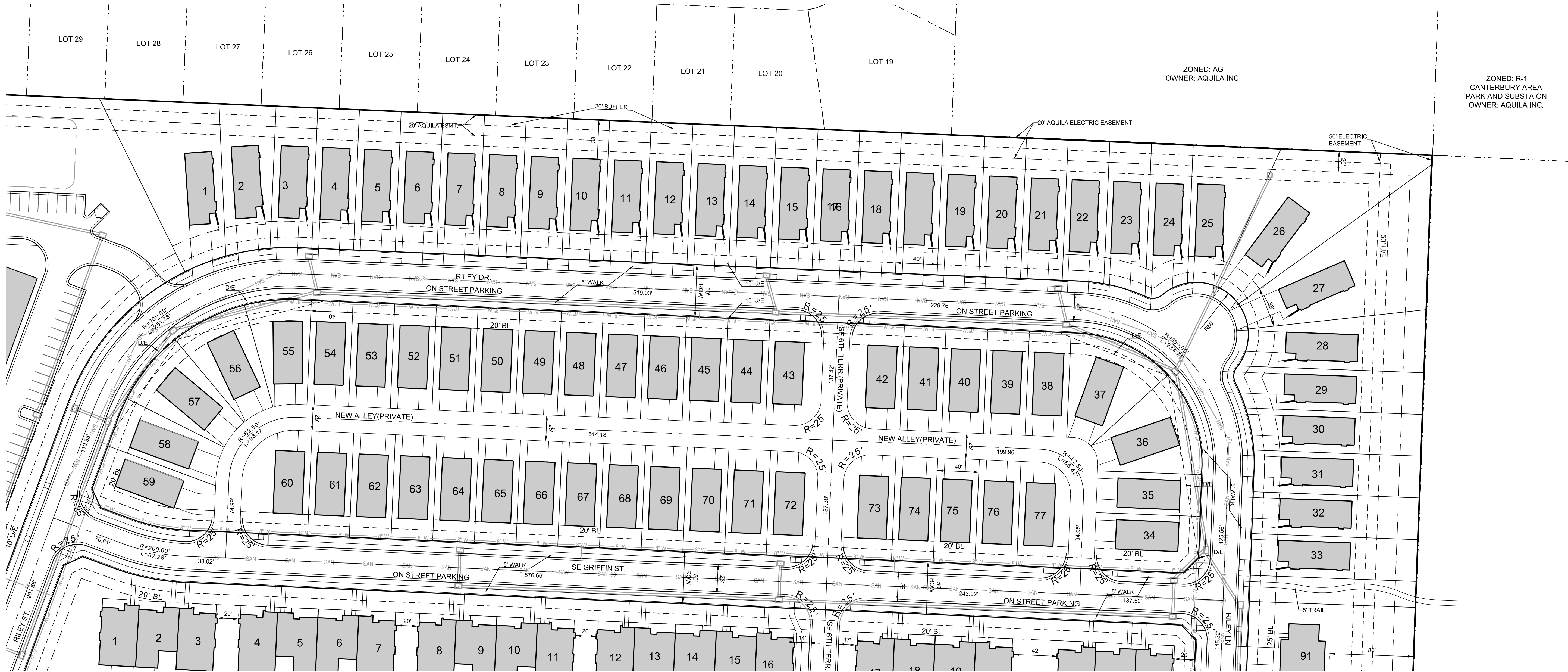


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SITE DATA
EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA
ROW AREA
NET SITE AREA

AG - AGRICULTURAL
RP-1 PLANNED MIXED USE DISTRICT
12.46 ACRES (542,792.39 S.F.)
2.29 ACRES (99,637.82 S.F.)
10.17 ACRES (443,005.2 S.F.) (EXCL. PUBLIC ROW)

PROJECT DATA (Sec. 6.030, Table 6-2)

PROPOSED NUMBER LOTS
DENSITY ALLOWED PER CODE
DENSITY PROPOSED INCL. PUBLIC ROW
DENSITY PROPOSED EXCL. PUBLIC ROW
MINIMUM LOT SIZE PER CODE
MINIMUM LOT SIZE PROPOSED
MINIMUM LOT WIDTH PER CODE
MINIMUM LOT WIDTH PROPOSED

78 UNITS
4 DU/AC (6 DU/AC WITH BONUSES)
6.26 DU/AC
7.67 DU/AC
6,600 S.F.
4,000 S.F. MODIFICATION REQUESTED
60 FT.
40 FT. MODIFICATION REQUESTED

COVERAGE AND OPEN SPACE DATA

CODE REQUIREMENT (Sec. 8.050)
OPEN SPACE REQUIRED BY CODE (10%)(GROSS AREA) 542,792.39 X.1)
OPEN SPACE PROVIDED

10% OF TOTAL LAND AREA
54,279.24 S.F.
54,279.24 S.F. (IN OTHER PROJECT AREAS)

PARKING DATA

CODE REQUIREMENT (Sec. 8.530 - Vehicle parking Table 8-1)
TOTAL PARKING REQUIRED PER CODE (78X2)
GARAGE PARKING PROVIDED
DRIVEWAY SPACES PROVIDED
PUBLIC STREET PARKING PROVIDED ON ONE SIDE
TOTAL PARKING SPACES PROVIDED

2 PER UNIT (FULLY ENCLOSED)
156 FULLY ENCLOSED SPACES
156 GARAGES
156 SPACES
31 SPACES
343 SPACES

BUILDING SETBACKS (Sec. 6.040 Table 6-3)

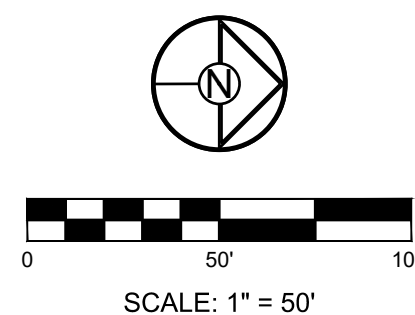
REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
PROVIDED SIDE YARD SETBACK FROM LOT LINE
REQUIRED REAR YARD SETBACK
PROVIDED REAR YARD SETBACK

50 FT.
N/A
20 FT. 25 FT GARAGE
20 FT. 25 FT. GARAGE
5 FT.
5 FT.
20 FT.
20 FT.

PARKING SETBACKS (Sec. 8.620)

REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.
20 FT.
20 FT.
20 FT. (IN MOST AREAS MORE)
20 FT.
20 FT. (IN MOST AREAS MORE)



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021

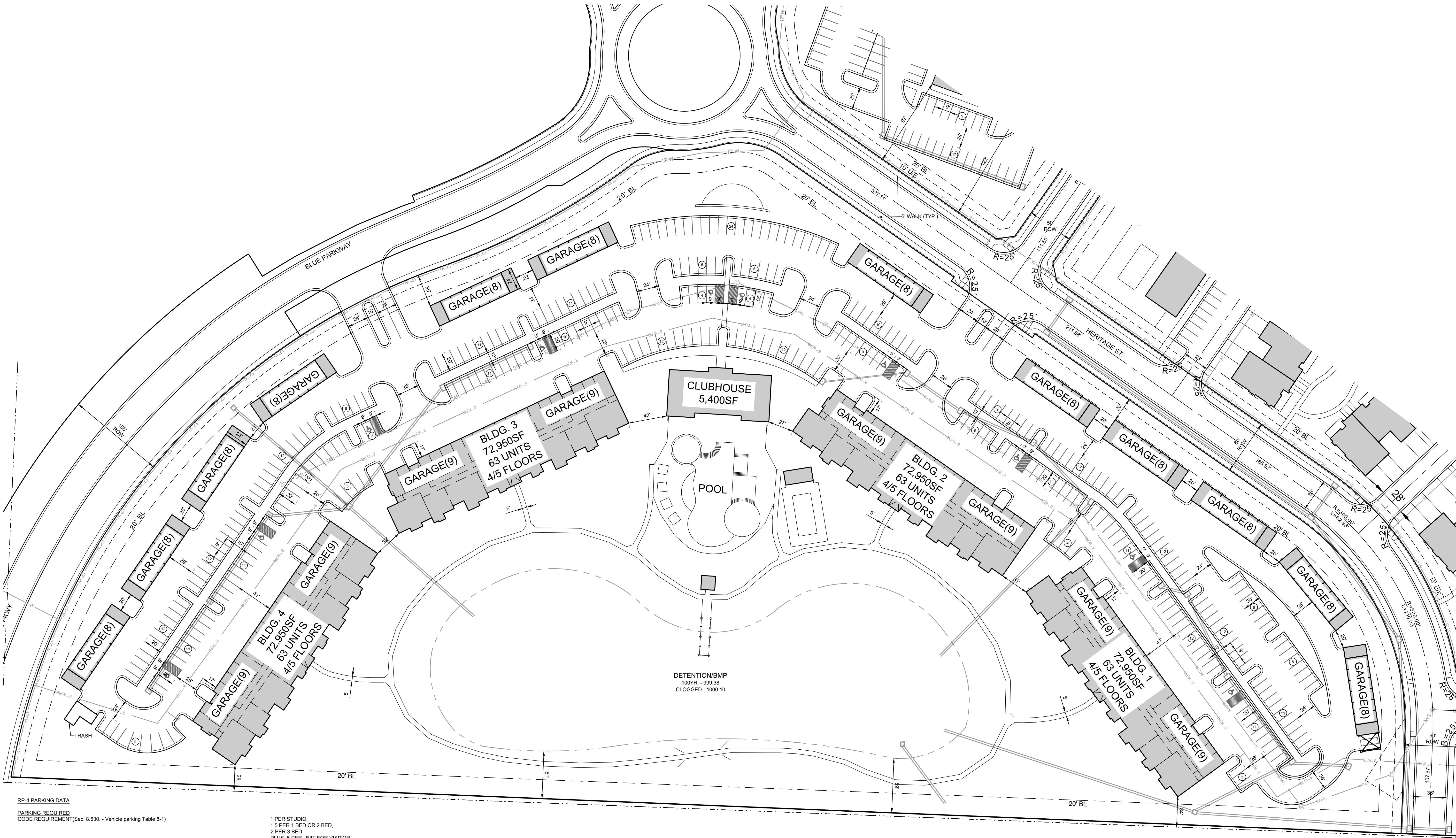
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DATE PREPARED:	
PROJ. NUMBER:	20-205

SINGLE FAMILY
SITE PLAN

SHEET

C1.1
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RP-4 PARKING DATA

PARKING REQUIRED
CODE REQUIREMENT(Sec. 8.530 - Vehicle parking Table 8-1)

1 PER STUDIO,
1.5 PER 1 BED OR 2 BED,
2 PER 3 BED
PLUS .5 PER UNIT FOR VISITOR

TYPE I BLDG PARKING REQUIRED
24(STD)X1P + 132(1BD)X1.5P + 72(2 BD)X1.5P + 24(3BD)X2P = 378 + 0.5PX 252
CLUBHOUSE PARKING REQUIRED (MINIMUM OF 6)

504 SPACES(126 SPACES PER BLDG)
6 SPACES
TOTAL APARTMENT PARKING REQUIRED

PARKING PROVIDED
TYPE I BLDG DETACHED GARAGE PARKING PROVIDED (12 BLDGS X8)
TYPE I BLDG OPEN PARKING PROVIDED
TYPE I BLDG ATTACHED GARAGE PARKING PROVIDED (4 BLDGS X18)
TOTAL APARTMENT PARKING PROVIDED

96 SPACES
351 SPACES
72 SPACES
519 SPACES

ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 351X.02)
ACCESSIBLE SPACES PROVIDED REQUIRED

10 SPACES
10 SPACES

RP-4 BUILDING SETBACKS

REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
PROVIDED SIDE YARD SETBACK FROM LOT LINE
REQUIRED SEPARATION BETWEEN BUILDINGS
PROVIDED SEPARATION BETWEEN BUILDINGS
REQUIRED REAR YARD SETBACK
PROVIDED REAR YARD SETBACK

50 FT.
N/A
20 FT.
20 FT.
10 FT.
20 FT.
20 FT.
20 FT. FOR CLOSEST
20 FT.
20 FT.

PARKING SETBACKS

REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.
20 FT.
20 FT.
20 FT.
20 FT.
20 FT. (IN MOST AREAS MORE)

SITE DATA

EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA

AG - AGRICULTURAL
RP-4 PLANNED APARTMENT RESIDENTIAL DISTRICT
19.21 ACRES (836,787.60 S.F.)

BUILDING DATA

TYPE I NUMBER OF UNITS
TOTAL NUMBER OF UNITS TYPE I BLDG

6(3 STD) 33(1 BED) 18(2 BED) 6(3 BED) 63 UNITS TOTAL
4 BLDGS X 63 UNITS = 252 UNITS

RP-4 SITE DATA

PROPOSED NUMBER OF APARTMENT
PROPOSED RP-4 DENSITY PROPOSED

252 UNITS
13.12 UNITS / ACRE
(REQUESTED DEVIATION FROM 12 UNITS / ACRE)

DENSITY PER CODE FOR RP-4 ZONING

NUMBER OF UNITS PER CODE FOR RP-4 ZONING
MINIMUM LOT SIZE PER UNIT PER CODE
MINIMUM LOT SIZE PER UNIT PROPOSED
OPEN SPACE REQUIRED BY CODE (10%)(744,751.85X.1)

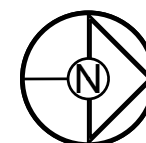
205 UNITS
3,500 S.F.
N/A
74,475.19 S.F.

BUILDING AREA

DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)
OPEN SPACE AREA

324,800 S.F.
194,749 S.F.
333,765 S.F.
410,987.35 S.F. (55%)

PIERSON ARMINDA K, FURRY MICHAEL E,
FURRY BLAKE



0 50' 100'
SCALE: 1" = 50'

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

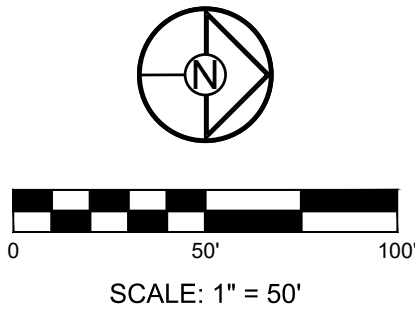
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SCH	SCH			

APARTMENT SITE
PLAN

SHEET

C1.3
##



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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	REVISION DATE	DESCRIPTION
1	2021.08.24	CITY COMMENTS DATED 8-1-2021
2	2021.09.02	
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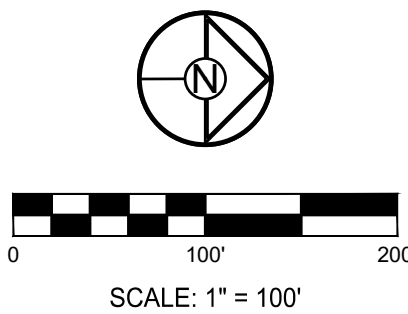
RETAIL SITE
PLAN

SHEET

C1.4

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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1. 2021 08 24	CITY COMMENTS
2. 2021 09 02	CITY COMMENTS DATED 8-1-2021
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DATE PREPARED:	
PROJ. NUMBER:	20-205

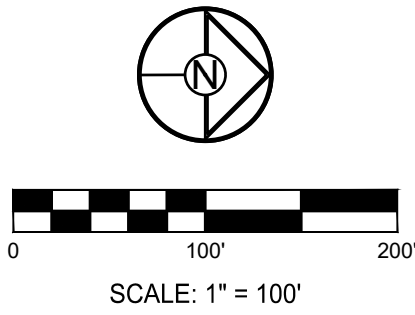
SINGLE FAMILY
GRADING PLAN

SHEET

C2.1

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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

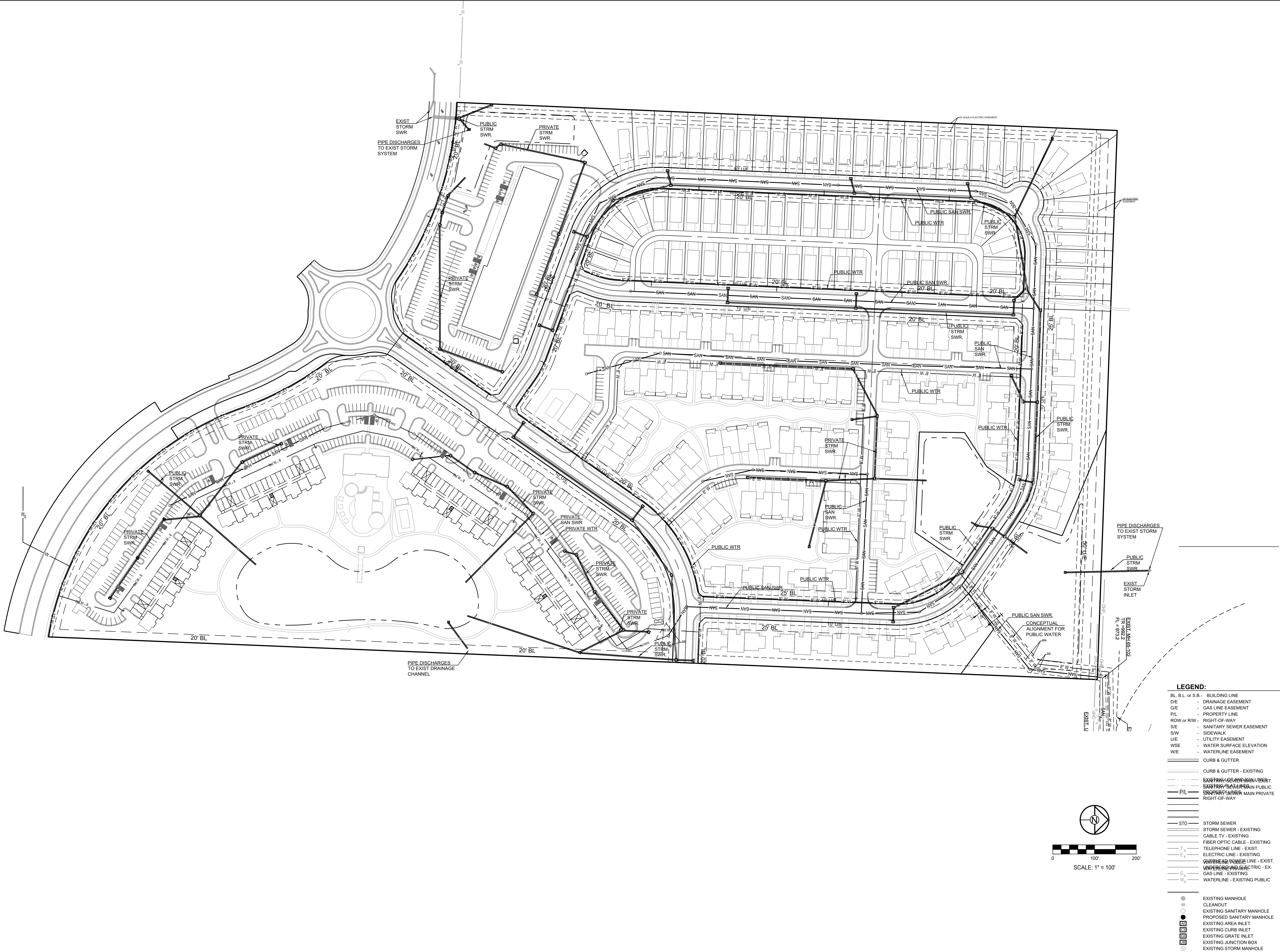
REVISION DATE	DESCRIPTION
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2021 09 02	CITY COMMENTS DATED 8-1-2021
2021 09 02	CITY COMMENTS DATED 8-1-2021
2021 09 02	CITY COMMENTS DATED 8-1-2021
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2021 09 02	CITY COMMENTS DATED 8-1-2021
2021 09 02	CITY COMMENTS DATED 8-1-2021
2021 09 02	CITY COMMENTS DATED 8-1-2021

55+ TOWNHOME
GRADING PLAN

SHEET

C2.2

##



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

PRELIMINARY UTILITY PLAN		REVISION	DATE	DESCRIPTION	
SHEET	C3.0	DRAWN BY:	1	2021.08.24	CITY COMMENTS
		SCH	2	2021.09.02	CITY COMMENTS DATED 9/1/2021
		CHECKED BY:	3		
		SCH	4		
		DATE PREPARED:	5		
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		PROJ. NUMBER:	8		
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PHASE DESCRIPTION

- PHASE 1
BLUE PARKWAY ROAD IMPROVEMENTS AS REQUIRED
385 FEET OF HERITAGE STREET
SANITARY SEWER CONNECTION TO NORTH
OFF SITE SEWER IMPROVEMENTS
WATER MAIN ON BLUE PARKWAY
APARTMENT SITE
- PHASE 2
SINGLE FAMILY SITE
DETENTION IN NE CORNER
PUBLIC STREETS IN SINGLE FAMILY AREA
UTILITY EXTENSIONS
- PHASE 3
55+ SITE
HERITAGE STREET TO EAST BOUNDARY
PUBLIC STREETS IN 55+ AREA
UTILITY EXTENSIONS
- PHASE 4
RETAIL SITE

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1 2021.08.24	CITY COMMENTS
2 2021.09.02	CITY COMMENTS DATED 9-1-2021
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PRELIMINARY
PHASING PLAN

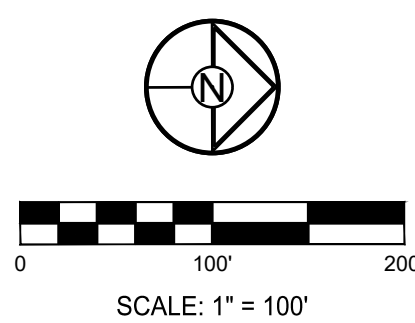
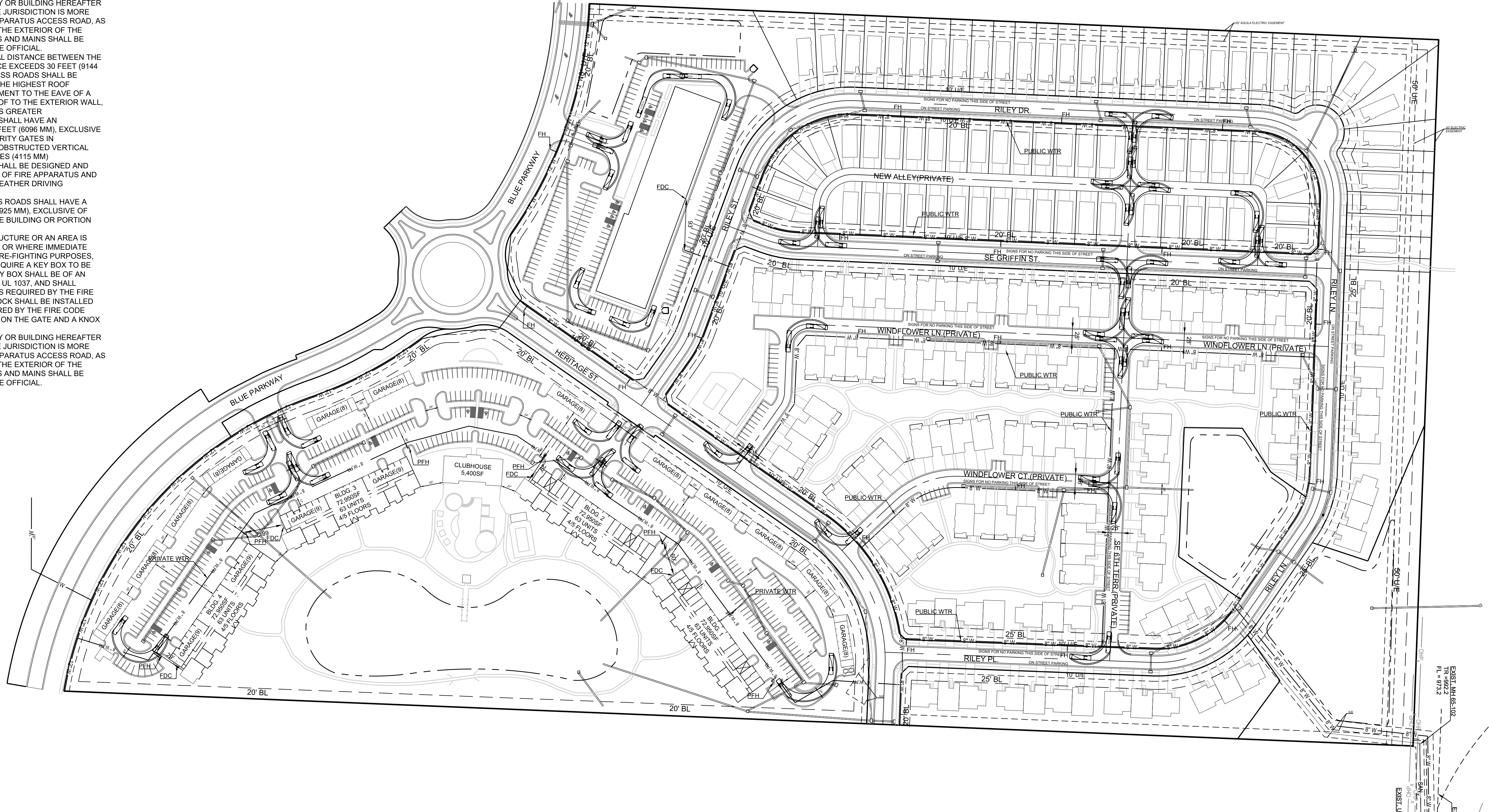
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NOTES:

1. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE CODE AND LOCAL AMENDMENTS.
2. IFC 903.3.7- FIRE DEPARTMENT CONNECTIONS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. CONNECTIONS SHALL BE A 4 INCH STORZ TYPE FITTING AND LOCATED WITHIN 100 FEET OF A FIRE HYDRANT, OR AS APPROVED BY THE CODE OFFICIAL.
3. IFC 507.5.1- WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.
4. D105.1 WHERE REQUIRED, WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET (9144 MM), APPROVED AERIAL FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.
5. IFC 503.2.1 - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.8, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM).
6. IFC 503.2.3 -FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
7. D105.2 WIDTH. AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925 MM), EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.
8. IFC 506.1- WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. 506.1.1 LOCKS. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. A KNOX PADLOCK WILL BE PROVIDED ON THE GATE AND A KNOX BOX ON THE BUILDING.
9. IFC 507.5.1 - WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.

NOTE:

1. ALL FIRE APPARATUS ACCESS ROADS HAVE BEEN DESIGNED FOR A WIDTH OF 26 FEET (SEE SITE PLAN).
2. TURNING RADIUS SHOWN ON THE PLAN IS BASED ON A FIRE ENGINE SJ-40 TEMPLATE.
3. PARKING LOTS HAVE BEEN DESIGNED TO MEET CITY CODE REQUIREMENTS.
4. FIRE HYDRANTS AND FDC HAVE NOT BEEN DETERMINED AT THIS TIME BUT WILL MEET CITY CODES.
5. ALL FIRE ACCESS ROADS WILL BE CAPABLE OF SUPPORTING A 75,000 LB VEHICLE AS REQUIRED BY CODE.



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	2021 08 24	CITY COMMENTS
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FIRE ACCESS
PLAN

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LANDSCAPE DATA	
STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)	
COLLECTOR PUBLIC TREES REQUIRED (1 PER 30') (662.12/30')	22 TREES
COLLECTOR PUBLIC TREES PROVIDED	22 TREES
COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (662.12/20')	33 SHRUBS
COLLECTOR PUBLIC STREET SHRUBS PROVIDED	33 SHRUBS (NOT SHOWN)
RESIDENTIAL PUBLIC STREET TREES REQUIRED (1 PER 30') (3,758.67/30')	125 TREES
RESIDENTIAL PUBLIC STREET TREES PROVIDED	125 TREES
RESIDENTIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (3,758.67/20')	188 SHRUBS
RESIDENTIAL PUBLIC STREET SHRUBS PROVIDED	188 SHRUBS (NOT SHOWN)
RESIDENTIAL PRIVATE STREET TREES REQUIRED (1 PER 30') (4,565.43/30')	152 TREES
RESIDENTIAL PRIVATE STREET TREES PROVIDED	105 TREES
RESIDENTIAL PRIVATE STREET SHRUBS REQUIRED (1 PER 20') (4,565.43/20')	228 SHRUBS
RESIDENTIAL PRIVATE STREET SHRUBS PROVIDED	228 SHRUBS (NOT SHOWN)
OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790 B)	
LOT AREA	930,885.56 S.F.
BUILDING AREA	233,899.93 S.F.
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (705,985.63/5000)	141 TREES
TREES PROVIDED	188 TREES (12 ADD FOR PRIVATE STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (705,985.63/5000X2)	282 SHRUBS
SHRUBS PROVIDED	282 SHRUBS (INCL. PARKING LOT SCREEN) (NOT SHOWN)
PARKING LOT LANDSCAPE(Sec. 8.810)	
LANDSCAPE AREA REQUIRED (5% OF PARKING AREA) (X.05)	N/A
LANDSCAPE AREA PROVIDED	N/A
TREES REQUIRED	1 PER ISLAND
TREES PROVIDED	1 ON EACH END OF PARKING ROW
SCREENING REQUIRED	(2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET)
SCREENING PROVIDED	AS REQUIRED BY CODE
BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890A Sec. 8.900)	
MODIFICATION REQUESTED SINCE USES ARE WITHIN THE SAME PROJECT	

SHADE TREES				
	AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple
	AFM	3 EA.	Acer x freemanii 'Marmo'	Marmo Maple
	AG	12 EA.	Acer griseum	Paperbark Maple
	ASC	20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple
	ATW	131 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple
	NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust
	GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo
	QPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak
	QB	25 EA.	Quercus bicolor	Swamp White Oak
	QR	51 EA.	Quercus rubra	Red Oak
	QS	4 EA.	Quercus shumardii	Shumard Oak
	TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden
	UXF	138 EA.	Ulmus x Frontier	Frontier Elm
	UP	19 EA.	Ulmus parvifolia	Lacebark Elm
	ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnnar Zelkova
ORNAMENTAL TREES				
	AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple
	AC	57 EA.	Amelanchier canadensis	Shadblow Serviceberry
	BN	10 EA.	Betula nigra	River Birch
	SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac
	CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud
EVERGREEN TREES				
	JCK	52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper
	JVC	72 EA.	Juniperus virginiana 'Canaertii'	Canaert Juniper

- NOTES:
- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
 - QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
 - ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS (EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
 - ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
 - ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
 - ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
 - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
 - ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
 - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
 - THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
 - INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
 - ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANGS IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
 - AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL, AND SO THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
 - ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
 - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

- MODIFICATIONS REQUESTED:
- REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES FOR THE BUFFER SCREENING AREA.
 - REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 6 FEET.
 - REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8-1-2021
2021.09.02	CITY COMMENTS DATED 8-1-2021
2021.09.02	CITY COMMENTS DATED 8-1-2021
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2021.09.02	CITY COMMENTS DATED 8-1-2021
2021.09.02	CITY COMMENTS DATED 8-1-2021

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	
PROJ. NUMBER:	20-205

55+
TOWNHOMES
LANDSCAPE
PLAN

SHEET

L1.2
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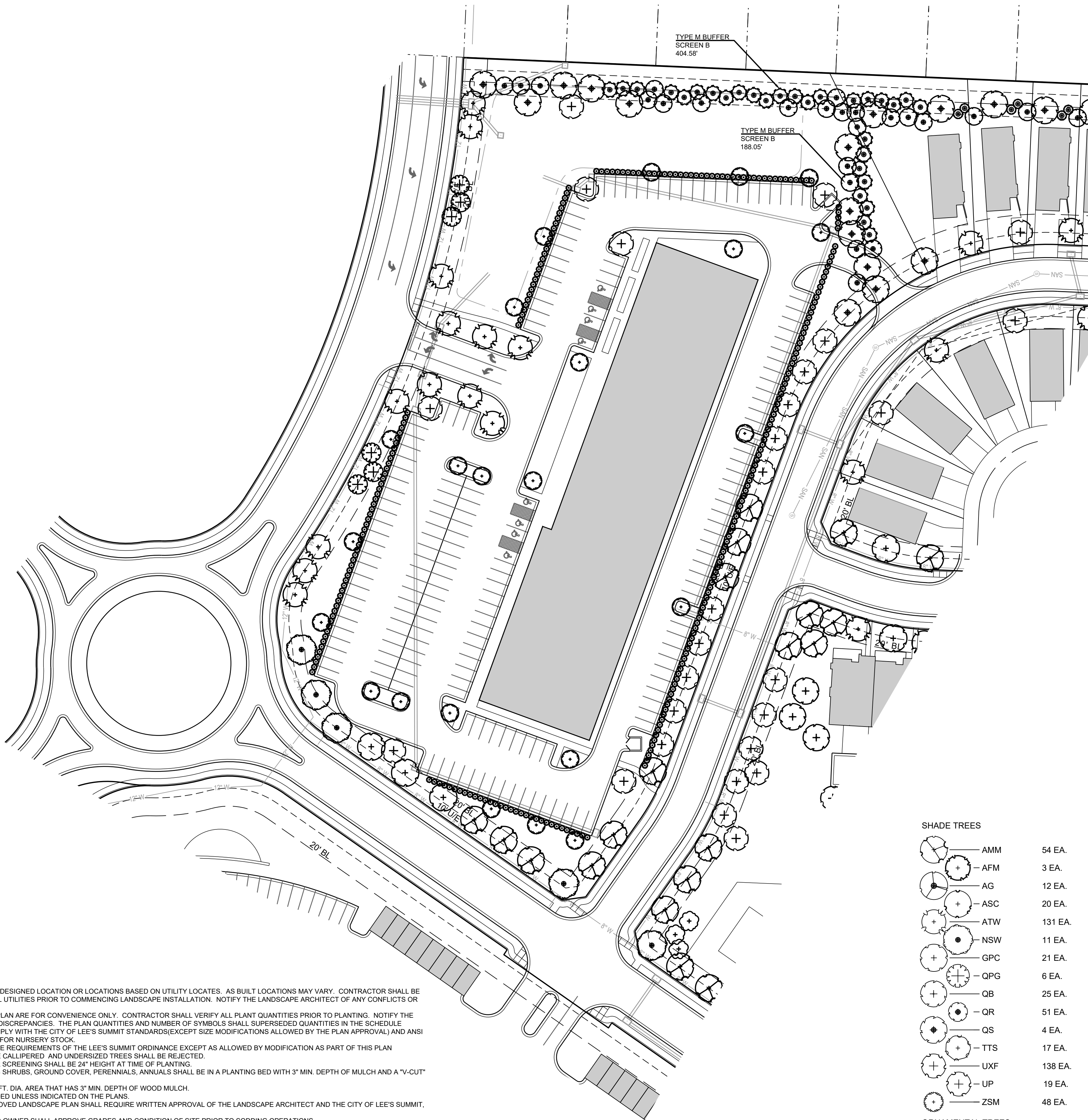
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NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY, CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS(EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
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MODIFICATIONS REQUESTED:

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- REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 6 FEET TO 6 FEET.
- REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".



SHADE TREES

	AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.	B&B
	AFM	3 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.	B&B
	AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.	B&B
	ASC	20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.	B&B
	ATW	131 EA.	Acer truncatum 'Warrend'	Pacific Sunset Maple	2.5" Cal.	B&B
	NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
	GPC	21 EA.	Ginkgo biloba "Princeton Sentry"	Princeton Sentry Ginkgo	2.5" Cal.	B&B
	QPG	6 EA.	Quercus palustris "Green Pillar"	Green Pillar Oak	2.5" Cal.	B&B
	QB	25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
	QR	51 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
	QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
	TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
	UXF	138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
	UP	19 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.	B&B
	ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES

	AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
	AC	57 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
	BN	10 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
	SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
	CCB	14 EA.	Cercis canadensis "Burgandy Hart"	Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B

EVERGREEN TREES

	JCK	52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
	JVC	72 EA.	Juniperus virginiana "Canaertii"	Canaert Juniper	6' ht.	B&B

LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE(Sec. 8.790.A)

BLUE PARKWAY TREES REQUIRED (1 PER 30')(481.57/30')	16 TREES
BLUE PARKWAY TREES PROVIDED	16 TREES
BLUE PARKWAY SHRUBS REQUIRED (1 PER 20')(481.57/20')	24 SHRUBS
BLUE PARKWAY SHRUBS PROVIDED	24 SHRUBS (PARKING LOT SCREEN)
COLLECTOR STREET TREES REQUIRED (1 PER 30')(267.68/30')	9 TREES
COLLECTOR STREET TREES PROVIDED	9 TREES
COLLECTOR STREET SHRUBS REQUIRED (1 PER 20')(267.68/20')	14 SHRUBS
COLLECTOR STREET SHRUBS PROVIDED	14 SHRUBS (PARKING LOT SCREEN)
RESIDENTIAL STREET TREES REQUIRED (1 PER 30')(573.03/30')	19 TREES
RESIDENTIAL STREET TREES PROVIDED	19 TREES
RESIDENTIAL STREET SHRUBS REQUIRED (1 PER 20')(573.03/20')	29 SHRUBS
RESIDENTIAL STREET SHRUBS PROVIDED	29 SHRUBS (PARKING LOT SCREEN)

OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790.B)

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(180,515/5000)	36 TREES
TREES PROVIDED	36 TREES (IN ADDITION TO STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(180,515/5000X2)	72 SHRUBS
SHRUBS PROVIDED	72 SHRUBS (INCL. PARKING LOT SCREEN)

PARKING LOT LANDSCAPE(Sec. 8.810)

LANDSCAPE AREA REQUIRED PER CODE	5% OF PARKING AREA
PARKING LOT LANDSCAPE AREA REQUIRED(86,490.16X0.05)	4,324.51 S.F.
PARKING LOT LANDSCAPE AREA PROVIDED	7,053.59 S.F.
TREES REQUIRED (1 PER ISLAND)	14 TREES
TREES PROVIDED	14 TREES
SCREENING REQUIRED PER CODE	2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET
SCREENING PROVIDED	SHRUBS TO MEET CODE

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900) (WEST BOUNDARY)

PROPOSED USE	CP-1
ADJACENT USE	R-1
BUFFER TYPE REQUIRED BY CODE	M
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	404.58'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(8,091.6 S.F./1,000)	8 TREES
SHADE TREES PROVIDED	8 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./500)	16 TREES
ORNAMENTAL TREES PROVIDED	16 TREES
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./500)	16 TREES
EVERGREEN TREES PROVIDED	16 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./200)	41 SHRUBS
SHRUBS PROVIDED	41 SHRUBS

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900) (NORTH BOUNDARY)

PROPOSED USE	CP-1
ADJACENT USE	R-1
BUFFER TYPE REQUIRED BY CODE	M
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	188.05'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(3,761 S.F./1,000)	4 TREES
SHADE TREES PROVIDED	4 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(3,761 S.F./500)	8 TREES
ORNAMENTAL TREES PROVIDED	8 TREES
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(3,761 S.F./500)	8 TREES
EVERGREEN TREES PROVIDED	8 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(3,761 S.F./200)	19 SHRUBS
SHRUBS PROVIDED	19 SHRUBS

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

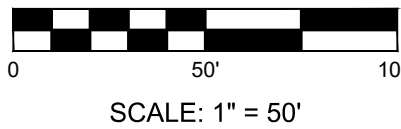
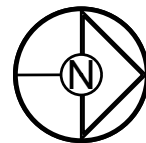
REVISION	DATE	DESCRIPTION
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RETAIL
LANDSCAPE
PLAN

SHEET

C1.3

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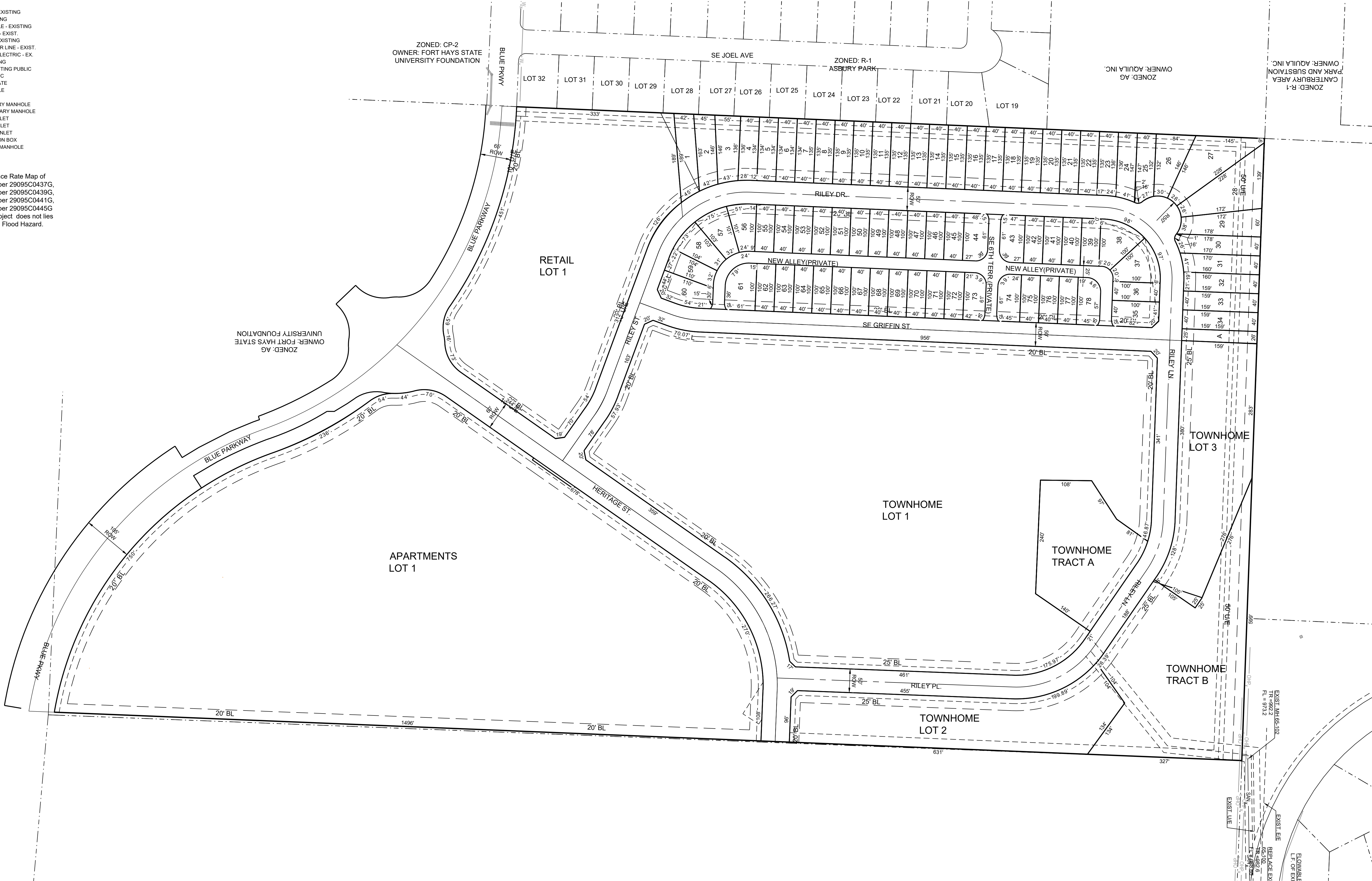
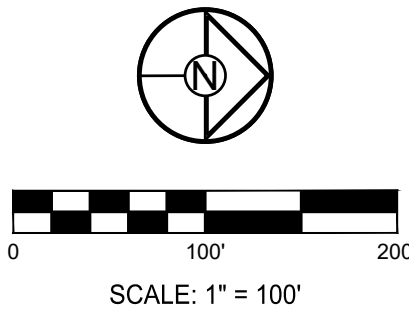
SCALE: 1" = 50'

- LEGEND:**
- BL, B.L. or S.B. - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - G/E - GAS LINE EASEMENT
 - P/L - PROPERTY LINE
 - ROW or R.W. - RIGHT-OF-WAY
 - SE - SANITARY SEWER EASEMENT
 - SW - SIDEWALK
 - UE - UTILITY EASEMENT
 - WE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
 - Curb & Gutter
 - CURB & GUTTER - EXISTING
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - RIGHT-OF-WAY
 - SANITARY SEWER MAIN - EXIST.
 - SANITARY SEWER MAIN PUBLIC
 - SANITARY SEWER MAIN PRIVATE
 - STORM SEWER
 - STORM SEWER - EXISTING
 - CABLE TV - EXISTING
 - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - OVERHEAD POWER LINE - EXIST.
 - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING PUBLIC
 - WATERLINE PUBLIC
 - WATERLINE PRIVATE
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE

FLOOD NOTE:
According to the Flood Insurance Rate Map of FEMA panel 437 for map number 29095C0437G, FEMA panel 439 for map number 29095C0439G, FEMA panel 441 for map number 29095C0441G, FEMA panel 445 for map number 29095C0445G dated January 20, 2017 the project does not lie within Zone X, Area of Minimal Flood Hazard.

NOTES:

1. BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY OLSSON DATED 2/21/2019 PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
2. TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
3. AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "UE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
4. THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
5. BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.



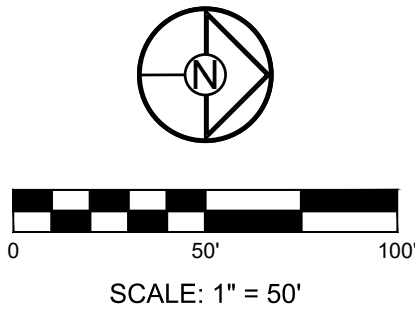
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PRELIMINARY DEVELOPMENT PLAN
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LEE'S SUMMIT, MISSOURI**

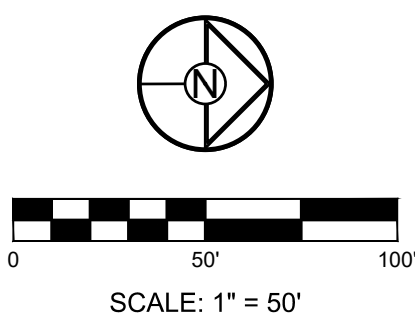
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**OVERALL
PRELIMINARY
PLAT**

SHEET
V1.0
##

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certified of Authority
#E2002003600-F #LAC2001006237 #LS2002008659-F





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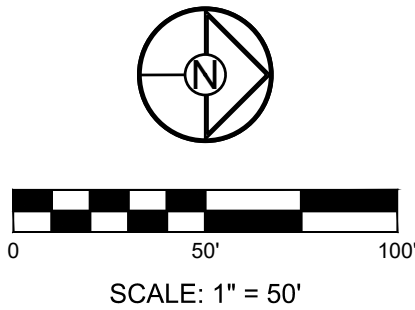
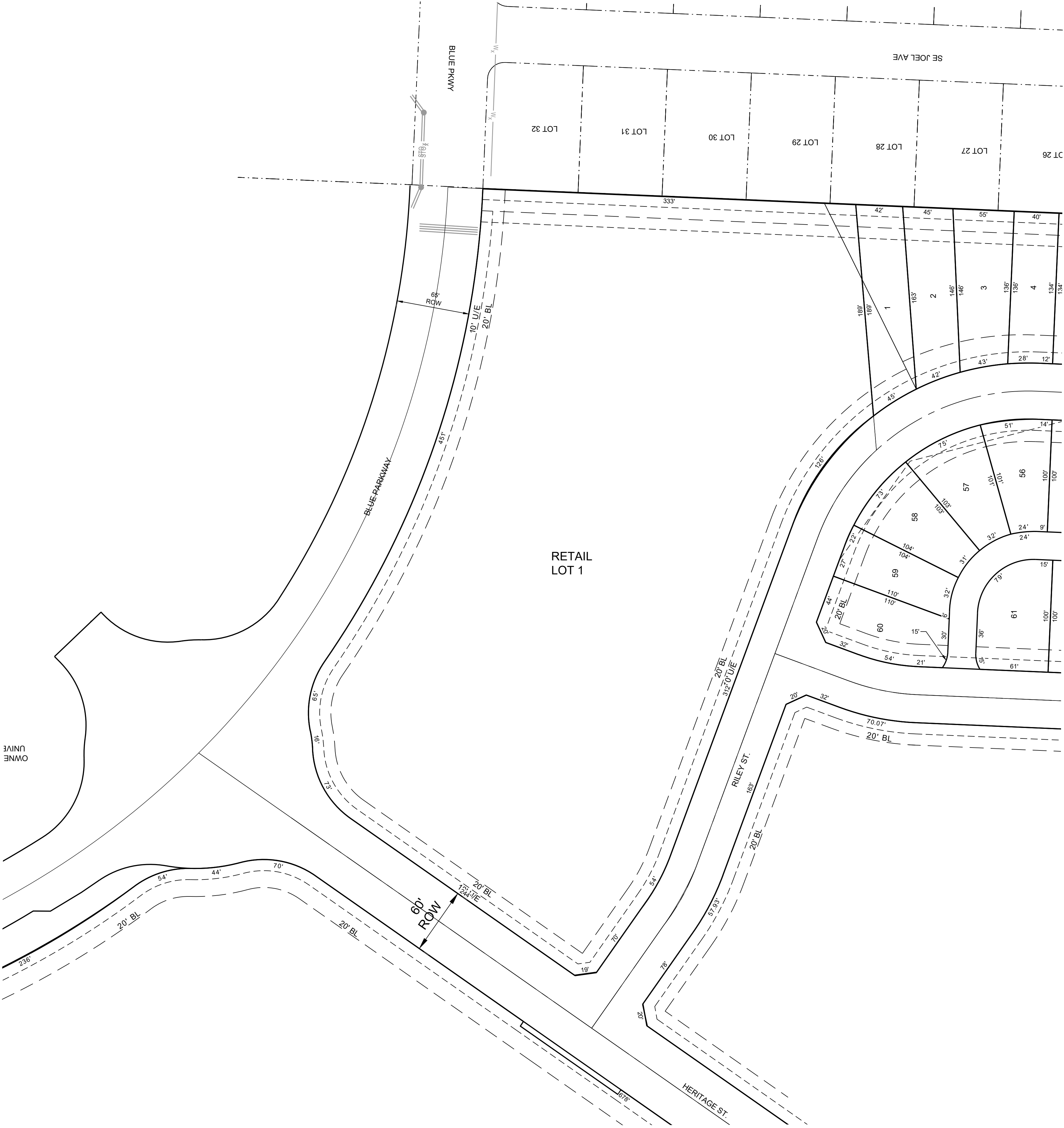
APARTMENT
PRELIMINARY
PLAT

SHEET

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LEE'S SUMMIT, MISSOURI

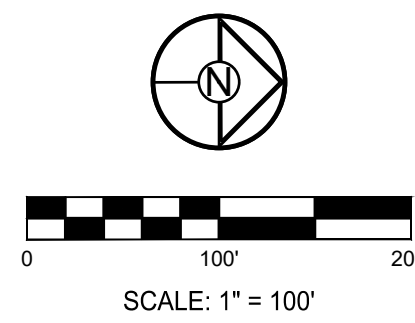
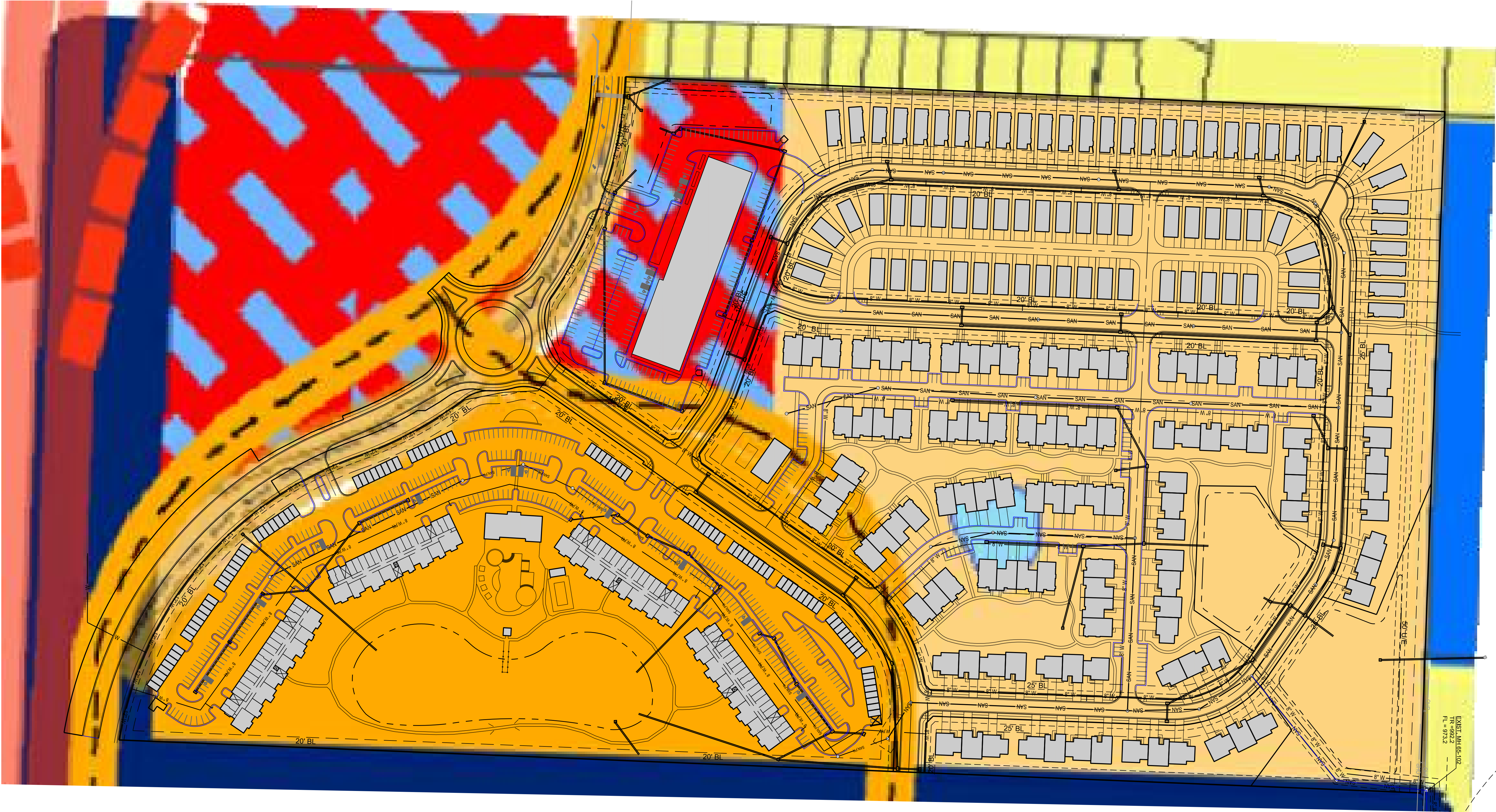
REVISION DATE	DESCRIPTION
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DATE PREPARED:	
PROJ. NUMBER:	20-205

RETAIL
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PLAT

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Legend

LAND USE

Conservation Areas

Low-density Residential

Master-Planned Development-3rd Tier

Medium Density Residential

Medium-High-density Residential

Mix Use-Join Village

Residential Mixed-density

Planned Mixed Use (Restricted, O/RES)

Planned Mixed Use (Restricted, R/O/RES)

Office

Long-Term Reserve

Commercial-dominant Mix Use

Commercial (Office/Retail)

Master-Planned Development-2nd Tier

Retail

Retail Commercial-Regional

Long-term Retail Opportunity

Business Park

Public/Semi-public

Industrial

Old Town Master Development Plan

Special Development District

Lake

Park, Golf Course, Nature Pres

Planned Mixed Use

Runway Protection Zone

Airport

Thoroughfare Master Plan - Future Impr Classification

F_Major Arterial

F_Minor Arterial

F_Col or Ind Collector

F_Residential Collector

F_Local

E_Highway Freeway or Interstate

E_Major Arterial

E_Minor Arterial

E_Commercial or Industrial Collector

E_Residential Collector

E_Local

E_Parks and Rec/Jackson Co Parks

City Limit

COOArea

Parcels

Lakes

Potential TOD Locations

ActivityCenters

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
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2021.09.02	6	6
2021.09.02	7	7
2021.09.02	8	8
2021.09.02	9	9
2021.09.02	10	10

COMPREHENSIVE
PLAN OVERLAY

LEGAL DESCRIPTION PROVIDED BY OWNER

TRACT 1:
THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 47, RANGE 31, JACKSON COUNTY, MISSOURI,
EXCEPT THAT
PART IN ROADS.

FURTHER EXCEPTING THE FOLLOWING:

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE QUIT CLAIM DEED RECORDED
08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,
AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064868.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER
27, 1995, AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014, AS DOCUMENT NO. 2014E0064937.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,
AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064940.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER
27, 1995, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064941.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,
AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064944.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER
27, 1995, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064945.

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE WARRANTY DEED RECORDED
08/14/2014 AS DOCUMENT NO. 2014E0067093 AND AS DOCUMENT NO. 2014E0067095.

THAT PART CONVEYED TO THE CITY OF LEE'S SUMMIT BY THE WARRANTY DEED RECORDED 08/14/2014 AS DOCUMENT NO.
2014E0067094 AND AS DOCUMENT NO. 014E0067094.

AND FURTHER EXCEPT

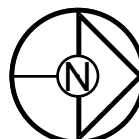
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
NORTHEAST CORNER OF THE SAID NORTHWEST QUARTER; THENCE SOUTH 02°19'49" WEST, ON THE EAST LINE OF THE SAID
NORTHWEST QUARTER 234.28 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTH OUTER ROAD OF EXISTING
EAST BOUND ROUTE 50 AS DESCRIBED IN GENERAL WARRANTY DEED, INSTRUMENT NUMBER 2014E0064868 RECORDED IN THE
JACKSON COUNTY RECORDER OF DEEDS; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTHWESTERLY ALONG A CURVE
TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 80°17'24" WEST WITH A RADIUS OF 708.50 FEET, A CENTRAL
ANGLE OF 47°20'45" AND AN ARC DISTANCE OF 585.46 FEET; THENCE SOUTH 57°03'00" WEST, 31.00 FEET; THENCE
NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 32°57'00" WEST WITH A
RADIUS OF 739.50 FEET, A CENTRAL ANGLE OF 13°17'24" AND AN ARC DISTANCE OF 171.53 FEET; THENCE NORTHWESTERLY
ALONG A CURVE TO THE LEFT HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 784.50
FEET, A CENTRAL ANGLE OF 10°24'58" AND AN ARC DISTANCE OF 142.62 FEET TO A POINT INTERSECTING WITH THE WEST LINE
OF THE EAST HALF OF THE SAID NORTHWEST QUARTER OF SECTION 11; THENCE ON SAID WEST LINE, NORTH 02°25'45" EAST,
1,958.98 FEET TO A POINT ON THE NORTH LINE OF THE SAID NORTH WEST QUARTER; THENCE ON SAID NORTH LINE, SOUTH
87°50'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.

TRACT 1:

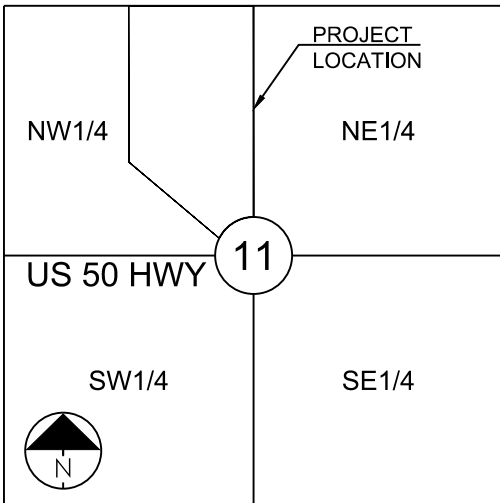
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87°50'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.



SCALE: 1" = 100'



SECTION 11-47N-31W

LOCATION MAP
SCALE 1" = 2000'

REZONING DATA
EXISTING ZONING: AG
EXISTING USE: VACANT

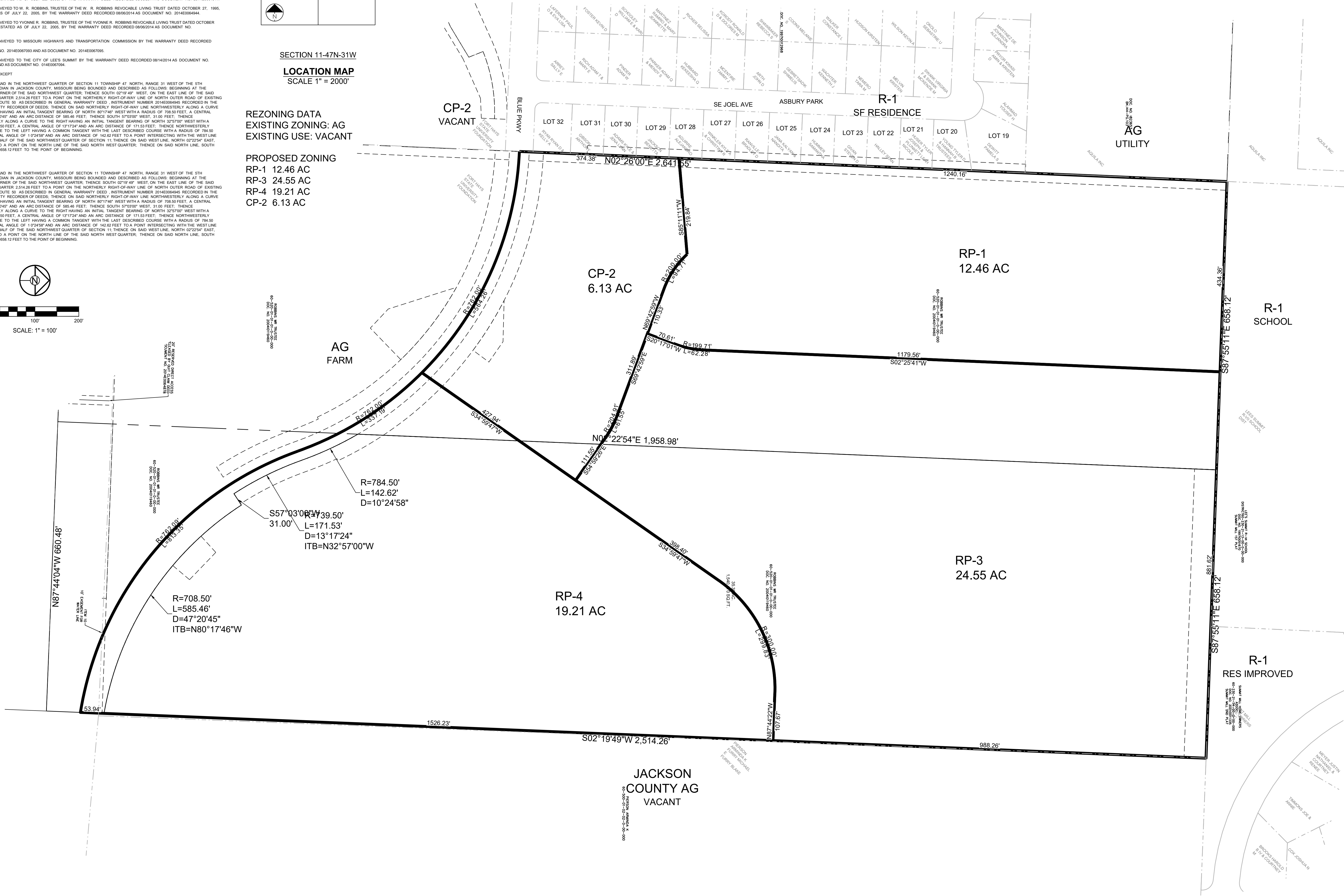
PROPOSED ZONING

RP-1 12.46 AC

RP-3 24.55 AC

RP-4 19.21 AC

CP-2 6.13 AC



SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
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(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 9-1-2021

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	
PROJ. NUMBER:	20-205

REZONING
EXHIBIT

SHEET
Z2.0