION CONTROL BLANKETS.

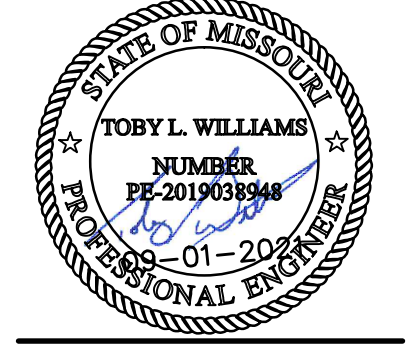


EROSION CONTROL  
PHASE 2: CONSTRUCTION ACTIVITIES – INTERIM STABILIZATION

Certificates of Authority  
Architecture: MO 318 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

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PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

**FOR PERMIT**  
EROSION CONTROL PLAN  
PHASE 2

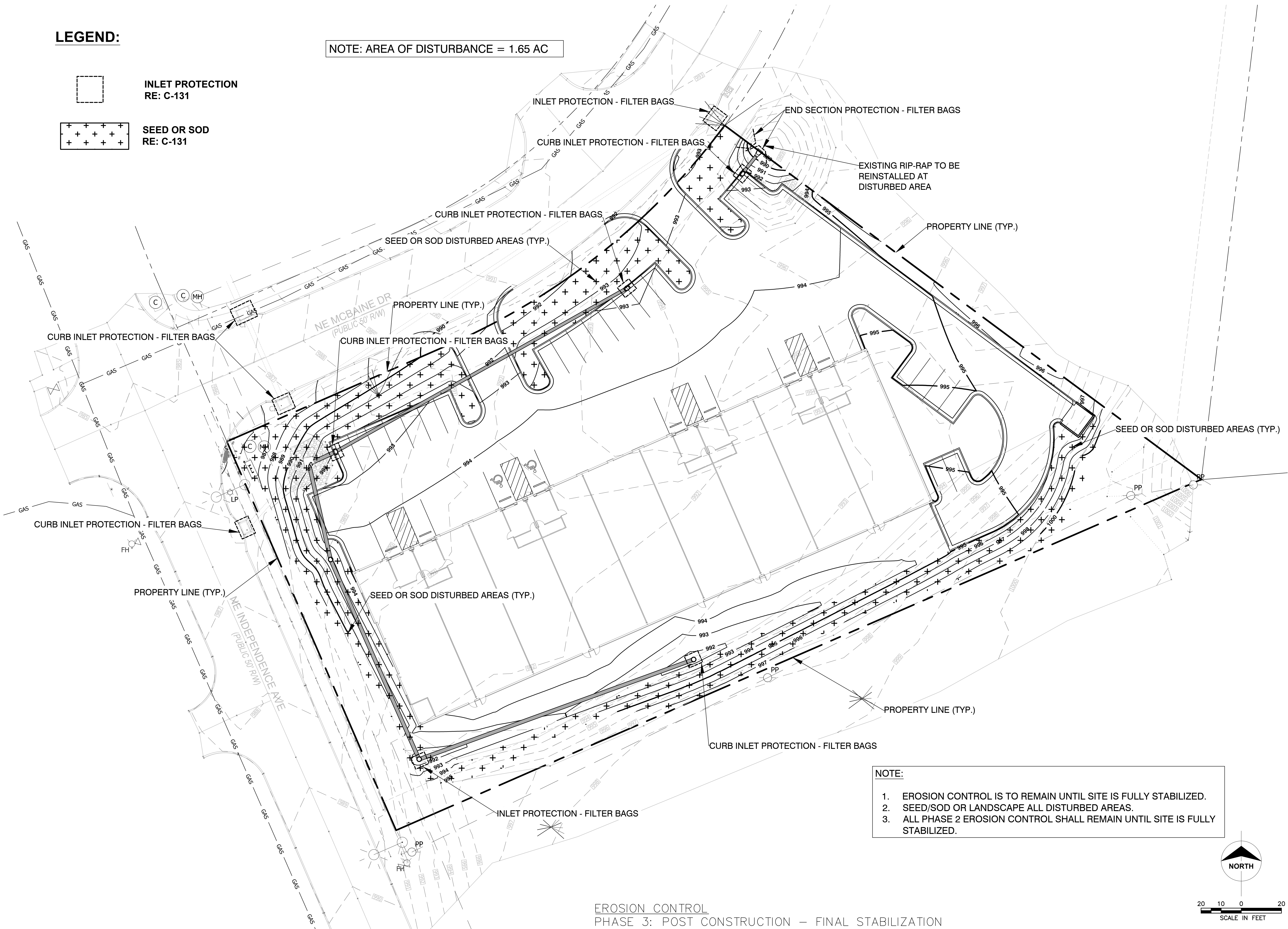


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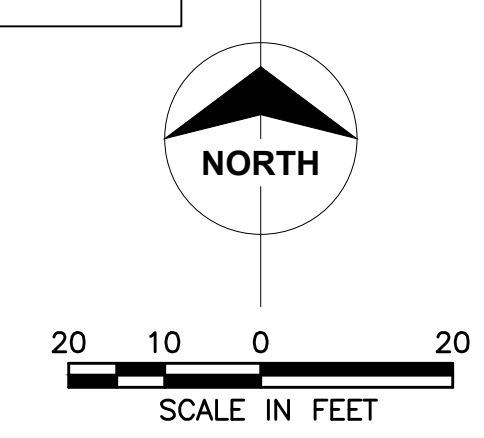
□ INLET PROTECTION  
RE: C-131

⊕⊕⊕⊕⊕ SEED OR SOD  
RE: C-131

NOTE: AREA OF DISTURBANCE = 1.65 AC



- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
  2. SEED/SOD OR LANDSCAPE ALL DISTURBED AREAS.
  3. ALL PHASE 2 EROSION CONTROL SHALL REMAIN UNTIL SITE IS FULLY STABILIZED.

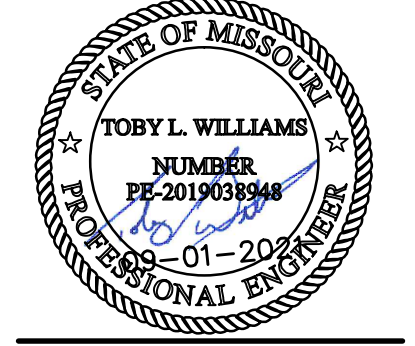


EROSION CONTROL  
PHASE 3: POST CONSTRUCTION – FINAL STABILIZATION

Certificates of Authority  
Architecture: MO 318 / KS 33  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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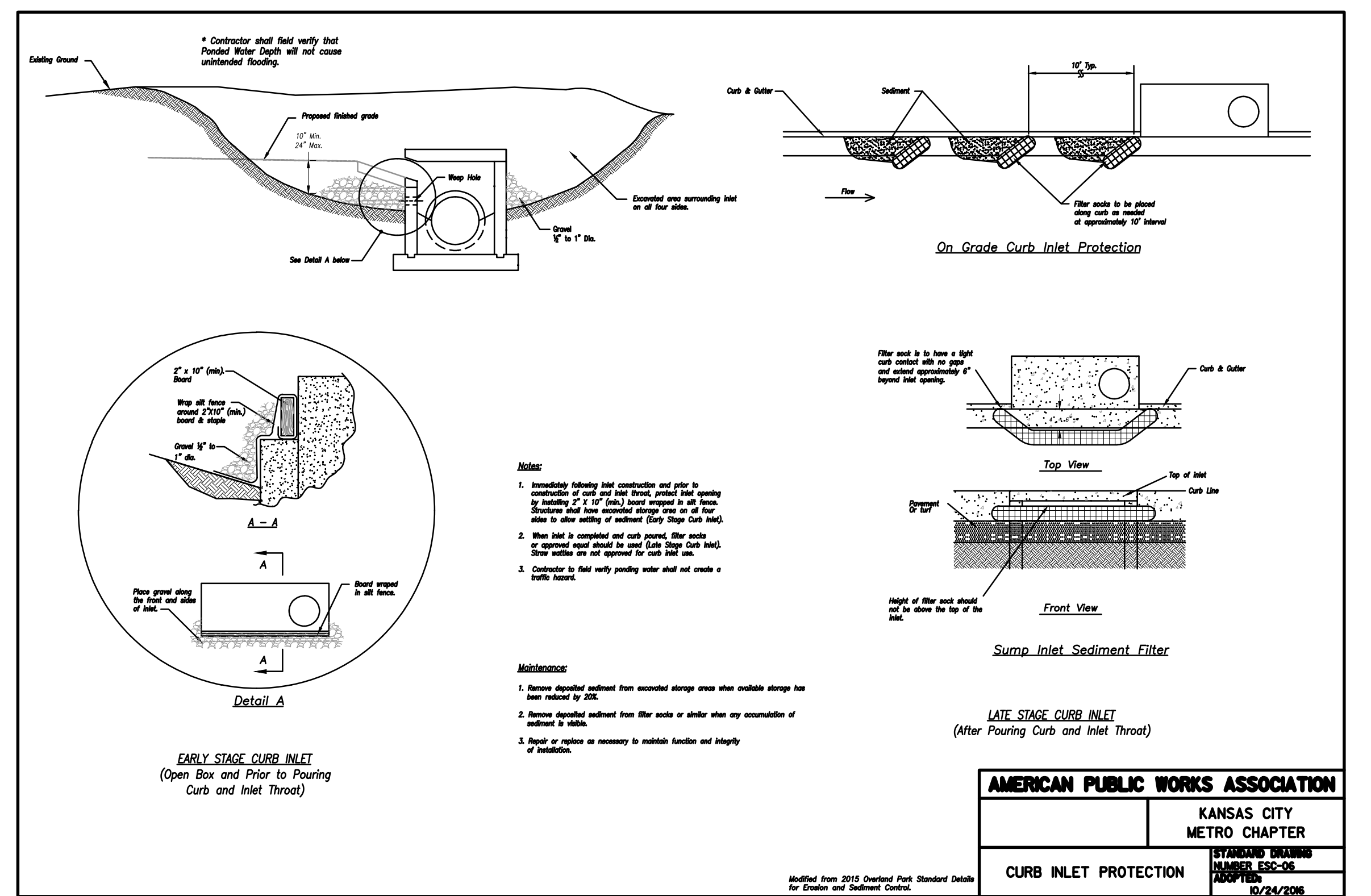
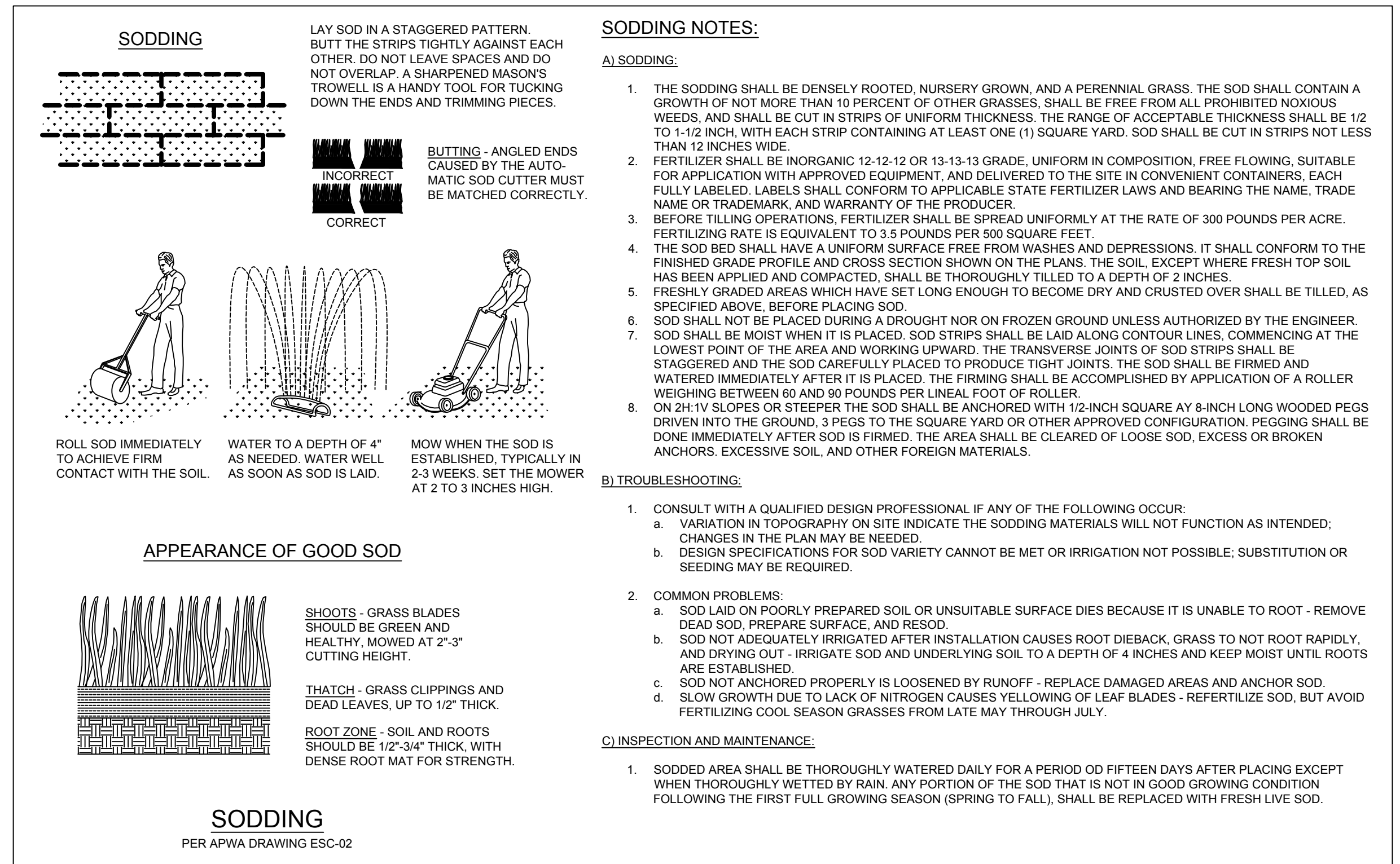
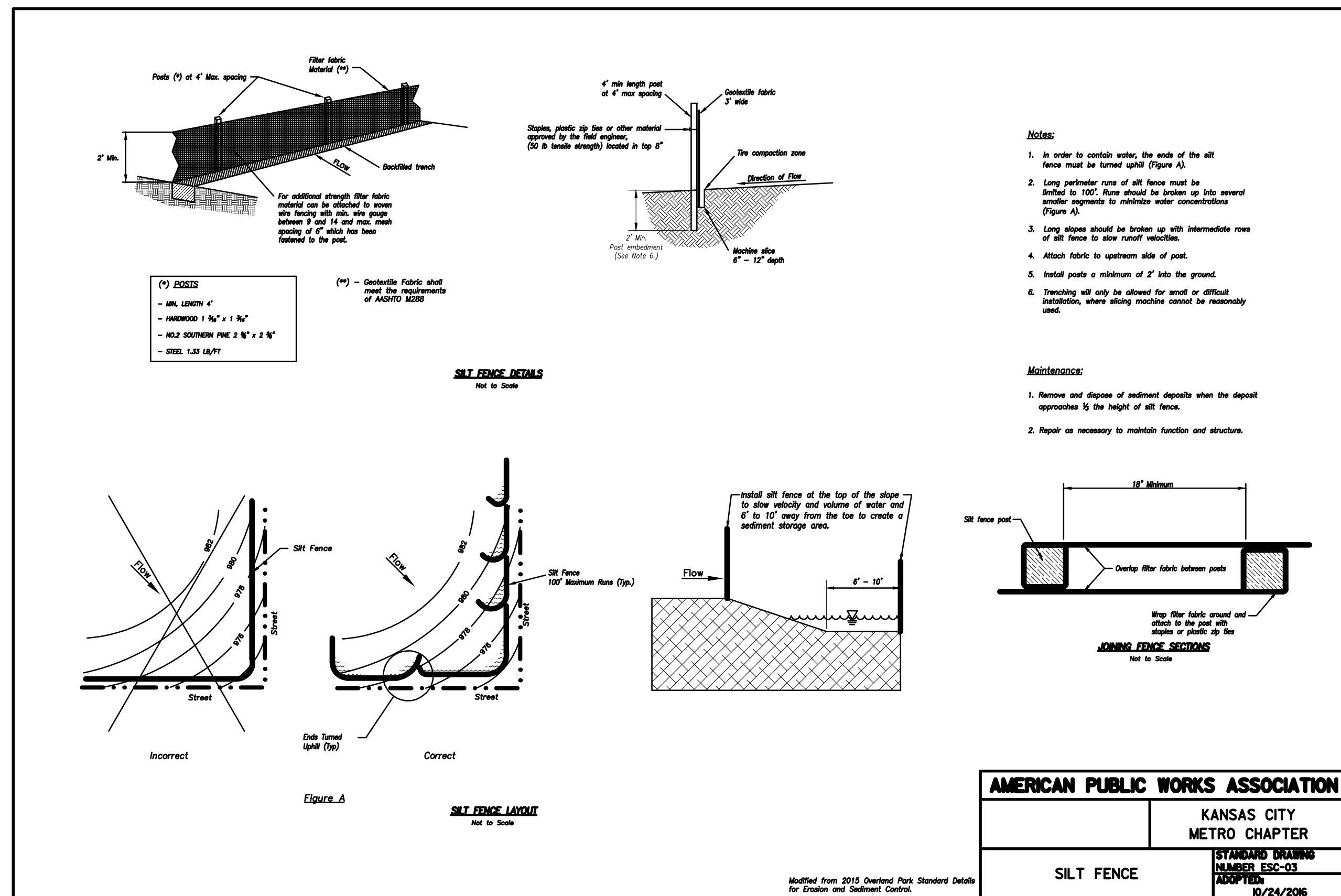
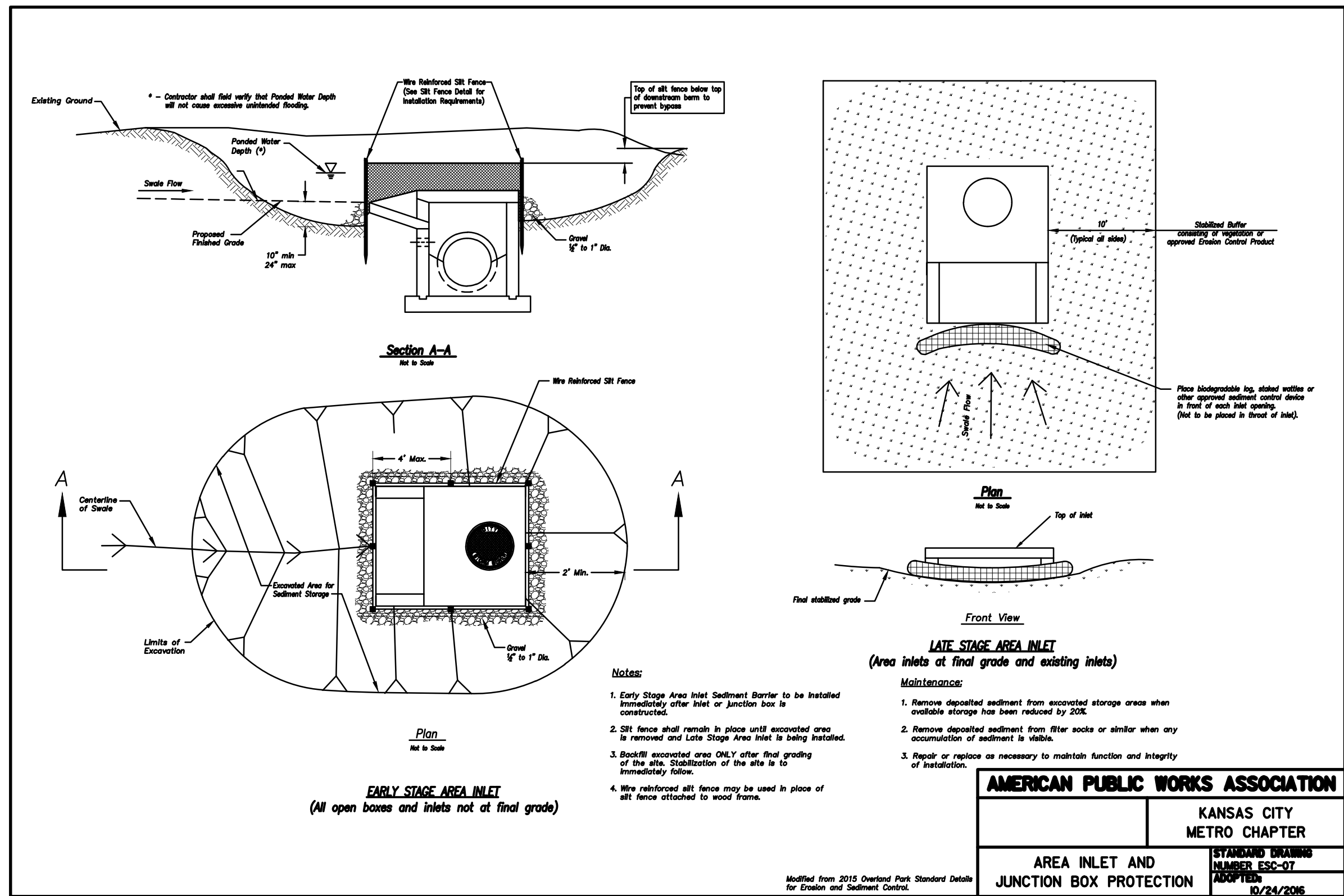
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REVISIONS NO.	DATE	DESCRIPTION

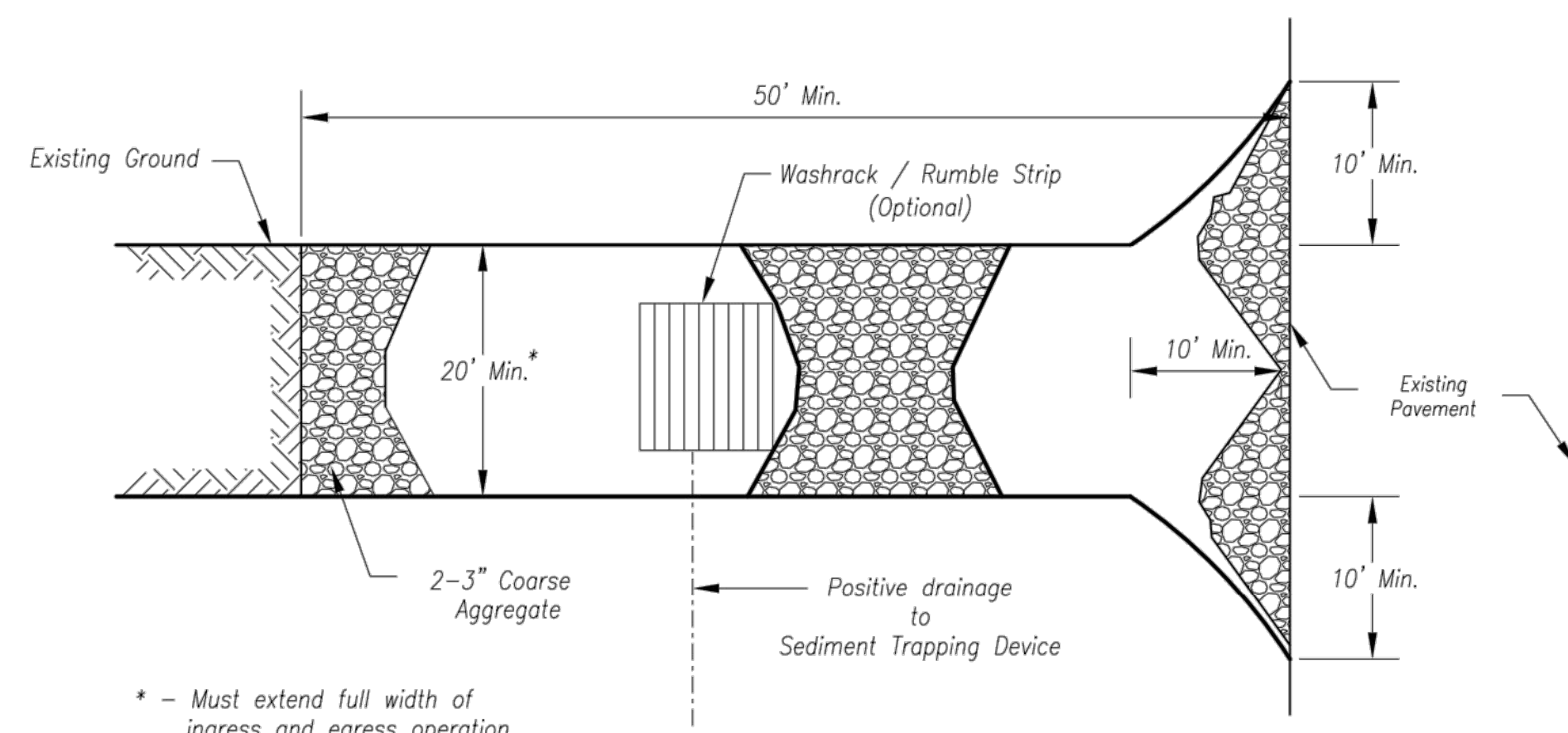
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EROSION CONTROL PLAN  
PHASE 3

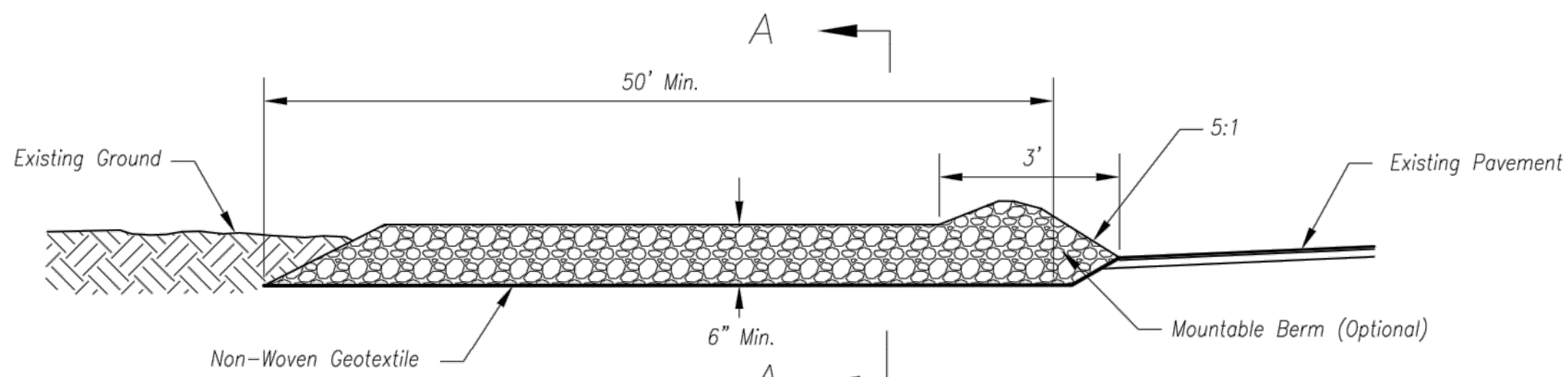




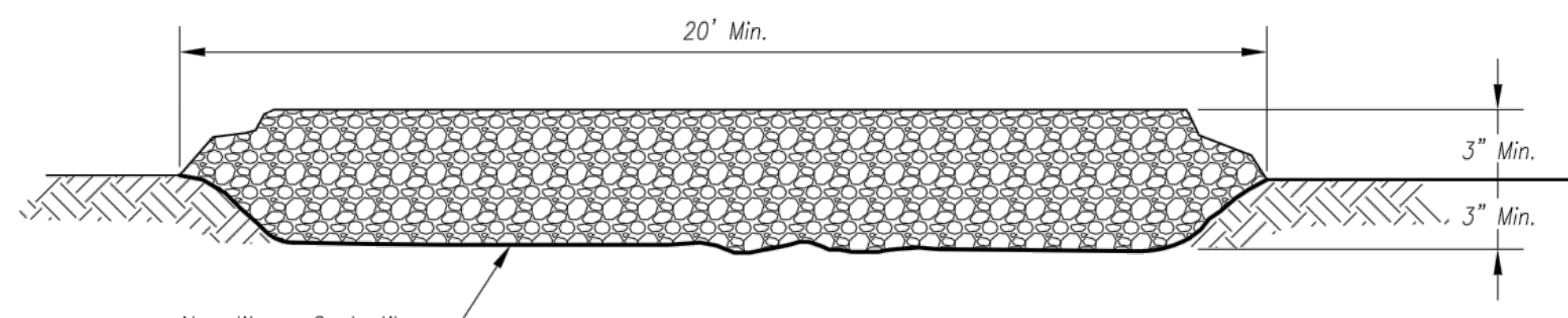




**Plan View**  
Not to Scale



**Side Elevation**  
Not to Scale



**Section A-A**  
Not to Scale

**Notes for Construction Entrance:**

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

**Maintenance for Construction Entrance:**

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

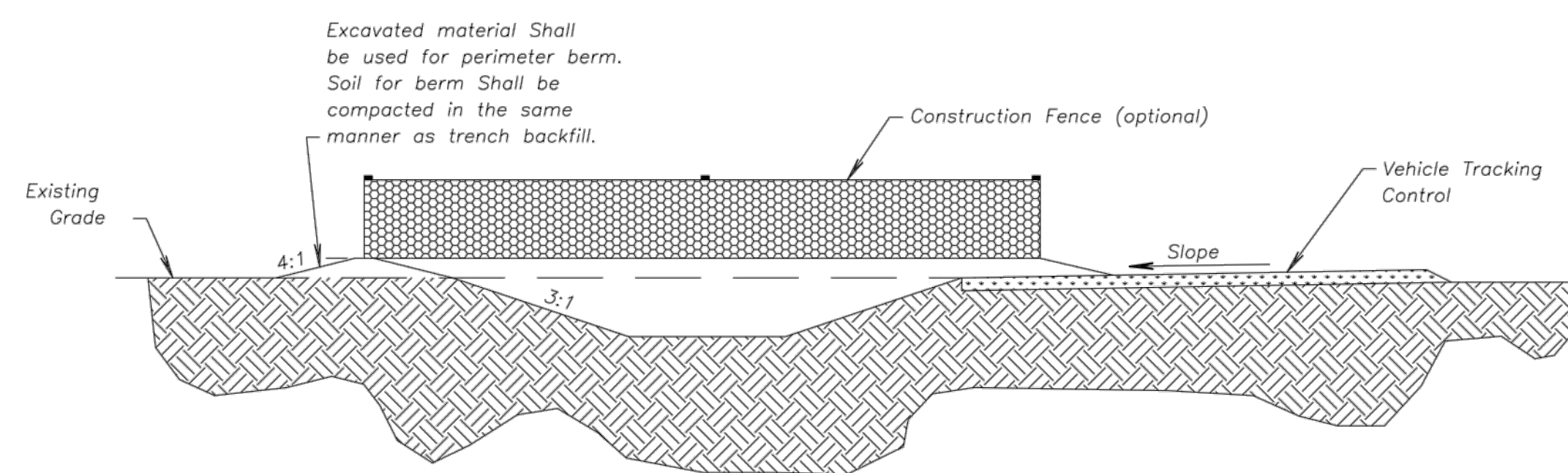
**CONSTRUCTION ENTRANCE**

**Notes for Concrete Washout:**


1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

**Maintenance for Concrete Washout:**

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



**CONCRETE WASHOUT**

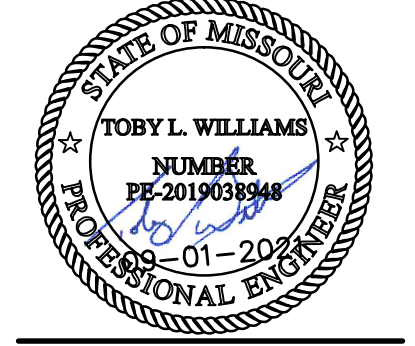
<b>AMERICAN PUBLIC WORKS ASSOCIATION</b>	
	
KANSAS CITY METRO CHAPTER	
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Certificates of Authority  
Architecture: MO 318 / KS 33  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

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Toby L. Williams, PE  
PE-2019038948 (MISSOURI #)



PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
 2601 NE MCBAIN DRIVE  
 LEE'S SUMMIT, MO 64064



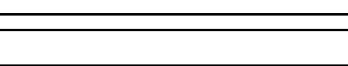


REVISIONS	NO.	DATE / DESCRIPTION

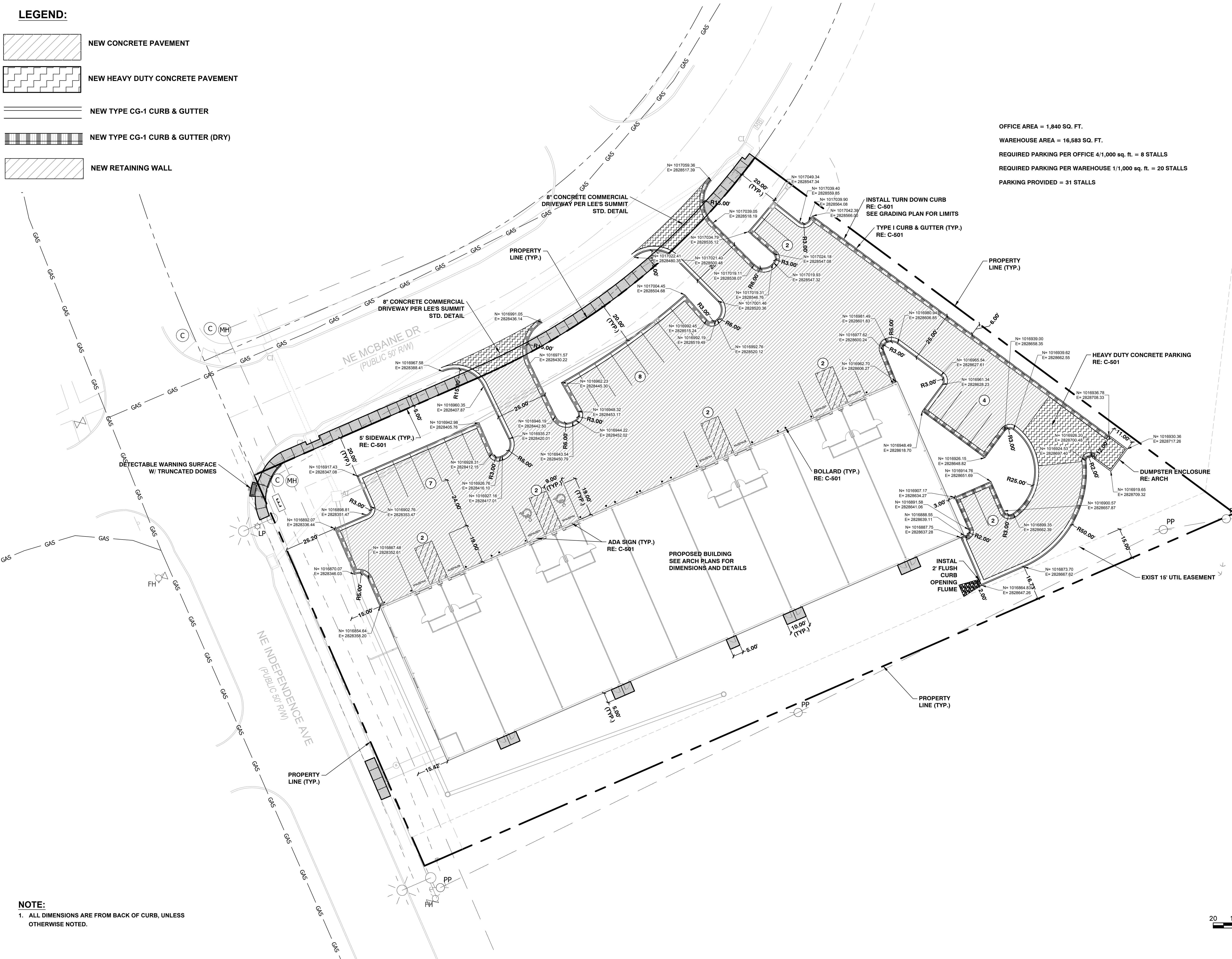
PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

**FOR PERMIT**  
EROSION CONTROL  
DETAILS  
C-132



**LEGEND:**

-  NEW CONCRETE PAVEMENT
-  NEW HEAVY DUTY CONCRETE PAVEMENT
-  NEW TYPE CG-1 CURB & GUTTER
-  NEW TYPE CG-1 CURB & GUTTER (DRY)
-  NEW RETAINING WALL



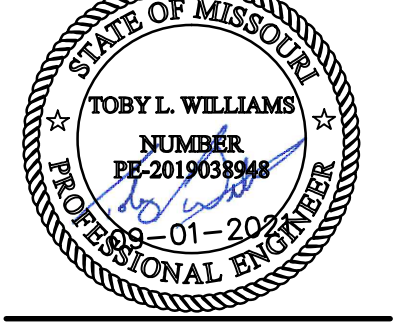
OFFICE AREA = 1,840 SQ. FT.  
 WAREHOUSE AREA = 16,583 SQ. FT.  
 REQUIRED PARKING PER OFFICE 4/1,000 sq. ft. = 8 STALLS  
 REQUIRED PARKING PER WAREHOUSE 1/1,000 sq. ft. = 20 STALLS  
 PARKING PROVIDED = 31 STALLS

**NOTE:**  
 1. ALL DIMENSIONS ARE FROM BACK OF CURB, UNLESS OTHERWISE NOTED.

Certificates of Authority  
 Architecture: MO 118 / KS 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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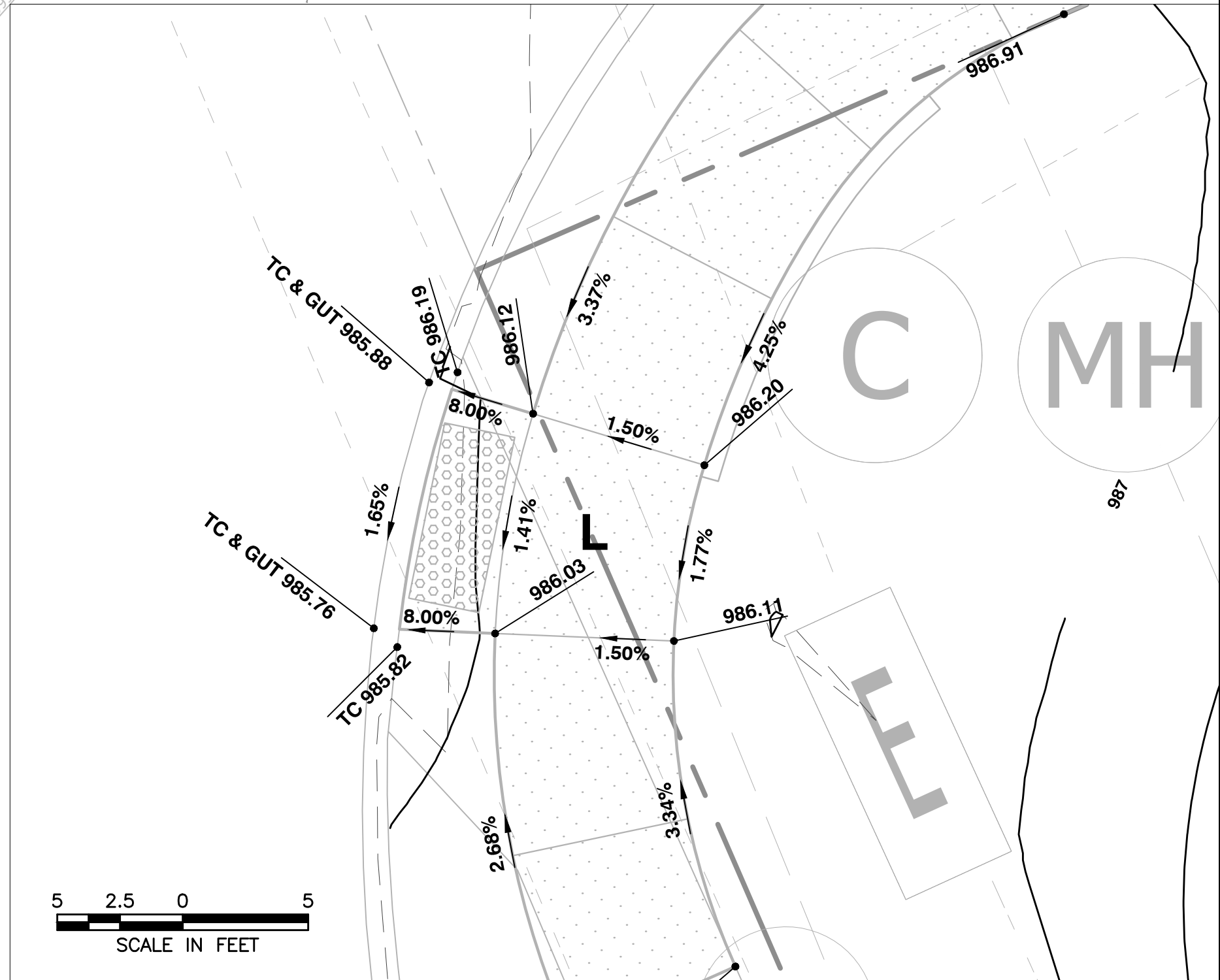
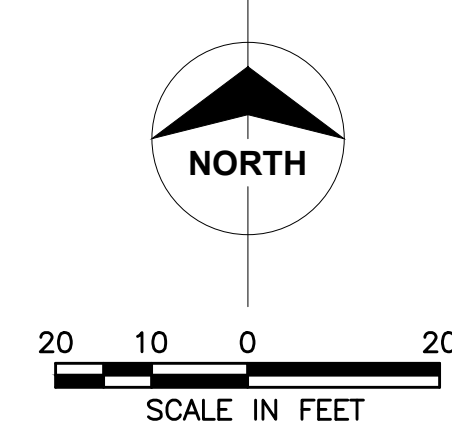
PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:



**NOTE:**  
 TC = TOP OF CURB  
 GUT = GUTTER  
 M.E. = MATCH EXISTING

- GRADING NOTES :**
1. ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE SURFACE.
  2. ALL EXISTING UTILITY PULL BOXES, HAND HOLES, MANHOLES, VALVE BOXES, METERS, AND OTHER APPURTENANCES TO REMAIN, SHALL BE ADJUSTED TO NEW GRADES.

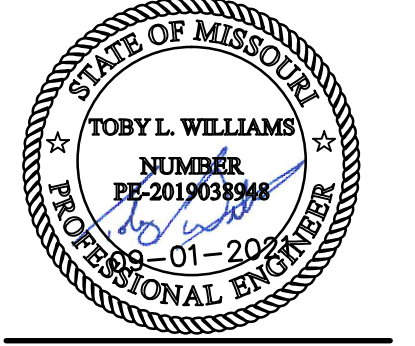
Total Disturbed Area: 1.65 acres



Certificate of Authority  
 Architecture: MO 118 / E 13  
 Engineering: MO 4 / K5 241  
 Land Surveying: MO 123 / K5 34

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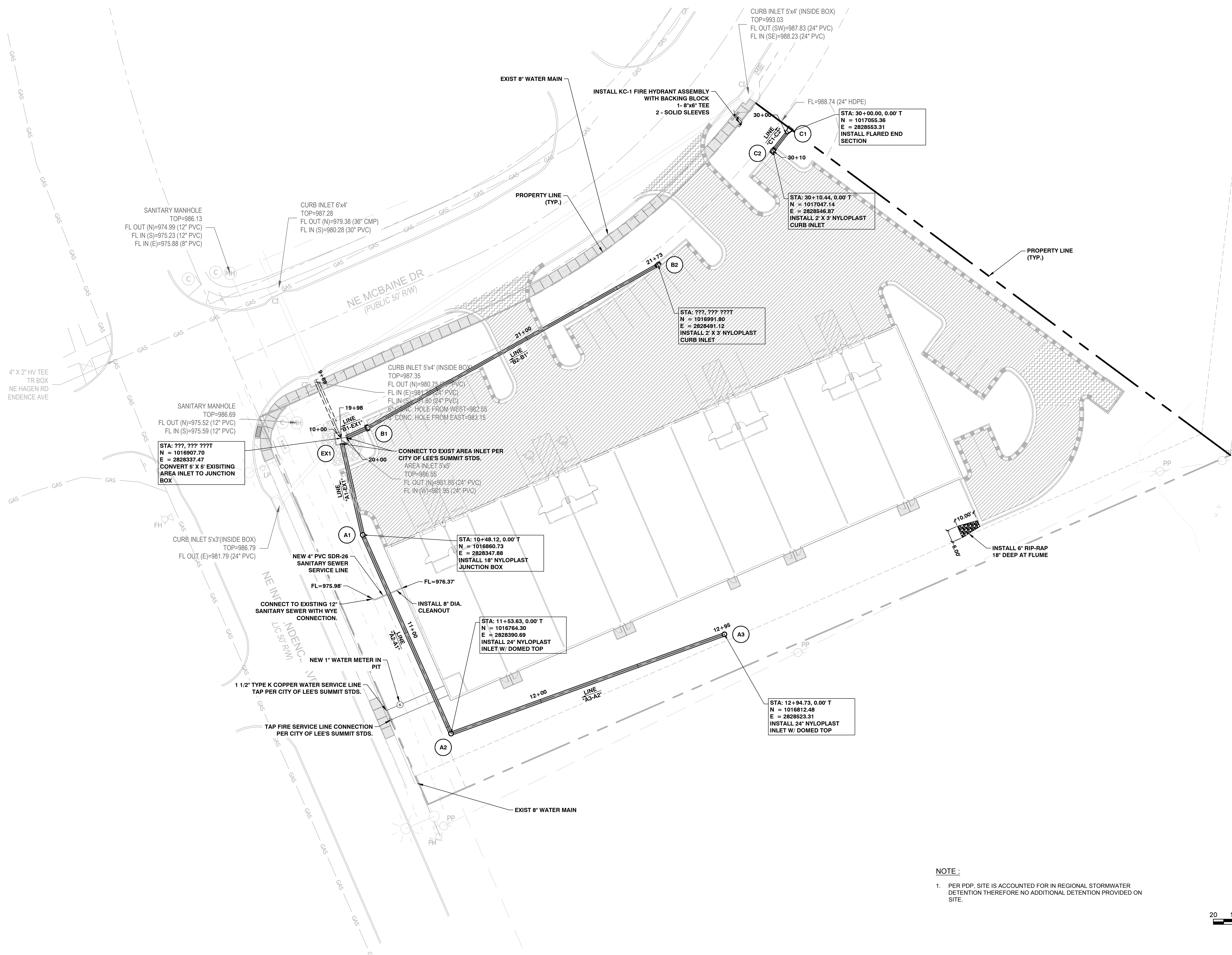
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 (816) 229-8115

**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
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REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:

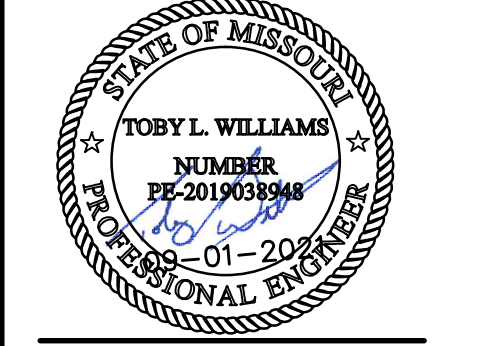




Certificates of Authority  
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 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

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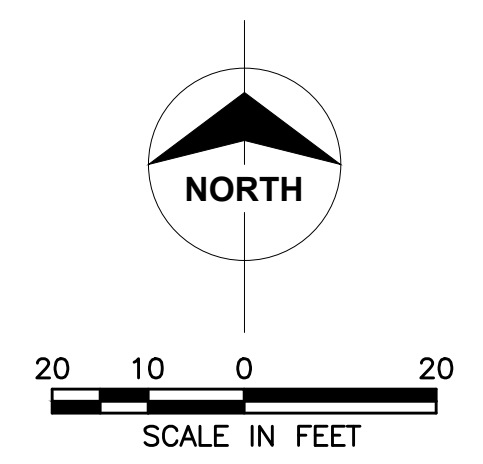
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**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
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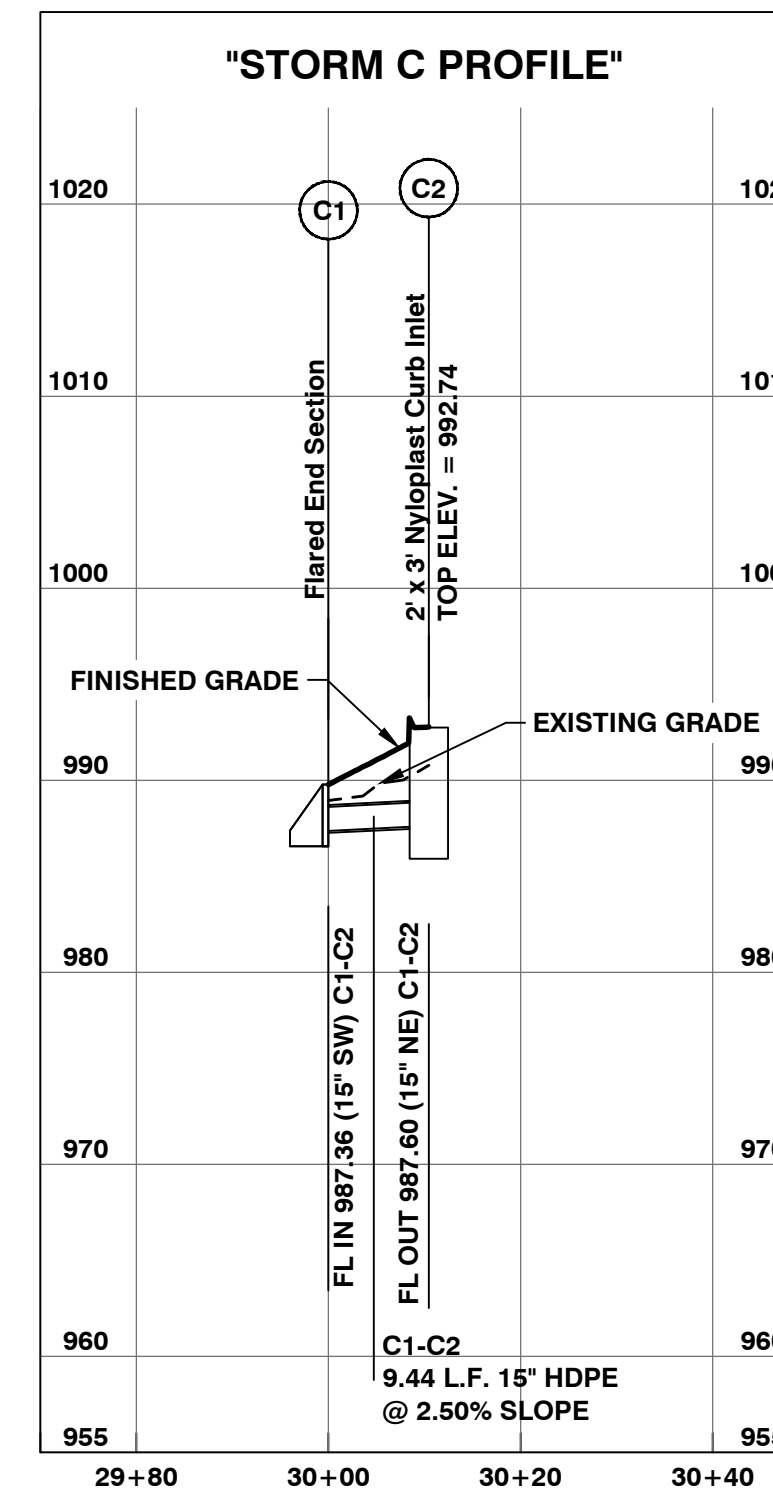
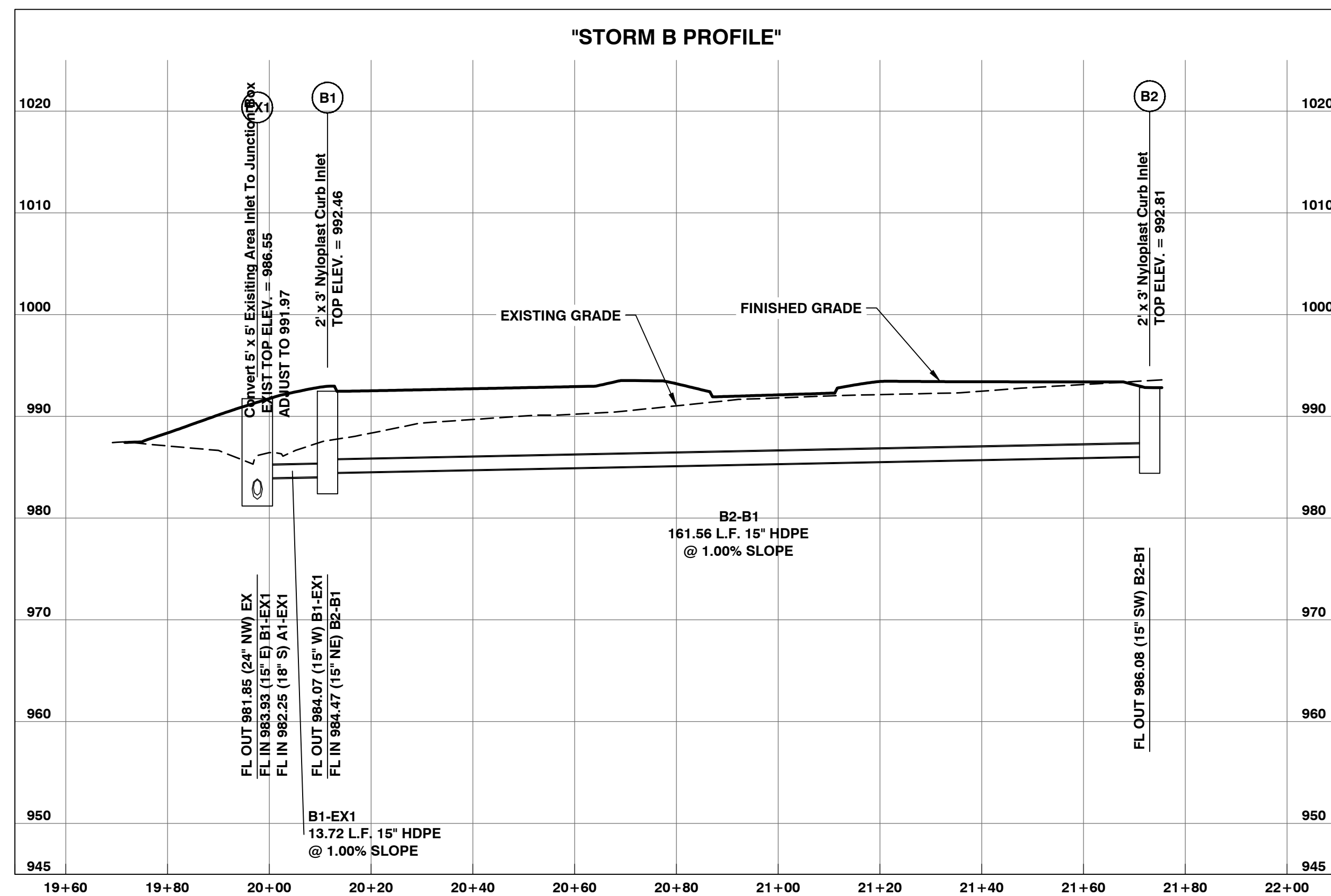
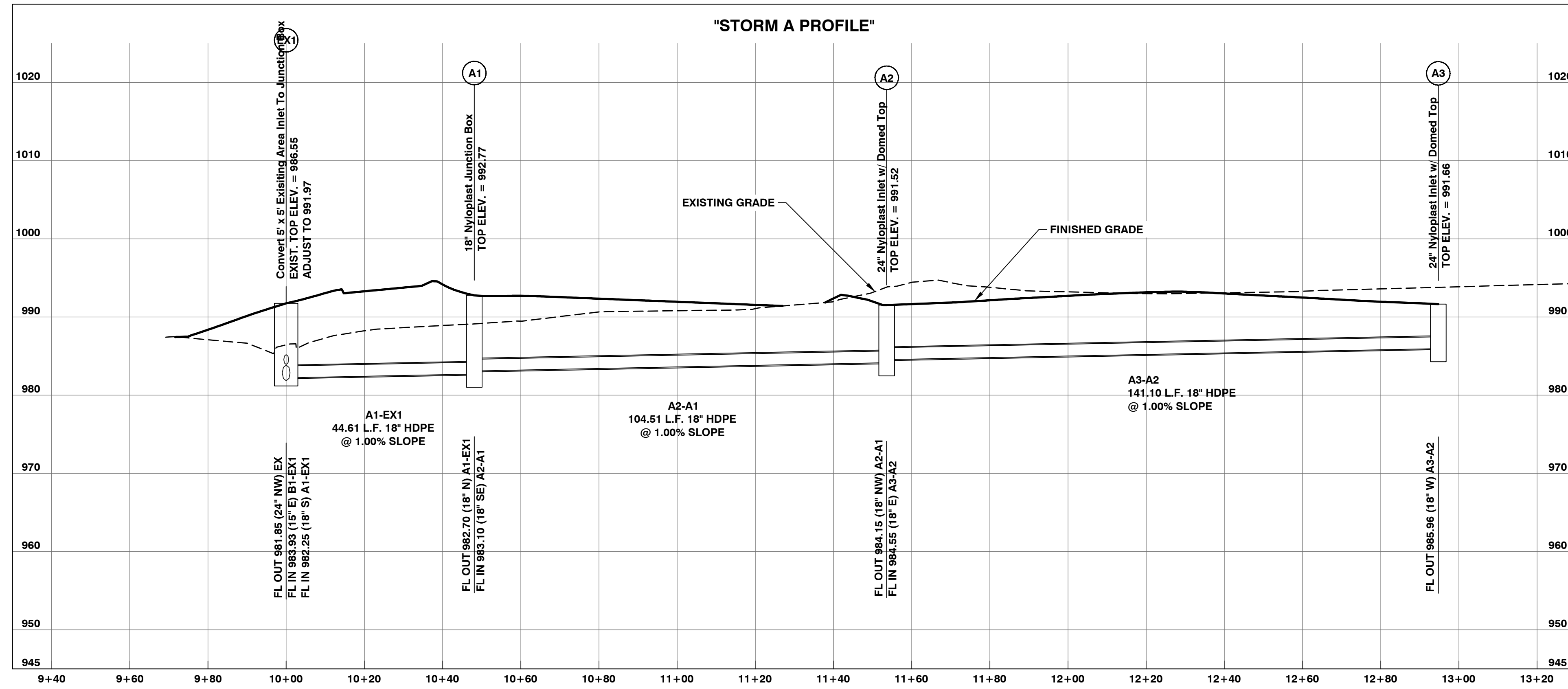
REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:

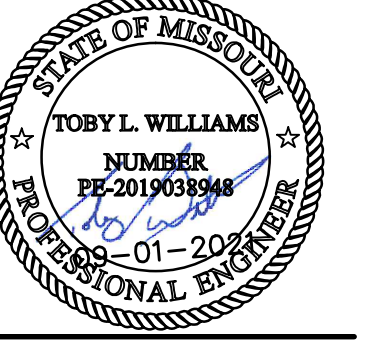
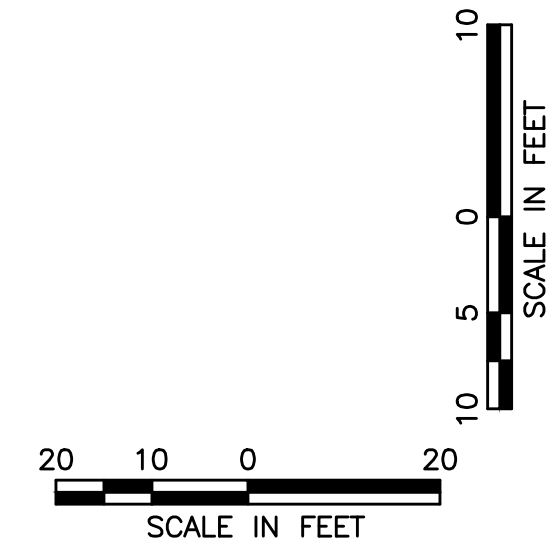
**NOTE :**  
 1. PER PDP, SITE IS ACCOUNTED FOR IN REGIONAL STORMWATER DETENTION THEREFORE NO ADDITIONAL DETENTION PROVIDED ON SITE.







**NOTE:  
ALL TOPS FOR NYLOPLAST 2'x3'  
CURB INLET ARE AT GUTTER**



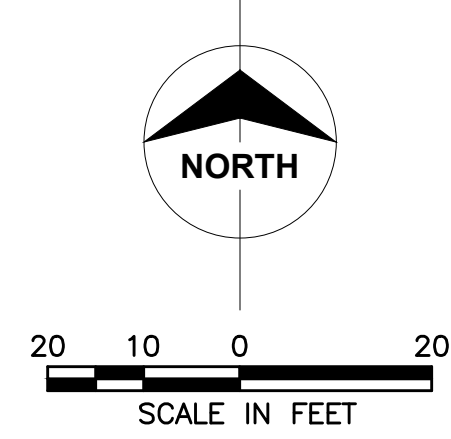
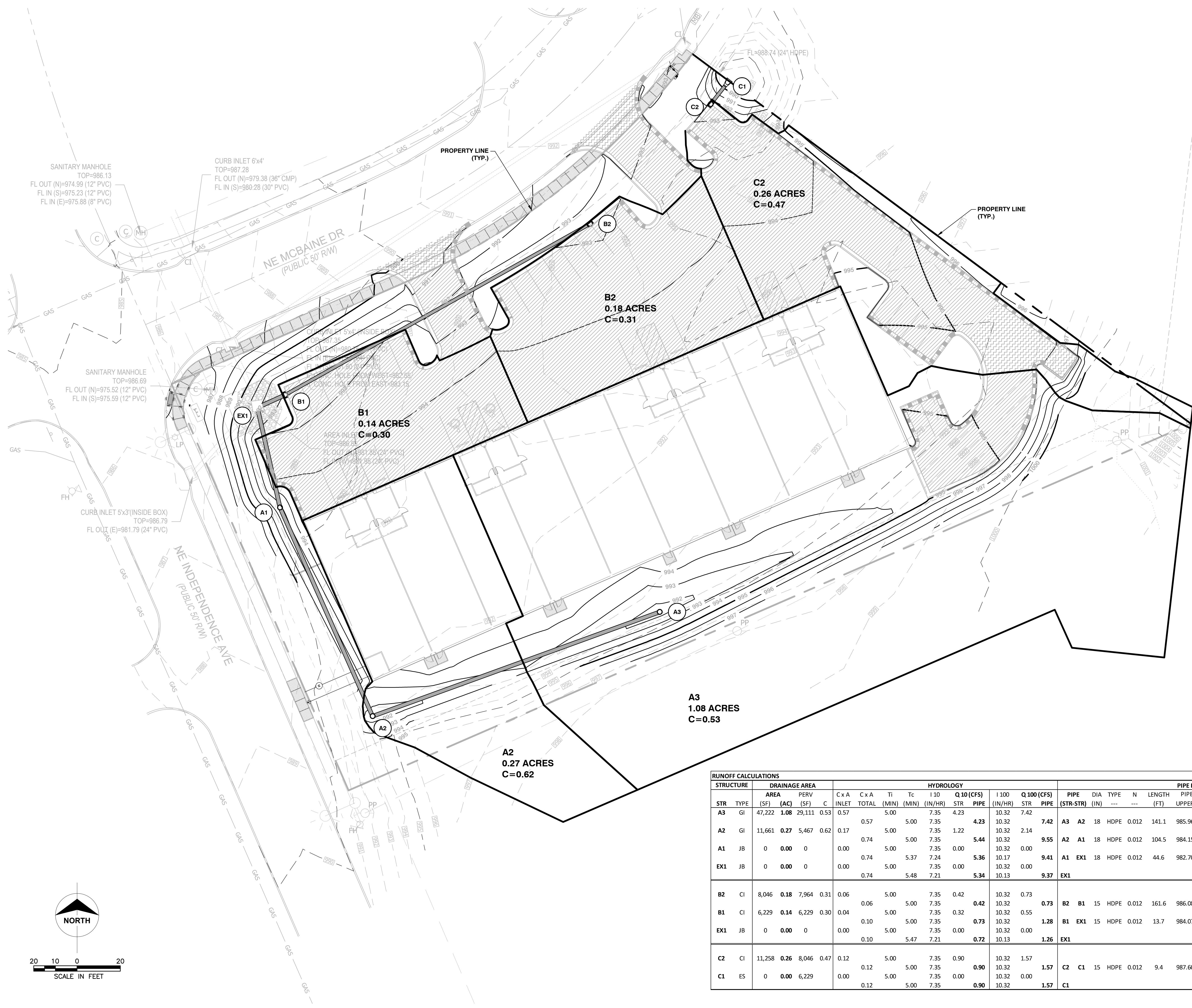
PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
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LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
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PROJECT #: 21-1902  
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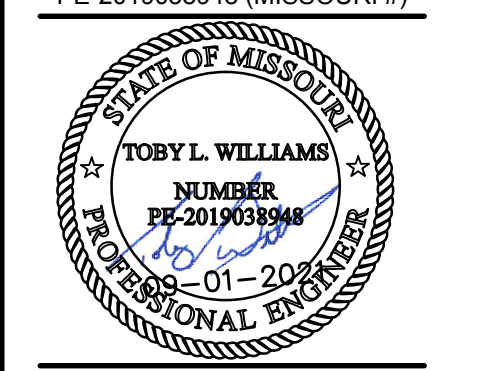


STRUCTURE		DRAINAGE AREA				HYDROLOGY								PIPE DATA								% CONVEYANCE				
STR	TYPE	AREA (SF)	PERV (AC)	PERV (SF)	C	C x A	Ti (MIN)	Tc (MIN)	I 10 (IN/HR)	Q 10 (CFS) STR	Q 10 (CFS) PIPE	PIPE (STR-STR)	DIA (IN)	TYPE	N	LENGTH (FT)	PIPE INVERT UPPER	PIPE INVERT LOWER	SLOPE (%)	AREA (SF)	Qf (CFS)	Vf (FPS)	Tt (MIN)	Q 10 (%)	Q 100 (%)	
A3	GI	47,222	1.08	29,111	0.53	0.57	5.00	5.00	7.35	4.23	10.32	7.42	A3 A2	18	HDPE	0.012	141.1	985.96	984.55	1.00	1.77	11.38	6.44	0.37	100.0%	100.0%
A2	GI	11,661	0.27	5,467	0.62	0.17	5.00	5.00	7.35	1.22	10.32	2.14	A2 A1	18	HDPE	0.012	104.5	984.15	983.10	1.00	1.77	11.41	6.45	0.27	100.0%	100.0%
A1	JB	0	0.00	0	0.00	0.00	5.00	5.00	7.35	0.00	10.32	0.00	A1 EX1	18	HDPE	0.012	44.6	982.70	982.25	1.01	1.77	11.43	6.47	0.11	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.00	5.00	5.00	7.35	0.00	10.32	0.00	EX1													
B2	CI	8,046	0.18	7,964	0.31	0.06	5.00	5.00	7.35	0.42	10.32	0.73	B2 B1	15	HDPE	0.012	161.6	986.08	984.47	1.00	1.23	6.99	5.69	0.47	100.0%	100.0%
B1	CI	6,229	0.14	6,229	0.30	0.04	5.00	5.00	7.35	0.32	10.32	0.55	B1 EX1	15	HDPE	0.012	13.7	984.07	983.93	1.02	1.23	7.07	5.76	0.04	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.00	5.00	5.00	7.35	0.00	10.32	0.00	EX1													
C2	CI	11,258	0.26	8,046	0.47	0.12	5.00	5.00	7.35	0.90	10.32	1.57	C2 C1	15	HDPE	0.012	9.4	987.60	987.36	2.54	1.23	11.16	9.09	0.02	100.0%	100.0%
C1	ES	0	0.00	6,229	0.00	0.00	5.00	5.00	7.35	0.00	10.32	0.00	C1													

Certificates of Authority  
 Architecture: MO 110 / KE 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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 PE-2019038948 (MISSOURI #)



PREPARED FOR:  
 WARD DEVELOPMENT  
 DAVID WARD  
 1120 NW EAGLE RIDGE BLVD.  
 GRAIN VALLEY, MO 64029  
 (816) 229-8115

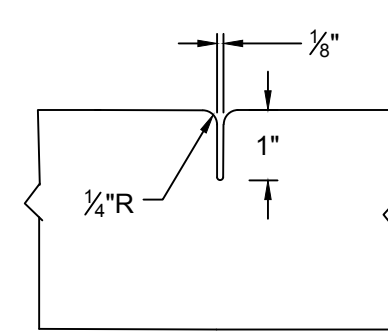
LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
 2601 NE MCBAIN DRIVE  
 LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE	DESCRIPTION

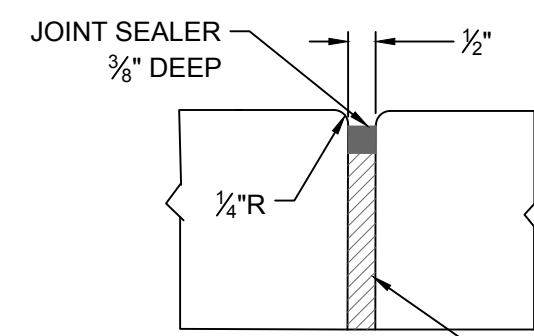
PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:

DRAINAGE AREA MAP





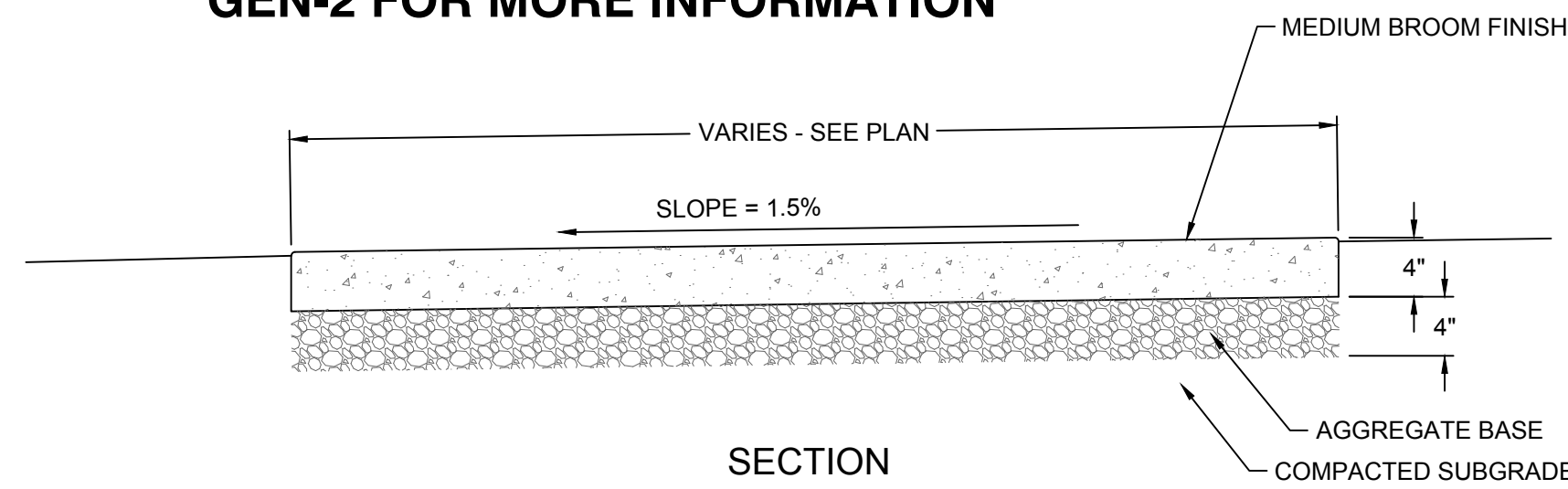
TYPE 'B' JOINT  
(EVERY 4' TYP.)



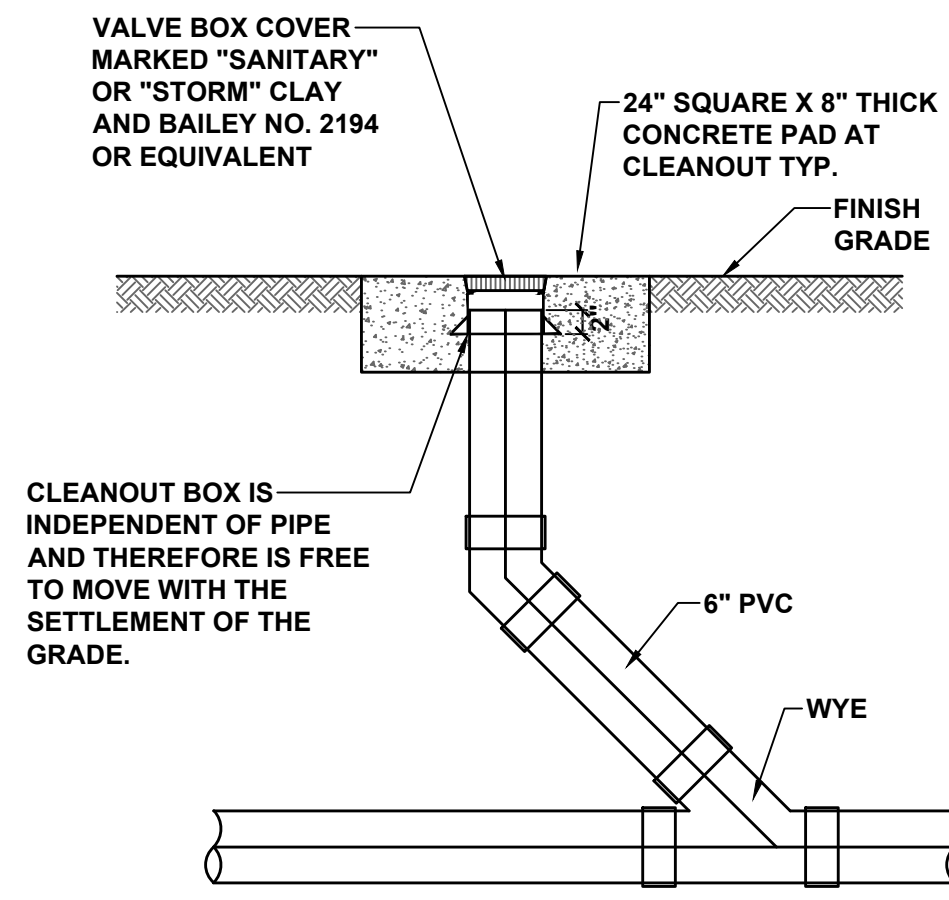
TYPE 'C' JOINT  
(EVERY 30' MAX.)

NON-EXTRUDING FILLER  
(PREMOLDED JOINT MATERIAL)

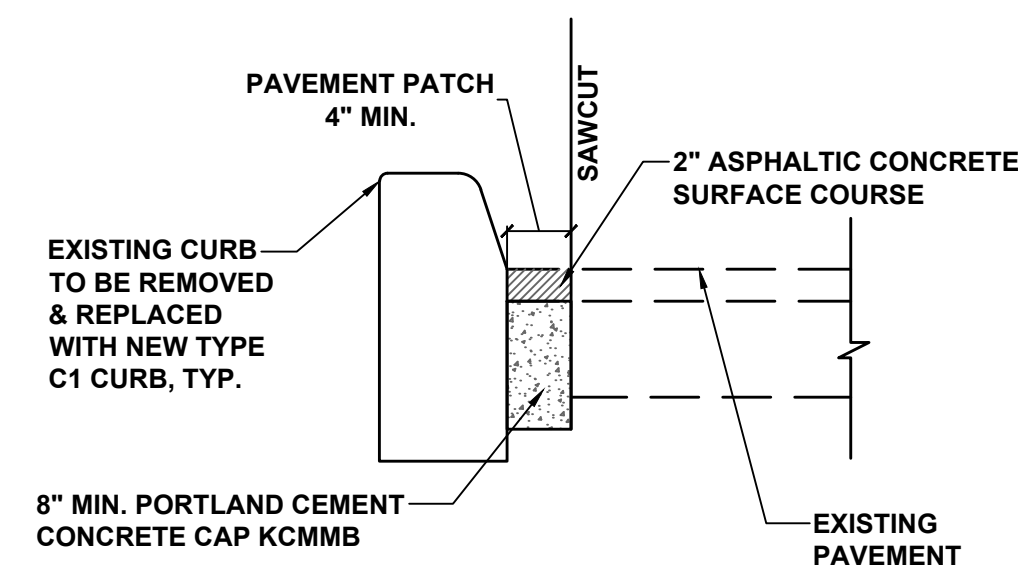
NOTE: SEE LEE'S SUMMIT STD. DETAIL  
GEN-2 FOR MORE INFORMATION



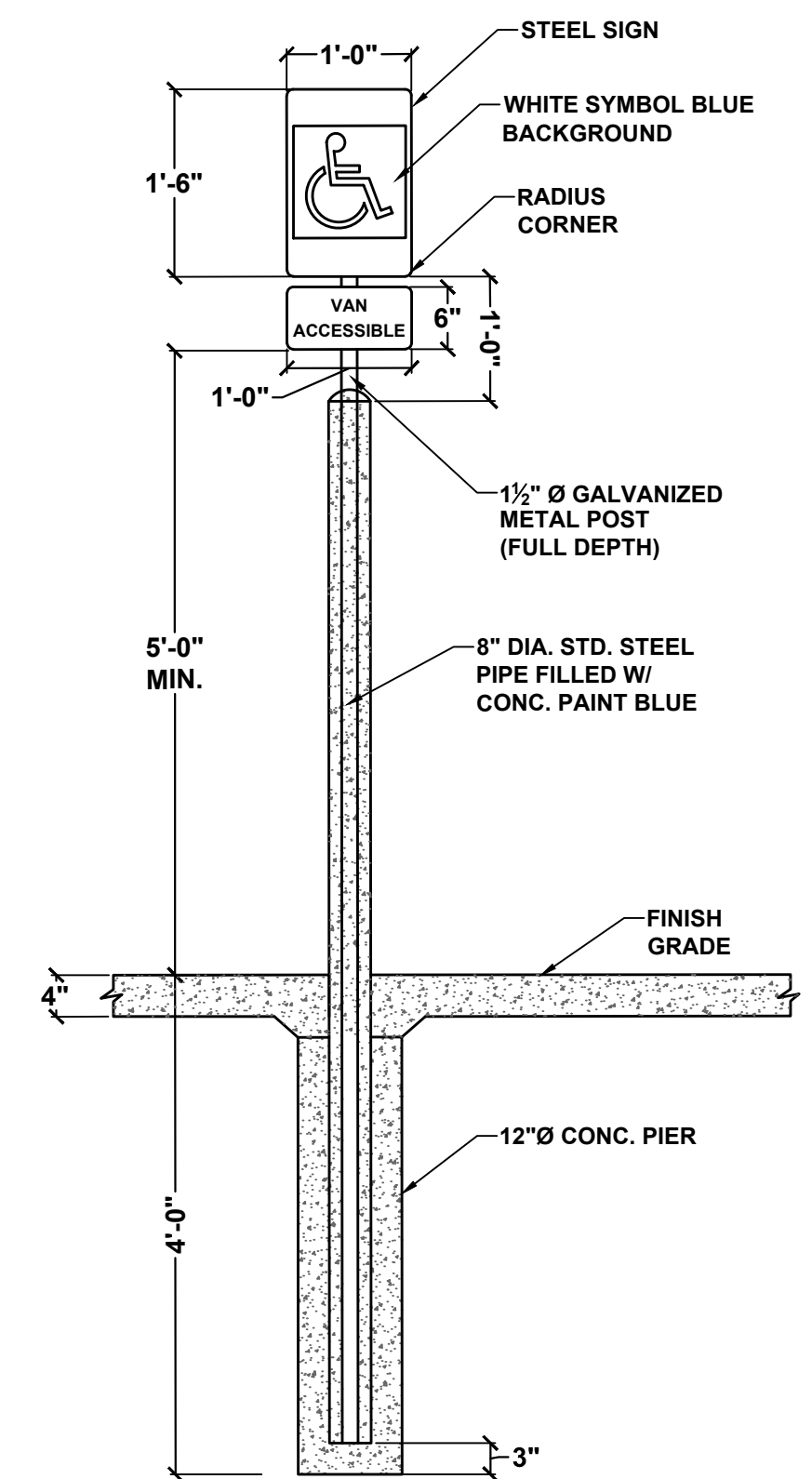
CONCRETE SIDEWALK  
N.T.S.



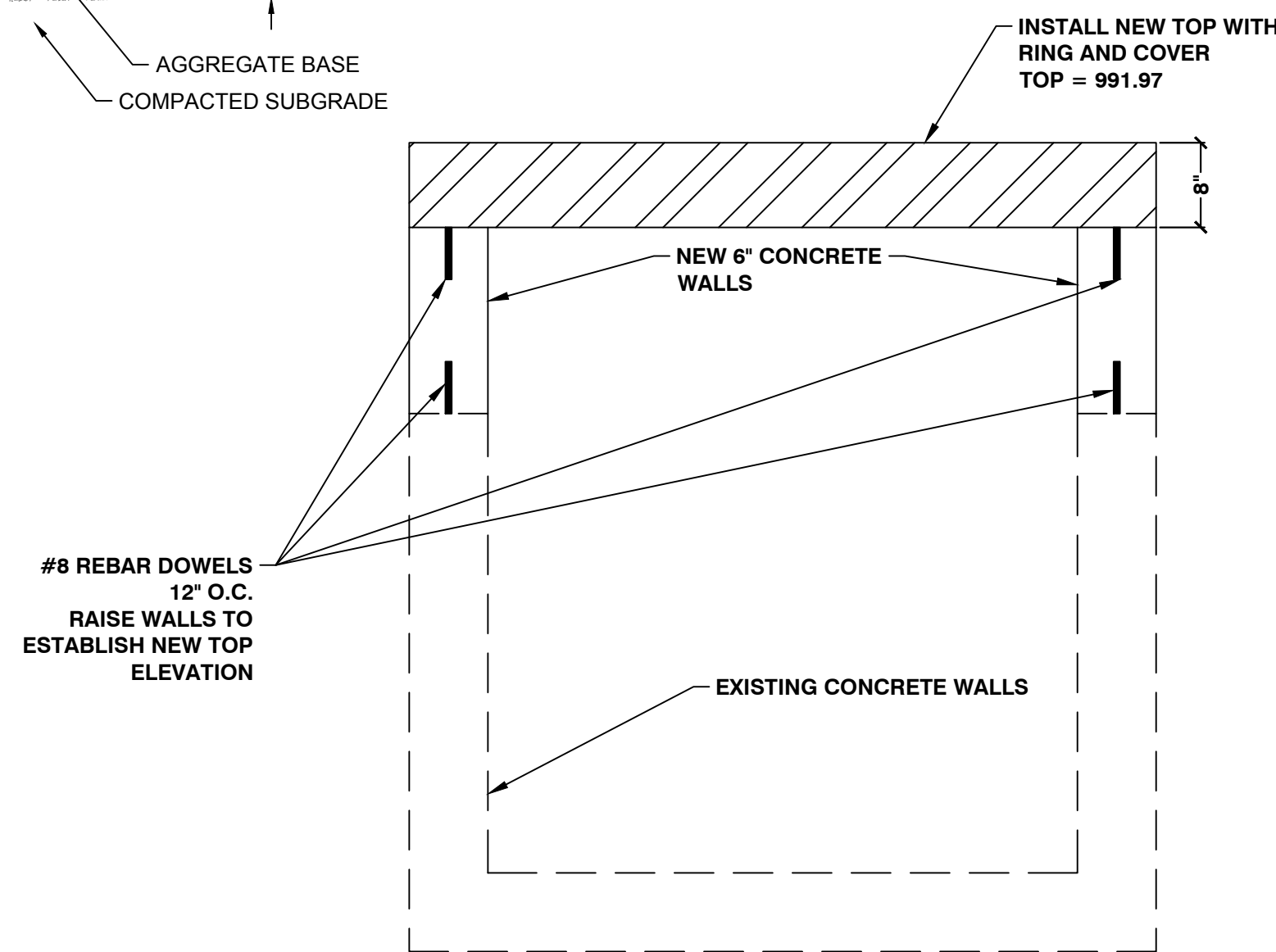
IN-LINE CLEANOUT DETAIL  
Not To Scale



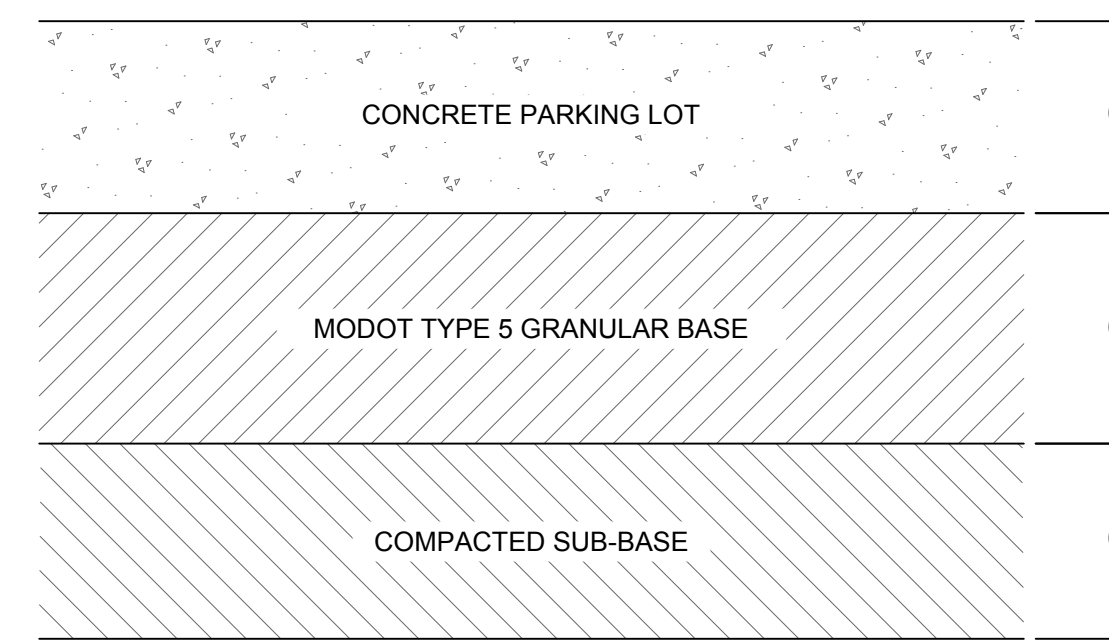
ASPHALT PATCH AT CURB  
Not to Scale



ACCESSIBLE SIGN DETAIL  
Not to Scale



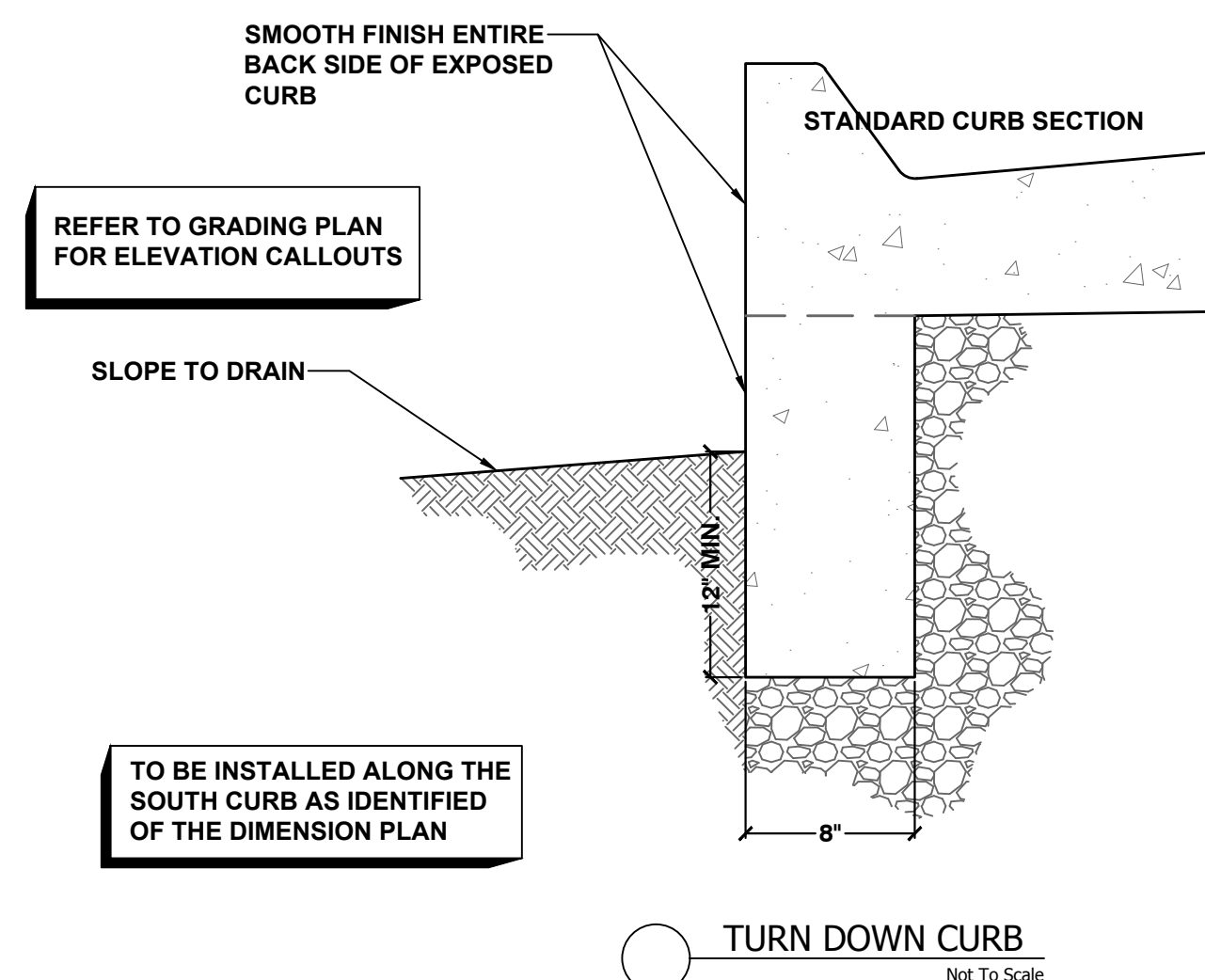
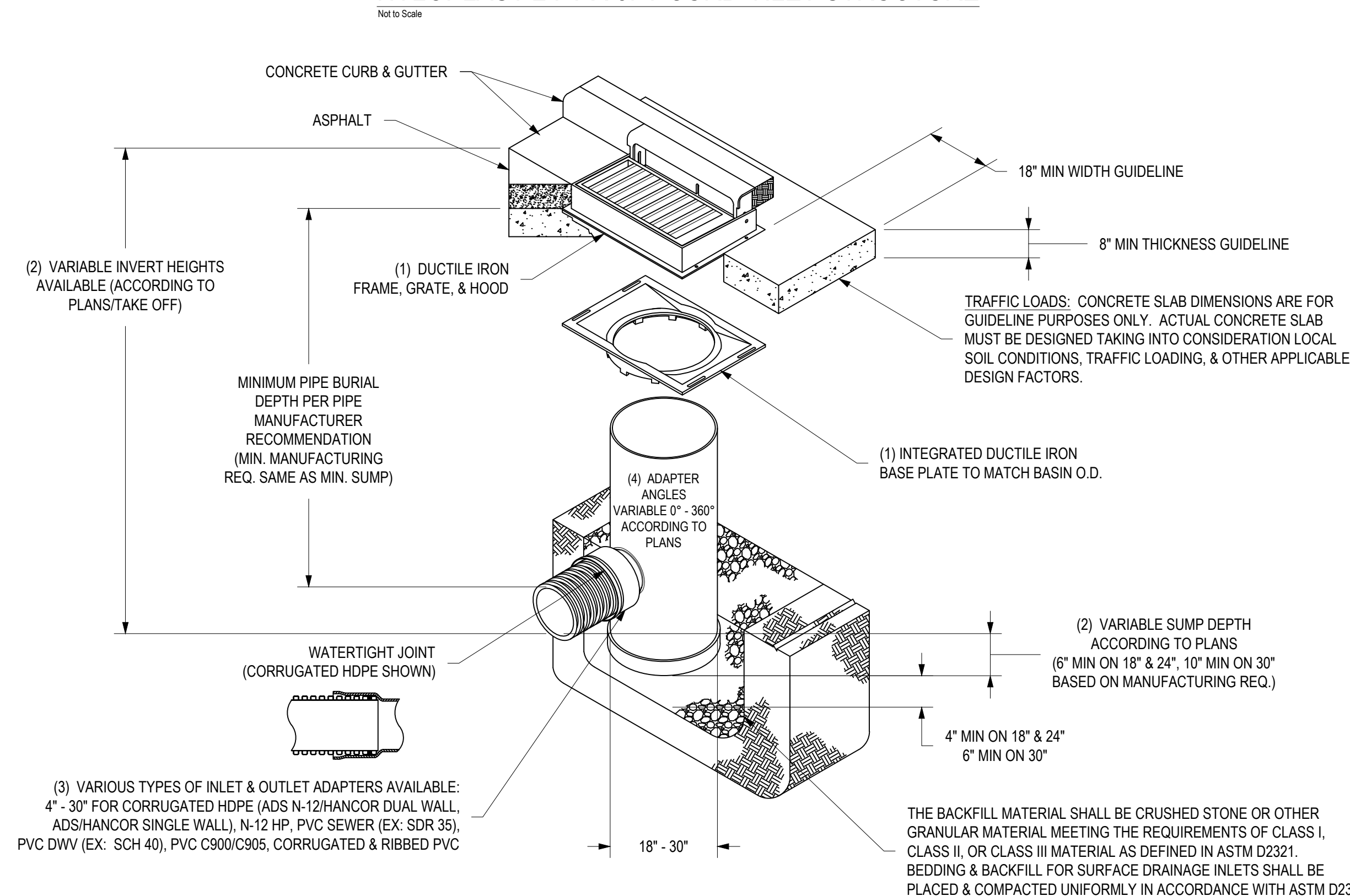
AREA INLET TO JUNCTION BOX  
Not to Scale



CONCRETE SECTION  
Not to Scale

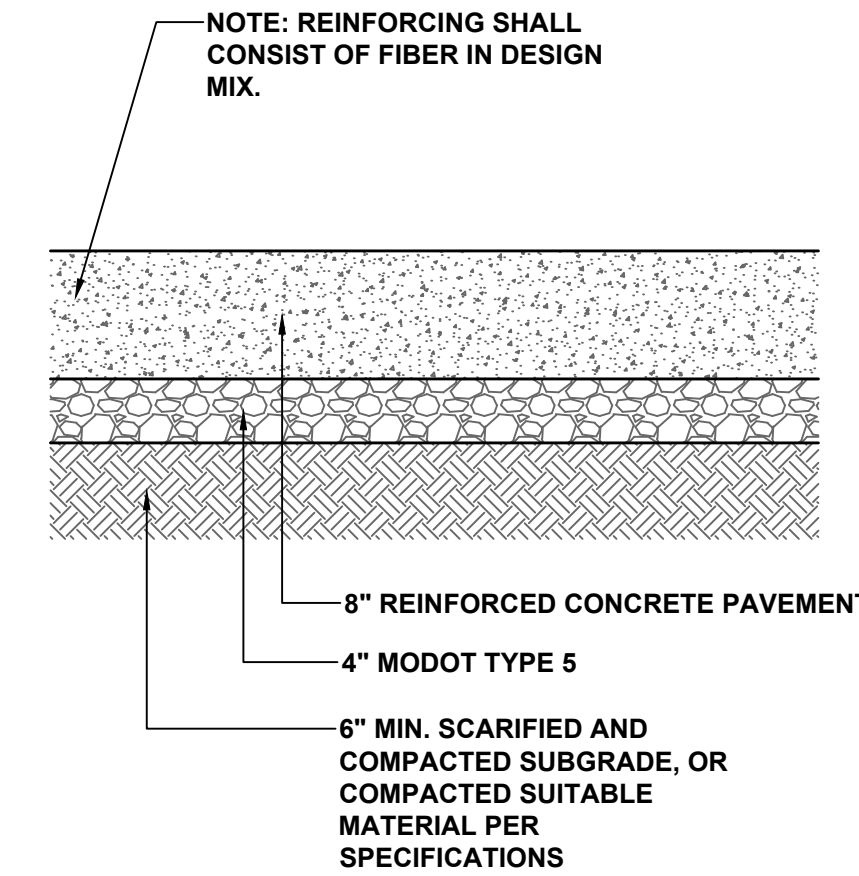
- SITE PAVING NOTES:
- PAVING BASE MATERIAL AND COMPACTION REQUIREMENTS ARE TO MEET GEOTECHNICAL REPORT RECOMMENDATIONS.
  - DO NOT INSTALL PAVEMENT UNTIL ALL UTILITY STRUCTURES ARE ADJUSTED TO BE FLUSH WITH FINAL PAVEMENT ELEVATION (I.E. CLEAN OUT COVERS/MANHOLE LIDS ETC.)

NYLOPLAST 2 FT X 3FT CURB INLET STRUCTURE



TURN DOWN CURB  
Not To Scale

NOTE:  
ALL CONCRETE SHALL BE  
KCMMB 4K MIX

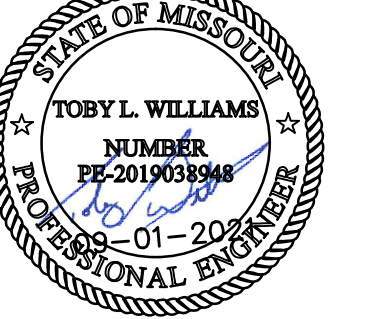


PRIVATE HEAVY DUTY CONCRETE  
Not to Scale

Certificates of Authority  
Architecture: MO 318 / KS 13  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

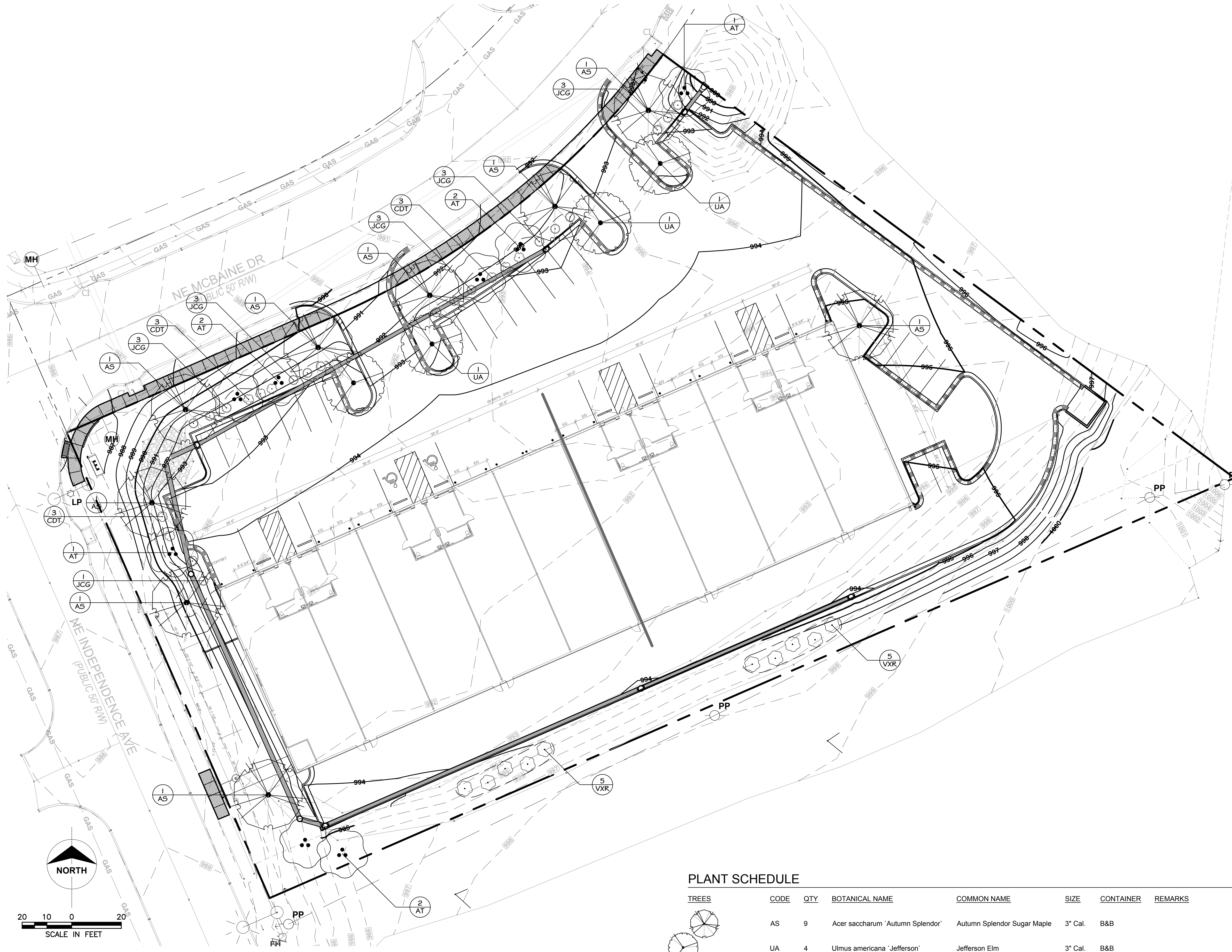
REVISIONS	NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

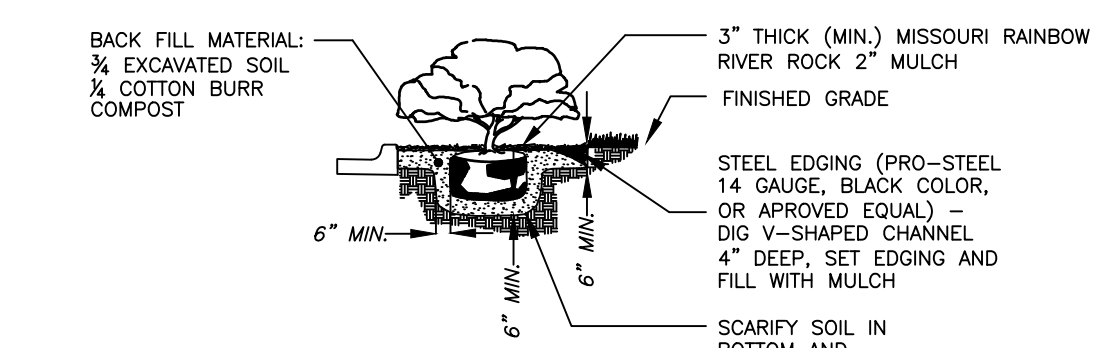
DETAILS

C-501





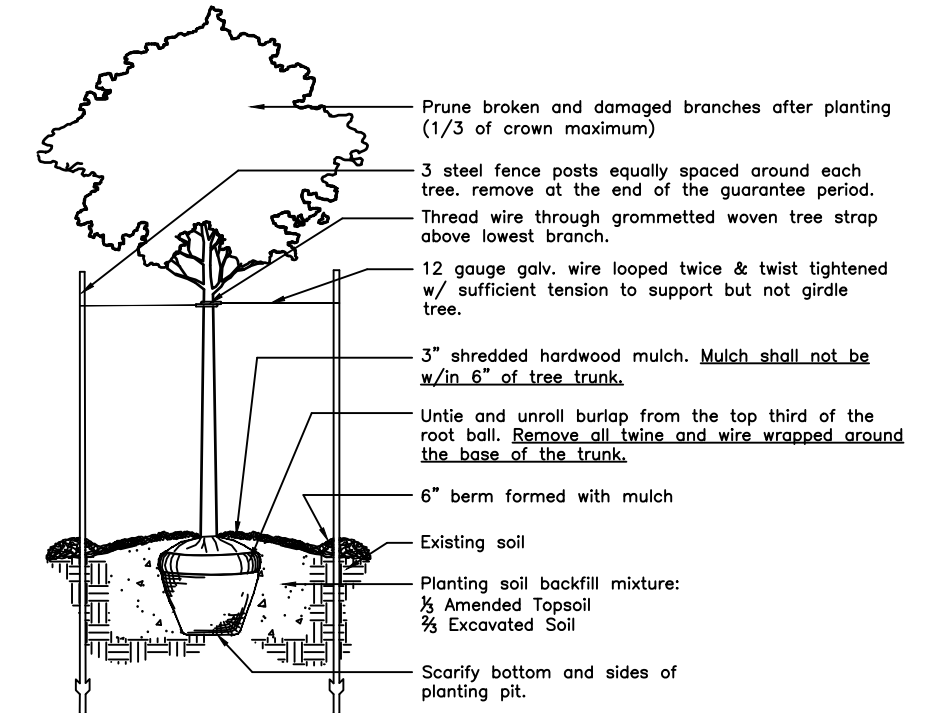
**1 PLANTING PLAN**  
SCALE: 1" = 20'



**2 SHRUB BED & EDGING DETAIL**  
NTS

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	AS	9	Acer saccharum 'Autumn Splendor'	Autumn Splendor Sugar Maple	3" Cal.	B&B	
	UA	4	Ulmus americana 'Jefferson'	Jefferson Elm	3" Cal.	B&B	
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	AT	8	Acer tataricum 'Hot Wings'	Hot Wings Maple Clump	6' Ht.	B&B / Cont.	3-5 Cane - 3" Cal. Cumulative
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	CDT	9	Chaenomeles x 'Double Take' TM	Double Take Quince	18" Ht.	Pot	
	JCG	16	Juniperus chinensis 'Gold Lace'	Gold Lace Juniper	18" Ht.	Pot	
	VXR	10	Viburnum x rhytidophylloides	Alleghany Viburnum	24" Ht.	Pot	



**NOTES:**  
1. On evergreen trees, attach guying collar at approx. 2/3 height of tree on trees that are 6 ft. height and over.  
2. Top of rootball shall match original ground level as grown in the nursery. Overlap from nursery shall be removed to expose root collar.  
3. Do not fertilize the first growing season.  
4. Use tree stakes only in open areas, do not use in parking lot islands where space is limited.

**3 DECIDUOUS TREE PLANTING**  
NTS

**LANDSCAPE PLAN NOTES:**

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to verify existence and location of all utilities before starting any work.
- Prior to commencement of work, the contractor shall give 48 hours advance notice to all those companies/utilities which have facilities in the near vicinity of the construction to be performed.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- No substitutions for variety or cultivar shall be accepted without first obtaining written approval from Landscape Architect.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per the American Standard for Nursery Stock (ANSI Z60.1 current version), published by the American Nurserymen's Association.
- All shrub beds in lawn areas shall be edged as shown in the planting details.
- All planting areas, as well as a minimum width of 18" from building foundation, shall receive 3" minimum depth of 2" Kansas River Rock as detailed, unless otherwise noted. In landscape beds, rock mulch shall be a consistent 3" depth throughout. Rock mulch shall be placed on top of woven weed fabric (DeWitt Pro-5, or equal), which shall be secured in place with sod pins.
- Trees planted in turf areas shall have a 3" ring of shredded hardwood mulch formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk.
- Contractor shall thoroughly water in each plant immediately following installation.
- No plantings shall be placed closer than 4' from the back of curb to allow for vehicle bumper overhang.
- Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage.
- Contractor shall install sod in all turf areas. Sod shall be turf-type tall Fescue consisting of 90% fescue blend and 10% bluegrass in all areas disturbed during construction not otherwise designated as another material. Sod placed in areas greater than 4:1 slope shall fastened to the slope with sod staples.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided and approved by the landscape architect prior to ordering materials or installing any aspect of the irrigation system. General contractor shall supply tap location and water pressure to irrigation designer. Tap for irrigation shall be after the main building tap and shall be thru a deduct meter configuration. Irrigation system shall consist of tap, backflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the irrigation designer and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to the landscape architect for approval. Controller shall be mounted inside a stainless steel, lockable cabinet on exterior of building nearest the mechanical room access door or other utility panels, as agreed by the GC and Landscape Architect.

Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

**CLIENT**  
**WARD DEVELOPMENT**  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

**LOT 10, 1-470**  
**BUSINESS PARK**  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064



CHAD D. WEINAND, PLA  
LA-2013000705 (MISSOURI #)

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REVISIONS	NO.	DATE	DESCRIPTION

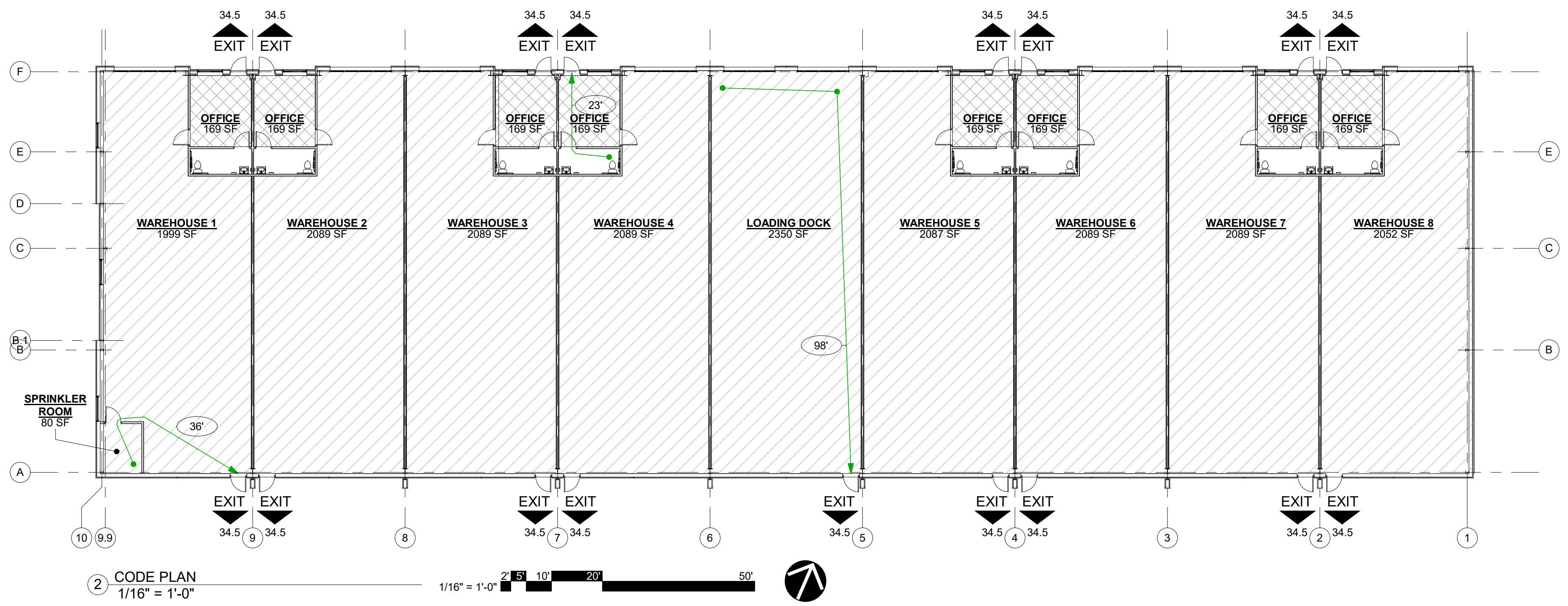
DRAWN BY: CDW  
CHECKED BY: CDW  
PROJECT #: 21-1902  
ISSUE DATE: 8/23/2021  
ISSUED FOR: CONSTRUCTION

**Chad D. Weinand, PLA, ASLA**  
Landscape Architecture  
15173 W. 157th Terrace, Olathe, Kansas 66062  
913.484.3738 - cweinand74@gmail.com  
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LIFE-SAFETY GENERAL NOTES

- ALL EXIT DOORS SHALL BE OPERABLE / OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- BUILDING ADDRESS NUMBER (BUILDING IDENTIFIER) SHALL BE A MINIMUM 6 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY FRONTING THE PROPERTY.
- FIRE EXTINGUISHERS SHALL BE DISTRIBUTED THROUGHOUT THE FACILITY (PER NFPA 101) SO THAT NO GREATER THAN 75 FEET TRAVEL DISTANCE IS REQUIRED TO REACH A UNIT (IFC TABLE 906.3). NO MORE THAN 50 FEET IN GARAGE AREA. MINIMUM SIZE (5 LB)# 5A40BC EXTINGUISHERS SHALL BE SECURELY MOUNTED WITH THE TOP OF THE CANISTER NO HIGHER THAN 42" ABOVE FINISHED FLOOR WITH STATE FIRE MARSHAL INSPECTION TAG ATTACHED AND SIGNAGE TO INDICATE LOCATION.
- PROVIDE FIRE EXTINGUISHERS IN LOCATIONS AND QUANTITIES AS SHOWN AND AS DIRECTED BY THE FIRE MARSHAL OF THE JURISDICTION HAVING AUTHORITY. PROVIDE EXTINGUISHERS THAT ARE COMPATIBLE WITH THE CHEMICALS IN THE ROOMS.
- FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE TO BE DESIGN/BUILD BY THE SUBCONTRACTOR. THE SHOP DRAWINGS WILL BE MADE AVAILABLE TO THE CITY FOR REVIEW PRIOR TO INSTALL.
- PROVIDE HAZARDOUS MATERIALS SIGNAGE AS SPECIFIED BY NFPA STANDARD 704.
- SMOKING SHALL BE PROHIBITED AND "NO SMOKING" SIGNS PROVIDED AT:  
 A. ROOMS WHERE HAZARDOUS MATERIALS ARE STORED OR DISPENSED OR USED IN OPEN SYSTEMS IN AMOUNTS REQUIRING A PERMIT IN ACCORDANCE WITH SECTION 5001.5  
 B. WITHIN 25 FT OF OUTDOOR STORAGE, DISPENSING OR OPEN USE AREAS.  
 C. FACILITIES OR AREAS WITHIN FACILITIES THAT HAVE BEEN DESIGNATED AS TOTALLY "NO SMOKING" SHALL HAVE "NO SMOKING" SIGNAGE PLACED AT ALL ENTRANCES TO THE FACILITY OR AREA. DESIGNATED AREAS WITHIN SUCH FACILITIES WHERE SMOKING IS PERMITTED EITHER PERMANENTLY OR TEMPORARILY, SHALL BE INDENTED WITH SIGNS DESIGNATING THAT SMOKING IS PERMITTED IN THESE AREAS ONLY.  
 D. IN ROOMS OR AREAS WHERE FLAMMABLE OR COMBUSTIBLE HAZARDOUS MATERIALS ARE STORED, DISPENSED OR USED.



CODE ANALYSIS

APPLICABLE CODES

THE BUILDING SHALL BE IN COMPLIANCE WITH THE FOLLOWING:  
 2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL FUEL GAS CODE  
 2018 INTERNATIONAL FIRE CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
 LEE'S SUMMIT, MISSOURI

FIRE RESISTANCE

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601		FIRE PROTECTION SYSTEMS, SECTION 903.2.10	
PRIMARY STRUCTURAL FRAME:	0 HOURS	REQUIRED: YES	PROVIDED: YES
BEARING WALLS EXTERIOR:	0 HOURS		
BEARING WALLS INTERIOR:	0 HOURS		
NONBEARING WALLS EXTERIOR:	-		
NONBEARING WALLS INTERIOR:	0 HOURS		
FLOOR CONSTRUCTION:	0 HOURS		
ROOF CONSTRUCTION:	0 HOURS		

OCCUPANCY CLASSIFICATION

MAIN OCCUPANCY (S-2):  
 S-2: STORAGE (LOW-HAZARD STORAGE) SECTION 311.3  
 ACCESSORY OCCUPANCY (B):  
 B: BUSINESS SECTION 508.2.1 SECTION 304

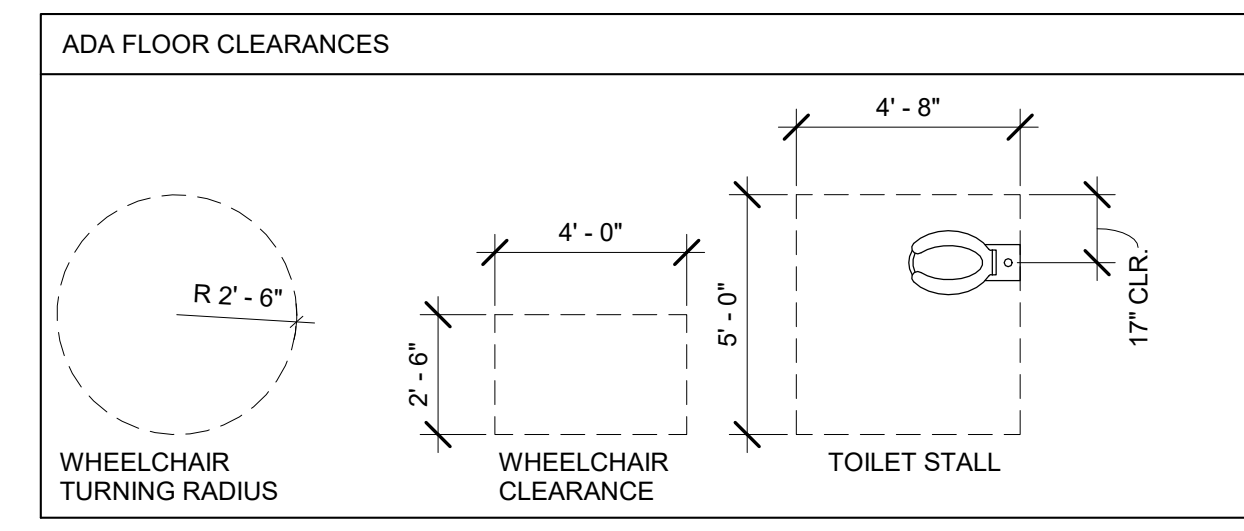
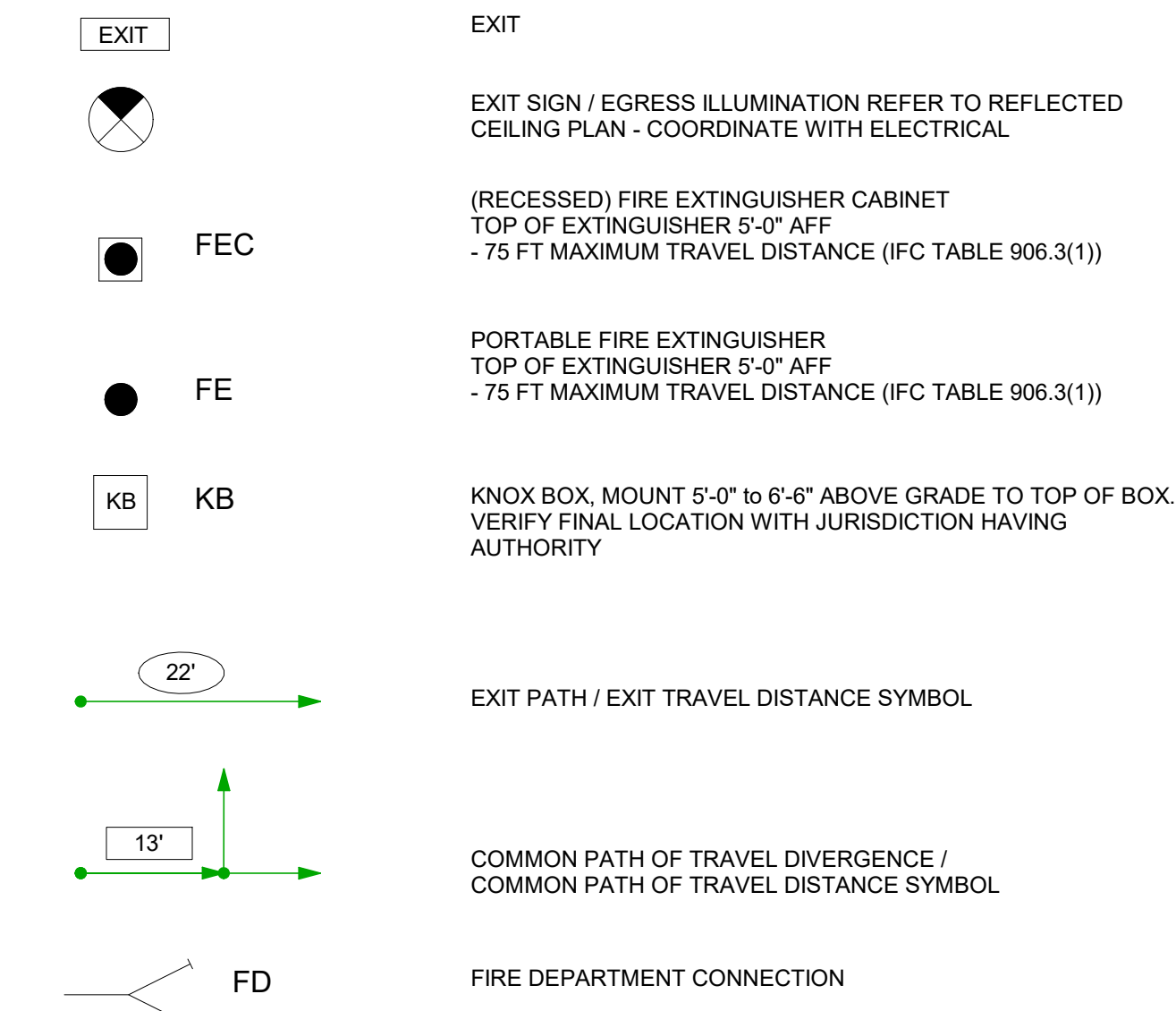
MEANS OF EGRESS

SUITE TYPE A (WAREHOUSE)			SUITE TYPE B (LOADING DOCK)		
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2			MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2		
STORAGE			STORAGE		
WAREHOUSE 1	1999 SF / 300 GROSS	= 7 OCCUPANTS	LOADING DOCK	2350 SF / 300 GROSS	= 8 OCCUPANTS
SPRINKLER ROOM	80 SF / 300 GROSS	= 1 OCCUPANTS	<b>TOTAL OCCUPANTS</b>		<b>= 8 OCCUPANTS</b>
WAREHOUSE 2	2089 SF / 300 GROSS	= 7 OCCUPANTS	MINIMUM REQUIRED EGRESS WIDTH - 1005.1		
WAREHOUSE 3	2089 SF / 300 GROSS	= 7 OCCUPANTS	REQUIRED: 8 OCC. X 0.2" = 1.6" REQUIRED		
WAREHOUSE 4	2089 SF / 300 GROSS	= 7 OCCUPANTS	PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED		
WAREHOUSE 5	2089 SF / 300 GROSS	= 7 OCCUPANTS	<b>TOTAL WIDTH PER SUITE (1)</b> = 34.5" PROVIDED		
WAREHOUSE 6	2089 SF / 300 GROSS	= 7 OCCUPANTS	NUMBER OF EXITS, TABLE 1006.2.1:		
WAREHOUSE 7	2089 SF / 300 GROSS	= 7 OCCUPANTS	REQUIRED: 1		
WAREHOUSE 8	2052 SF / 300 GROSS	= 7 OCCUPANTS	PROVIDED: 1		
<b>TOTAL</b>		<b>= 64 OCCUPANTS</b>	EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2		
BUSINESS			MAIN OCCUPANCY:		
OFFICE 1	168 SF / 150 GROSS	= 2 OCCUPANTS	REQUIRED: 300 FT		
OFFICE 2	168 SF / 150 GROSS	= 2 OCCUPANTS	PROVIDED: SEE CODE PLAN		
OFFICE 3	168 SF / 150 GROSS	= 2 OCCUPANTS			
OFFICE 4	168 SF / 150 GROSS	= 2 OCCUPANTS			
OFFICE 5	168 SF / 150 GROSS	= 2 OCCUPANTS			
OFFICE 6	168 SF / 150 GROSS	= 2 OCCUPANTS			
OFFICE 7	168 SF / 150 GROSS	= 2 OCCUPANTS			
OFFICE 8	168 SF / 150 GROSS	= 2 OCCUPANTS			
<b>TOTAL</b>		<b>= 16 OCCUPANTS</b>			
<b>TOTAL OCCUPANTS</b> = 80 OCCUPANTS					
MINIMUM REQUIRED EGRESS WIDTH - 1005.1					
MAIN OCCUPANCY (S-2):					
REQUIRED: 7 OCC. X 0.2" = 1.4" REQUIRED					
PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED					
ACCESSORY OCCUPANCY (B):					
REQUIRED: 2 OCC. X 0.2" = 0.4" REQUIRED					
PROVIDED: 2 DOORS @ 34.5" CLEAR = 69" PROVIDED					
<b>TOTAL WIDTH PER SUITE (8)</b> = 103.5" PROVIDED					
COMMON PATH OF EGRESS TRAVEL - TABLE 1006.2.1:					
REQUIRED: 100 FT					
PROVIDED: 9 FT 0 IN					
<b>PER SUITE</b>					
NUMBER OF EXITS, TABLE 1006.2.1:					
REQUIRED: 1					
PROVIDED: 3					
<b>PER SUITE</b>					

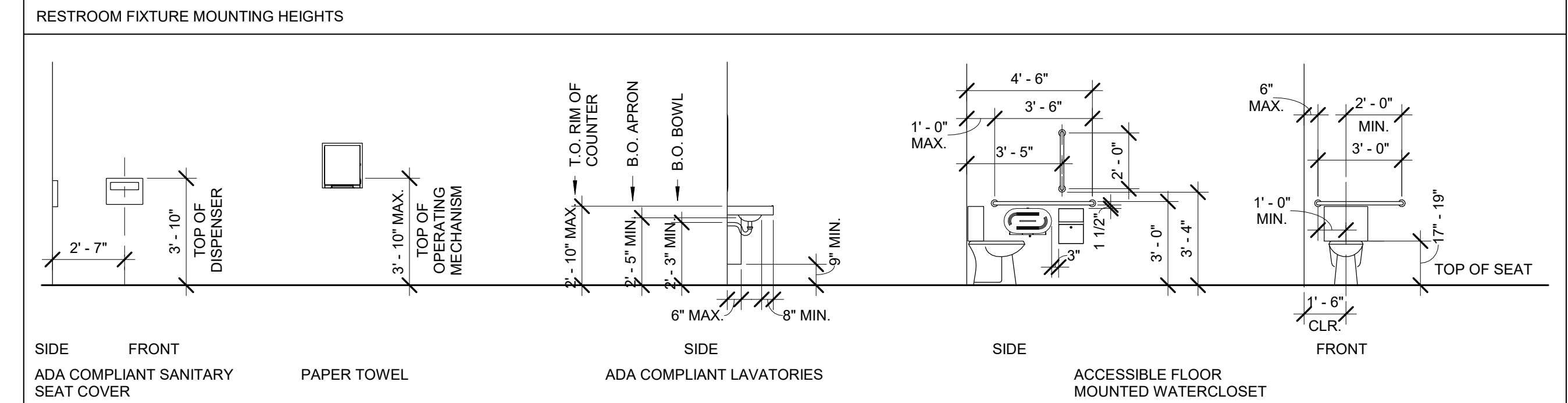
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

B: BUSINESS	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS		OTHER	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
7 OCCUPANTS PER SUITE (8)	1	1	1	1	1	X	0	0
<b>TOTAL</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>X</b>	<b>0</b>	<b>0</b>

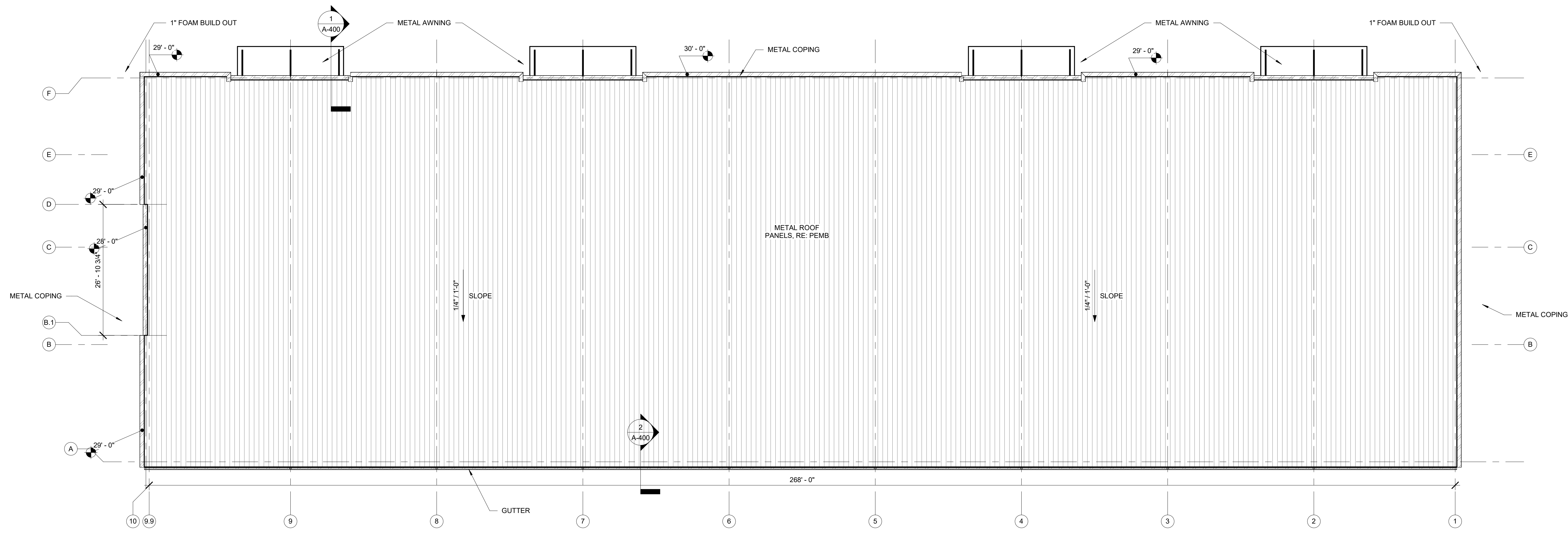
LIFE SAFETY LEGEND



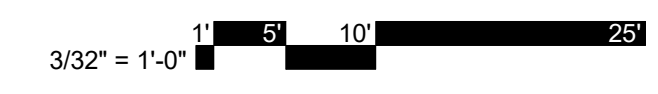
NOTE: ALL BATHROOM FIXTURES TO BE MOUNTED PER ADA REQUIREMENT.







1 ROOF PLAN  
3/32" = 1'-0"



**ROOF GENERAL NOTES**

1. DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.

Certificates of Authority  
 Architecture: MO 310 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

CLIENT  
 DAVID WARD  
 WARD DEVELOPMENT  
 1120 EAGLE RIDGE BLVD  
 GRAIN VALLEY, MO 64029  
 david@safetyministorage.com

**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**



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 ISSUE DATE: 2021.09.24  
 ISSUED FOR:  
 ISSUE FOR PERMIT

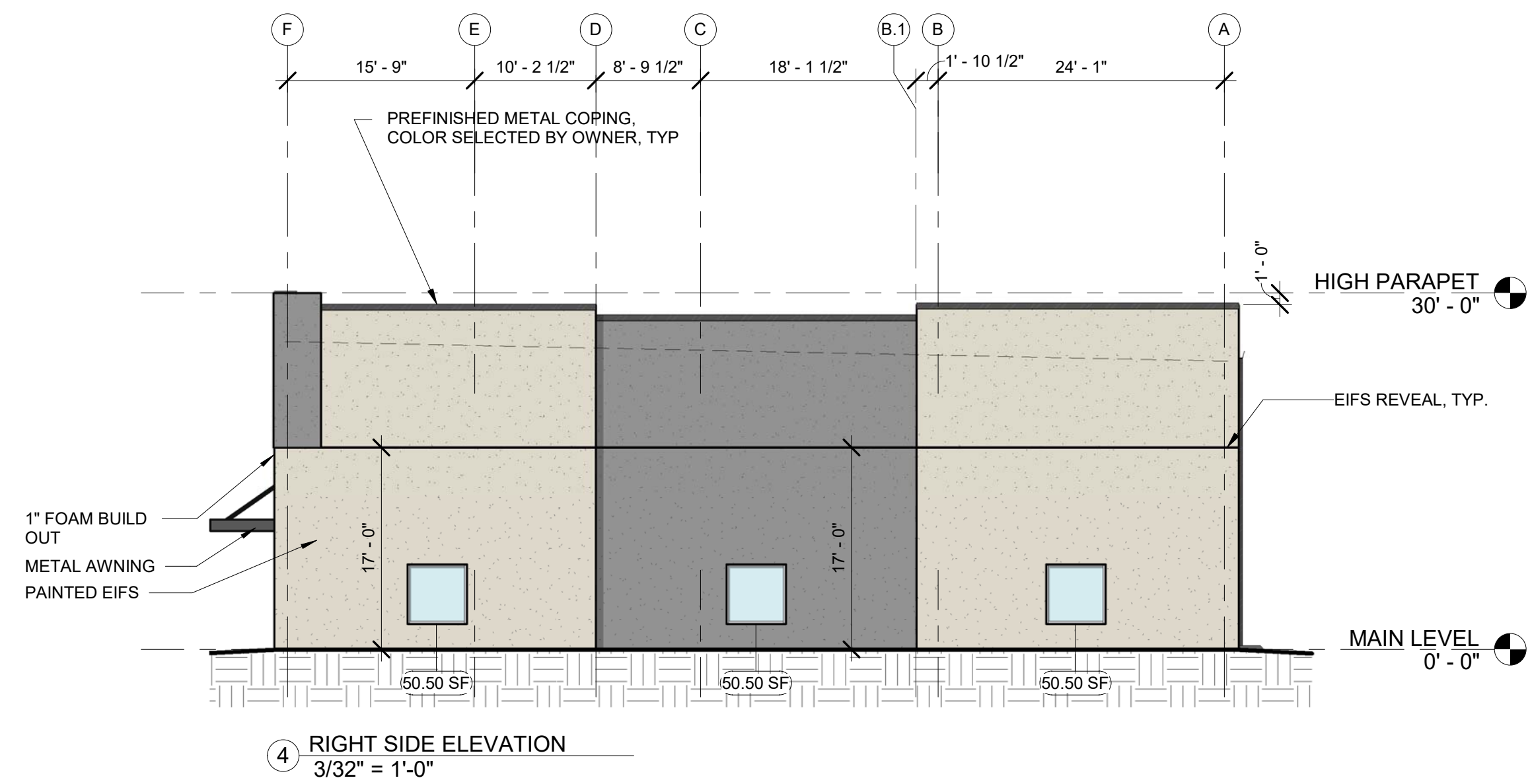


**EXTERIOR ELEVATION GENERAL NOTES**

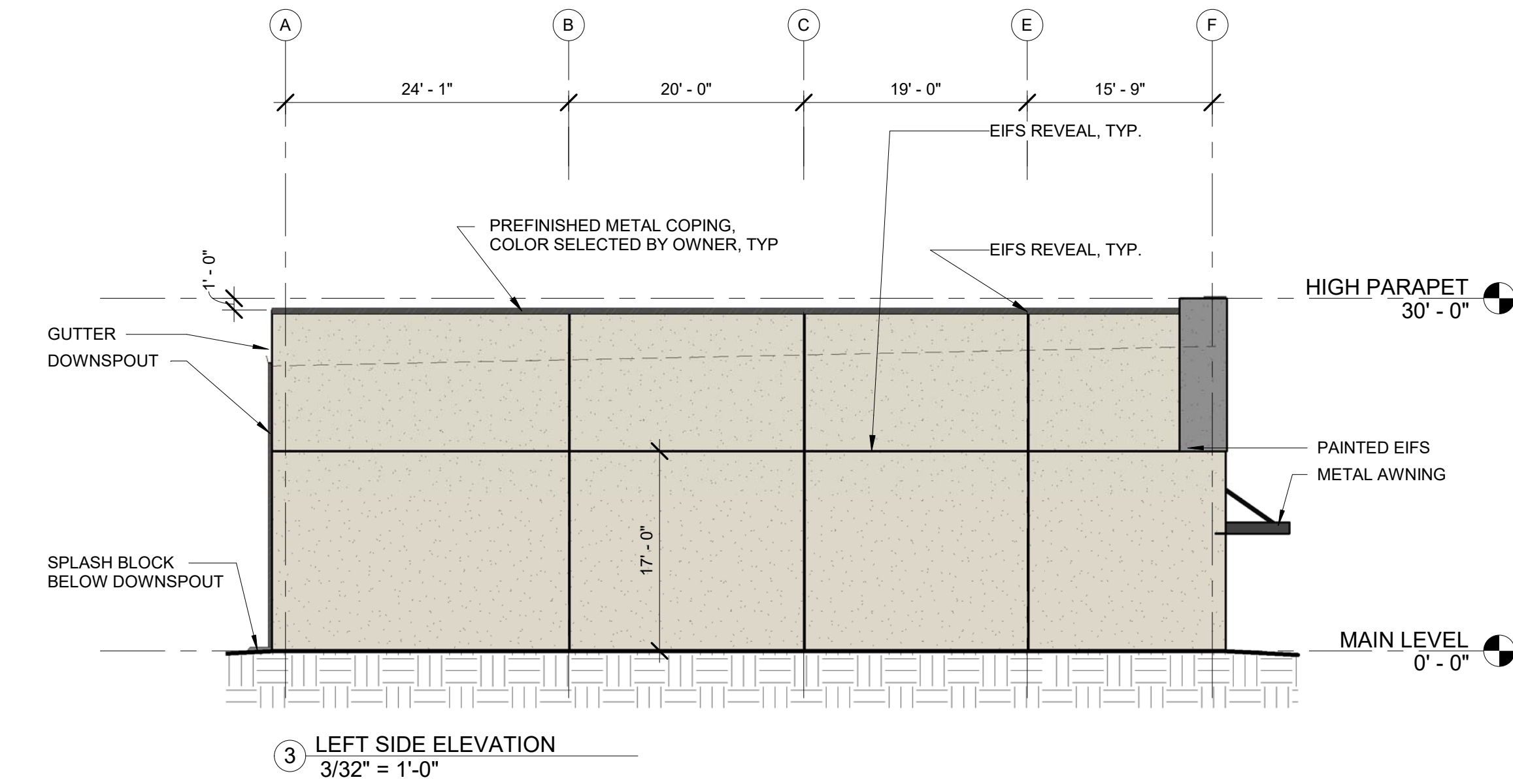
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**EXTERIOR MATERIALS LEGEND**

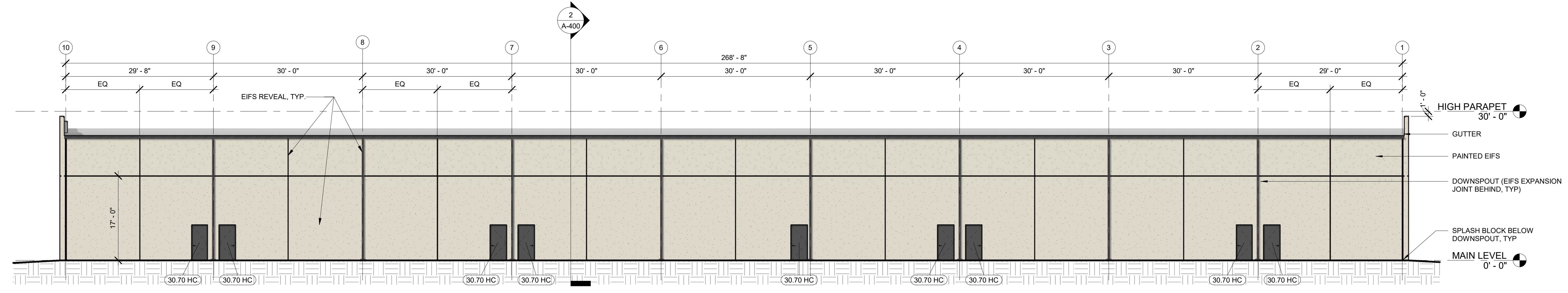
-  EIFS, PAINTED, COLOR BY OWNER
-  EIFS, PAINTED, COLOR BY OWNER
-  GLASS - STOREFRONT
-  GLASS - OH DOOR
-  SHEET METAL, PREFINISHED, COLOR SELECTED BY OWNER.



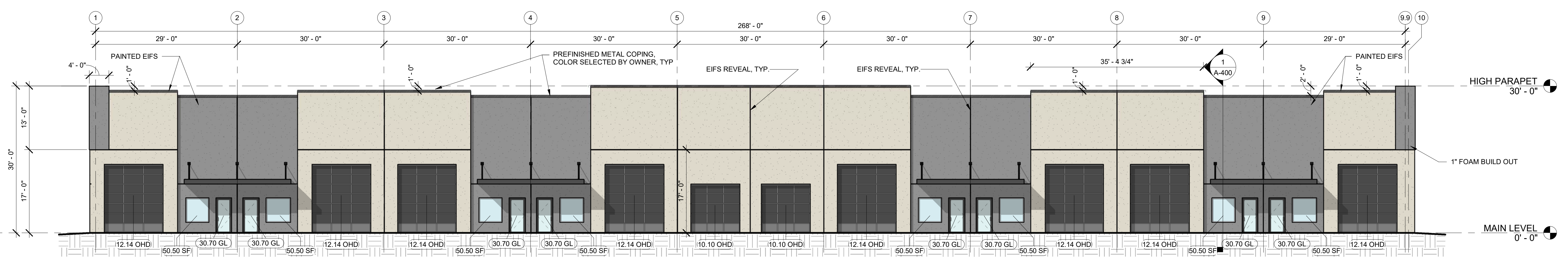
4 RIGHT SIDE ELEVATION  
3/32" = 1'-0"



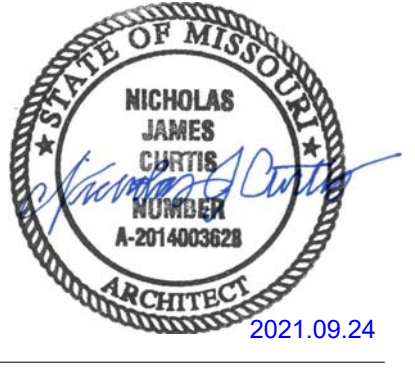
3 LEFT SIDE ELEVATION  
3/32" = 1'-0"



2 REAR ELEVATION  
3/32" = 1'-0"



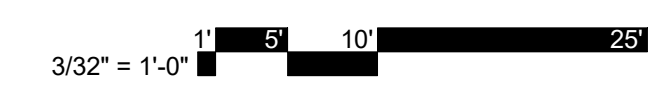
1 FRONT ELEVATION  
3/32" = 1'-0"



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ISSUE FOR: ISSUE FOR PERMIT





**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

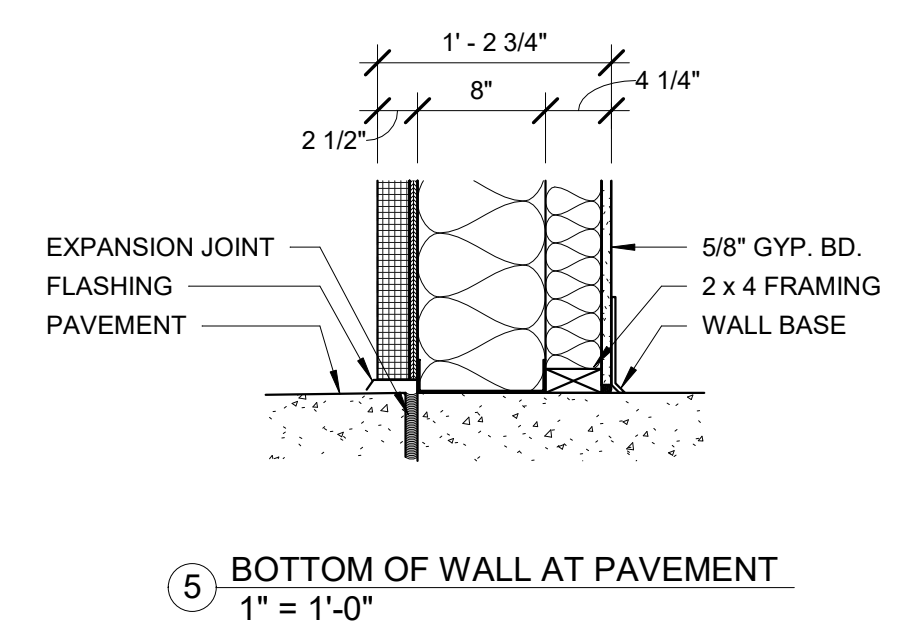
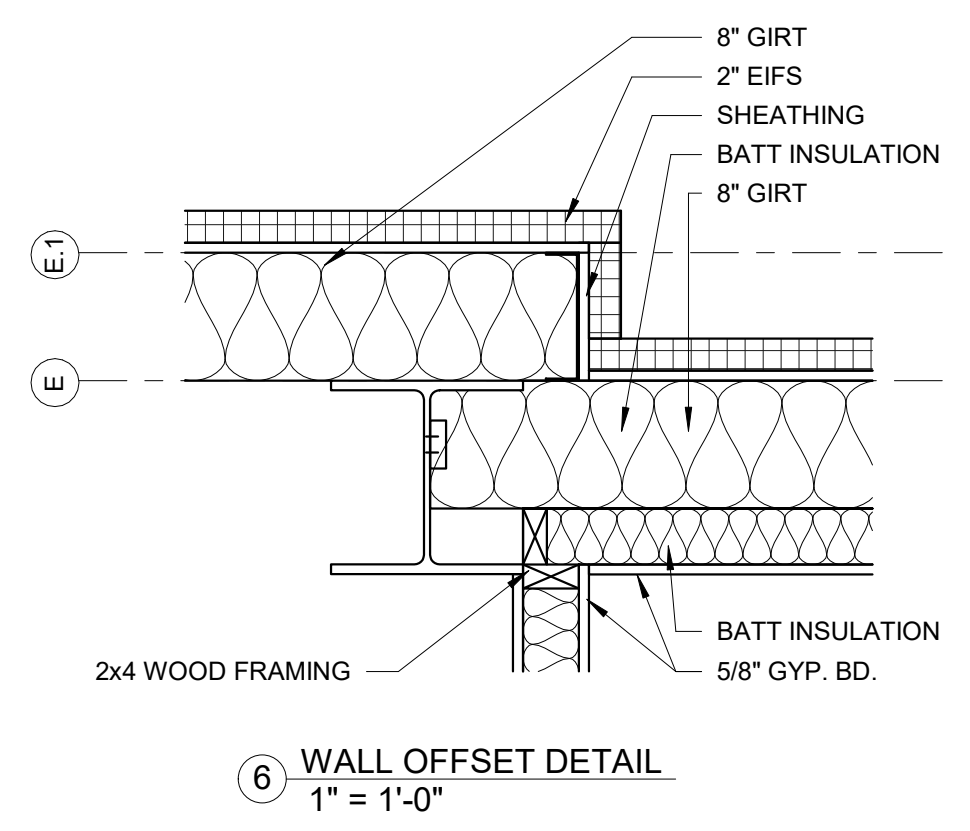
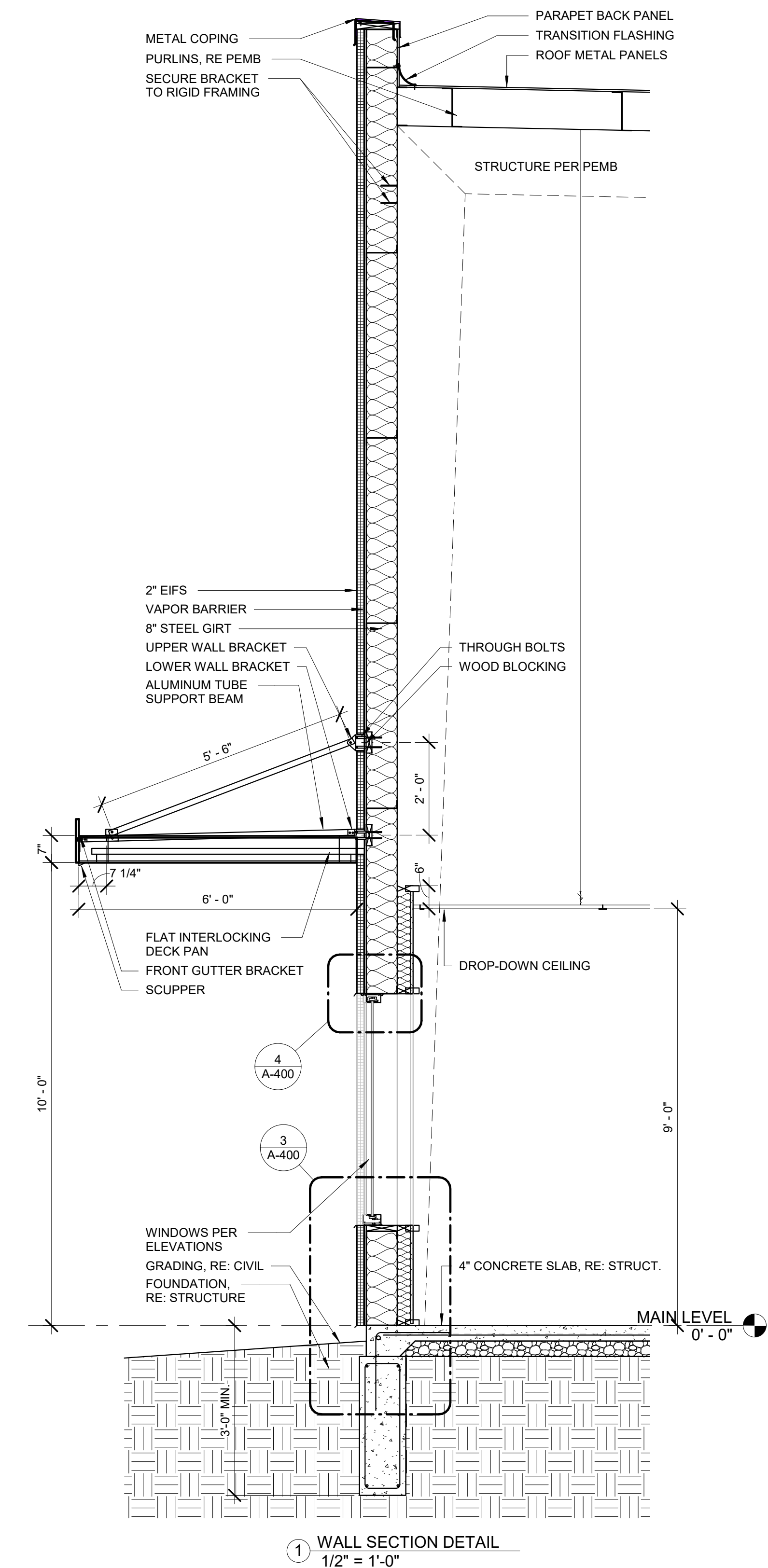
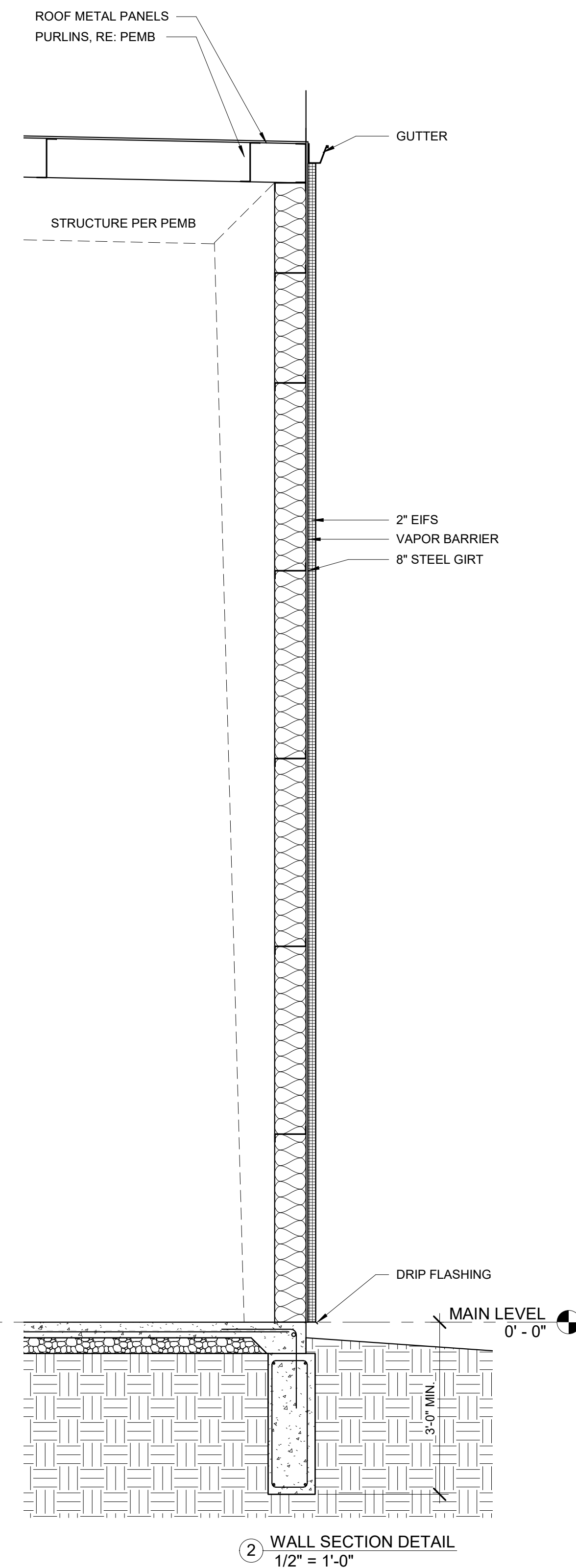
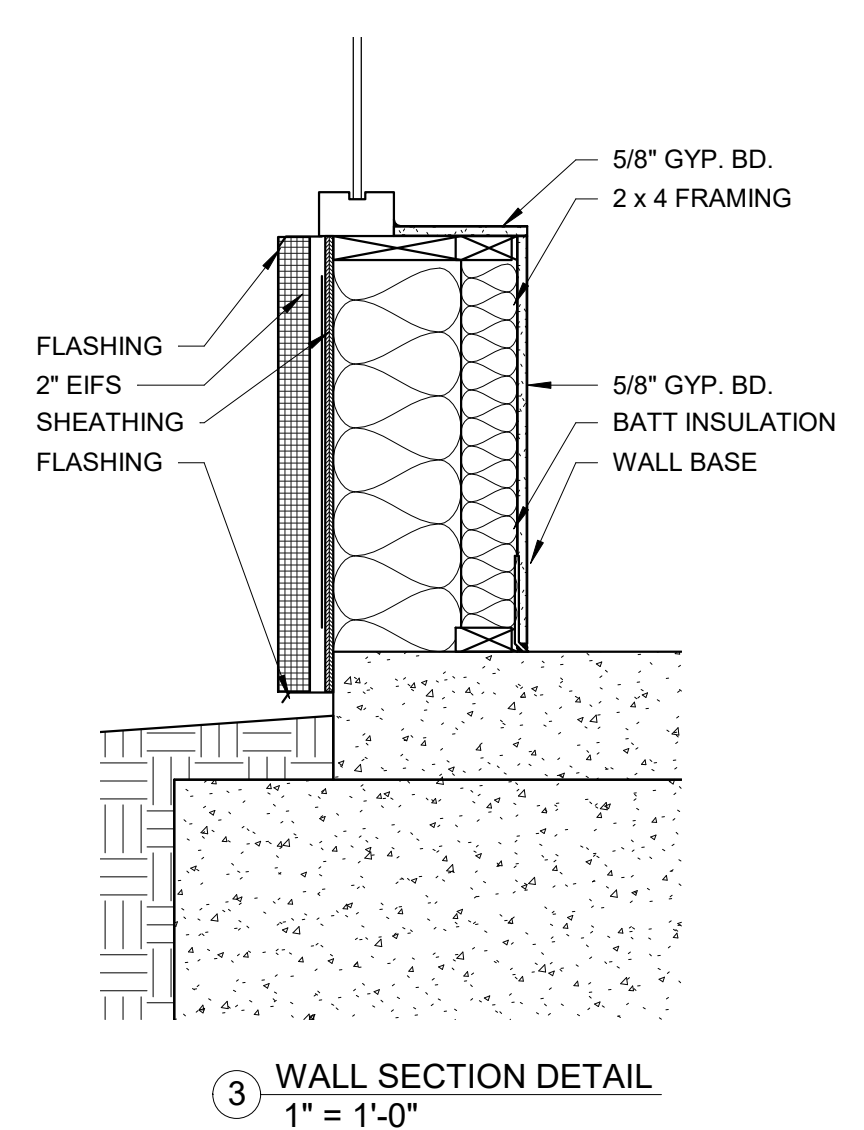
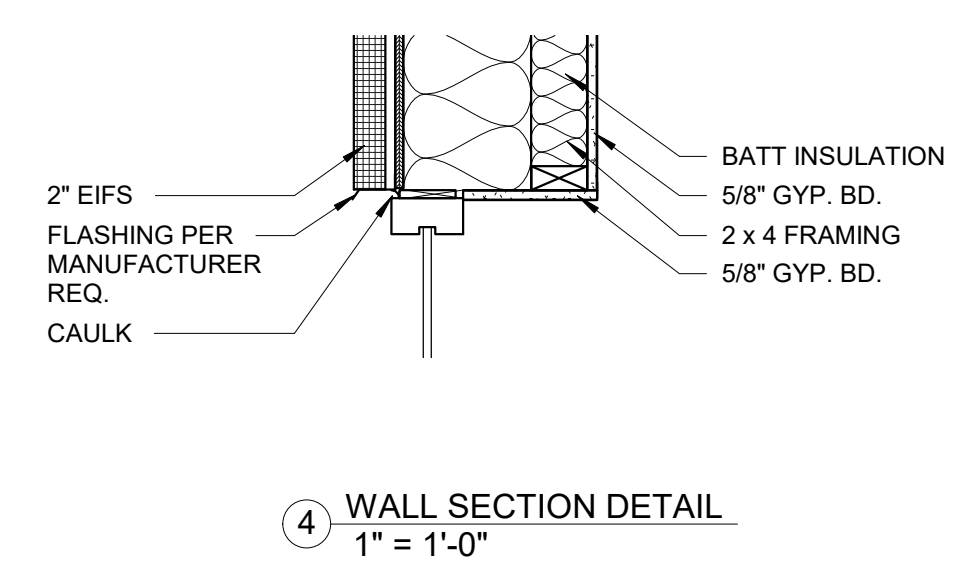
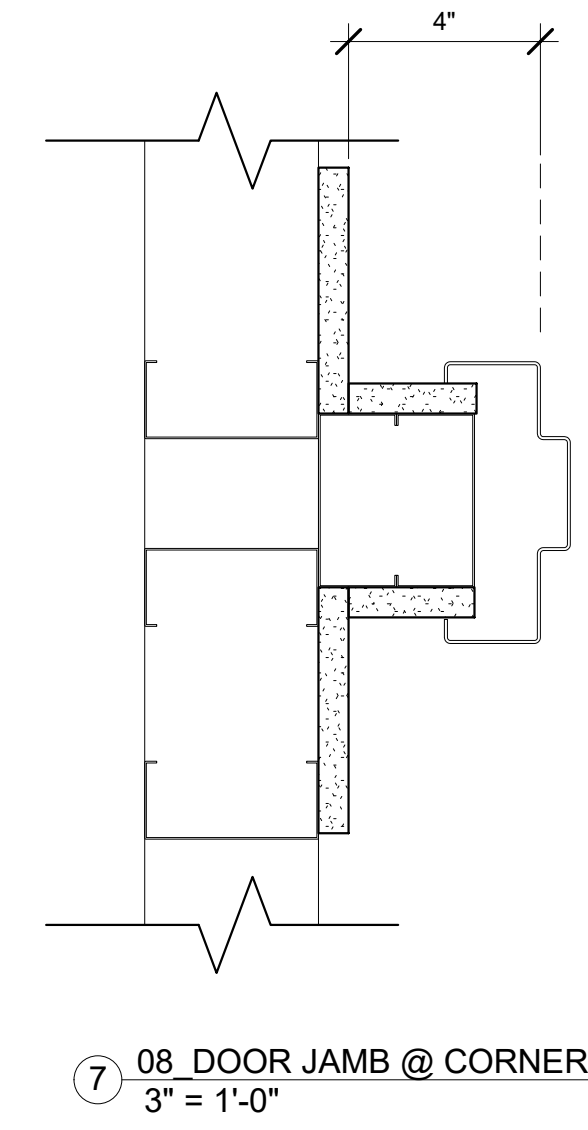


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MINIMUM AND STANDARD DIMENSION OF DOOR THRESHOLD TO WALL:  
 1. UNLESS NOTED OTHERWISE  
 2. UNLESS OTHERWISE COORDINATED BETWEEN GENERAL CONTRACTOR, METAL STUD CONTRACTOR AND DOOR CONTRACTOR.



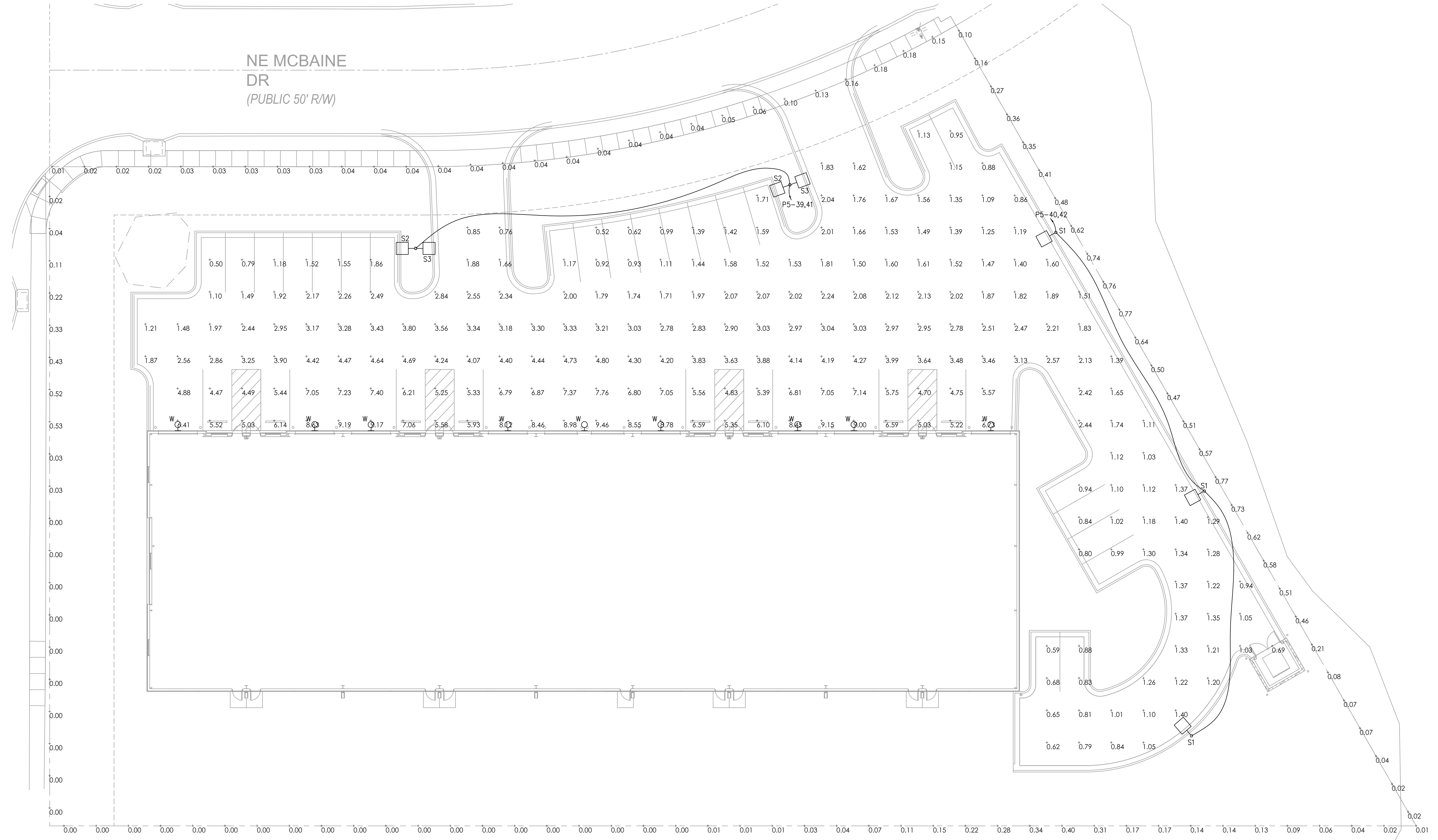


### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE SECTION 2800 OF THE STREET LIGHTING OF KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION, CONSTRUCTION & MATERIAL SPECIFICATION, THE SECTION 5800 - STREET LIGHTING OF THE CITY OF LEE'S SUMMIT, MO DESIGN CRITERIA, AND ALL APPLICABLE LEE'S SUMMIT, MO SUPPLEMENTS.
- ALL ELECTRICAL/CONDUIT STREET CROSSINGS NEED TO BE BACKFILLED WITH AB-3 OR FLOWABLE FILL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.

Tag	Description	LLF	Luminaire Lumens	Luminaire Watts
S1	DSX1 LED P2 40K T3M MVOLT HS (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	7002	70
S2	DSX1 LED P2 40K RCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
S3	DSX1 LED P2 40K LCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
W	WDGE3 LED P2 70CRI R4 40K (MH: 16'-0")	0.800	8779	59.2761

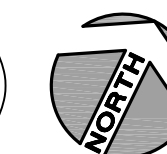
Label	Units	Avg	Max	Min	Max/Min
Parking_Lot	Fc	3.04	9.46	0.50	18.92
Property_Line	Fc	0.16	0.77	0.00	N.A.



### PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

1



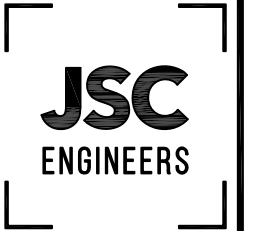
ENTIRE SHEET ADDED

Licenses of Authority  
Architecture: MO 319 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT

DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@seaflyministorage.com

MEP ENGINEER



MO CO. NO. 0000000100 / KS CO. NO. 0000000100  
1001 W. BLUE PAVEMENT, SUITE 100, GRAIN VALLEY, MO 64029  
JSC ENGINEERS, INC. (A DIVISION OF JSC ENGINEERS, LLC)  
PHONE: (816) 225-0200 | EMAIL: jsc@jscengineers.com



09-24-2021

**LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064**

REVISIONS	NO.	DATE / DESCRIPTION
	1.	09.24.2021 (PHOTOMETRIC PLAN)

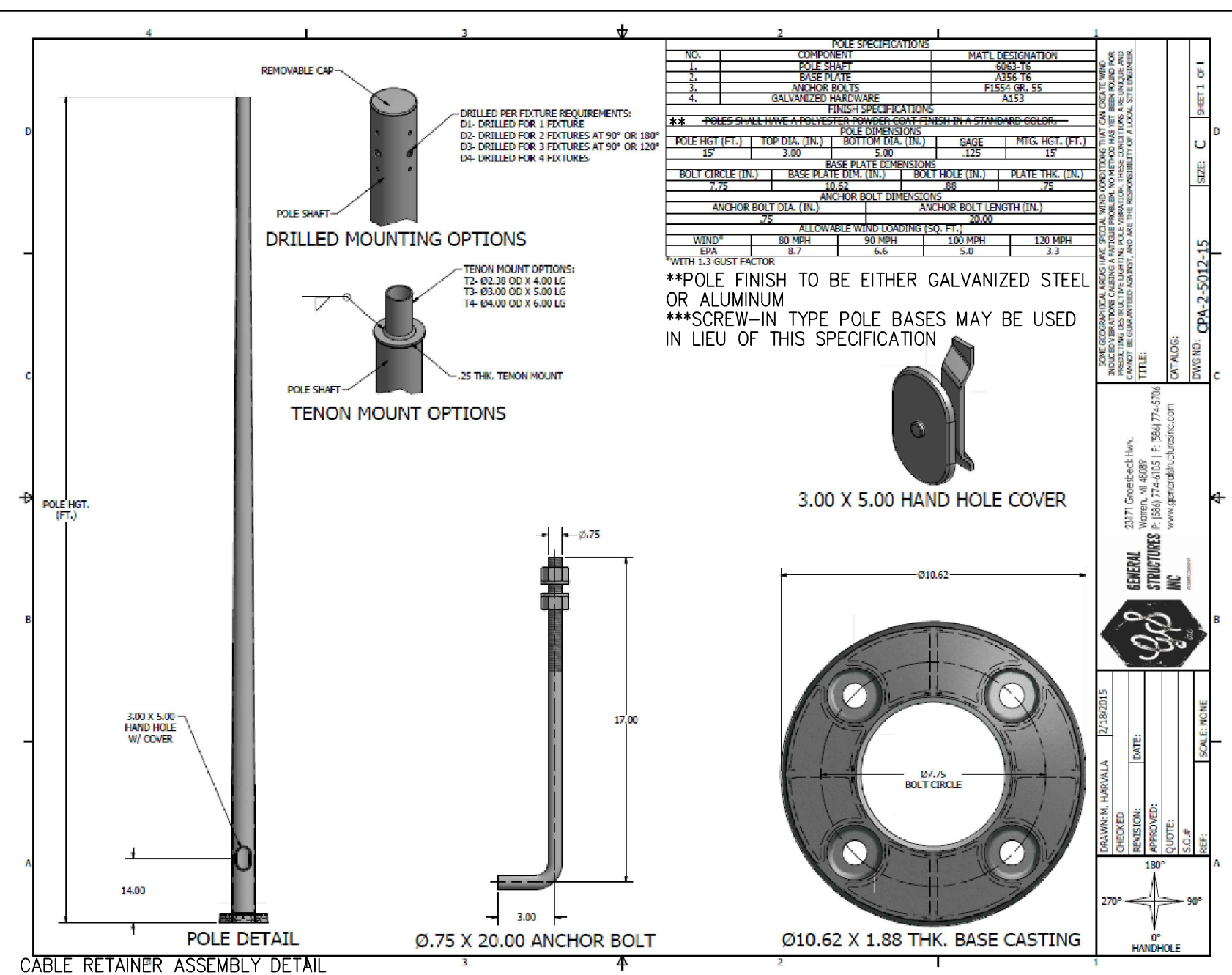
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ISSUE DATE: 06/11/2021  
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PHOTOMETRIC PLAN

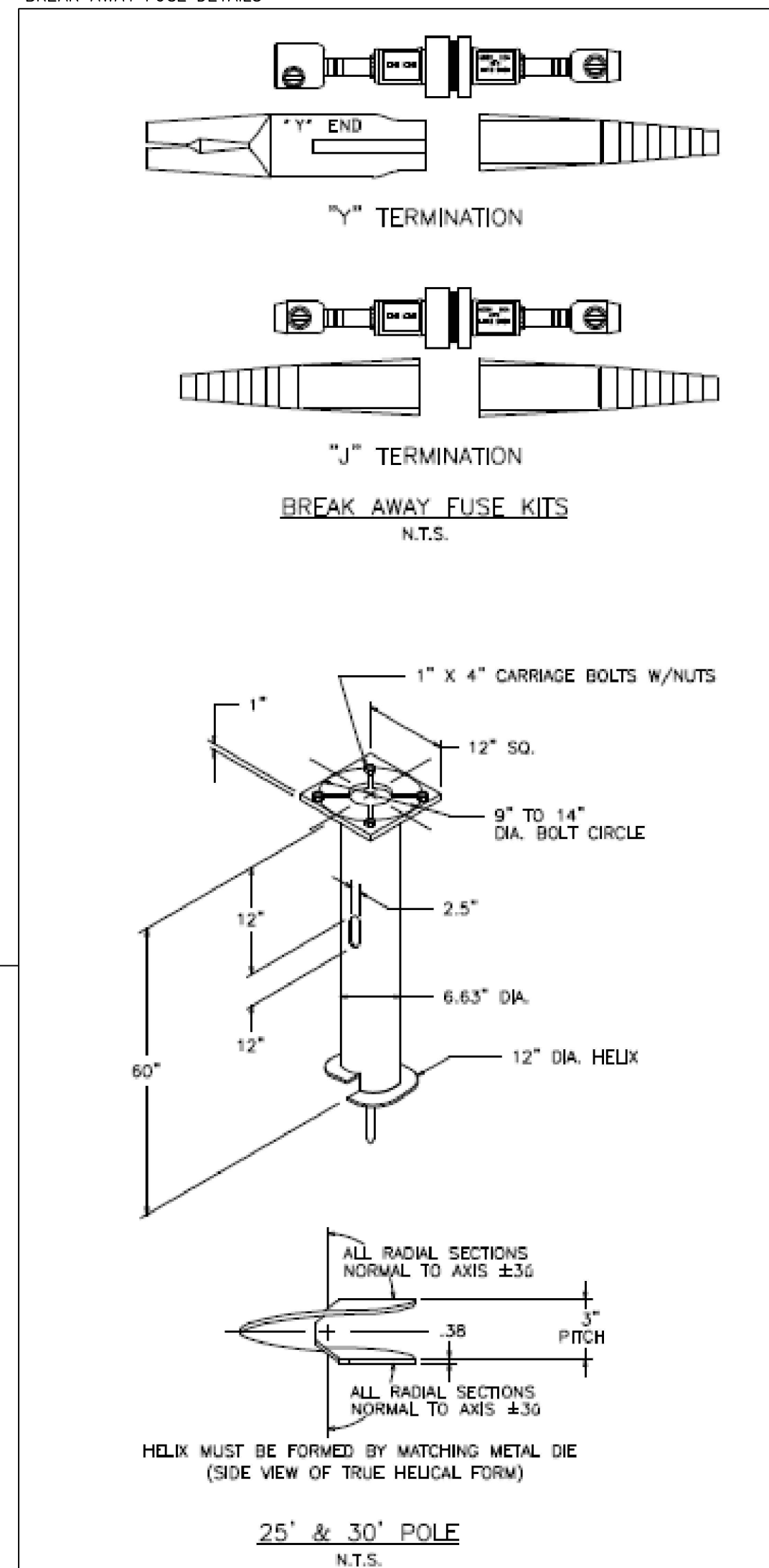
E-002



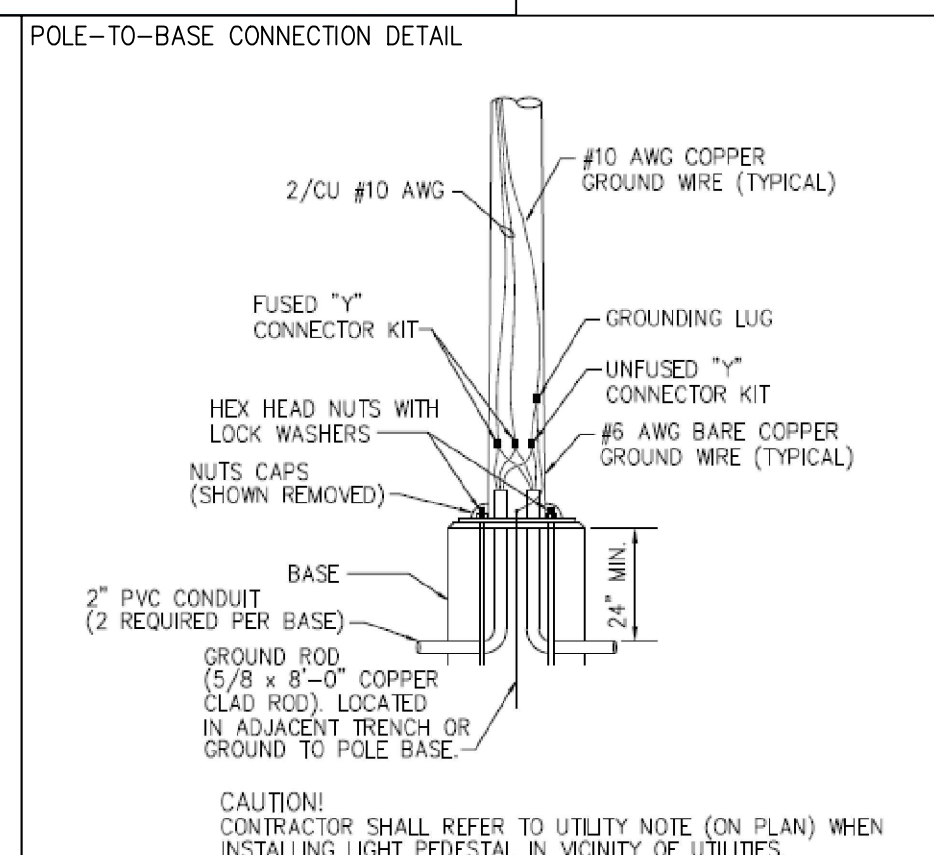
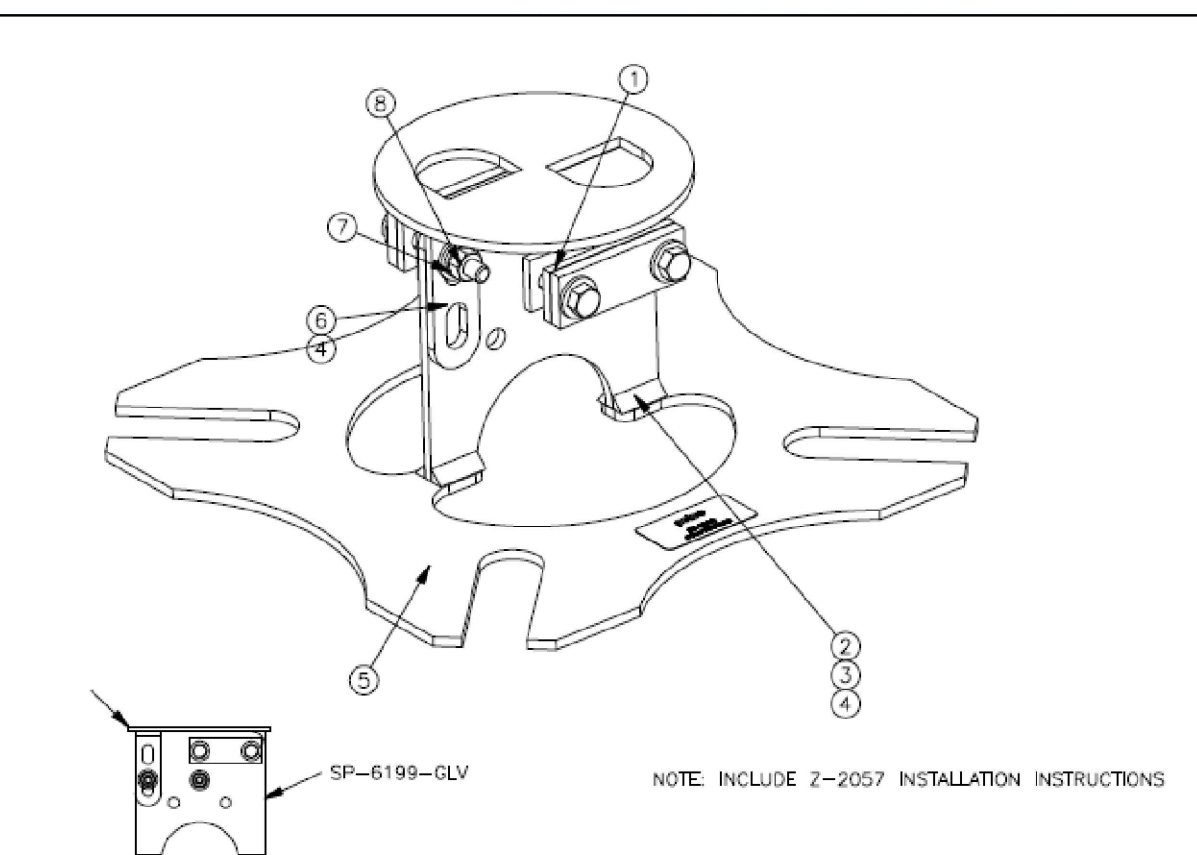
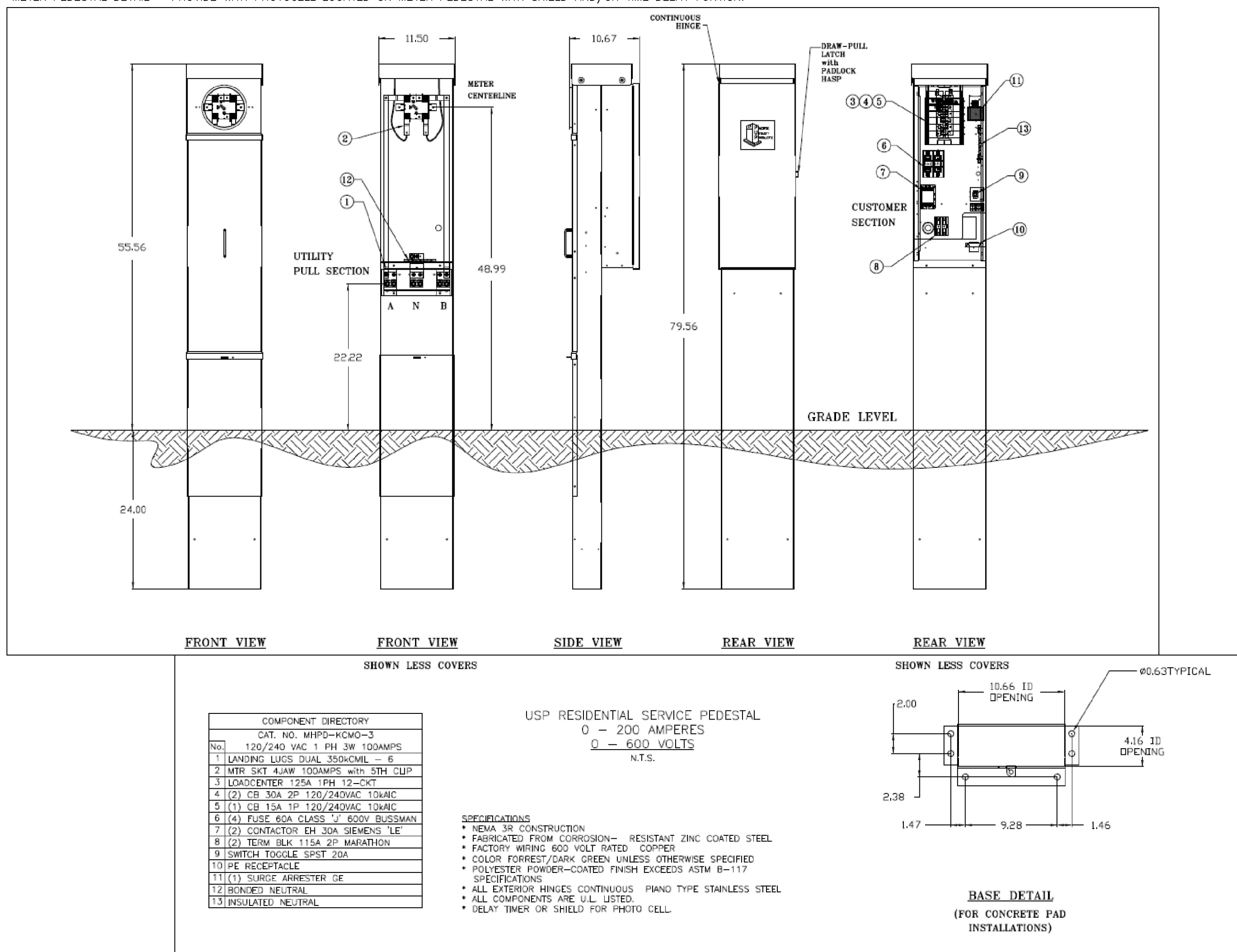
FIXTURE POLE SPECIFICATION



BREAK AWAY FUSE DETAILS

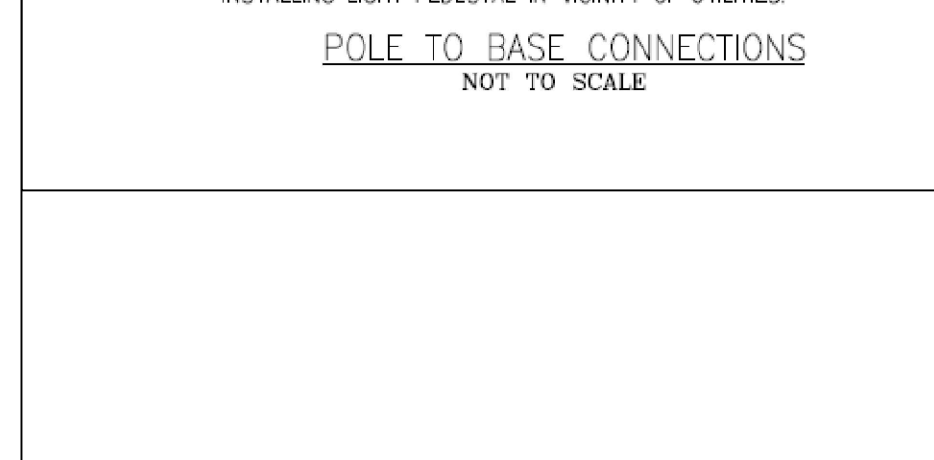


METER PEDESTAL DETAIL - PROVIDE WITH PHOTOCELL LOCATED ON METER PEDESTAL WITH SHIELD AND/OR TIME DELAY FUNCTION.



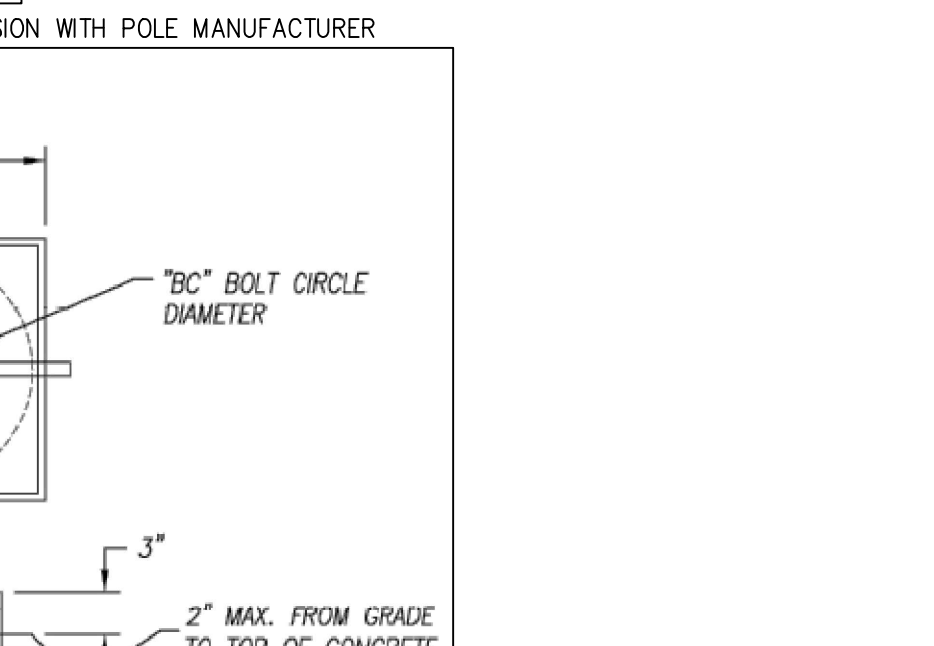
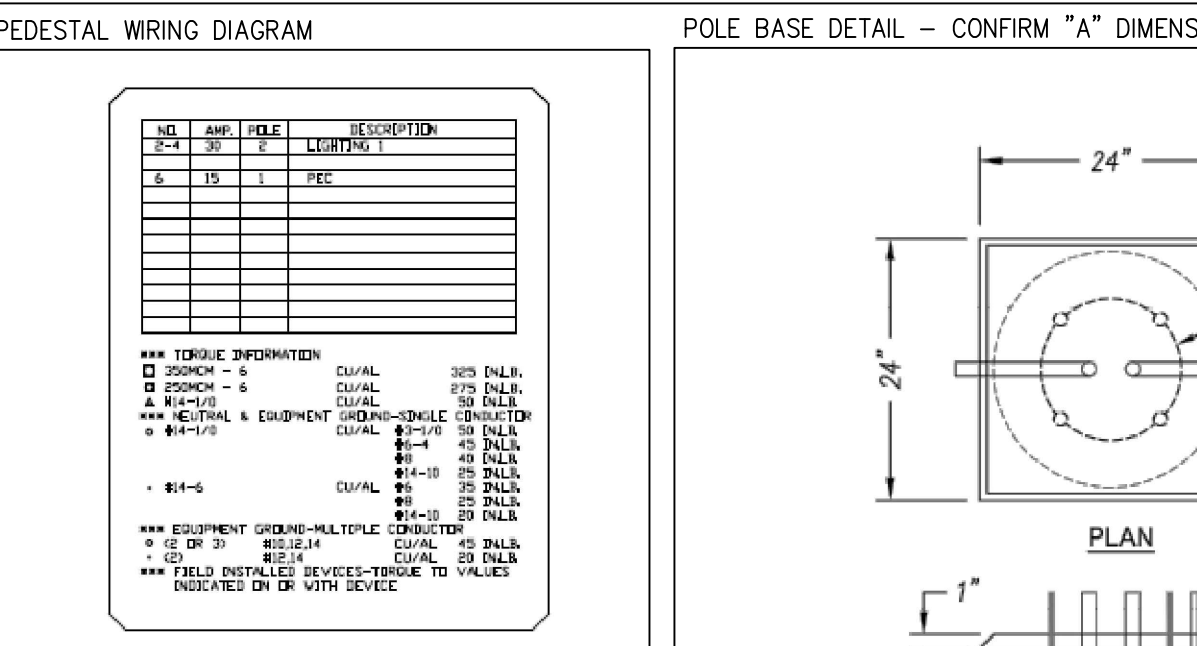
**CABLE RETAINER ASSEMBLY FOR 6" FOUNDATION ANCHOR**

ITEM	PART NUMBER	DESCRIPTION	QTY
1	SP-6199	WELDMENT, CABLE RETAINER ASSY, FOR 6" FOUNDATION ANCHOR, STEEL	1
2	FS-1001-SS	NUT, HEX 5/16" X 1/8" STAINLESS 304, W/FLAT	4
3	FS-4201-SS	WASHER, LOCK SP/UT, 5/16" STAINLESS	4
4	FS-4101-SS	WASHER, FLAT, 5/16" X .750" OD STAINLESS	8
5	CS-3140	LABEL, 1" X 2" CABLE RETAINER	1
6	FS-2016-SS	BOLT, HEX HD TAP, 5/16" X 2-1/4" STAINLESS	4
7	SP-6199-3	BAR, CABLE RETAINER ASSEMBLY, STEEL	2
8	SP-6199-4	PAD, CABLE RETAINER, 3/16" THICK, 90 DURO, RED URETHANE	4



**NOTES:**

1. FINISH: HOT DIP GALVANIZE PER ASTM-A153 (LATEST REVISION).
2. BASEPLATE TO BE PERPENDICULAR TO SHAFT AXIS (±1/8"±250) AND HOLE CENTERLINE CONCENTRIC (±1/8") TO SHAFT AXIS.
3. STENCIL MIN. 1/2 IN. LETTERS MANUFACTURER'S NUMBER AFTER GALVANIZING.
4. PILOT POINT AND SHAFT AXES TO BE CONCENTRIC (±.125 FM) AND IN LINE (±.2/100±250).
5. FLAME CUT SLOT PERPENDICULAR TO THE BASEPLATE.
6. PREHEAT, TUMBLEBLAST, HANDRING, AND CLEAN BASEPLATE, HELIX, AND PILOT POINT ON ALL WELDED AREAS.
7. FLAME CUT IRREGULARITIES PERMISSIBLE: (1) VALLEYS NOT TO EXCEED 3/32 IN. BELOW NOMINAL SURFACE LEVEL. (2) PEAKS OR POSITIVE IRREGULARITIES NOT TO EXCEED 1/32 IN. ABOVE NOMINAL SURFACE LEVEL OR INTERSECTIONS OF NOMINAL SURFACES.
8. MANUFACTURER TO HAVE IN EFFECT INDUSTRY RECOGNIZED WRITTEN QUALITY CONTROL FOR ALL MATERIALS AND MANUFACTURING PROCESSES.
9. ALL MATERIAL IS TO BE NEW, UNUSED AND MILL TRACEABLE MEETING THE FOLLOWING SPECIFICATIONS:



**BASEPLATE:** ASTM A36-(LATEST REVISION) HOT ROLLED STEEL PLATE. (CONFORM TO AASHTO TECH. BUL. #270)

**SHAFT:** STEEL PIPE PILES, SEAMLESS OR STRAIGHT WELDED, GRADE-2 PER ASTM A252.

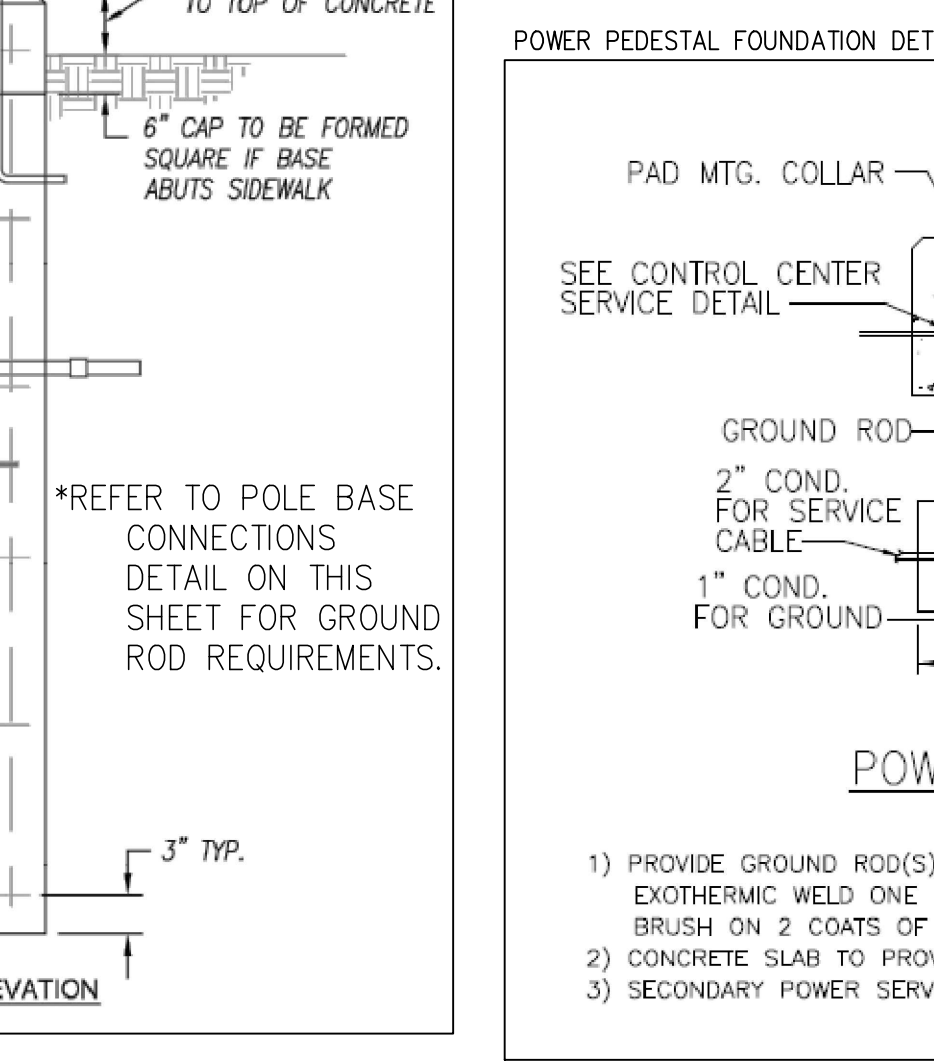
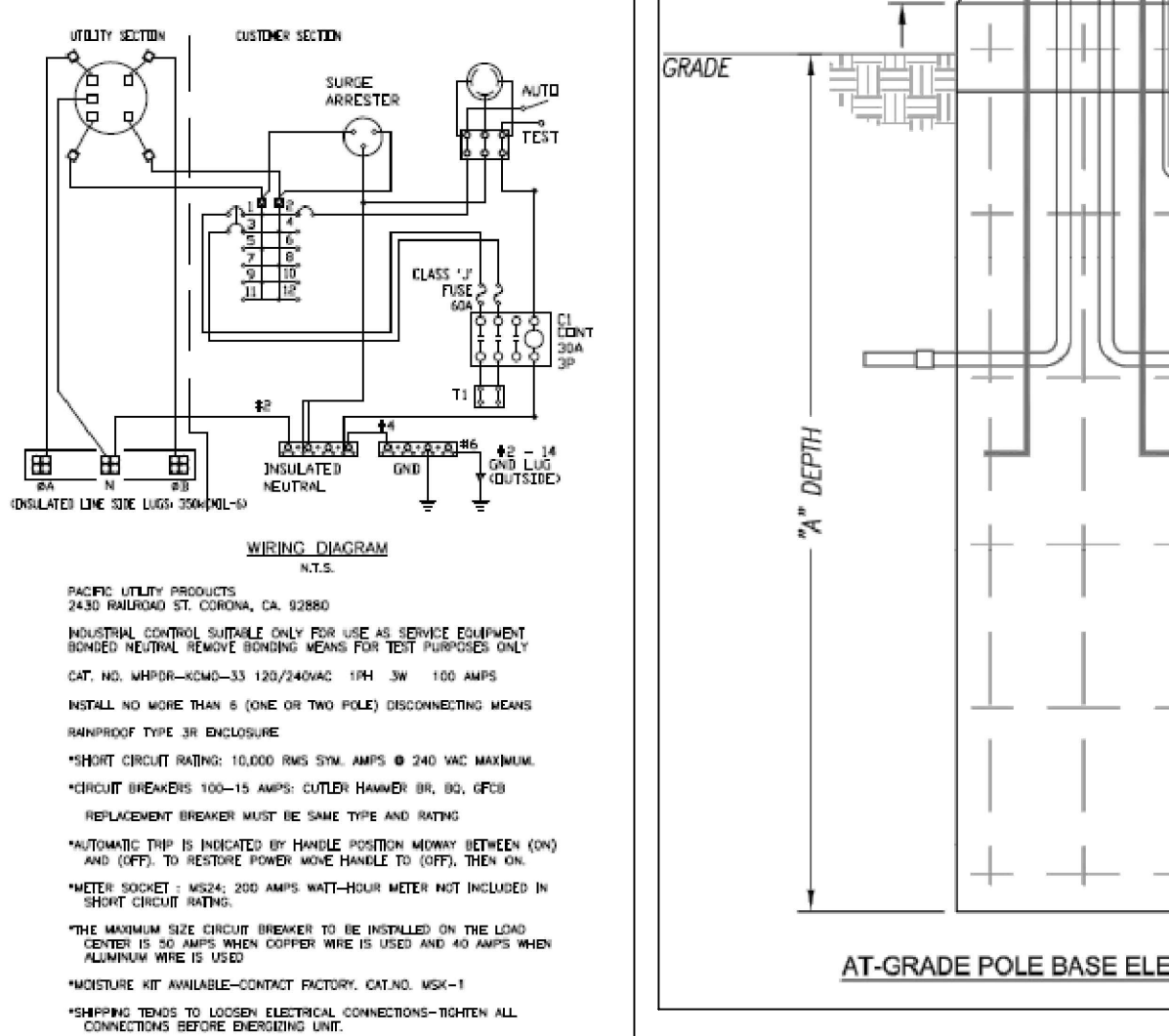
**ALT. MATERIAL:** STEEL PIPE TYPE E OR S, GRADE-B PER ASTM A53.

**HELIX:** ASTM A635 (LATEST REVISION) HOT ROLLED STEEL.

**PILOT POINT:** ASTM A575 (LATEST REVISION) STEEL BAR.

**BOLTS:** CARR BOLT PER ANSI B-18.2.1, SAE J429 GRADE-5.3

**10. BASEPLATE IS PERMANENTLY STAMPED WITH MANUFACTURER'S IDENTIFICATION "ABC" IN 1/2" LETTERS AND DATE CODE IN 1/4" LETTERS.**



**POWER PEDESTAL FOUNDATION**

**NOT TO SCALE**

1. PROVIDE GROUND ROD(S) AS REQUIRED FOR MAXIMUM OF 25 OHMS RESISTANCE TO GROUND. EXOTHERMIC WELD ONE END OF NO. 6 AWG GROUND CONDUCTOR TO THE GROUND ROD(S) AND BRUSH ON 2 COATS OF AN INSULATING VARNISH TO THE WELDED AREAS.
2. CONCRETE SLAB TO PROVIDE SEMI-DRY WORKING AREA IN FRONT OF CONTROLLER CABINET.
3. SECONDARY POWER SERVICE (DIRECT BURY) THRU CONTRACTOR INSTALLED 2" CONDUIT AND ELBOW.

SITE LIGHTING FIXTURE SPECIFICATIONS

**FIXTURE "W"**

**WDGE3 LED Architectural Wall Sconce**

**Specifications**

- Depth (D1): 1"
- Depth (D2): 9"
- Height: 13"
- Height H1: 7.12"
- Height H2: 3.1/2"
- Weight (max): 27 lbs

**WDGE LED Family Overview**

Luminaire	Standard (D1, D2)	Color Temp. (°C)	Finish	F1	F2	F3	F4	F5	F6
WDGE1 LED	4W	—	—	1,500	2,000	—	—	—	—
WDGE2 LED	10W	10W	Standard / Right	1,500	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	15W	Standard / Right	1,500	2,000	3,000	4,500	6,000	—
WDGE4 LED	—	—	Standard / Right	12,000	16,000	18,000	20,000	22,000	25,000

**Ordering Information**

**EXAMPLE: WDGE3 LED P3 40K 70CRI R3 M3VOLT SRM DBBXD**

Series	Package	Color Temperature	CRI	Distribution	Wetproof	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	M3VOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	340°	Shipped separately
	P3	50K 5000K	80CRI	R4 Type 4	480°	Shipped separately
	P4	50K 5000K	80CRI	R5 Forward throw	480°	Shipped separately

**Accessories**

- WDRM-DBBXD: WDGE3 Back Infrared Wall Sconce (Specify finish)
- WDRM-DBBXD-1: WDGE3 Back Infrared Wall Sconce (Specify finish)
- WDRM-DBBXD-2: WDGE3 Back Infrared Wall Sconce (Specify finish)

**Notes:**

1. 340° and 480° not available with WDRM-DBBXD.
2. R5 not available with WDRM-DBBXD.
3. DMG option not available with WDRM-DBBXD.
4. R5 not available with WDRM-DBBXD. Not available with emergency battery backup or sensor/occupancy.

FIXTURES "S1/S2/S3"

**FIXTURES "S1/S2/S3"**

**D-Series Size 1 LED Area Luminaire**

**Specifications**

- EPAL: 1.01 ft
- Length: 33"
- Width: 13"
- Height H1: 7.12"
- Height H2: 3.1/2"
- Weight (max): 27 lbs

**Ordering Information**

**EXAMPLE: DSX1 LED P7 40K T3M M3VOLT SPA NLTAR2 PIRNH DBBXD**

Series	LEDs	Color Temperature	Distribution	Wetproof	Mounting
DSX1 LED	P1	30K 3000K	T35 Type 1 short	T35V Type 1 very short	M3VOLT SPA
	P2	40K 4000K	T35 Type 1 short	T35V Type 1 very short	5077V-480V-110°
	P3	50K 5000K	T35 Type 1 short	T35V Type 1 very short	320°
	P4	50K 5000K	T35 Type 1 short	T35V Type 1 very short	208°
	P5	50K 5000K	T35 Type 1 short	T35V Type 1 very short	144°
	P6	50K 5000K	T35 Type 1 short	T35V Type 1 very short	90°
	P7	50K 5000K	T35 Type 1 short	T35V Type 1 very short	45°

**Control options**

- WDRM: High-End Generation 2 Enabled
- PER: Network, high-low motion/ambient sensor
- PRC: NEMA 4X back mount only (controls ambient sensor)
- PRC-1: High-Flow, motion/ambient sensor
- PRC-2: High-Flow, motion/ambient sensor
- PRC-3: High-Flow, motion/ambient sensor
- PRC-4: High-Flow, motion/ambient sensor
- PRC-5: High-Flow, motion/ambient sensor
- PRC-6: High-Flow, motion/ambient sensor
- PRC-7: High-Flow, motion/ambient sensor
- PRC-8: High-Flow, motion/ambient sensor
- PRC-9: High-Flow, motion/ambient sensor
- PRC-10: High-Flow, motion/ambient sensor
- PRC-11: High-Flow, motion/ambient sensor
- PRC-12: High-Flow, motion/ambient sensor
- PRC-13: High-Flow, motion/ambient sensor
- PRC-14: High-Flow, motion/ambient sensor
- PRC-15: High-Flow, motion/ambient sensor
- PRC-16: High-Flow, motion/ambient sensor
- PRC-17: High-Flow, motion/ambient sensor
- PRC-18: High-Flow, motion/ambient sensor
- PRC-19: High-Flow, motion/ambient sensor
- PRC-20: High-Flow, motion/ambient sensor
- PRC-21: High-Flow, motion/ambient sensor
- PRC-22: High-Flow, motion/ambient sensor
- PRC-23: High-Flow, motion/ambient sensor
- PRC-24: High-Flow, motion/ambient sensor
- PRC-25: High-Flow, motion/ambient sensor
- PRC-26: High-Flow, motion/ambient sensor
- PRC-27: High-Flow, motion/ambient sensor
- PRC-28: High-Flow, motion/ambient sensor
- PRC-29: High-Flow, motion/ambient sensor
- PRC-30: High-Flow, motion/ambient sensor
- PRC-31: High-Flow, motion/ambient sensor
- PRC-32: High-Flow, motion/ambient sensor
- PRC-33: High-Flow, motion/ambient sensor
- PRC-34: High-Flow, motion/ambient sensor
- PRC-35: High-Flow, motion/ambient sensor
- PRC-36: High-Flow, motion/ambient sensor
- PRC-37: High-Flow, motion/ambient sensor
- PRC-38: High-Flow, motion/ambient sensor
- PRC-39: High-Flow, motion/ambient sensor
- PRC-40: High-Flow, motion/ambient sensor
- PRC-41: High-Flow, motion/ambient sensor
- PRC-42: High-Flow, motion/ambient sensor
- PRC-43: High-Flow, motion/ambient sensor
- PRC-44: High-Flow, motion/ambient sensor
- PRC-45: High-Flow, motion/ambient sensor
- PRC-46: High-Flow, motion/ambient sensor
- PRC-47: High-Flow, motion/ambient sensor
- PRC-48: High-Flow, motion/ambient sensor
- PRC-49: High-Flow, motion/ambient sensor
- PRC-50: High-Flow, motion/ambient sensor
- PRC-51: High-Flow, motion/ambient sensor
- PRC-52: High-Flow, motion/ambient sensor
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- PRC-76: High-Flow, motion/ambient sensor
- PRC-77: High-Flow, motion/ambient sensor
- PRC-78: High-Flow, motion/ambient sensor
- PRC-79: High-Flow, motion/ambient sensor
- PRC-80: High-Flow, motion/ambient sensor
- PRC-81: High-Flow, motion/ambient sensor
- PRC-82: High-Flow, motion/ambient sensor
- PRC-83: High-Flow, motion/ambient sensor
- PRC-84: High-Flow, motion/ambient sensor
- PRC-85: High-Flow, motion/ambient sensor
- PRC-86: High-Flow, motion/ambient sensor
- PRC-87: High-Flow, motion/ambient sensor
- PRC-88: High-Flow, motion/ambient sensor
- PRC-89: High-Flow, motion/ambient sensor
- PRC-90: High-Flow, motion/ambient sensor
- PRC-91: High-Flow, motion/ambient sensor
- PRC-92: High-Flow, motion/ambient sensor
- PRC-93: High-Flow, motion/ambient sensor
- PRC-94: High-Flow, motion/ambient sensor
- PRC-95: High-Flow, motion/ambient sensor
- PRC-96: High-Flow, motion/ambient sensor
- PRC-97: High-Flow, motion/ambient sensor
- PRC-98: High-Flow, motion/ambient sensor
- PRC-99: High-Flow, motion/ambient sensor
- PRC-100: High-Flow, motion/ambient sensor

**POWELL C W M**

ARCHITECTURE/ENGINEERING/SURVEYING

3200 S. State Route 291, Bldg. 1, Independence, MO 64057

816.373.4800 | powellcwm.com

Client: DAVID WARD WARD DEVELOPMENT 1120 EAGLE RIDGE BLVD GRAIN VALLEY, MO 64029 david@safetyminstorage.com

MEP ENGINEER: JSC ENGINEERS

Professional Engineer: AUSTIN R. SMOTHERS

09-24-2021

**LOT 10 LAKEWOOD BUSINESS PARK**

**LOT 10 I-470 BUSINESS PARK**

**LEE'S SUMMIT, MO 64064**

REVISIONS:

NO.	DATE / DESCRIPTION
1.	09-24-2021 / PHOTOMETRIC PLAN

PROJECT #: 21-049

ISSUE DATE: 06/11/2021

ISSUED FOR: PERMIT

PHOTOMETRIC PLAN

E-003