



August 23, 2021

City of Lee's Summit
Development Services
220 SE Green St.
Lee's Summit, MO 64063

RE: Hook Farms Subdivision Amenities Resubmittal

Thank you for your review and comments regarding the first Hook Farms Subdivision Amenities submittal. The revised plans are attached to this submittal. The following are the City's comments dated June 18, 2021 from staff review. Olsson's responses are in RED text.

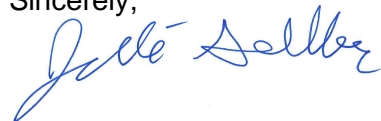
Required Corrections:

- **Fire Review:**
 - Comment: All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.
 - **Acknowledged.**
- **Planning Review:**
 - Comment: Deciduous trees shall be a minimum of three-inch caliper, measured at a point 6 inches above the ground or top of the root ball, at planting. Evergreen trees shall be a minimum height of eight feet at planting. Please update the plan sheets to meet this UDO requirement.
 - **We have verified that the deciduous trees planted on site will be 3 inch caliper and the evergreen trees will be a minimum height of 8 feet at planting.**
 - Comment: Light fixtures on properties within residential districts shall not exceed 15'. Please update the plan sheets to meet this UDO requirement.
 - **Updated light pole detail for 13' poles on a 2' base.**
- **Engineering Review:**
 - Comment: The trail that connects Wheatfield court to the proposed private sidewalk was previously shown as proposed, but appears to be shown as existing on the most recent site plan sheet. Revise/clarify as applicable.
 - **The trail should be shown as proposed and has been updated accordingly. The trail will be installed with the pool plat.**
 - Comment: Inflow elevation at Drain Basin 1-3, from the western direction, must be at least 0.5' higher than the outflow elevation at the storm structure. Revise accordingly on the two (2) storm sewer profile views.
 - **The pipe invert has been revised on both profile views.**
 - Comment: W1 leader appears to be pointing at the wrong location on the utility plan view. Relocate to the right location.
 - **W1 leader has been fixed.**

- Comment: Revise < 8"X2" TEE > to < 2" TAP CONNECTION >, on the utility plan view. (Connections 2" and smaller are performed by a corporation valve installed in the main by the Water Department.)
 - The connection note has been revised.
- Comment: J-hooks along the eastern silt fence barrier must face uphill in order to trap sediments during heavy rain events. Revise accordingly on the ESC plan sheet.
 - J-hook directions have been revised along the east side.
- Comment: Regarding landscape, staff recommends maintaining a 5 -7 feet minimum horizontal separation between the edge of overstory tree and the edge of storm line in order to prevent tree roots from growing into the utility pipe.
 - Overstory trees will be planted at least 5-7 feet away from adjacent storm sewer line as reflected on landscape plan.
- Comment: Please provide an Engineer's Opinion of Probable Construction Cost (EOOPCC) sheet, for the civil site work expected to occur on-site.
 - EOOPCC provided.
- **Building Codes Review:**
 - Comment: Site lighting design is incomplete. Action required: Provide complete lighting design including all circuitry and light pole bases. (light pole base shown is not sufficient) 6/11/21 - deferred to building permit submittals
 - Updated drawing set to include circuiting. Light pole base detail was updated.
 - Comment: Unified Development Ordinance Article 8, Section 8.180.F Ground mounted equipment – Ground mounted equipment shall be totally screened from view by landscaping or masonry wall up to a height of the units to be screened. Action required: Make needed corrections to drawings that provide details as to how mechanical equipment will be screened from all 4 sides per referenced UDO section. (new building has pitched roof that will not allow roof mounted and parapet protected hvac so the assumption is their will be ground mounted condensing units) 6/11/21 - per Olsson - pool equipment will be interior & there is no A/C for building.
 - Landscape plans have been revised to show the screening of all ground mounted mechanical equipment.

Thank you for your review of our plans. If there are any questions, please contact me at (816) 442-6044 or jsellers@olsson.com.

Sincerely,



Julie Sellers, P.E.
Olsson