



ELECTRONICALLY RECORDED
JACKSON COUNTY, MISSOURI
05/09/2018 10:31:36 AM
EASE FEE: \$ 39.00 7 Pages

INSTRUMENT NUMBER:
2018E0040337

SANITARY SEWER EASEMENT

THIS EASEMENT is made this 3 day of MAY, 2018, by and between **Premierlife Real Estate Holdings, a Missouri nonprofit corporation**, a Corporation organized and existing under the laws of the State of Missouri, **Grantor**, and the City of Lee's Summit, Missouri, a Municipal Corporation of Jackson County, Missouri, with a mailing address of 220 S.E. Green Street, Lee's Summit, Missouri 64063, **Grantee**.

WITNESSETH, that the **Grantor**, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration to it paid by the **Grantee**, the receipt and sufficiency of which is hereby acknowledged, does by these presents grant, bargain, sell, convey, and confirm unto said **Grantee**, its successors and assigns, a permanent and exclusive easement for the construction, operation, maintenance, repair, replacement and removal of sewer pipe lines, manholes, and appurtenances thereto, including the right and privilege at any time and from time to time to enter upon said easement, over, under, through, across, in and upon the following described lands in Jackson County, Missouri, to-wit:

See Attached Exhibit "A" for Legal

GRANTEE, its successors and assigns, shall have the right of ownership, use and control of all sanitary sewers, underground pipe, manholes, and all necessary appurtenances on the above described property and for all proper purposes connected with the installation, use, maintenance, and replacement of the sanitary sewer.

GRANTOR agrees not to obstruct or interfere with Grantee's use and enjoyment of the easement granted hereunder by any means, including, without limitation, obstructing or interfering with the operation, maintenance or access to such pipe lines, manholes, and appurtenances thereto, by erecting, or causing or allowing to be erected, any building or structure on said easement.

GRANTOR further states that it is lawfully seized of title to the land through which said easement is granted and that it has good and lawful right to convey said easements to the **Grantee** herein.

GRANTOR, to the fullest extent allowed by law, including, without limitation, section 527.188, RSMo. (2006), hereby waives any right to request vacation of the easement herein granted.

Project: Winter set Woods/ Sterling Hills Sewer Main
Project Activity No.: 19631583
Tract: Premierlife Real Estate Holdings

THIS GRANT and easement shall, at all times be deemed to be and shall be, a continuing covenant running with the land and shall be binding upon the successors and assigns of the **Grantor**.

TO HAVE AND TO HOLD THE SAME, together with all appurtenances and immunities thereunto belonging or in any way appertaining, unto the City of Lee's Summit, Missouri, a Municipal Corporation, and to its successors and assigns forever.

IN WITNESS WHEREOF, **Grantor**, a Corporation which has no seal, has caused these presents to be signed by its PRESIDENT and attested by its Secretary, this 3 day of MAY, 2018.

Premierlife Real Estate Holdings:

By:

Daniel Rex Roth
Signature

DANIEL REX ROTH

[Printed name and title]

ATTEST:

NO SEAL

Secretary

Helen Darby

Printed name

Helen Darby

ACKNOWLEDGMENT

STATE OF MISSOURI

COUNTY OF JACKSON

On this 3 day of MAY, 2018, before me appeared DANIEL REX ROTH (name), to me personally known, who, being by me duly sworn did say that he or she is the PRESIDENT (position) of **Premierlife Real Estate Holdings**, and that said instrument was signed in behalf of said corporation by authority of its board of directors, and said DANIEL REX ROTH (name) acknowledged said instrument to be the free act and deed of said corporation and that said corporation has no corporate seal.

DONNA M. BARRON
Notary Public-Notary Seal
STATE OF MISSOURI
Commissioned for Jackson County
My Commission Expires September 27, 2020
Commission #11477427

Donna M. Barron

Notary Public Signature

DONNA M. BARRON

Print Name

EXHIBIT "A"

PROJECT: WINTERSET SEWER IMPROVEMENTS

DATE: JANUARY 3, 2018

PROPERTY OWNER: PREMIERLIFE REAL ESTATE HOLDINGS

PROPERTY ADDRESS: 10800 NW PRYOR ROAD

DESCRIPTION, PERMANENT SEWER EASEMENT:

THAT PART OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE SOUTH 3°-25'-54" WEST ALONG THE WEST LINE THEREOF, A DISTANCE OF 193.54 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 55°-44'-34" EAST, A DISTANCE OF 167.89 FEET; THENCE NORTH 59°-18'-18" EAST, A DISTANCE OF 170.36 FEET TO THE NORTH LINE OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE SOUTH 87°-32'-53" EAST ALONG SAID NORTH LINE, A DISTANCE OF 27.43 FEET; THENCE SOUTH 59°-18'-18" WEST, A DISTANCE OF 192.86 FEET; THENCE SOUTH 55°-44'-34" WEST, A DISTANCE OF 179.01 FEET TO SAID WEST LINE; THENCE NORTH 3°-25'-54" EAST ALONG SAID WEST LINE, A DISTANCE OF 18.96 FEET TO THE POINT OF BEGINNING; EXCEPT THAT PART THEREOF LYING WITHIN THE EXISTING SEWER AND UTILITY EASEMENTS. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 4,992 SQUARE FEET OR 0.115 ACRES, MORE OR LESS.

DESCRIPTION, TEMPORARY CONSTRUCTION EASEMENT #1:

THAT PART OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE SOUTH 3°-25'-54" WEST ALONG THE WEST LINE THEREOF, A DISTANCE OF 152.47 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING SOUTH 3°-25'-54" WEST ALONG SAID WEST LINE, A DISTANCE OF 41.07 FEET; THENCE NORTH 55°-44'-34" EAST, A DISTANCE OF 167.89 FEET; THENCE NORTH 59°-18'-18" EAST, A DISTANCE OF 170.36 FEET TO THE NORTH LINE OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE NORTH 87°-32'-53" WEST ALONG SAID NORTH LINE, A DISTANCE OF 59.44 FEET; THENCE SOUTH 59°-18'-18" WEST, A DISTANCE OF 121.61 FEET; THENCE SOUTH 55°-44'-34" WEST, A DISTANCE OF 143.80 FEET TO THE POINT OF BEGINNING; EXCEPT THAT PART THEREOF LYING WITHIN THE EXISTING SEWER AND UTILITY EASEMENTS. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 7,738 SQUARE FEET OR 0.178 ACRES, MORE OR LESS.

DESCRIPTION, TEMPORARY CONSTRUCTION EASEMENT #2:


THAT PART OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 47 NORTH,

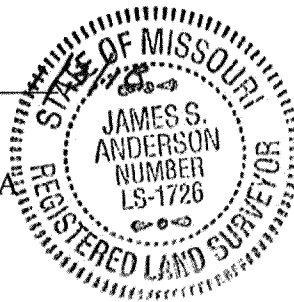


RANGE 32 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE SOUTH 3°-25'-54" WEST ALONG THE WEST LINE THEREOF, A DISTANCE OF 212.50 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING SOUTH 3°-25'-54" WEST ALONG SAID WEST LINE, A DISTANCE OF 41.07 FEET; THENCE NORTH 55°-44'-34" EAST, A DISTANCE OF 203.11 FEET; THENCE NORTH 59°-18'-18" EAST, A DISTANCE OF 241.62 FEET TO THE NORTH LINE OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE NORTH 87°-32'-53" WEST ALONG SAID NORTH LINE, A DISTANCE OF 59.44 FEET; THENCE SOUTH 59°-18'-18" WEST, A DISTANCE OF 192.86 FEET; THENCE SOUTH 55°-44'-34" WEST, A DISTANCE OF 179.01 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 13,271 SQUARE FEET OR 0.305 ACRES, MORE OR LESS.

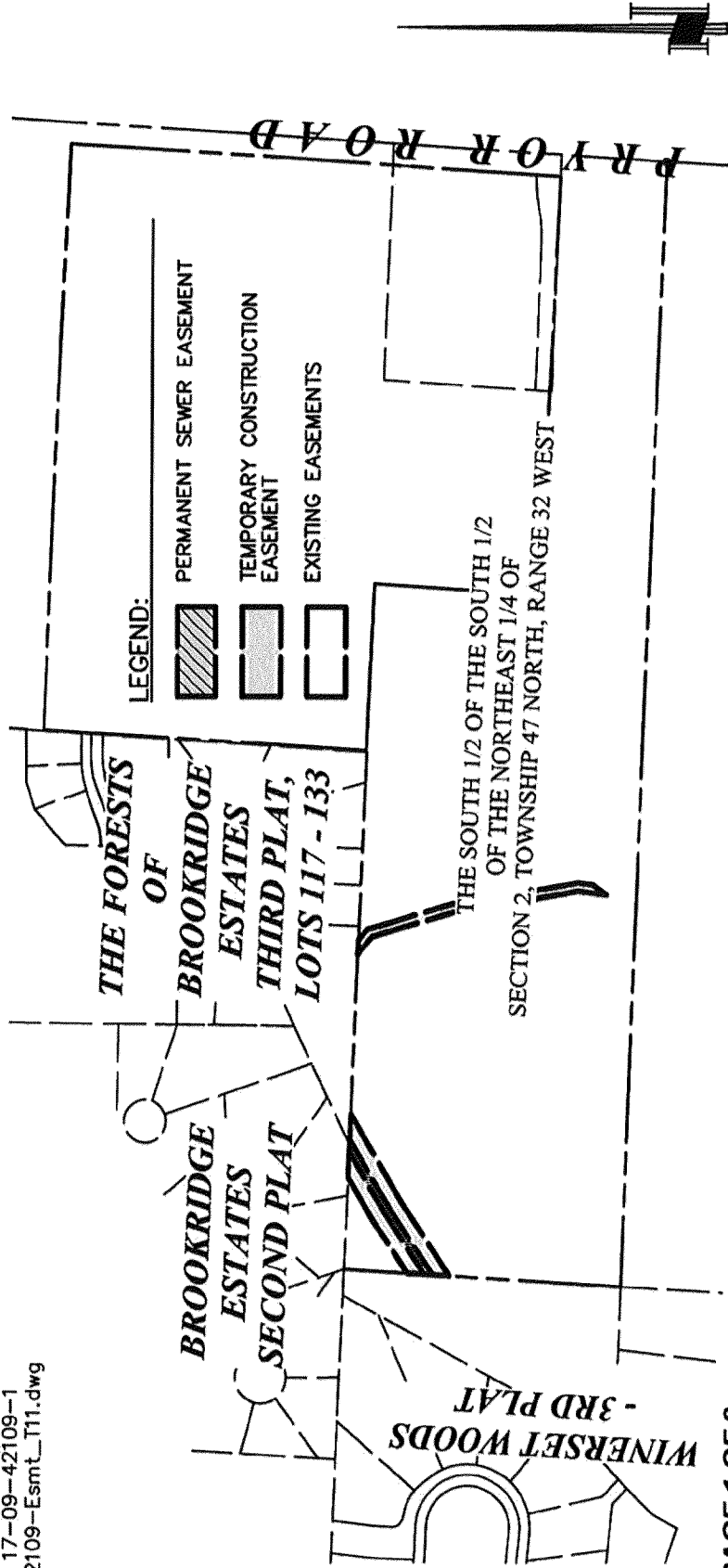
DESCRIPTION, TEMPORARY CONSTRUCTION EASEMENT #3:

THAT PART OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4; THENCE SOUTH 87°-32'-53" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 731.76 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING SOUTH 87°-32'-53" EAST ALONG SAID NORTH LINE, A DISTANCE OF 35.84 FEET; THENCE SOUTH 47°-40'-47" EAST, A DISTANCE OF 32.21 FEET; THENCE SOUTH 16°-18'-52" EAST, A DISTANCE OF 50.91 FEET; THENCE SOUTH 16°-39'-04" EAST, A DISTANCE OF 162.53 FEET; THENCE SOUTH 1°-34'-51" WEST, A DISTANCE OF 89.33 FEET; THENCE SOUTH 17°-16'-41" EAST, A DISTANCE OF 112.85 FEET; THENCE SOUTH 10°-10'-11" EAST, A DISTANCE OF 103.42 FEET; THENCE SOUTH 6°-46'-02" WEST, A DISTANCE OF 34.34 FEET; THENCE SOUTH 36°-03'-38" WEST, A DISTANCE OF 40.66 FEET; THENCE NORTH 6°-40'-46" EAST, A DISTANCE OF 66.81 FEET; THENCE NORTH 10°-10'-11" WEST, A DISTANCE OF 99.22 FEET; THENCE NORTH 17°-16'-41" WEST, A DISTANCE OF 114.92 FEET; THENCE NORTH 1°-34'-51" EAST, A DISTANCE OF 89.45 FEET; THENCE NORTH 16°-39'-04" WEST, A DISTANCE OF 159.38 FEET; THENCE NORTH 16°-18'-52" WEST, A DISTANCE OF 45.36 FEET; THENCE NORTH 47°-40'-47" WEST, A DISTANCE OF 45.18 FEET; THENCE NORTH 66°-08'-13" WEST, A DISTANCE OF 9.40 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 12,119 SQUARE FEET OR 0.278 ACRES, MORE OR LESS.


JAMES S. ANDERSON, PLS #1726
ANDERSON SURVEY COMPANY
203 NW EXECUTIVE WAY, SUITE A
LEE'S SUMMIT, MISSOURI 64063
PHONE: (816) 246-5050
FAX: (816) 246-0502



2-47-32
17-09-42109-1
42109-Esmt_T11.dwg



PAGE 1 OF 3

EXHIBIT A WINTERSET WOODS & STERLING HILLS TRUNK SEWER MAIN **CITY OF LEE'S SUMMIT**

PROPERTY OWNER: PREMIERLIFE REAL ESTATE HOLDINGS

PROPERTY ADDRESS: 10800 NW PRYOR ROAD

PLAT/LOT: UNPLATTED

PROJECT LOCATION: LEE'S SUMMIT JACKSON COUNTY MISSOURI

FOR: BURNS & McDONALL 9400 WARD PARKWAY KANSAS CITY, MISSOURI 64114

DATE: NOVEMBER 20, 2017

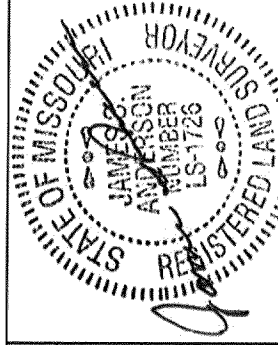
SCALE 1" = 400 FEET

400 200 0 400



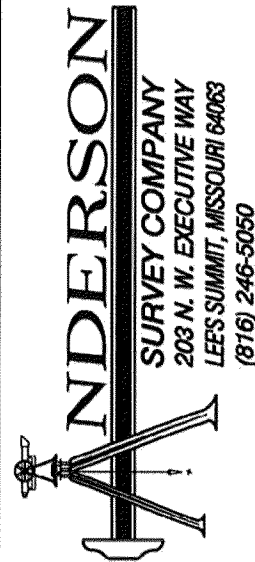
SCALE IN FEET

THE BEARING SYSTEM SHOWN HEREON IS BASED UPON THE MISSOURI COORDINATE SYSTEM 1983, WEST ZONE



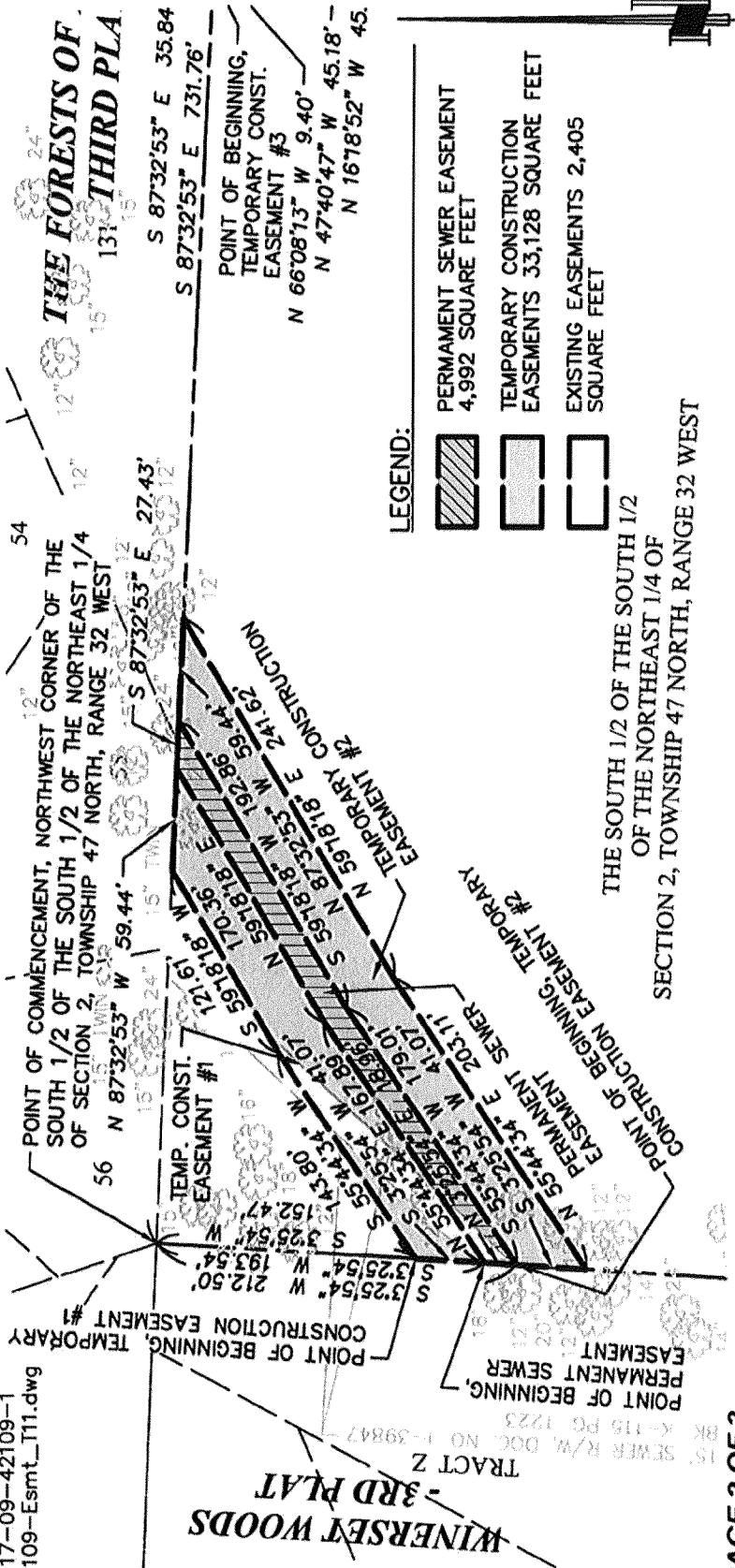
1/3/18

JAMES S. ANDERSON, PLS #1726



MISSOURI CERTIFICATE OF AUTHORITY, 000076

2-47-32
17-09-42109-1
42109-Esmt_T11.dwg



LEGEND:

- PERMANENT SEWER EASEMENT
4,992 SQUARE FEET
- TEMPORARY CONSTRUCTION EASEMENTS 33,128 SQUARE FEET
- EXISTING EASEMENTS 2,405 SQUARE FEET

THE SOUTH 1/2 OF THE SOUTH 1/2
OF THE NORTHEAST 1/4 OF
SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST

PAGE 2 OF 3

EXHIBIT A WINTERSET WOODS & STERLING HILLS TRUNK SEWER MAIN
CITY OF LEE'S SUMMIT

ANDERSON
SURVEY COMPANY
203 N. W. EXECUTIVE WAY
LEE'S SUMMIT, MISSOURI 64063
(816) 246-5050

MISSOURI CERTIFICATE OF AUTHORITY, 000076

PROPERTY OWNER: PREMIERLIFE REAL ESTATE HOLDINGS
PROPERTY ADDRESS: 10800 NW PRYOR ROAD
PLAT/LOT: UNPLATTED

FOR: BURNS & McDONALL
9400 WARD PARKWAY
KANSAS CITY, MISSOURI 64114
DATE: NOVEMBER 20, 2017

PROJECT LOCATION:
LEE'S SUMMIT
JACKSON COUNTY
MISSOURI

THE BEARING SYSTEM SHOWN
HEREON IS BASED UPON THE
MISSOURI COORDINATE SYSTEM
1983, WEST ZONE

SCALE 1" = 100 FEET
100 50 0 100
SCALE IN FEET

STATE OF MISSOURI
JAMES S. ANDERSON
REGISTERED LAND SURVEYOR
NUMBER LS-1726
11/3/18
JAMES S. ANDERSON,
PLS #1726

2-47-32
17-09-42109-1
42109-Esmt_T11.dwg

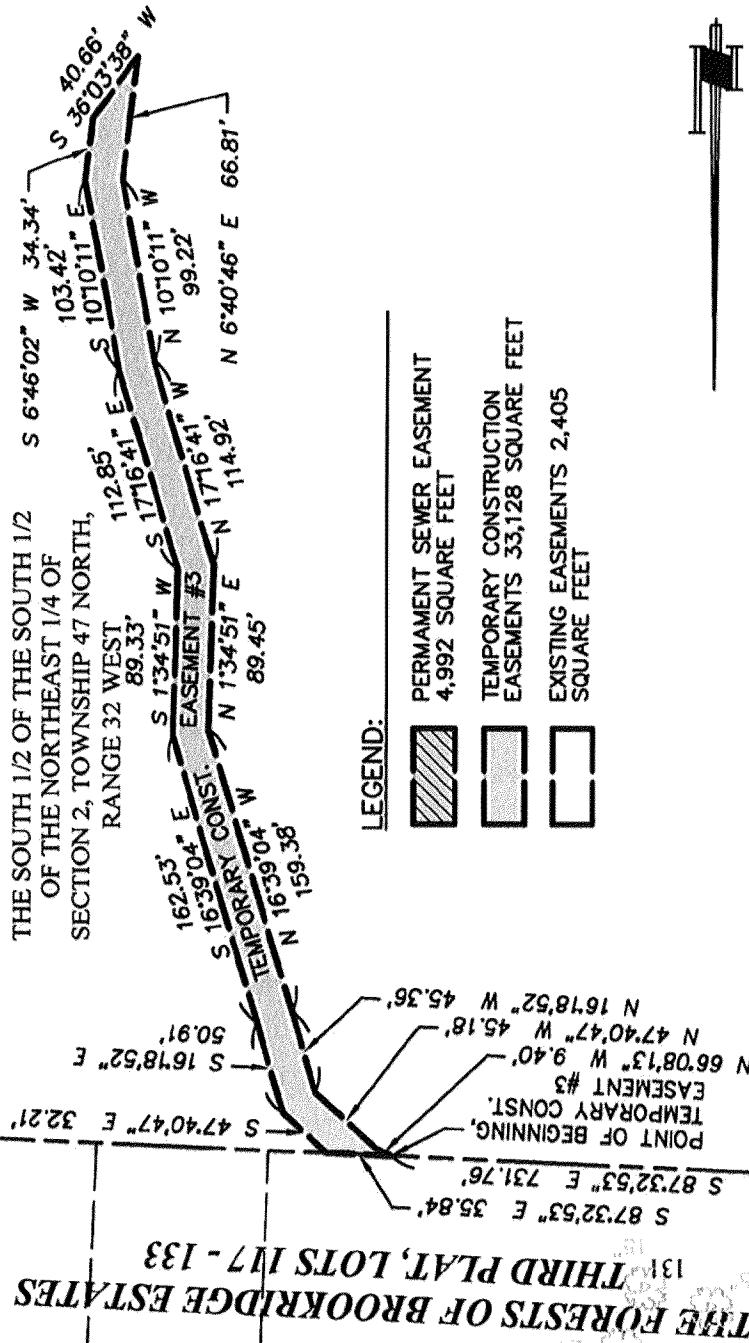


EXHIBIT A WINTERSET WOODS & STERLING HILLS TRUNK SEWER MAIN

CITY OF LEE'S SUMMIT

ANDERSON
SURVEY COMPANY
203 N. W. EXECUTIVE WAY
LEE'S SUMMIT, MISSOURI 64083
(816) 246-5050

MISSOURI CERTIFICATE OF AUTHORITY, 000076

PROPERTY OWNER: PREMIERLIFE REAL ESTATE HOLDINGS
PROPERTY ADDRESS: 10800 NW PRYOR ROAD
PLAT/LOT: UNPLATTED

FOR: BURNS & McDONALL
9400 WARD PARKWAY
KANSAS CITY, MISSOURI 64114
DATE: NOVEMBER 20, 2017

THE BEARING SYSTEM SHOWN
HEREON IS BASED UPON THE
MISSOURI COORDINATE SYSTEM
1983, WEST ZONE

SCALE 1" = 100 FEET
100 50 0 100
SCALE IN FEET

STATE OF MISSOURI
JAMES S. ANDERSON
REGISTERED LAND SURVEYOR
NUMBER LS-1725
11/3/16

JAMES S. ANDERSON,
PLS #1726