

DWG: F:\2019\4001-4500\019-4061\40-Design\AutoCAD\Final Plans\As-Built\Sheets\GNCV\Street and Storm Plans\C_STM03_0194061.dwg
DATE: Sep 16, 2021 8:46am
XREFS: C_PBLK_0194061_34x22 C_PBND_0194061 C_XBASE_0194061 C_PEND_0194061 C_PSTRM_0194061 C_PUTIL_0194061 C_FBASE_0194061 C_PUTIL_0194061 C_PSTRM_0194061

LEGEND	
	100 FINISHED INDEX CONTOURS
	100 FINISHED INTERMEDIATE CONTOURS
	RIDGE LINE
	DRAINAGE AREA
	RUNOFF COEFFICIENT
	STORM STRUCTURE NUMBER

NOTES:

MBOE - MINIMUM BUILDING OPENING ELEVATION

NOTES:
1. INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOTS, AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

2. PLAT IS LOCATION IN ZONE X, "AREAS OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAINS, AREAS OF 1-PERCENT ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1-PERCENT ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE"

3. PLAT IS LOCATED OUTSIDE OF ANY REQUIRED BUFFER ZONES FOR NATURAL STREAMS.

4. MBOE ELEVATIONS HAVE BEEN PROVIDED AT EACH LOT CORNER. INTERPOLATION WILL BE ALLOWED BETWEEN THE RIGHT AND LEFT SIDE MBOE'S SHOWN ON THE MASTER DRAINAGE PLAN, DEPENDING ON THE LOCATION OF THE LOWEST OPENING ON THE PROPOSED STRUCTURE.

5. REFER TO SHEET C105-C109 FOR SWALE GRADING DETAILS.

6. DRAINAGE PATHS TO BE CONSTRUCTED BETWEEN EACH OF THE LOTS LABELED AS STANDARD LOTS TO DRAIN WEST.

7. NO BUILDING PERMITS WILL BE ISSUED UNTIL AN AS-GRADED MASTER DRAINAGE PLAN HAS BEEN SUBMITTED TO THE CITY AND APPROVED BY THE CITY.

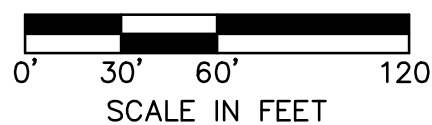
BASEMENT TYPES

- (S) STANDARD
- (D) DAYLIGHT
- (WO) WALK-OUT

AS-BUILT

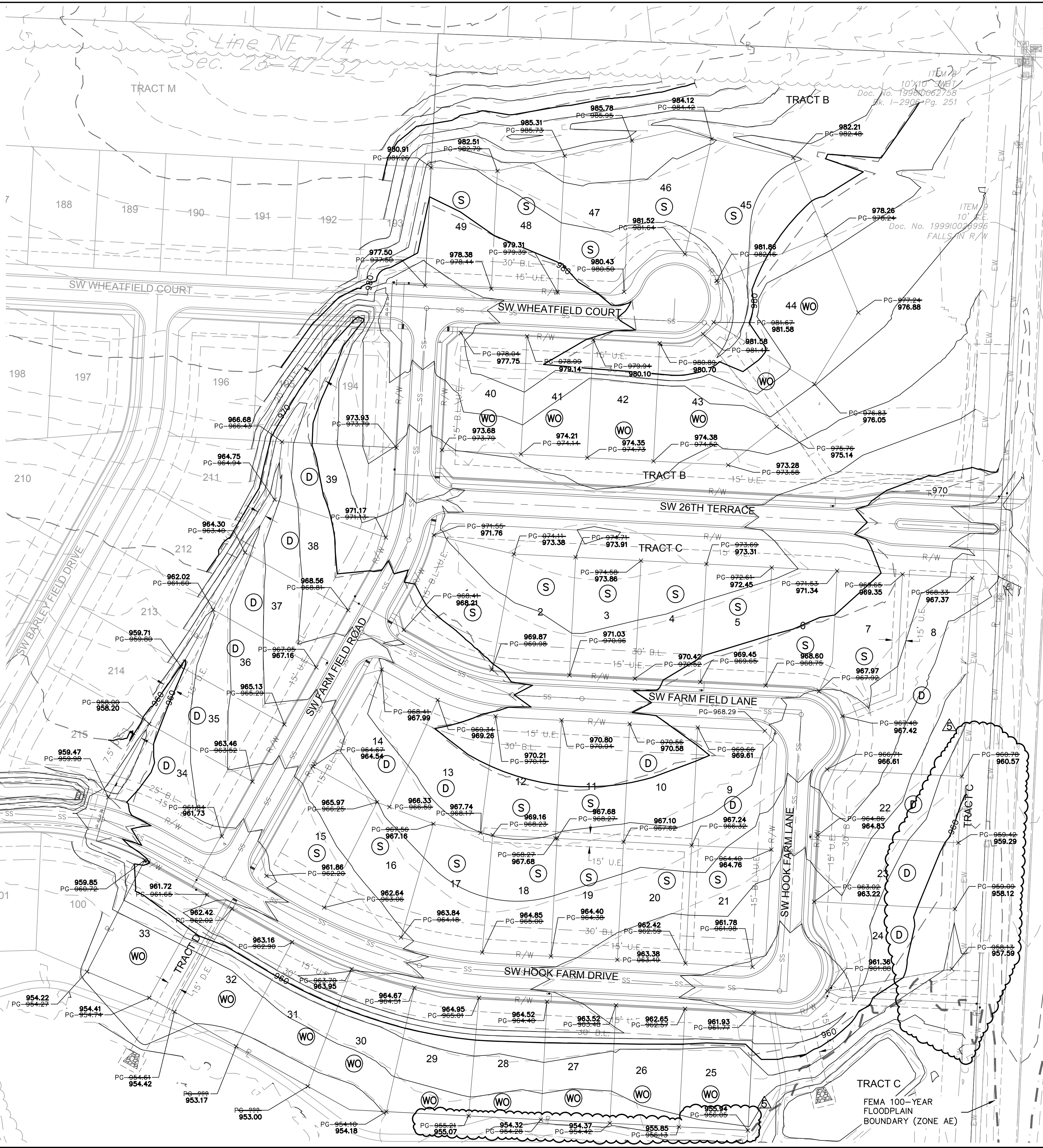
DATE: 21-08-04

N

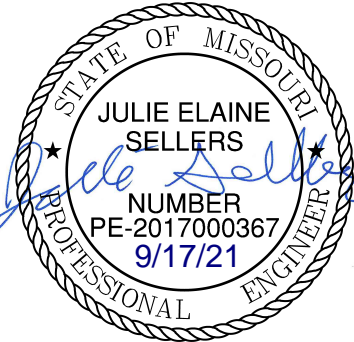


Hook Farms 1st Plat As-Built				
Minimum Building Opening Elevation				
Lot	Rear Left MBOE	Rear Right MBOE	Front Left MBOE	Front Right MBOE
24	958.72	955.98	963.60	961.77
25	955.98	956.45	962.21	962.87
26	956.45	954.97	962.87	964.04
27	954.97	954.92	964.04	964.99
28	954.92	955.67	964.99	965.62
29	955.67	954.78	965.62	965.08
30	954.78	953.60	965.08	964.28
31	953.60	953.77	964.28	963.52
32	953.77	955.02	963.52	962.34
33	955.02	954.82	962.30	961.28
34	960.45	960.21	961.41	964.14
35	960.21	961.72	964.14	965.96
36	961.72	964.03	965.96	967.67
37	964.03	966.22	967.67	969.40
38	966.22	966.69	969.40	971.68
39	966.69	968.42	971.68	974.34

MBOE elevations have been provided per lot lines, facing the lot from the street. Interpolation will be allowed between the right and left side MBOE's provided, depending on the location of the lowest opening on the proposed structure.



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BY		REVISIONS	
REV. NO.	DATE	REVISIONS DESCRIPTION	DATE
1	06/15/2020	REVISED PER CITY COMMENTS	06/15/2020
2	06/25/2020	REVISED PER CITY COMMENTS	06/25/2020
3	09/10/2020	REVISED PER CITY COMMENTS	09/10/2020
4	10/01/2020	REVISED PER CITY COMMENTS	10/01/2020
5	11/18/2020	REVISED PER CITY COMMENTS	11/18/2020
6	02/17/2021	REVISED PER CITY COMMENTS	02/17/2021
7	03/12/2021	REVISED PER CITY COMMENTS	03/12/2021
8	05/18/2021	REVISED PER CITY COMMENTS	05/18/2021

MASTER DRAINAGE PLAN
STREET AND STORM SEWER PLANS

HOOK FARMS
FIRST PLAT

LEE'S SUMMIT, MO

drawn by: CGW
checked by: JES
approved by: NDH
QA/QC by: JES
project no.: 019-4061
drawing no.:
date: 04/20/2020

SHEET
C137

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