

# FREELAND and KAUFFMAN, INC.

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ENGINEERS - LANDSCAPE ARCHITECTS

September 3, 2021

## City of Lee's Summit

Development Services Department

220 SE Green

Lee's Summit, MO 64063

Phone: (816) 969-1200

Subject: Caliber Collision - Commercial Preliminary Development Plan  
710 SE Blue Parkway, Lee's Summit, MO 64063

Application No: PL2021279

This letter is being sent to confirm the receipt of the City's review comments during the Analysis of the Commercial Preliminary Development Plans (PDP) for Caliber Collision at the subject address. Below are the comments received followed by the response of how they were addressed:

### Planning Review

Contact: Victoria Nelson (816) 969-1605 or [Victoria.Nelson@cityofls.net](mailto:Victoria.Nelson@cityofls.net)

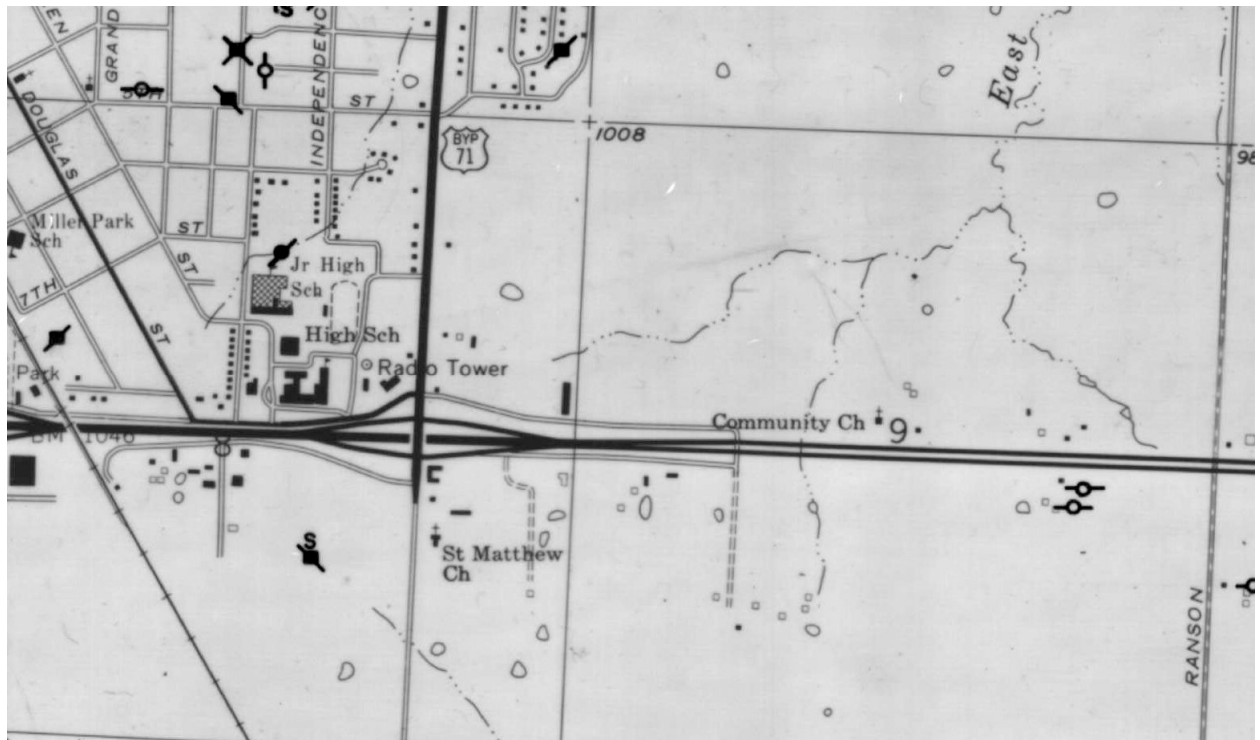
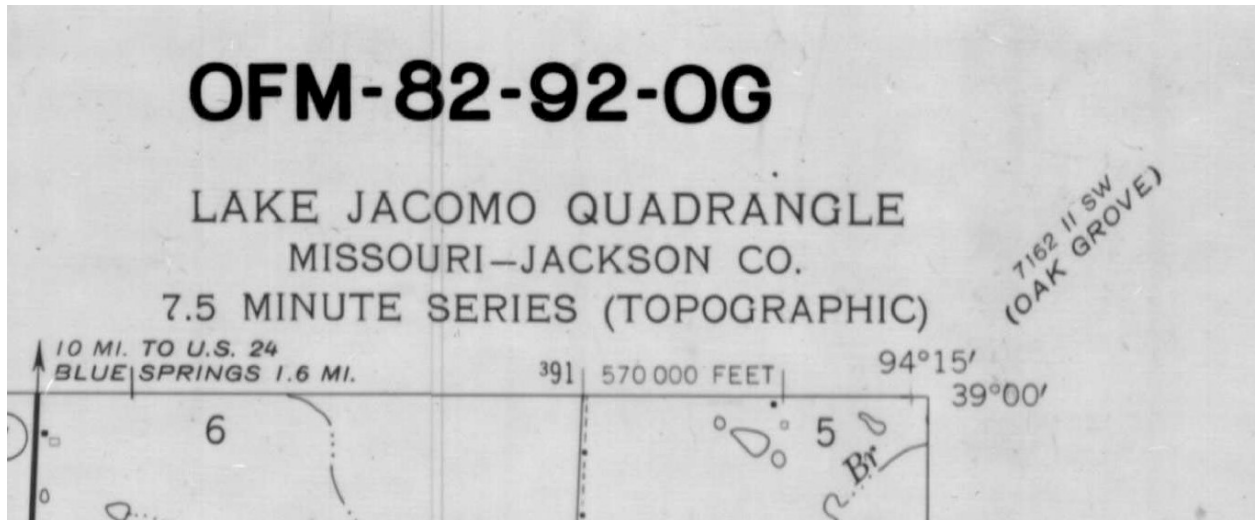
### APPROVED WITH CONDITIONS

2. Oil and Gas Wells. Please state whether or not there are active, inactive, or capped wells with the area. Refer to DNR Well Database and reference the site. Please state there are no wells on the plan.

**RESPONSE:** Per the MoDNR Well Database for Oil and Gas Wells, there were not active, inactive, or capped wells located on the property. An image from the Map is shown below. Additionally, a note has been added to the Site Plan, sheet #8, that states there are no oil or gas wells located on the property.

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5. Building setback lines. Please show the east and west building setback lines.

**RESPONSE:** The Building setback lines for all property frontages were updated/added to the plans. The property has a front building setback of 20 feet, a side building setback of 10 feet, and a rear building setback of 20 feet. Labels were added to the Site Plan, sheet #8, that label these lines for clarification.

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6. Pole Height. Please point out where you are showing the pole heights. Parking lot pole heights shall be listed and shall comply with the standards under UDO Section 8.250.

**RESPONSE:** Light specifications have been provided with this submittal for both the pole lights and wall packs located around the site. Each of the pole light heights have been provided on the Photometric Plan. See the Photometric Plan (sheet SP1.0) in the Site Development Plans. The pole height for each light fixture is the number within the label next to each light fixture.

9. Parking lot specifications. Please show the actual parking lot specification detail that is required and found under Sec 8.620 Parking Lot Design and refer to Table 8-5 for an example

**RESPONSE:** See the Paving Details on the Site Details. The City's design requirements and standards (from Section 8.620 of the City's Ordinances) are more stringent than that of the geotechnical report of record, and therefore govern the pavement design. The paving details have been updated to reflect the City requirements

13. Please submit an electronic copy of the legal description. Microsoft Word document is the preferred file formats. The legal description can be emailed to the planner's email address above or uploaded to CV.

**RESPONSE:** A copy of the properties legal description has been provided with this submittal in a Microsoft Word document format.

14. Elevations. It is improvement but the east and west elevations (particularly the west) could use some additional embellishments to break up the large wall planes. As far as the rough-textured metal panel that was proposed and sample provided, the UDO expressly calls this out as being allowed only in certain industrial zoning districts. It does not allow for it in commercial zoning districts. Coupled with the very visible location of the site along the US 50 Hwy commercial corridor, it isn't a material we have supported in the past in commercial areas and won't support here. Refer to UDO Section 8.170.A for the list of approved materials for commercial districts.

**RESPONSE:** The elevations submitted have eliminated the textured manel panel and was replaced with EIFs that are a City allowed material.

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## Engineering Review

Contact: Sue Pyles P.E. (816) 969-1245 or [Sue.Pyles@cityofls.net](mailto:Sue.Pyles@cityofls.net)

## APPROVED WITH CONDITIONS

1. All required engineering plans and studies, including water lines, sanitary sewers, storm drainage, streets and erosion and sediment control shall be submitted along with the final development plan. All public infrastructure must be substantially complete, prior to the issuance of any certificates of occupancy.

**RESPONSE:** Noted. A full set of engineer designed plans will be submitted for the development when submitting for the Final Development Plan.

2. All Engineering Plan Review and Inspection Fees shall be paid prior to approval of the associated engineering plans and prior to the issuance of any site development permits or the start of construction (excluding land disturbance permit).

**RESPONSE:** Noted. The associated fees will be paid by the developer and contractor(s) prior to receiving permits.

3. A Land Disturbance Permit shall be obtained from the City if groundbreaking will take place prior to the issuance of a site development permit, building permit, or prior to the approval of the Final Development Plan / Engineering Plans.

**RESPONSE:** Noted. The Land Disturbance will be pursued once the contractor is determined.

4. Certain aspects of the development plan will be further reviewed during the Final Development Plan phase of the project. This includes detailed aspects of the design to help ensure that the plan meets the design criteria and specifications contained in the Design and Construction Manual.

**RESPONSE:** Noted. A full set of engineer designed plans will be submitted for the development when submitting for the Final Development Plan.

5. Private parking lots shall follow Article 8 of the Unified Development Ordinance for pavement thickness and base requirements.

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**RESPONSE:** Noted. See the Paving Details on the Site Details. The City's design requirements and standards (from Section 8.620 of the City's Ordinances) are more stringent than that of the geotechnical report of record, and therefore govern the pavement design. The paving details have been updated to reflect the City's requirements.

6. Please be aware that any future repair work to public infrastructure (e.g., water main repair, sanitary sewer repair, storm sewer repair, etc.) within public easements will not necessarily include the repair of pavement, curbing, landscaping, or other private improvements which are located within the easement.

**RESPONSE:** Noted.

## **Fire Review**

**Contact:** Jim Eden (816) 969-1820 or [Michael.Park@cityofls.net](mailto:Michael.Park@cityofls.net)

## **APPROVED WITH CONDITIONS**

1. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.

**RESPONSE:** Noted. A box note containing this information was added to the Site Plan.

2. Provide the correct address on the plans.

**RESPONSE:** The address was updated throughout the plans to be 710 SE Blue Parkway.

3. IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official. 506.1.1 Locks. An approved lock shall be installed on gates or similar barriers when required by the fire code official. The Knox Box needs to be over the FDC, 6' AFF.

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**RESPONSE:** Noted. A Knox Box has been provided at the front entrance (entrance facing SE Blue Parkway) to the building, as well as at the sliding gate to the fence around the back parking area.

## Traffic Review

Contact: Michael Park (816) 969-1820 or [Michael.Park@cityofls.net](mailto:Michael.Park@cityofls.net)

## APPROVED WITH CONDITIONS

No Additional Comments

Please process the enclosed plans for review. Should you have any questions, or should you require additional information, please contact me directly at 864.672.3432 or by email at [bcox@fk-inc.com](mailto:bcox@fk-inc.com) Thank you.

Blake Cox