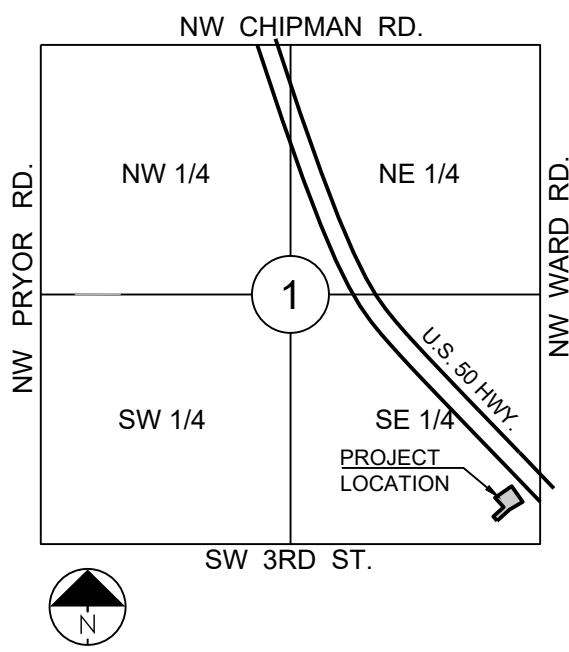


- ACCESS EASEMENT
- BACK OF CURB
- BACK TO BACK
- BENCHMARK
- BUILDING LINE
- CLEANOUT
- TELEPHONE JUNCTION BOX
- CURB AND GUTTER
- DRAINAGE EASEMENT
- ELECTRICAL EASEMENT
- ELEVATION
- FLOW LINE
- GAS LINE EASEMENT
- HIGH-DENSITY POLYETHYLENE
- LANDSCAPE EASEMENT
- MINIMUM SERVICEABLE FLOOR ELEVATION
- POLYVINYL CHLORIDE
- PROPERTY LINE
- PUBLIC EASEMENT
- REINFORCED CONCRETE PIPE
- RIGHT-OF-WAY
- SANITARY SEWER EASEMENT
- SERVICE LINE
- SIDEWALK
- TOP ELEVATION
- UTILITY EASEMENT
- WATER SURFACE ELEVATION
- WATERLINE EASEMENT



SECTION 1-47-32  
**LOCATION MAP**  
SCALE 1" = 2000'

MISSOURI DEPARTMENT OF  
TRANSPORTATION (MODOT)

Steve Holloway  
600 NE Colbern Road  
Lee's Summit, MO 64086  
(816) 607-2186

Brent Jones  
3025 SE Clover Drive  
Lee's Summit, MO 64082  
(816) 399-9633  
brent.jones@spireenergy.

**EVERGY (formerly KCP&L)**  
Ron DeJarnette  
1300 SE Hamblin Road  
Lee's Summit, MO 64081  
Office: (816) 347-4316  
Cell: (816) 810-5234  
[ron.dejarnette@evergy.com](mailto:ron.dejarnette@evergy.com)

Michael Park  
220 SE Green Street  
Lee's Summit, MO 64063  
(816) 969-1800  
michael.park@cityofls.net

Mark Manion or Marty Lopez  
500 E. 8th Street, Room 300  
Kansas City, MO 64106  
(816) 275-2341 or (816) 275-2342

Barbara Brown  
3400 W. Duncan Road  
Blue Springs, MO 64015  
(816) 795-2255

Mark Schaufler  
220 SE Green Street  
Lee's Summit, MO 64063  
(816) 969-1900



# FINAL DEVELOPMENT PLAN FOR SOUTH LEE'S SUMMIT CMG SHELL

## IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MISSOURI

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C4.1	SITE UTILITY DETAILS
C5.0	MISC. SITE DETAILS
C5.1	CITY STANDARD DETAILS
L1.0	LANDSCAPE PLAN

1. IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER OBSERVE AND DOCUMENT ALL EARTHWORK ACTIVITIES.
2. CONTOURS HAVE BEEN SHOWN AT 1-FOOT OR 2-FOOT INTERVALS, AS INDICATED. GRADING SHALL CONSIST OF COMPLETING THE EARTHWORK REQUIRED TO BRING THE PHYSICAL GROUND ELEVATIONS OF THE EXISTING SITE TO THE FINISHED GRADE (OR SUB-GRADE) ELEVATIONS PROVIDED ON THE PLANS AS SPOT GRADES, CONTOURS OR OTHERS MEASURED AS INDICATED ON THE PLANS.
3. THE EXISTING SITE TOPOGRAPHY DEPICTED ON THE PLANS BY CONTOURING HAS BEEN ESTABLISHED BY AERIAL PHOTOGRAPHY AND FIELD VERIFIED BY G.P.S. OBSERVATION NEAR JULY 18TH, 2016. THE CONTOUR ELEVATIONS PROVIDED MAY NOT BE EXACT GROUND ELEVATIONS, BUT RATHER INTERPRETATIONS OF SUCH. ACCURACY SHALL BE CONSIDERED TO BE SUCH THAT NOT MORE THAN 10 PERCENT OF SPOT ELEVATION CHECKS SHALL BE IN ERROR BY MORE THAN ONE-HALF THE CONTOUR INTERVAL PROVIDED, AS DEFINED BY THE NATIONAL MAP ACCURACY STANDARDS. ANY QUANTITIES PROVIDED FOR EARTHWORK VOLUMES ARE ESTABLISHED USING THIS TOPOGRAPHY CONTOUR ACCURACY, AND THEREFORE THE INHERENT ACCURACY OF ANY EARTHWORK QUANTITY IS ASSUMED FROM THE TOPOGRAPHY ACCURACY.
4. PROPOSED CONTOURS ARE TO APPROXIMATE FINISHED GRADE.
5. UNLESS OTHERWISE NOTED, PAYMENT FOR EARTHWORK SHALL INCLUDE BACKFILLING OF THE CURB AND GUTTER, SIDEWALK AND FURTHER MANIPULATION OF UTILITY TRENCH SPOILS. THE SITE SHALL BE LEFT IN A MOWABLE CONDITION AND POSITIVE DRAINAGE MAINTAINED THROUGHOUT.
6. UNLESS OTHERWISE NOTED, ALL EARTHWORK IS CONSIDERED UNCLASSIFIED. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ROCK OR SHALE EXCAVATION, UNLESS SPECIFICALLY STATED OTHERWISE.
7. PRIOR TO EARTHWORK ACTIVITIES, PRE-DISTURBANCE EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE PER THE STORM WATER POLLUTION PREVENTION PLAN AND/OR THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THIS SITE.
8. ALL TOPSOIL SHALL BE STOCKPILED IN AREAS TO BE GRADED AND STOCKPILED ADJACENT TO THE SITE AT AN AREA SPECIFIED BY THE PROJECT OWNER OR HIS APPOINTED REPRESENTATIVE. VEGETATION, TRASH, TREES, BRUSH, TREE ROOTS AND LIMBS, ROCK FRAGMENTS GREATER THAN 6-INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE OR AS DIRECTED BY THE OWNER OR HIS APPOINTED REPRESENTATIVE.
9. UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT, ALL FILLS SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (ASTM D 1557/ASTM 698).
10. SUBGRADE FOR PAVEMENTS SHALL BE PROOF-ROLLED PRIOR TO PAVING OPERATIONS UTILIZING A FULLY LOADED HEAVY AXLE DUMP TRUCK. ALL AREAS EXHIBITING EXCESSIVE PUMPING AND HEAVING SHALL BE REMOVED, FILLED AND COMPACTED WITH SUITABLE MATERIALS AND RETESTED UNTIL ACCEPTABLE RESULTS ARE ACHIEVED AND FINAL APPROVAL HAS BEEN OBTAINED FROM THE GEOTECHNICAL ENGINEER.
11. SUBGRADE FOR BUILDING PAD SHALL INCLUDE A MINIMUM OF 18-INCHES OF LOW VOLUME CHANGE (LVC) MATERIAL, OR AS IDENTIFIED IN THE SITE SPECIFIC GEOTECHNICAL REPORT.
12. FILL MATERIALS SHALL BE PER GEOTECHNICAL REPORT AND SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR TOPSOIL. ALL FILLS PLACED ON SLOPES GREATER THAN 6:1 SHALL BE BENCHED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING THE TOPSOIL OVER PROPOSED TURF AND LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6-INCHES BELOW FINAL GRADE.
14. ALL FILL SHALL BE GRADED FOR POSITIVE DRAINAGE. UNLESS NOTED OTHERWISE THE FOLLOWING GRADES SHALL APPLY:
  - A. TURF AREAS – 2.5% MINIMUM, 4H:1V MAXIMUM
  - B. PAVED AREAS – 1.2% MINIMUM, 5% MAXIMUM
15. A.D.A. PARKING STALLS SHALL NOT BE SLOPED GREATER THEN 2% IN ANY DIRECTION AND CONSTRUCTED PER A.D.A. REQUIREMENTS.
16. ALL DISTURBED AREAS SHALL BE FERTILIZED, SEEDED AND MULCHED IMMEDIATELY AFTER EARTHWORK ACTIVITIES HAVE CEASED. SEEDING SHALL BE PER THE EROSION AND SEDIMENT CONTROL PLAN AND/OR LANDSCAPE PLAN. IF NOT SPECIFIED SEEDING SHALL BE PER APCA SECTION 2400, LATEST EDITION. UNLESS OTHERWISE NOTED, SEEDING SHALL BE SUBSIDIARY TO THE CONTRACT PRICE FOR EARTHWORK AND GRADING ACTIVITIES.
17. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SODDED.
18. UNDERDRAINS ARE RECOMMENDED FOR ALL PAVED AREAS ADJACENT TO IRRIGATED TURF AND LANDSCAPED BEDS.

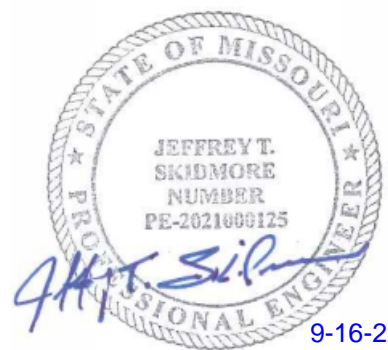
1. EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL VERIFY FLOW-LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE STRUCTURES.
4. UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, CONCRETE ENCASEMENT OF THE SANITARY OR STORM SEWER LINE SHALL BE REQUIRED 10 FEET IN EACH DIRECTION OF THE CONFLICT.
5. PAYMENT FOR EXCAVATION, BACKFILLING, FILL EMBEDMENT, FLOWABLE FILL, BACKFILL MATERIALS, CLEAN UP, STRENGTHENING, SODDING AND ANY OTHER ITEMS NECESSARY FOR THE CONSTRUCTION OF THE UTILITY LINE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48-HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
7. TRENCH SPOILS SHALL BE NEATLY PLACED ONSITE ADJACENT TO THE TRENCH, AND COMPACTED TO SATURATE THE SUBGRADE. EXCESS SEDIMENT, UNSUITABLE MATERIALS, EXCESS ROCK AND SHALE, ASPHALT, CONCRETE, TREES, BRUSH ETC. SHALL BE PROPERLY DISPOSED OF OFFSITE. MATERIALS MAY BE WASTED ONSITE AT THE DIRECTION OF THE OWNER OR HIS APPOINTED REPRESENTATIVE.

1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
4. NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
5. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC." 1-800-DIGS-RIE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
7. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
8. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
9. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
10. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
11. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
12. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASED OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
13. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
14. SUBGRADE SOIL FOR ALL CONCRETE STRUCTURES, REGARDLESS OF THE TYPE OR LOCATION, SHALL BE FIRM, DENSE AND THOROUGHLY COMPACTED AND CONSOLIDATED; SHALL BE FREE FROM MUCK AND MUD; AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET OF THE WORKMEN OR MACHINERY ENGAGED IN SUBGRADE SURFACING, LAYING REINFORCING STEEL, AND DEPOSITING CONCRETE THEREON. THERE SHALL BE NO SUBSIDY OR MUCKY OR WORKS INTO MUD OR MUCK DURING SUCH OPERATIONS. A SEAL COURSE OF EITHER CONCRETE OR ROCK SHALL BE PLACED BELOW SUBGRADE TO PROVIDE A FIRM BASE FOR WORKING AND FOR PLACING THE FLOOR SLAB.
15. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR LAND DISTURBANCE WORK AT (816) 969-1200.
16. THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
17. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO INSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
18. ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL, INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAN.

1. REFER TO GEOTECHNICAL REPORT FOR ALL COMPACTION REQUIREMENTS AND ASPHALT AND CONCRETE RECOMMENDED THICKNESS AND SUBGRADE TREATMENTS.
2. RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
3. PRIOR TO PLACEMENT OF PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
4. ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND THE GEOTECHNICAL REPORT.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELCLASSOCIATES.COM  
Kansas State Certificates of Authority  
#E-296 #L-A-29 #L-S-4

PREPARED BY:



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SCHLAGEL & ASSOCIATES, P.A.

LSPH INVESTORS, LLC (C/O BENSONMETHOD)  
ATTN: MICHELLE KAISER  
7939 FLOYD STREET  
OVERLAND PARK, KANSAS 66204  
p (913) 223-6611  
f -  
MKAISER@BENSONMETHOD.COM

SOUTH LEE'S SUMMIT CMG SHELL  
FINAL DEVELOPMENT PLAN  
1103 SW OLDHAM PKWY LEE'S SUMMIT,  
MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
###	A 9/15/2021	City Planning - FDP Review
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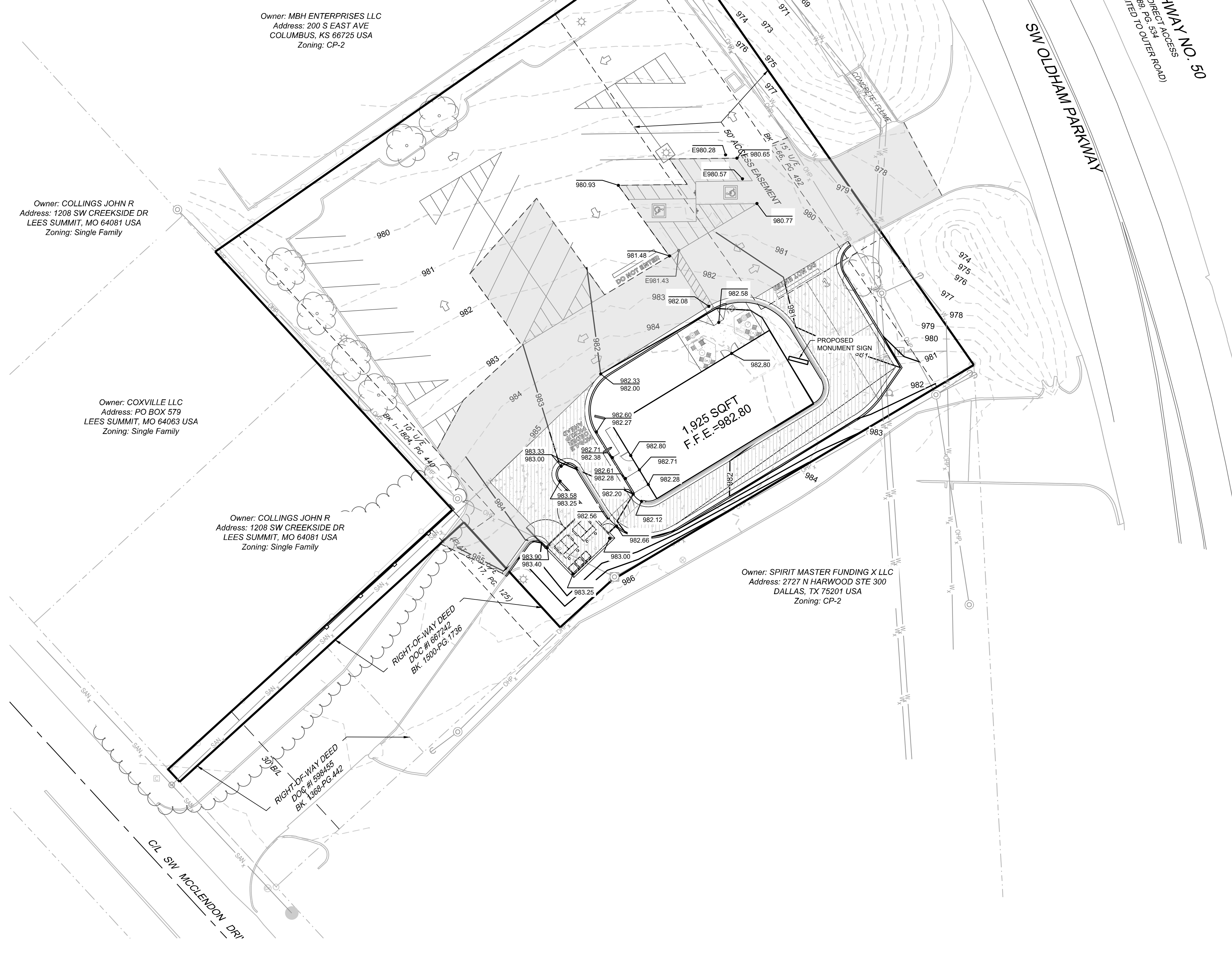
COVER SHEET

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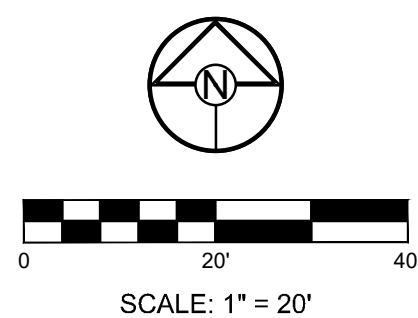
GRADING LEGEND:

- \*XXXXX EXTG. SPOT ELEVATION
- XX.XX PROPOSED TOP OF CURB ELEV.
- XX.XX PROPOSED PAVEMENT GRADE ELEV. OR LIP OF CURB ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION
- 1023 EXISTING CONTOUR
- 1023 PROPOSED CONTOUR

\* - ALL SIDEWALKS TO BE INSTALLED WITH A 1.5% MAXIMUM CROSS SLOPE.

GRADING NOTES:

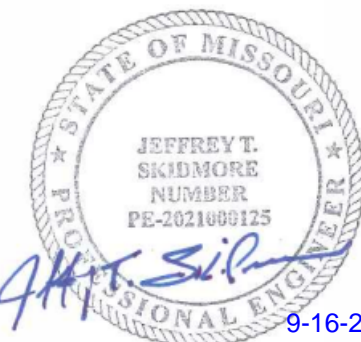
- NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY SUMMIT SURVEY COMPANY VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.



**APPLICANT:**  
RED Architecture + Planning  
Attn: Abby Arnold  
589 W Nationwide Blvd Suite B  
Columbus, Ohio 43215  
P: (614) 487-8770 Ext: 247  
Email: aaronold@redarchitects.com

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003600-F #LAC200100237 #LS200200859-F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

SOUTH LEE'S SUMMIT CMG SHELL  
FINAL DEVELOPMENT PLAN  
1103 SW OLDHAM PKWY LEE'S SUMMIT,  
MISSOURI

REVISION DATE	DESCRIPTION
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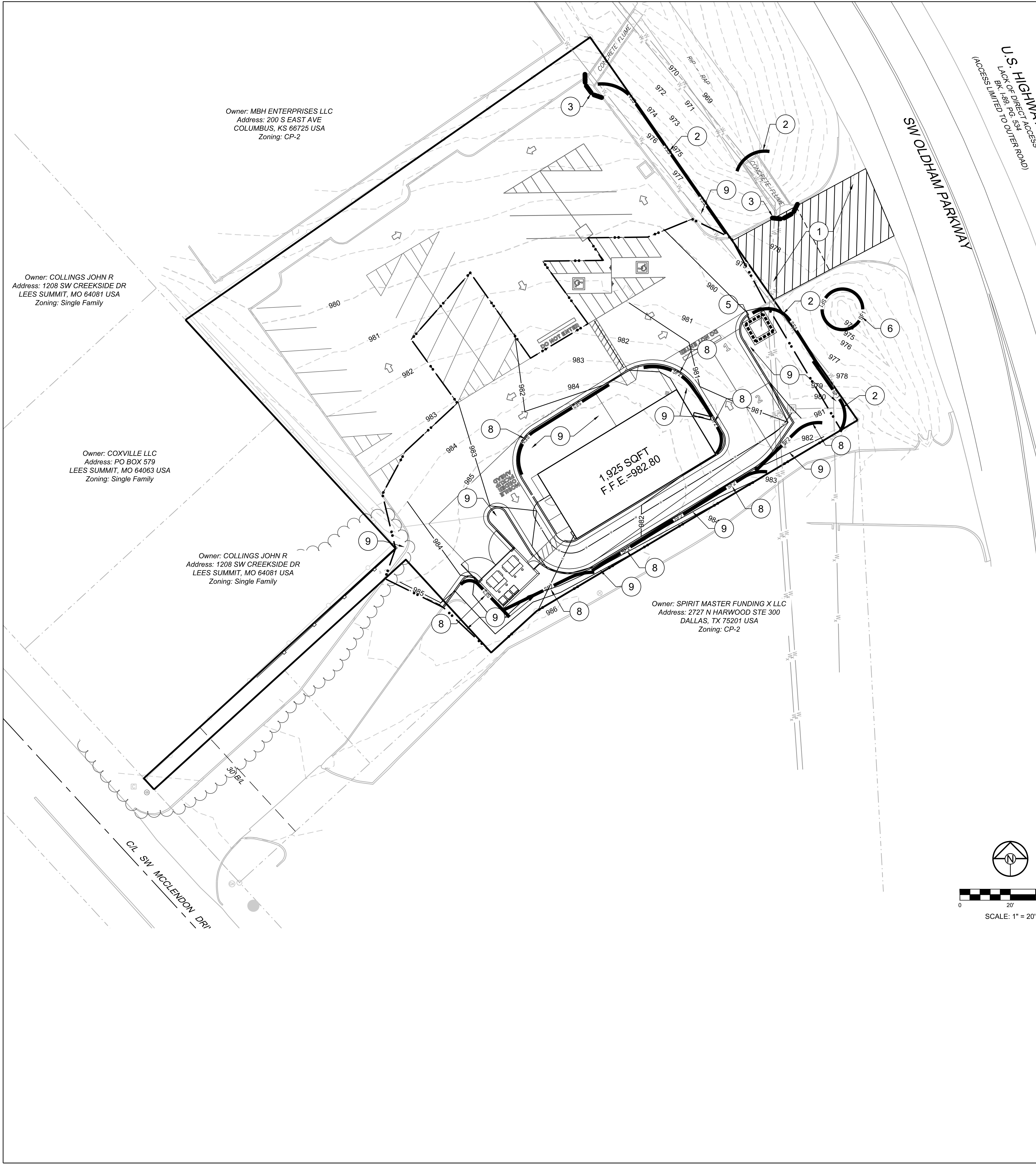
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CHECKED BY:	JAB
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SITE GRADING PLAN

SHEET

C2.0





EROSION AND SEDIMENT CONTROL STAGING CHART				
PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	USE EXTG PAVED ENTRANCE FROM OLDHAM PARKWAY - MAINTAIN, REPAIR, OR REPLACE AS NECESSARY UPON COMPLETION OF PROJECT - (SEE SITE PLAN C1.0)
	2	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	3	EXISTING FLUME PROTECTION (GRAVEL INLET FILTERS SOCKS)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND PLACE @ EXTG FLUMES AND MAINTAIN THROUGHOUT CONSTRUCTION ACTIVITY
B - MASS GRADING	4	NOT USED	N/A	N/A
C - UTILITY CONSTRUCTION	5	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	6	PIPE INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND EXISTING CULVERT/INLET STRUCTURE & MAINTAIN THROUGHOUT CONSTRUCTION ACTIVITY TO PROTECT DOWNSTREAM CHANNEL
D - AFTER PAVING OPERATIONS	7	NOT USED	N/A	N/A
	8	SILT FENCE (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	9	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT	10			ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

**DISTURBED AREA = 0.40 A.C.**

**SITE SPECIFIC NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
- NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
- ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
- SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
- AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

LEGEND	
	TEMPORARY STORAGE AREA FOR EXCESS MATERIAL
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA
	CONCRETE WASHOUT AREA
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS
	ROCK DITCH CHECK
	GRAVEL CURB INLET SEDIMENT TRAP
	SILT SOCK / ROCK SOCK / SOCK WATTLE
	BMP PLAN REF. NO.
	SILT FENCE (PRIOR TO LAND DISTURBANCE)
	SILT FENCE (DURING CONSTRUCTION)
	CONSTRUCTION FENCE
	LIMITS OF DISTURBANCE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	STRAW BALE DITCH CHECK
	GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

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ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
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Missouri State Certificates of Authority  
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SOUTH LEE'S SUMMIT CMG SHELL  
FINAL DEVELOPMENT PLAN

1103 SW OLDHAM PKWY LEE'S SUMMIT,  
MISSOURI

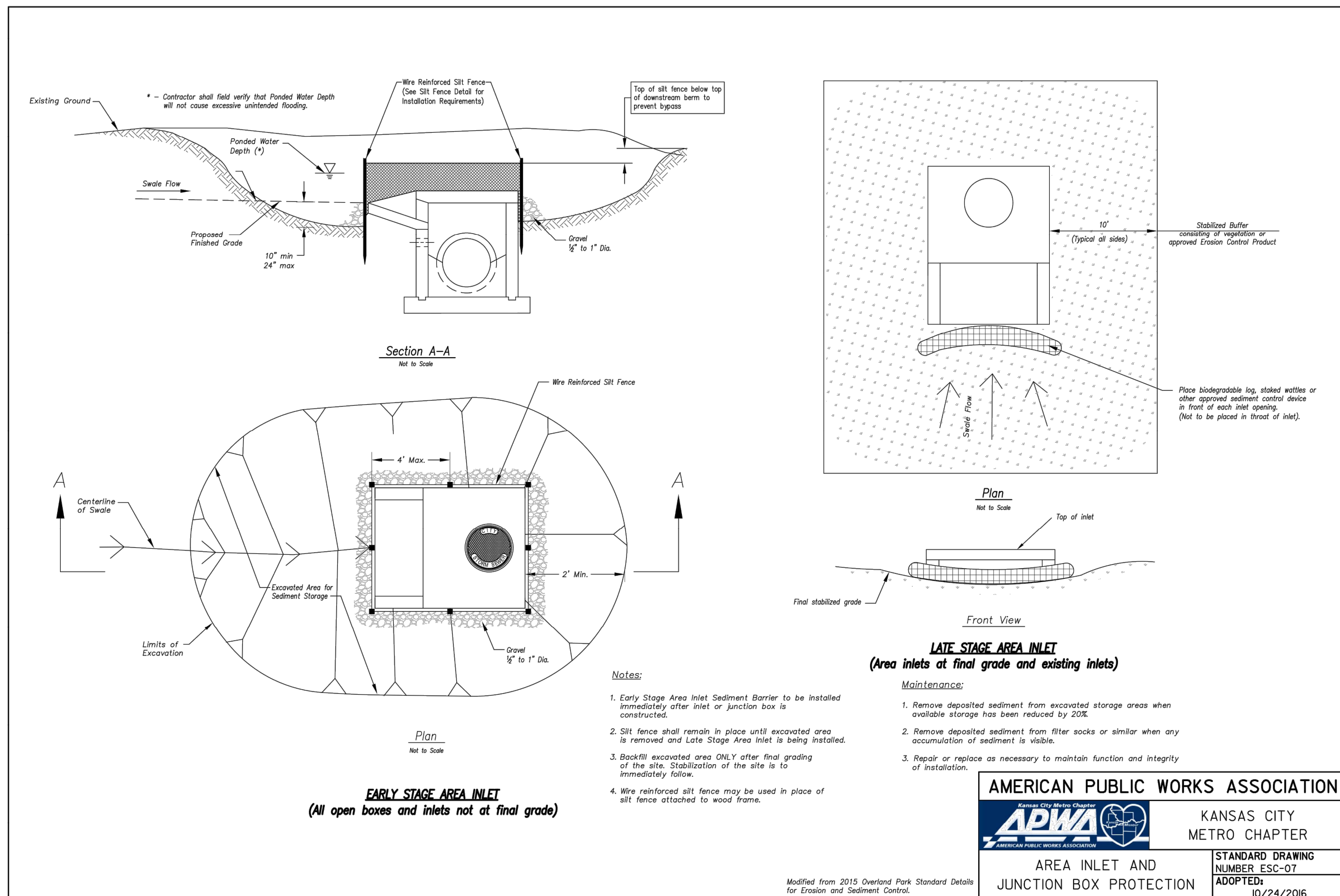
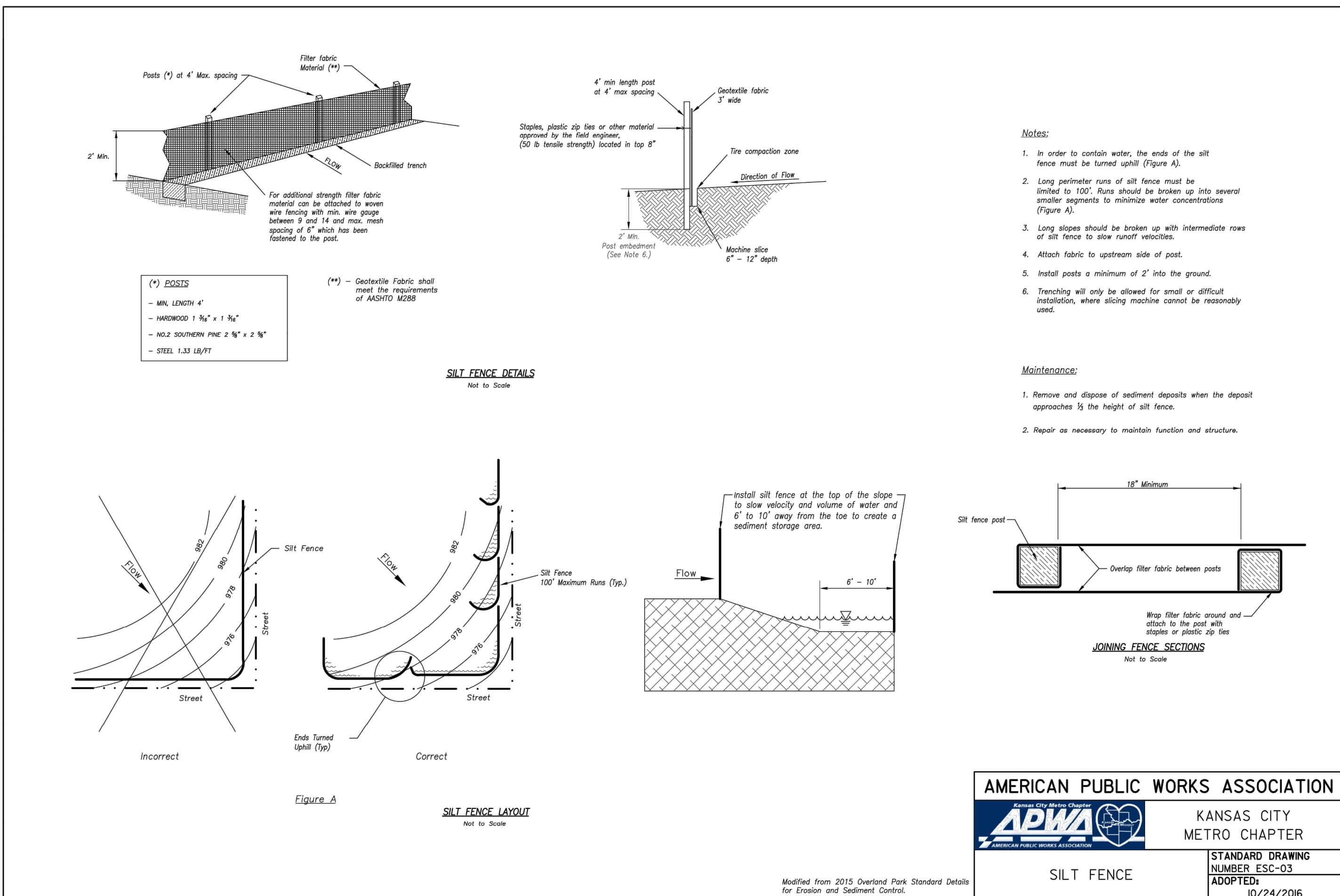
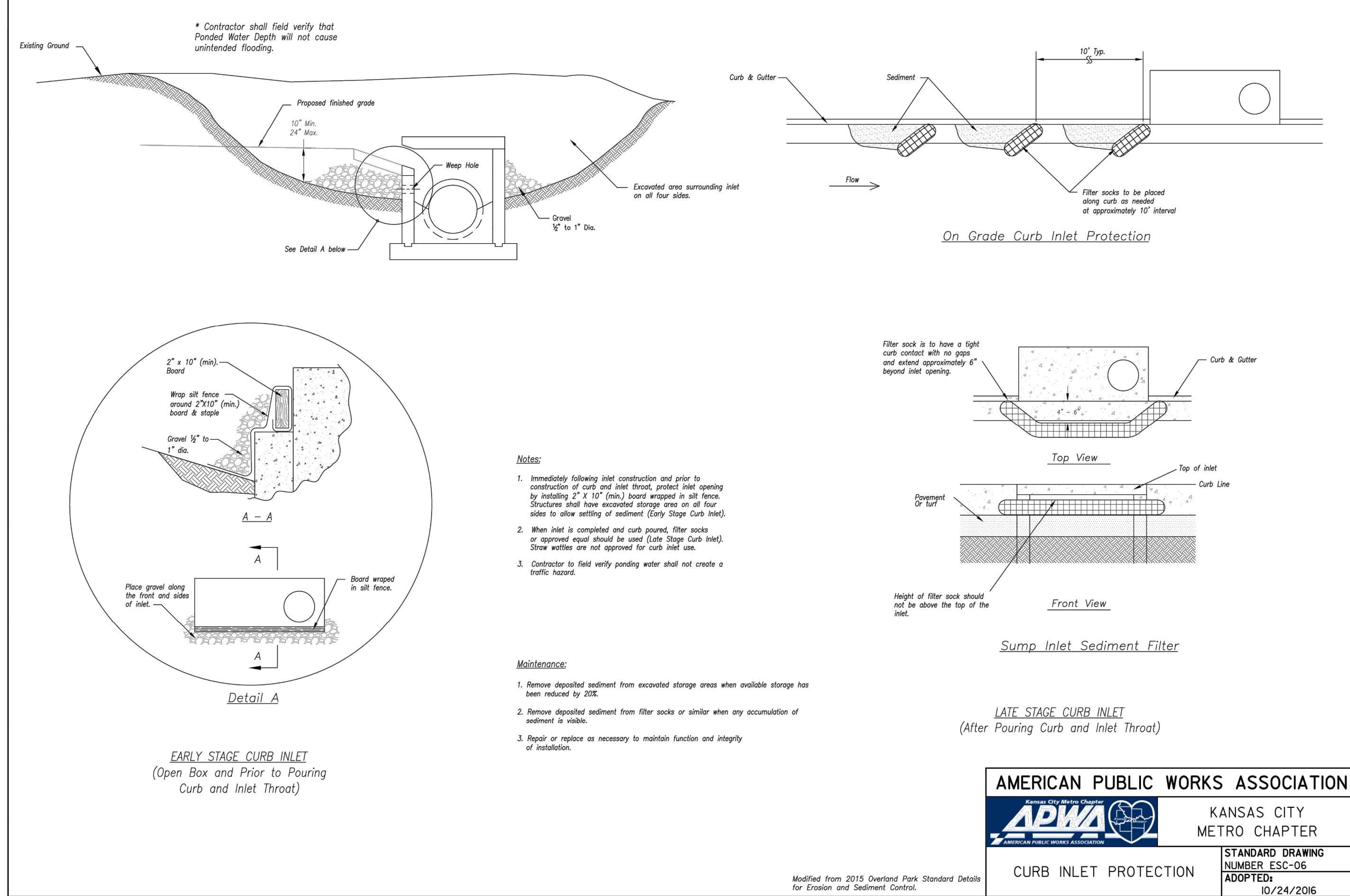
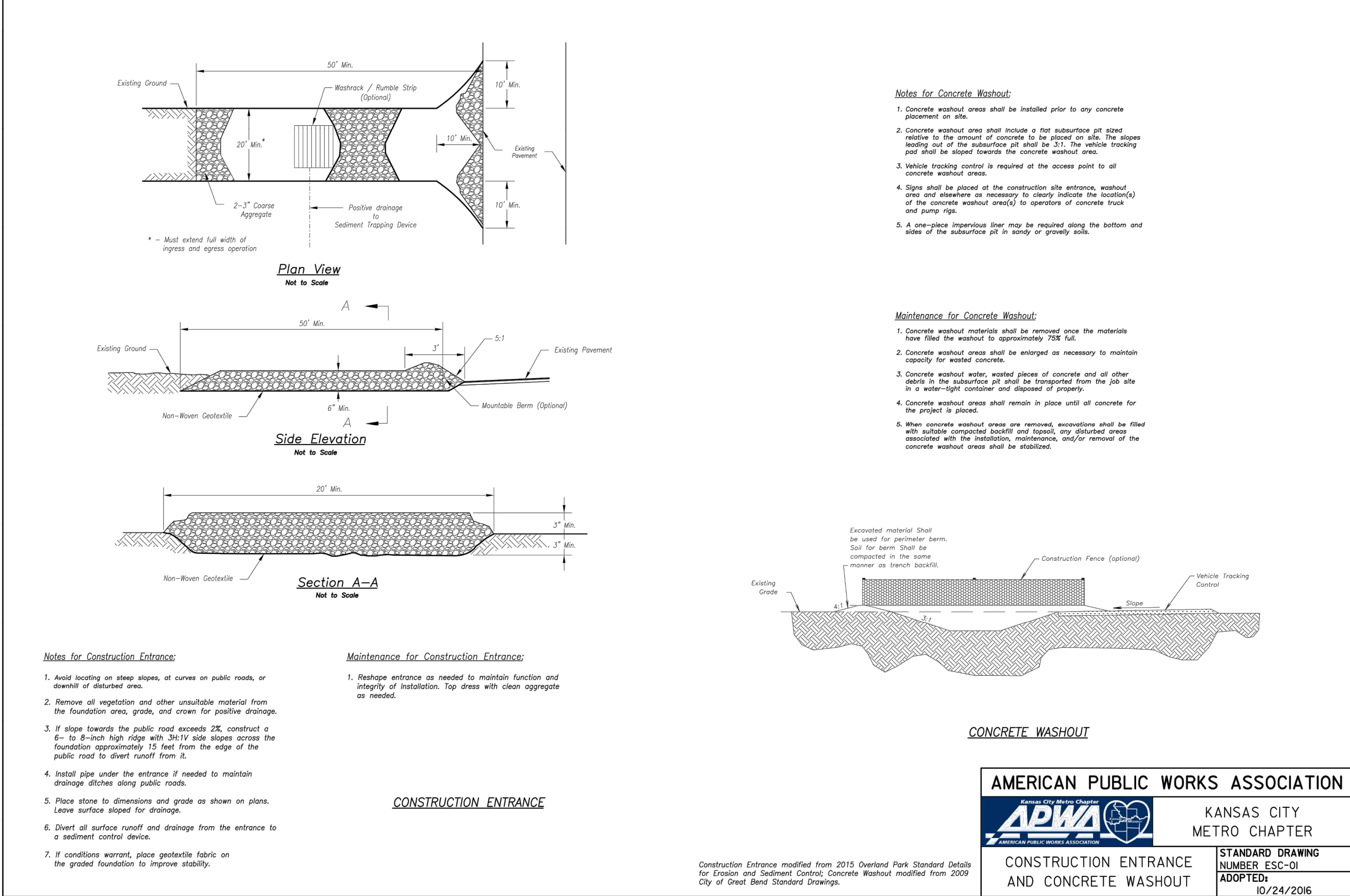
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EROSION CONTROL PLAN

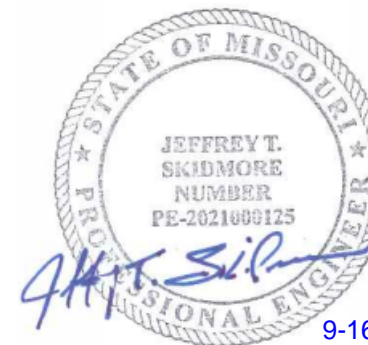
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PREPARED BY:



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SOUTH LEE'S SUMMIT CMG SHELL  
FINAL DEVELOPMENT PLAN  
1103 SW OLDHAM PKWY  
LEE'S SUMMIT, MISSOURI

#### UTILITY CONTACTS:

MISSOURI DEPARTMENT OF  
TRANSPORTATION (MODOT)  
Steve Holloway  
600 NE Colbern Road  
Lee's Summit, MO 64086  
(816) 607-2186

MISSOURI GAS ENERGY (MGE)  
Brent Jones  
3025 SE Clover Drive  
Lee's Summit, MO 64082  
(816) 399-9633  
brent.jones@spireenergy.com

EVERGY (formerly KCP&L)  
Ron DeJarnette  
1300 SE Hamblin Road  
Lee's Summit, MO 64081  
Office: (816) 347-4316  
Cell: (816) 810-5234  
ron.dejarnette@evergy.com

CITY OF LEE'S SUMMIT PUBLIC WORKS  
Michael Park  
220 SE Green Street  
Lee's Summit, MO 64063  
(816) 969-1800  
michael.park@cityofls.net

AT&T  
Mark Manion or Marty Loper  
500 E. 8th Street, Room 370  
Kansas City, MO 64106  
(816) 275-2341 or (816) 275-1550

COMCAST CABLE  
Barbara Brown  
3400 W. Duncan Road  
Blue Springs, MO 64015  
(816) 795-2255

PUBLIC WATER SUPPLY DISTRICT  
Mark Schaulfer  
220 SE Green Street  
Lee's Summit, MO 64063  
(816) 969-1900

#### UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM  
FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO  
GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE  
ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON.  
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE  
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION  
INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED  
AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE  
SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND  
UTILITIES.

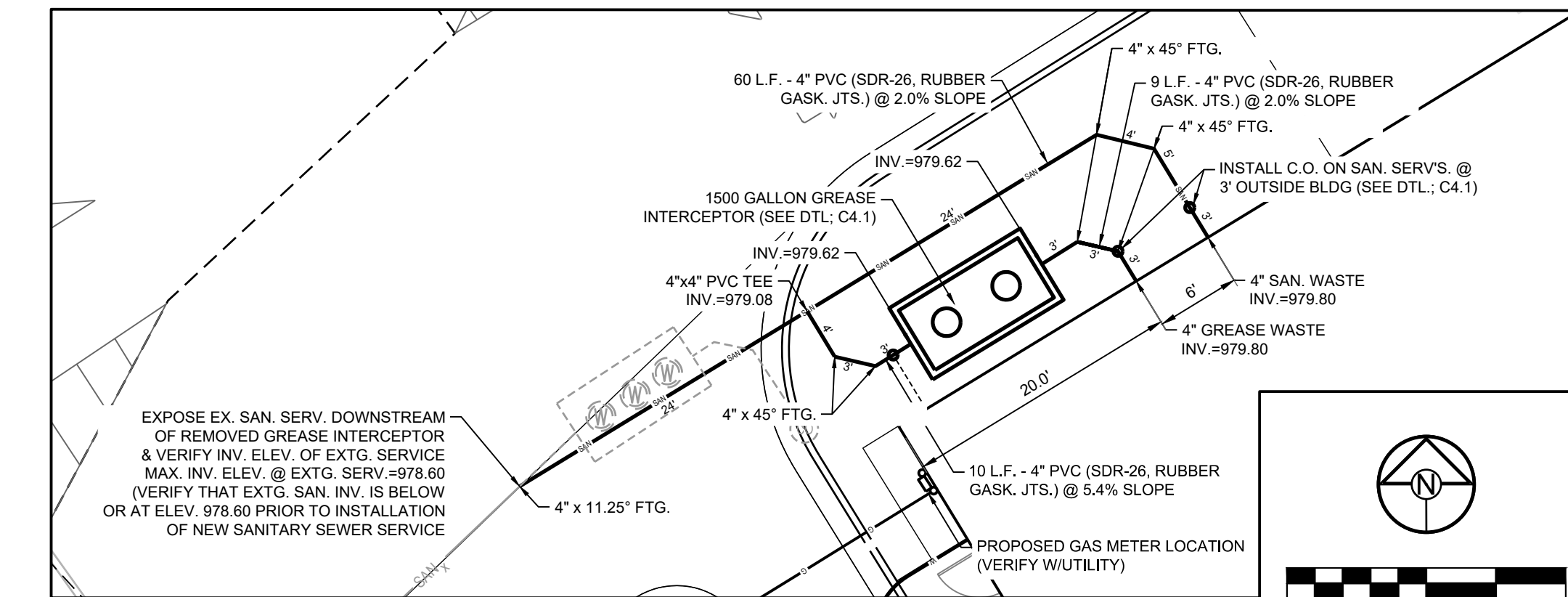


#### PROJECT ARCHITECT:

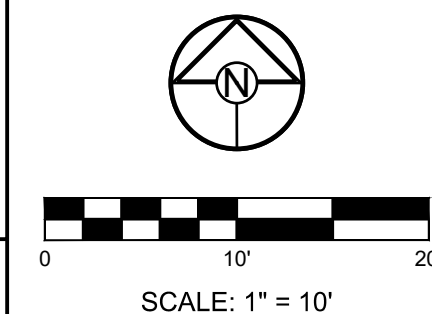
Red Architecture & Planning  
Attn: Abigail Arnold, RA  
589 W. Nationwide Blvd. Suite B  
Columbus, Ohio 43215  
Phone: 614-487-8770  
email: aarnold@redarchitects.com

#### PROJECT ADDRESS:

1103 SW Oldham Parkway  
Lee's Summit, MO



ENLARGED SCALE PLAN @ SANITARY SEWER SERVICE & GREASE INTERECPTOR



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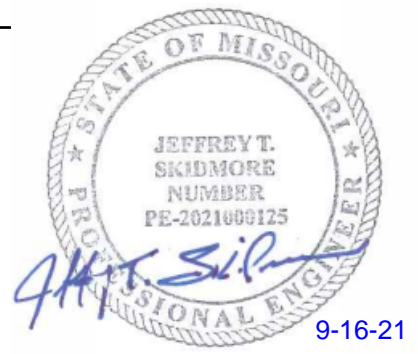
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UTILITY PLAN

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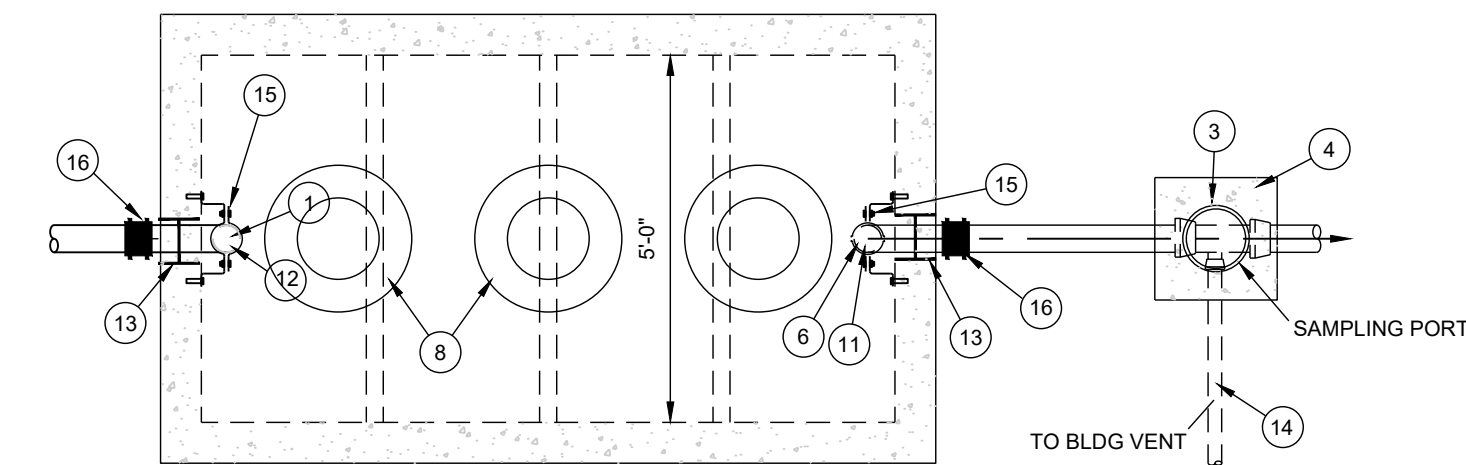
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SITE UTILITY  
DETAILS

SHEET

C4.1

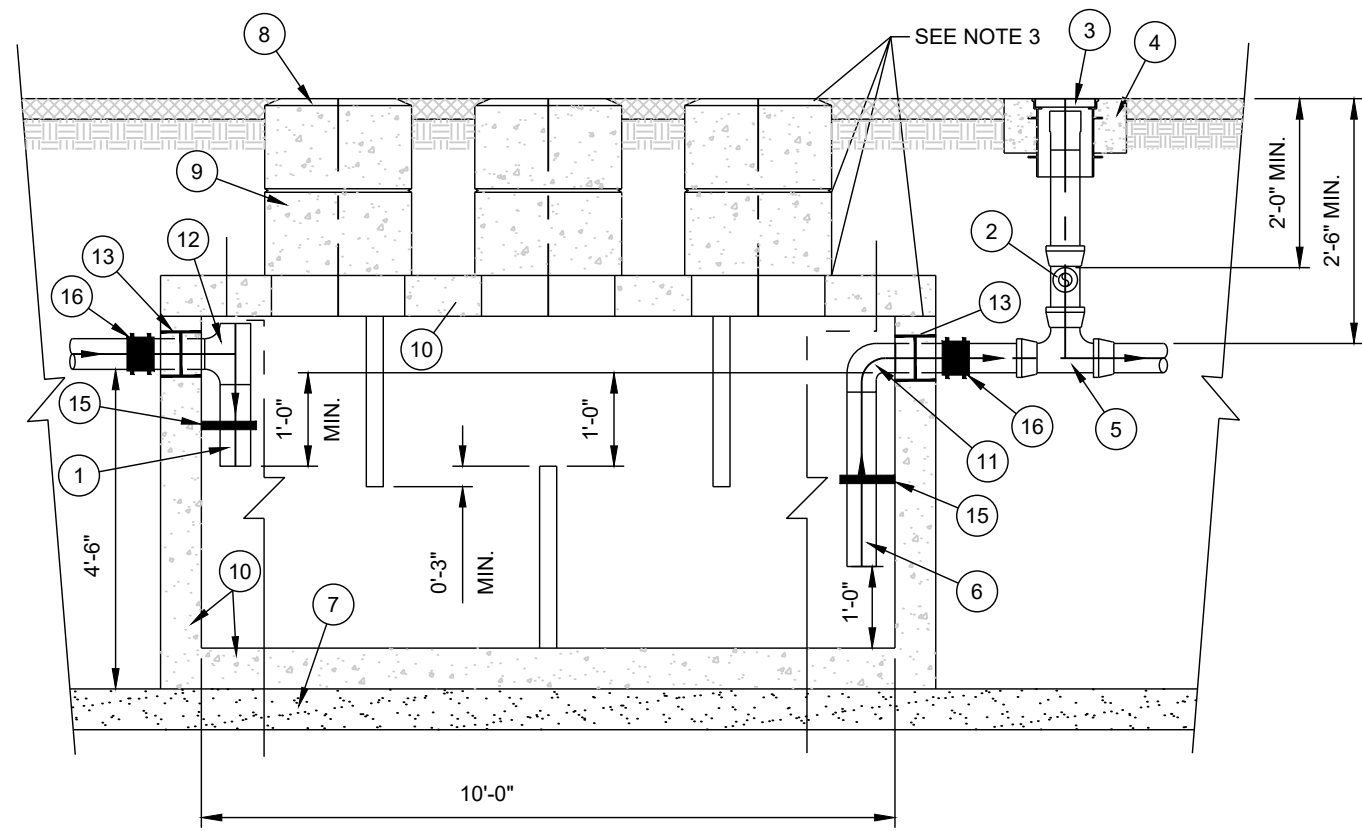


ITEM	DESCRIPTION
1	4" ABS INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" ABS OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" ABS 90° ELBOW*
12	4" ABS TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR THE PROJECT)
15	STAINLESS STEEL PIPE SUPPORT CLAMP ****
16	TO JOIN DIS-SIMILAR PIPE; FERNCO STRONG BACK RC COUPLER OR MISSION FLEX-SEAL ARC COUPLER

\* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.  
\*\* REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.  
\*\*\* CLAY & BAILEY 2008 BV OR EQUAL (FROST PROOF COVERS OPTIONAL).  
\*\*\*\* FM STAINLESS FASTENERS #3 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

NOTES:

- THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
- INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS).
- ALL JOINTS AT THE FRAME & COVER\*, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4" TO 1" INCH-PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE EZ WRAP SHALL OVERLAP BY 12".
- PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS. INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH IJCW TECHNICAL SPECIFICATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND WITH THE VACUUM PUMP SHUT OFF THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES.
- 



THIS: GREASE INTERCEPTOR OR SAND/OIL INTERCEPTOR 1500 GAL

PROJECT: CHIPOTLE - OLDHAM PARKWAY LEE'S SUMMIT, MISSOURI



