

SITE DATA
EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA
ROW AREA
NET SITE AREA

AG - AGRICULTURAL
RP-1 PLANNED MIXED USE DISTRICT
12.46 ACRES (542,792.39 S.F.)
2.29 ACRES (99,637.82 S.F.)
10.17 ACRES (443,005.2 S.F.) (EXCL. PUBLIC ROW)

PROJECT DATA (Sec. 6.030, Table 6-2)

PROPOSED NUMBER LOTS
DENSITY ALLOWED PER CODE
DENSITY PROPOSED INCL. PUBLIC ROW
DENSITY PROPOSED EXCL. PUBLIC ROW
MINIMUM LOT SIZE PER CODE
MINIMUM LOT SIZE PROPOSED
MINIMUM LOT WIDTH PER CODE
MINIMUM LOT WIDTH PROPOSED

78 UNITS
4 DU/AC (6 DU/AC WITH BONUSES)
6.26 DU/AC
7.67 DU/AC
6,600 S.F.
4,000 S.F. MODIFICATION REQUESTED
60 FT.
40 FT. MODIFICATION REQUESTED

COVERAGE AND OPEN SPACE DATA

CODE REQUIREMENT (Sec. 8.050)
OPEN SPACE REQUIRED BY CODE (10%)(GROSS AREA) 542,792.39 X.1)
OPEN SPACE PROVIDED

10% OF TOTAL LAND AREA
54,279.24 S.F.
54,279.24 S.F. (IN OTHER PROJECT AREAS)

PARKING DATA
CODE REQUIREMENT (Sec. 8.530 - Vehicle parking Table 8-1)
TOTAL PARKING REQUIRED PER CODE (78X2)
GARAGE PARKING PROVIDED
DRIVEWAY SPACES PROVIDED
PUBLIC STREET PARKING PROVIDED ON ONE SIDE
TOTAL PARKING SPACES PROVIDED

2 PER UNIT (FULLY ENCLOSED)
156 FULLY ENCLOSED SPACES
156 GARAGES
156 SPACES
31 SPACES
343 SPACES

BUILDING SETBACKS (Sec. 6.040 Table 6-3)

REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
PROVIDED SIDE YARD SETBACK FROM LOT LINE
REQUIRED REAR YARD SETBACK
PROVIDED REAR YARD SETBACK

50 FT.
N/A
20 FT. 25 FT GARAGE
20 FT. 25 FT. GARAGE
5 FT.
5 FT.
20 FT.
20 FT.

PARKING SETBACKS (Sec. 8.620)

REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.
20 FT.
20 FT.
20 FT. (IN MOST AREAS MORE)
20 FT.
20 FT. (IN MOST AREAS MORE)

ZONED: AG
OWNER: AQUILA INC.

ZONED: R-1
CANTERBURY AREA
PARK AND SUBSTATION
OWNER: AQUILA INC.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

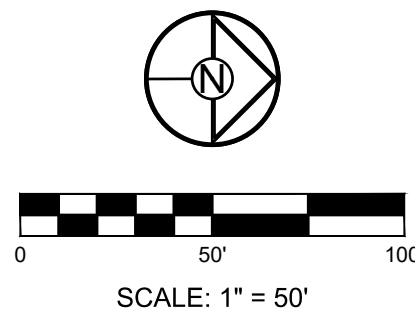
REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS

DRAWN BY: SCH	CHECKED BY: SCH	DATE PREPARED: 20-005
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SINGLE FAMILY
SITE PLAN

SHEET

C1.1
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SITE DATA
EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA
NET SITE AREA

PROJECT DATA(Sec. 6.030, Table 6-2)
PROPOSED NUMBER UNITS
DENSITY ALLOWED PER CODE
DENSITY PROPOSED INCL. PUBLIC ROW
DENSITY PROPOSED EXCL. PUBLIC ROW
MINIMUM LOT SIZE PER CODE
MINIMUM LOT SIZE PROPOSED

COVERAGE AND OPEN SPACE DATA
CODE REQUIREMENT (Sec. 8.050)
OPEN SPACE REQUIRED BY CODE (10%)(1,069,432.46 GROSS AREA X .1)
BUILDING AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)
OPEN SPACE AREA

PARKING DATA
CODE REQUIREMENT(Sec. 8.530 - Vehicle parking Table 8-1)
TOTAL PARKING REQUIRED PER CODE(113X2)
GARAGE PARKING PROVIDED
DRIVEWAY SPACES PROVIDED
OPEN PARKING SPACES PROVIDED
PUBLIC STREET PARKING PROVIDED ON ONE SIDE
TOTAL PARKING SPACES PROVIDED

BUILDING SETBACKS(Sec. 6.040 Table 6-3)
REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
PROVIDED SIDE YARD SETACK FROM LOT LINE
REQUIRED SEPARATION BETWEEN BUILDINGS
REQUIRED REAR YARD SETBACK
PROVIDED REAR YARD SETBACK

PARKING SETBACKS(Sec. 8.620)
REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

AG - AGRICULTURAL
RP-3 PLANNED MIXED USE DISTRICT
24.55 ACRES (1,069,432.46 S.F.)
21.58 ACRES (939,885.56 S.F.)(EXCL. PUBLIC ROW)

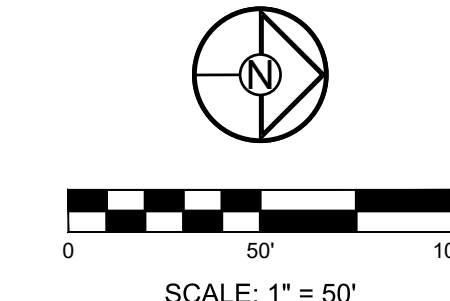
113 UNITS
10 DU/AC
4.60 DU/AC
5.24 DU/AC
4,000 S.F. PER UNIT
7,965.13 S.F. PER UNIT USING NET AREA

10% OF TOTAL LAND AREA
106,943.25 S.F.
205,006.23 S.F.
84,226.87 S.F. (EXCL. PUBLIC STREETS)
289,233.10 S.F.
539,386.88 S.F.

2 PER UNIT
228 SPACES(113 GARAGE MIN)
199 GARAGES
199 SPACES
60 SPACES (INCL. 2 ADA)
48 SPACES
257 SPACES

50 FT.
N/A
20 FT. 25 FT GARAGE
20 FT. 25 FT. GARAGE
10 FT.
10 FT.
20 FT.
20 FT. FOR CLOSEST
20 FT.
20 FT.

20 FT.
20 FT.
20 FT.
20 FT. (IN MOST AREAS MORE)
20 FT.
20 FT. (IN MOST AREAS MORE)





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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

55+
TOWNHOMES
SITE PLAN

REVISION DATE
2021.08.24
CITY COMMENTS

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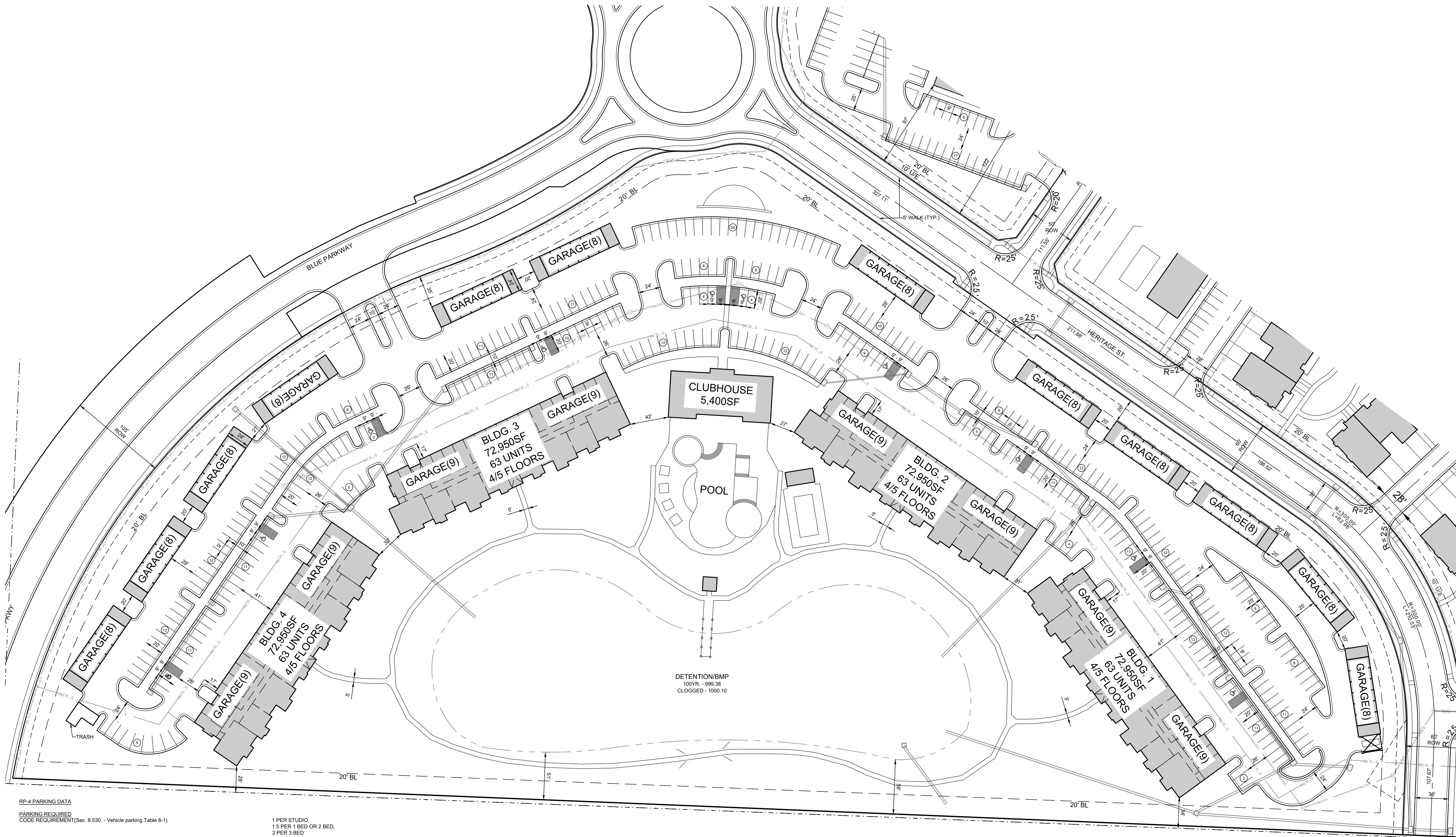
DATE PREPARED:
2021.08.24

PROJ. NUMBER:
20-005

SHEET

C1.2

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RP-4 PARKING DATA	
PARKING REQUIRED CODE REQUIREMENT(Sec. 8.530. - Vehicle parking Table 8-1)	1 PER STUDIO, 1.5 PER 1 BED OR 2 BED, 2 PER 3 BED PLUS .5 PER UNIT FOR VISITOR
TYPE I BLDG PARKING REQUIRED 24(5TD)X1P + 132(1BD)X1.5P + 72(2 BD)X1.5P + 24(3BD)X2P = 378 + 0.5PX 252 CLUBHOUSE PARKING REQUIRED (MINIMUM OF 6)	504 SPACES(126 SPACES PER BLDG) 6 SPACES
TOTAL APARTMENT PARKING REQUIRED	510 SPACES

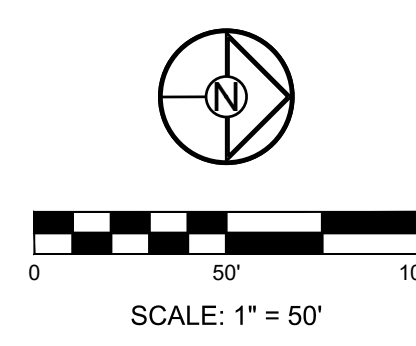
PARKING PROVIDED TYPE I BLDG DETACHED GARAGE PARKING PROVIDED (12 BLDGS X8) TYPE I BLDG OPEN PARKING PROVIDED TYPE I BLDG ATTACHED GARAGE PARKING PROVIDED (4 BLDGS X18) TOTAL APARTMENT PARKING PROVIDED	96 SPACES 351 SPACES 72 SPACES 519 SPACES
ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 351X.02) ACCESSIBLE SPACES PROVIDED REQUIRED	10 SPACES 10 SPACES

RP-4 BUILDING SETBACKS REQUIRED FRONT YARD MAJOR STREET REQUIRED FRONT YARD MAJOR STREET REQUIRED FRONT YARD FROM OTHER STREETS REQUIRED FRONT YARD FROM OTHER STREETS REQUIRED SIDE YARD SETBACK FROM LOT LINE PROVIDED SIDE YARD SETBACK FROM LOT LINE REQUIRED SEPARATION BETWEEN BUILDINGS REQUIRED SEPARATION BETWEEN BUILDINGS REQUIRED REAR YARD SETBACK PROVIDED REAR YARD SETBACK	50 FT. N/A 20 FT. 20 FT. 10 FT. 20 FT. 20 FT. 20 FT. FOR CLOSEST 20 FT. 20 FT.
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PARKING SETBACKS REQUIRED FROM PUBLIC RIGHT OF WAY PROVIDED FROM PUBLIC RIGHT OF WAY REQUIRED FROM RESIDENTIAL USE PROVIDED FROM RESIDENTIAL USE REQUIRED FROM SIDE AND REAR PROPERTY PROVIDED FROM SIDE AND REAR PROPERTY	20 FT. 20 FT. 20 FT. 20 FT. 20 FT. 20 FT. (IN MOST AREAS MORE)
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SITE DATA EXISTING ZONING PROPOSED ZONING GROSS SITE AREA	AG - AGRICULTURAL RP-4 PLANNED APARTMENT RESIDENTIAL DISTRICT 17.10 ACRES (744,751.85 S.F.)
BUILDING DATA TYPE I NUMBER OF UNITS TOTAL NUMBER OF UNITS TYPE I BLDG	6(3 STD) 33(1 BED) 18(2 BED) 6(3 BED) 63 UNITS TOTAL 4 BLDGS X 63 UNITS = 252 UNITS
RP-4 SITE DATA PROPOSED NUMBER OF APARTMENT PROPOSED RP-4 DENSITY PROPOSED	252 UNITS 22.11 UNITS / ACRE (REQUESTED DEVIATION FROM 12 UNITS / ACRE) 12 UNITS/ACRE 205 UNITS 3,500 S.F. N/A 74,475.19 S.F. 324,800 S.F. 194,749 S.F. 333,765 S.F. 410,987.35 S.F. (55%)
DENSITY PER CODE FOR RP-4 ZONING NUMBER OF UNITS PER CODE FOR RP-4 ZONING MINIMUM LOT SIZE PER UNIT PROPOSED MINIMUM LOT SIZE PER UNIT PROPOSED OPEN SPACE REQUIRED BY CODE (10%)(744,751.85X.1) BUILDING AREA DRIVE AND PARKING AREA TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA) OPEN SPACE AREA	

PIERSON ARMINDA K, FURRY MICHAEL E,
FURRY BLAKE

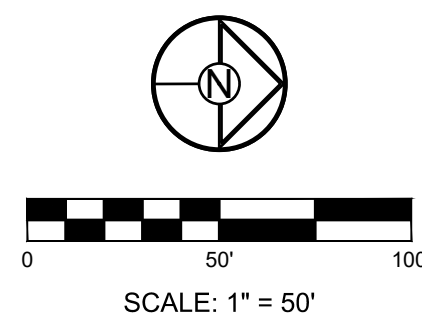


A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

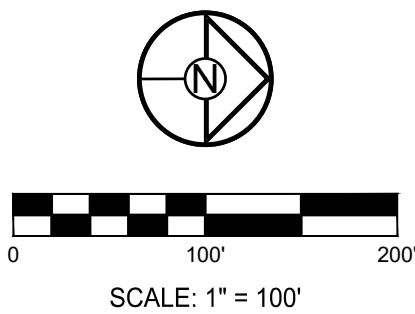
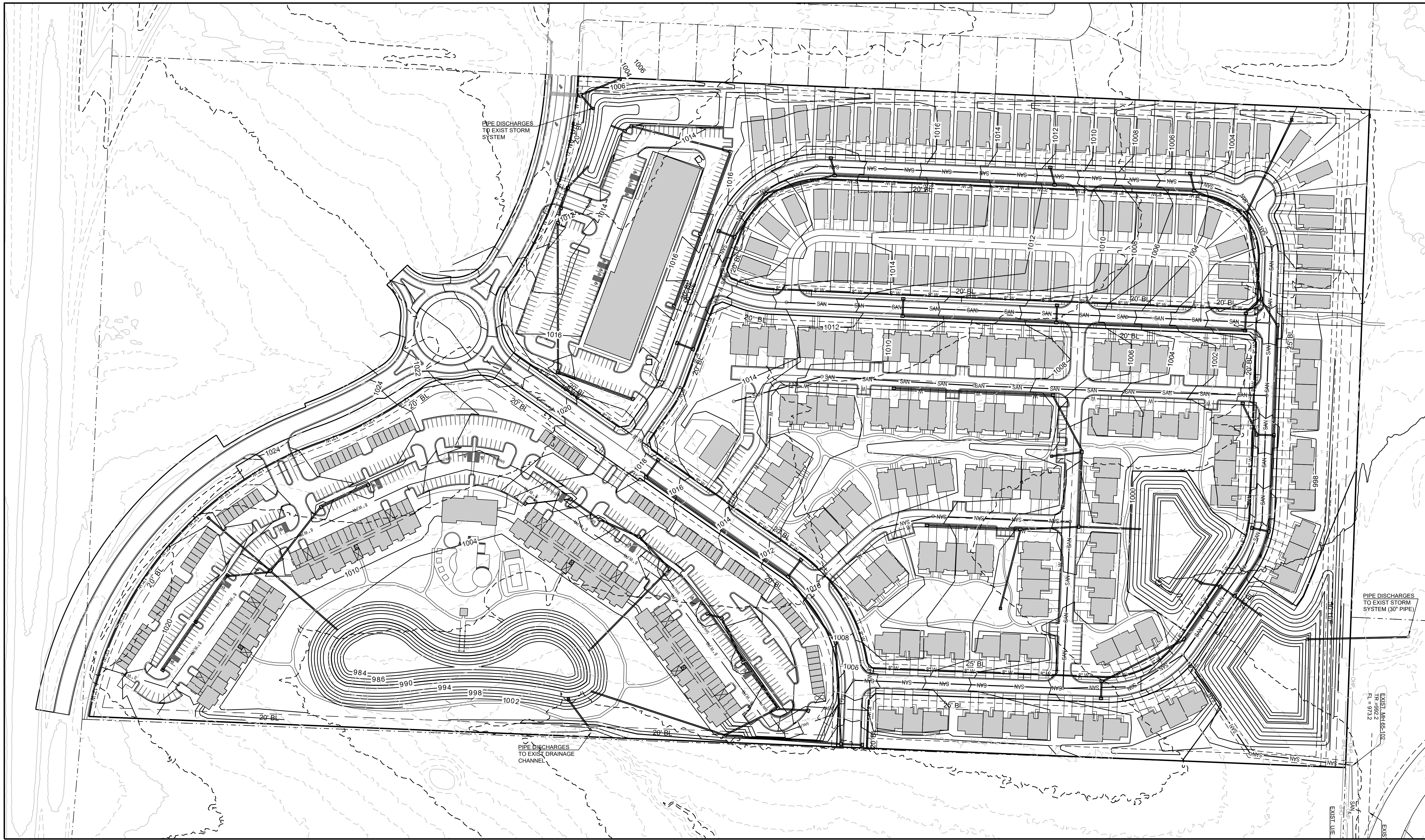
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PROJECT NO.	

APARTMENT SITE
PLAN

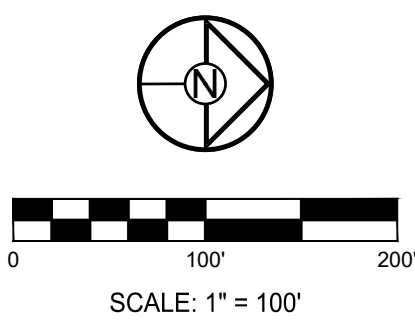


C1.4



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	2021 08 24	CITY COMMENTS
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SCH		
DATE PREPARED:		
PROJ. NUMBER:		
20-205		



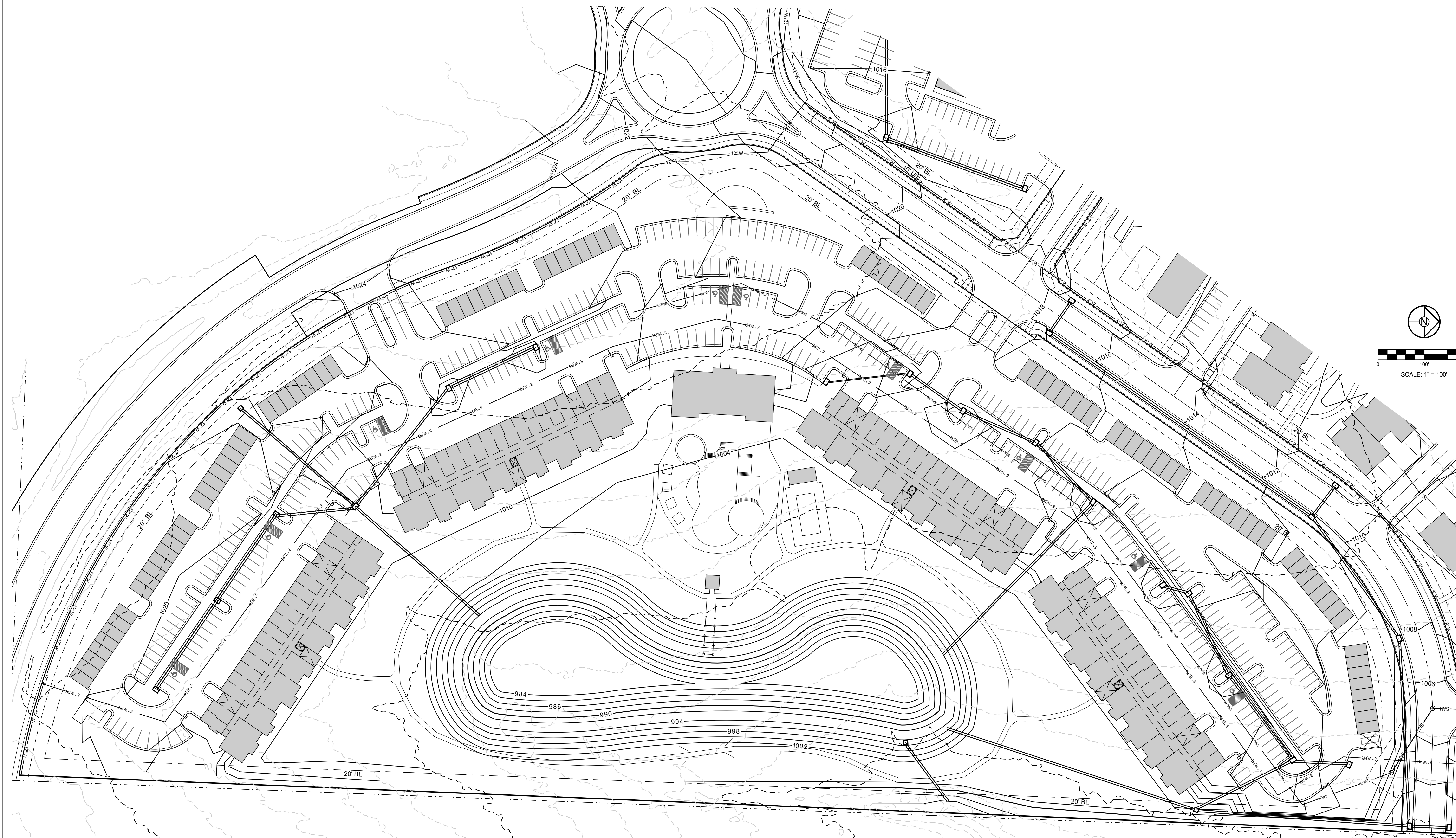
A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

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5. 2021.08.24	
6. 2021.08.24	
7. 2021.08.24	
8. 2021.08.24	

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SINGLE FAMILY
GRADING PLAN

SHEET
C2.1
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

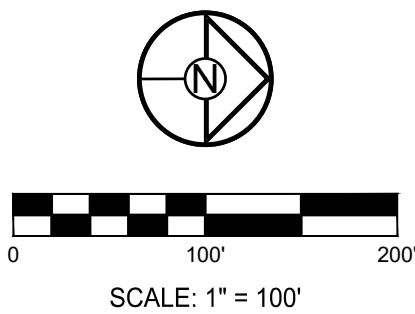
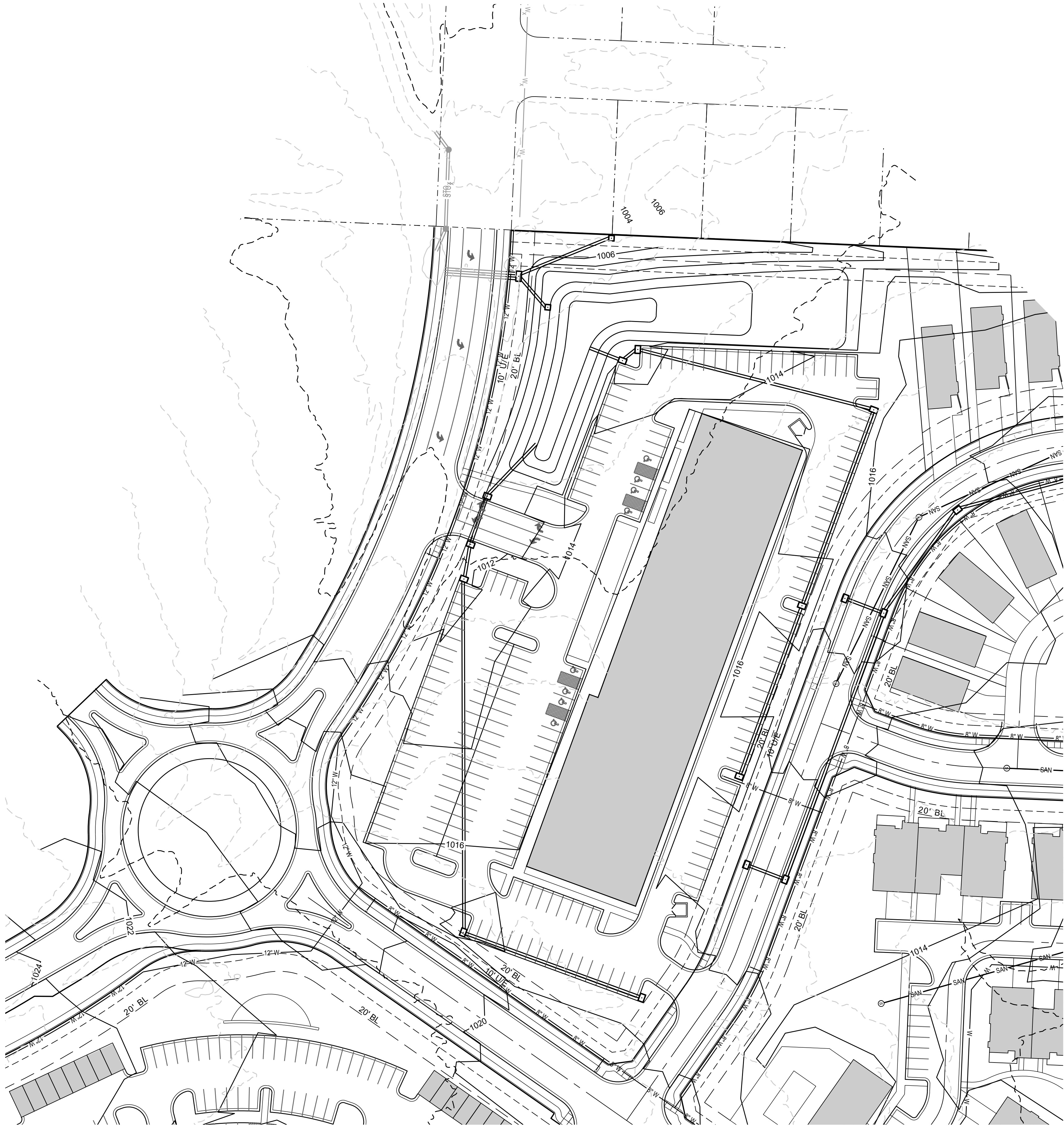
REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS

DRAWN BY: SCH	CHECKED BY: SCH	DATE PREPARED: 2021.08.24
PROJ. NUMBER: 20-2015		

APARTMENT
GRADING PLAN

SHEET

C2.3
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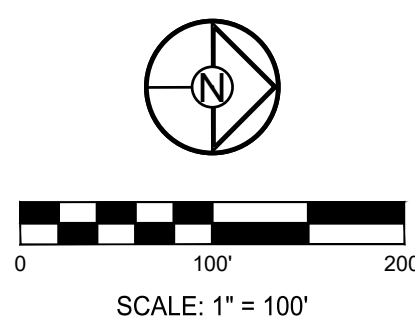


RETAIL GRADING
PLAN

SHEET
C2.4
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DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	2021 08 24	CITY COMMENTS
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SCH		
DATE PREPARED:		
PROJ. NUMBER:		
20-505		

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI



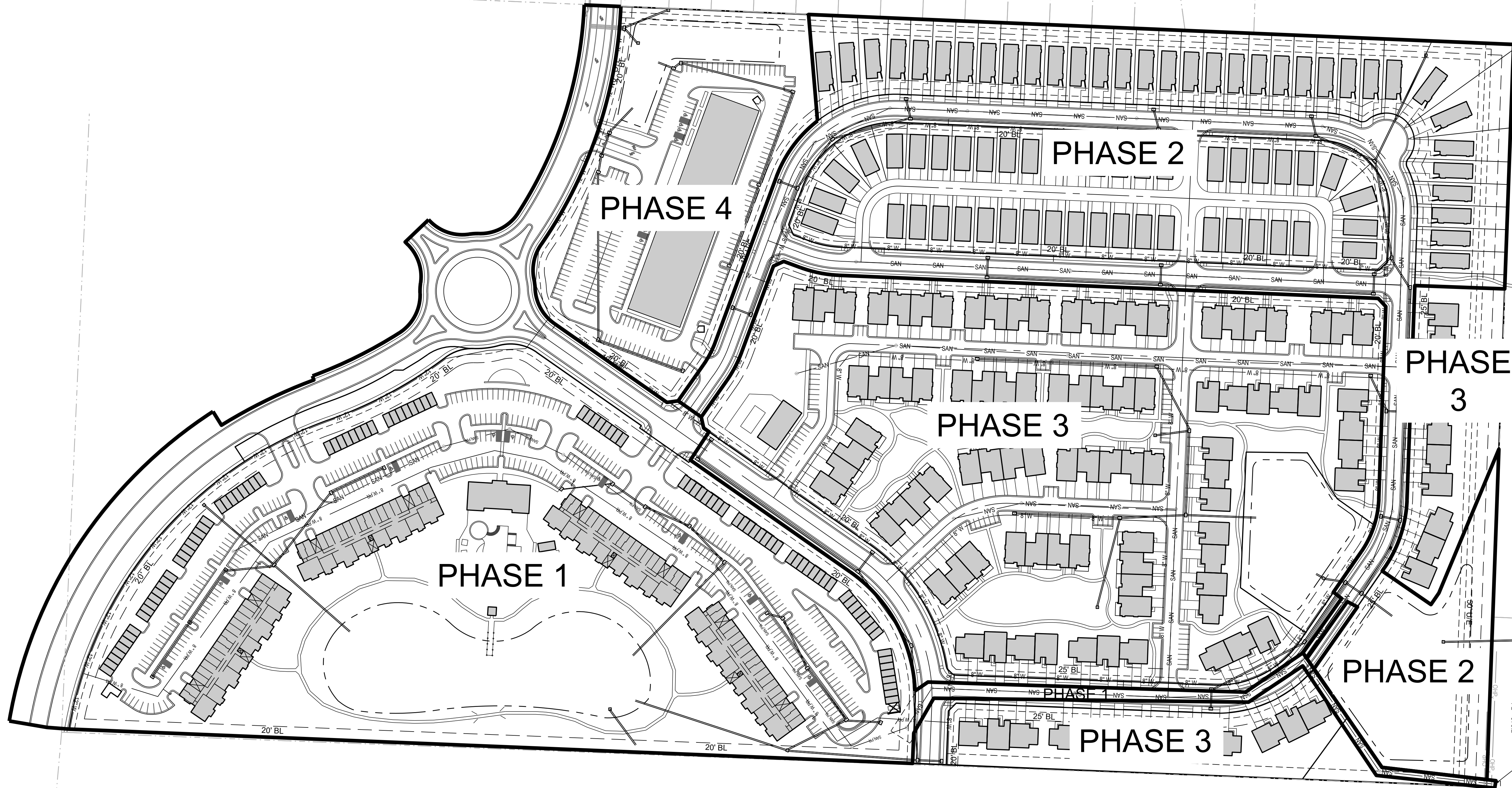
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	SCH	/ /		
	DATE PREPARED:	/ /		
	PROJECT NUMBER:	/ /		
	P.O. NO.	/ /		

PRELIMINARY
UTILITY PLAN

SHEET

C3.0

##



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1. 2021.08.24	CITY COMMENTS
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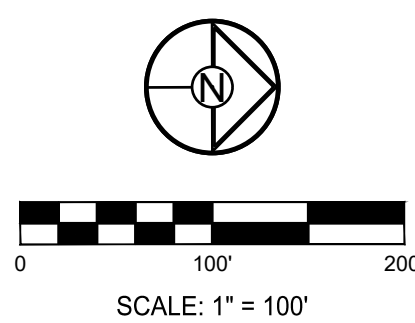
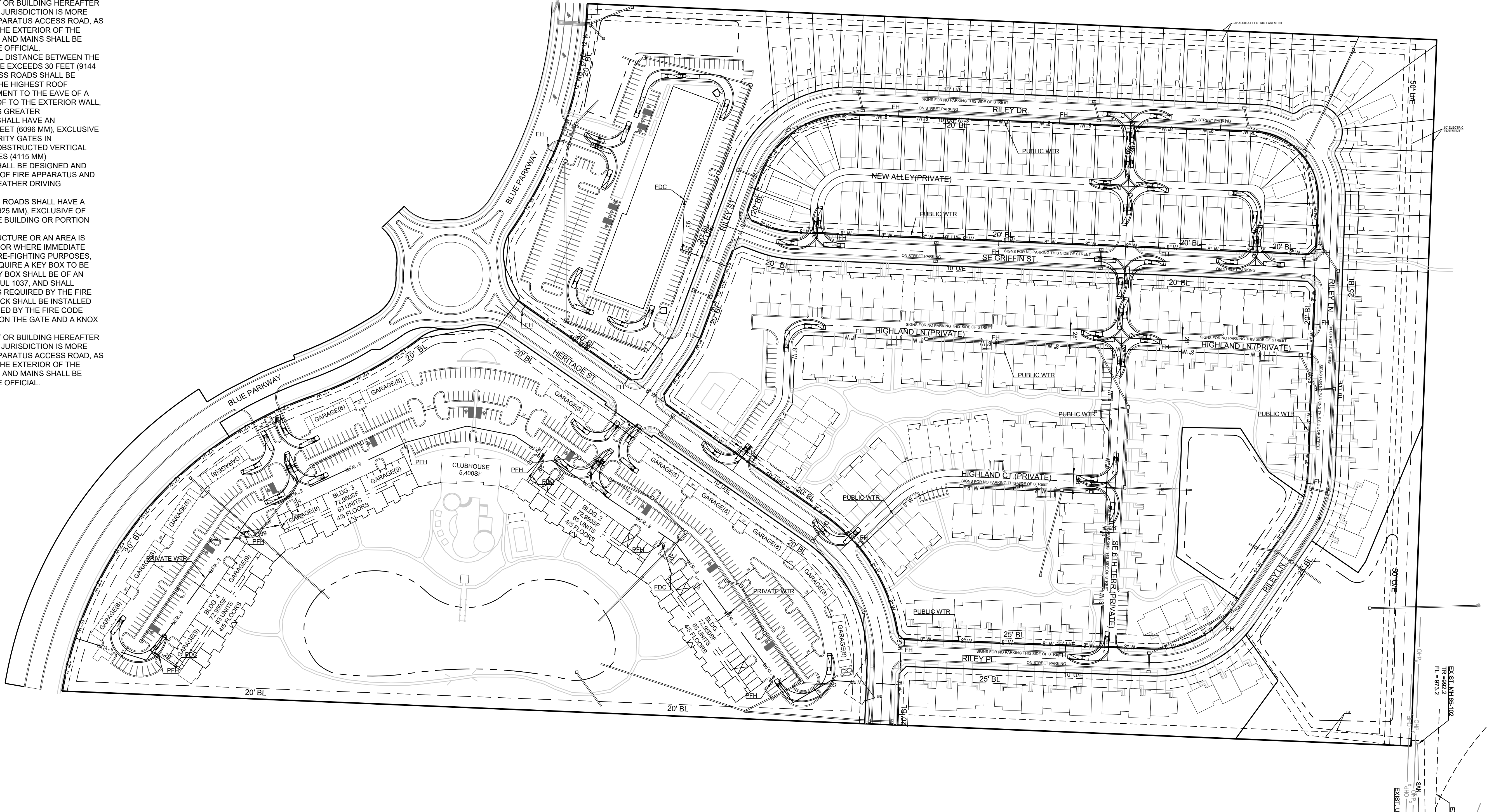
PRELIMINARY PHASING PLAN

NOTES:

1. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE CODE AND LOCAL AMENDMENTS.
2. IFC 903.3.7- FIRE DEPARTMENT CONNECTIONS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. CONNECTIONS SHALL BE A 4 INCH STORZ TYPE FITTING AND LOCATED WITHIN 100 FEET OF A FIRE HYDRANT, OR AS APPROVED BY THE CODE OFFICIAL.
3. IFC 507.5.1- WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.
4. D105.1 WHERE REQUIRED, WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET (9144 MM), APPROVED AERIAL FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.
5. IFC 503.2.1 - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.8, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM).
6. IFC 503.2.3 -FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
7. D105.2 WIDTH. AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925 MM), EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.
8. IFC 506.1- WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. 506.1.1 LOCKS. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. A KNOX PADLOCK WILL BE PROVIDED ON THE GATE AND A KNOX BOX ON THE BUILDING.
9. IFC 507.5.1 - WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.

NOTE:

1. ALL FIRE APPARATUS ACCESS ROADS HAVE BEEN DESIGNED FOR A WIDTH OF 26 FEET (SEE SITE PLAN).
2. TURNING RADIUS SHOWN ON THE PLAN IS BASED ON A FIRE ENGINE SJ-40 TEMPLATE.
3. PARKING LOTS HAVE BEEN DESIGNED TO MEET CITY CODE REQUIREMENTS.
4. FIRE HYDRANTS AND FDC HAVE NOT BEEN DETERMINED AT THIS TIME BUT WILL MEET CITY CODES.
5. ALL FIRE ACCESS ROADS WILL BE CAPABLE OF SUPPORTING A 75,000 LB VEHICLE AS REQUIRED BY CODE.



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BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

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FIRE ACCESS PLAN			
SHEET			
F1.0			
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LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

NOT REQUIRED PER SECTION Sec. 8.720
STREET FRONTAGE LANDSCAPE PROVIDED

BUFFER SCREENING & LANDSCAPE (Sec. 8.890 & Sec. 8.900) (WEST BOUNDARY)

ADJACENT LOT SIZE	8,475 S.F.
PROPOSED LOT SIZE ON PERIMETER	5,400 S.F.
DIFFERENCE	1.57
BUFFER TYPE REQUIRED BY CODE	(LOW IMPACT)
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	780'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(15,600 S.F./1,000)	16 TREES
SHADE TREES PROVIDED	16 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(15,600 S.F./500)	31 TREES
ORNAMENTAL TREES PROVIDED	22 TREES (9 EVERGREEN INSTEAD OF ORN)
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(15,600 S.F./500)	31 TREES
EVERGREEN TREES PROVIDED	40 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(15,600 S.F./200)	78 SHRUBS
SHRUBS PROVIDED	78 SHRUBS

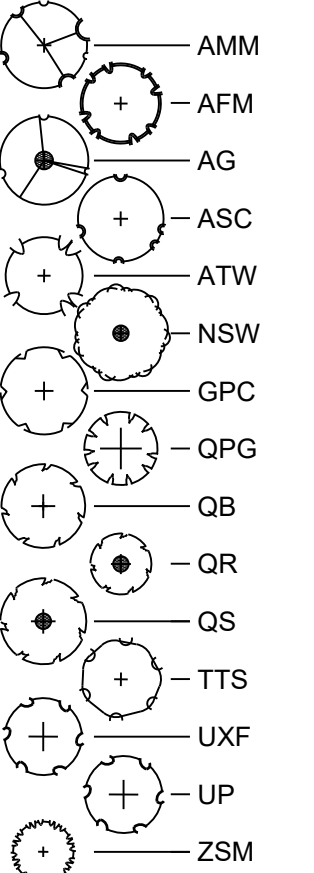
NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS (EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALIPIPED. AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
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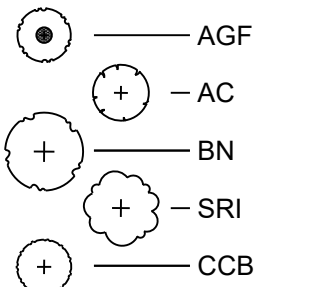
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- REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 6 FEET.
- REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".

SHADE TREES



54 EA.	Acer miyabei 'Morton'
3 EA.	Acer x freemanii 'Marmo'
12 EA.	Acer griseum
20 EA.	Acer saccharum 'Autumn Splendor'
131 EA.	Acer truncatum 'Warrend'
11 EA.	Nyssa sylvatica 'Wildfire'
21 EA.	Ginkgo biloba 'Princeton Sentry'
6 EA.	Quercus palustris 'Green Pillar'
25 EA.	Quercus bicolor
51 EA.	Quercus rubra
4 EA.	Quercus shumardii
17 EA.	Tilia tomentosa 'Sterling'
138 EA.	Ulmus x Frontier
19 EA.	Ulmus parvifolia
48 EA.	Zelkova serrata 'Musashino'

ORNAMENTAL TREES



15 EA.	Acer ginnala 'Flame'
57 EA.	Amelanchier canadensis
10 EA.	Betula nigra
20 EA.	Syringa reticulata 'Ivory Silk'
14 EA.	Cercis canadensis 'Burgandy Hart'

EVERGREEN TREES



52 EA.	Juniperus chinensis 'Keteleeri'
72 EA.	Juniperus virginiana 'Canaertii'

State Street Miyabe Maple	2.5" Cal.	B&B
Marmo Maple	2.5" Cal.	B&B
Paperbark Maple	2.5" Cal.	B&B
Marmo Maple	2.5" Cal.	B&B
Pacific Sunset Maple	2.5" Cal.	B&B
Shadmaster Honeylocust	2.5" Cal.	B&B
Princeton Sentry Ginkgo	2.5" Cal.	B&B
Green Pillar Oak	2.5" Cal.	B&B
Swamp White Oak	2.5" Cal.	B&B
Red Oak	2.5" Cal.	B&B
Shumard Oak	2.5" Cal.	B&B
Sterling Silver Linden	2.5" Cal.	B&B
Frontier Elm	2.5" Cal.	B&B
Lacebark Elm	2.5" Cal.	B&B
Musashino Columnar Zelkova	2.5" Cal.	B&B

Flame Amur Maple	2" Cal. & 8' ht.	B&B
Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
River Birch	2" Cal. & 8' ht.	B&B
Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B

Keteleeri Juniper	6' ht.	B&B
Canaert Juniper	6' ht.	B&B

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

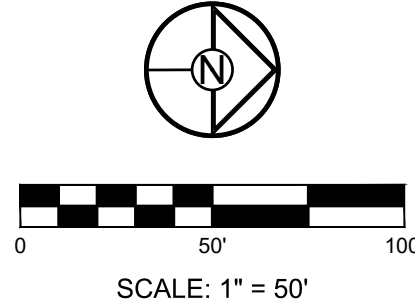
REVISION DATE	DESCRIPTION
2021/08/24	CITY COMMENTS

DRAWN BY:	SCB
CHECKED BY:	SCB
DATE PREPARED:	
PROJ. NUMBER:	20-005

SINGLE FAMILY
LANDSCAPE
PLAN

SHEET

L1.1
##



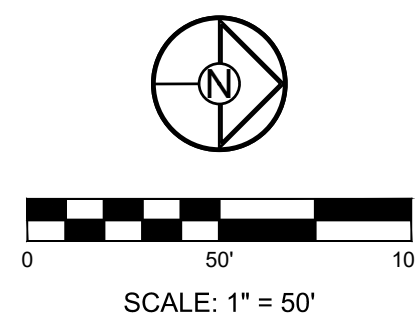


LANDSCAPE DATA	
STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)	
COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/662.12/30'	22 TREES
COLLECTOR PUBLIC TREES PROVIDED	22 TREES
COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/662.12/20'	33 SHRUBS
COLLECTOR PUBLIC STREET SHRUBS PROVIDED	33 SHRUBS(NOT SHOWN)
RESIDENTIAL PUBLIC STREET TREES REQUIRED (1 PER 30')/3,756.67/30'	125 TREES
RESIDENTIAL PUBLIC STREET TREES PROVIDED	125 TREES
RESIDENTIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/3,756.67/20'	188 SHRUBS
RESIDENTIAL PUBLIC STREET SHRUBS PROVIDED	188 SHRUBS(NOT SHOWN)
RESIDENTIAL PRIVATE STREET TREES REQUIRED (1 PER 30')/4,565.43/30'	152 TREES
RESIDENTIAL PRIVATE STREET TREES PROVIDED	106 TREES
RESIDENTIAL PRIVATE STREET SHRUBS REQUIRED (1 PER 20')/4,565.43/20'	228 SHRUBS
RESIDENTIAL PRIVATE STREET SHRUBS PROVIDED	228 SHRUBS(NOT SHOWN)
OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790 B)	
LOT AREA	930,885.56 S.F.
BUILDING AREA	233,899.93 S.F.
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(705,985.63/5000)	141 TREES
TREES PROVIDED	188 TREES (12 ADD FOR PRIVATE STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(705,985.63/5000X2)	282 SHRUBS
SHRUBS PROVIDED	282 SHRUBS (INCL. PARKING LOT SCREEN)(NOT SHOWN)
PARKING LOT LANDSCAPE(Sec. 8.810)	
LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(X.05)	N/A
LANDSCAPE AREA PROVIDED	N/A
TREES REQUIRED	1 PER ISLAND
TREES PROVIDED	1 ON EACH END OF PARKING ROW
SCREENING REQUIRED	(2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET)
SCREENING PROVIDED	AS REQUIRED BY CODE
BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900)	
MODIFICATION REQUESTED SINCE USES ARE WITHIN THE SAME PROJECT	

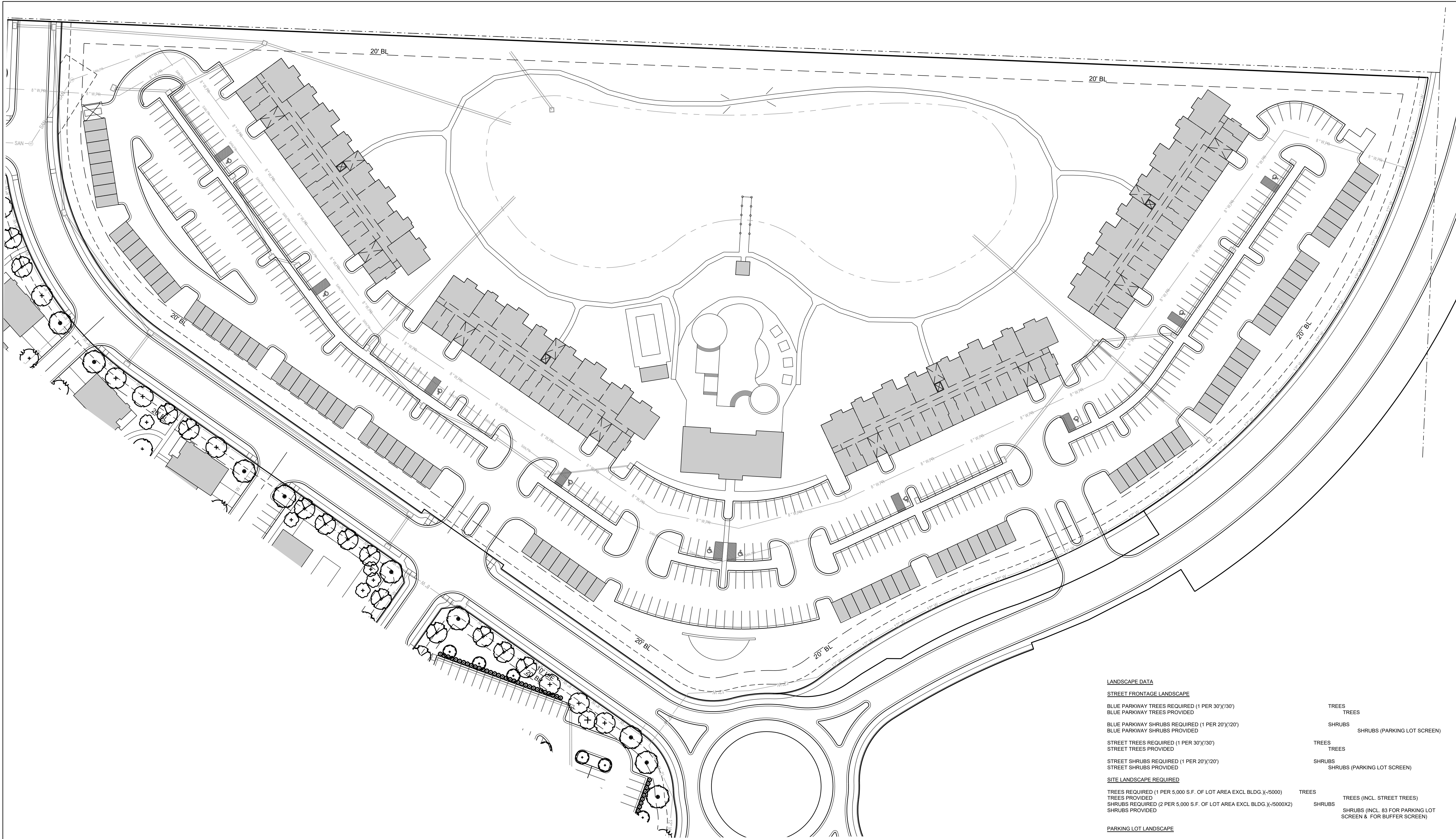
SHADE TREES				
AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.
AFM	3 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.
AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.
ASC	20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.
ATW	131 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple	2.5" Cal.
NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.
GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.
QPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.
QB	25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.
QR	51 EA.	Quercus rubra	Red Oak	2.5" Cal.
QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.
TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.
UXF	138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.
UP	19 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.
ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnnar Zelkova	2.5" Cal.
ORNAMENTAL TREES				
AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.
AC	57 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.
BN	10 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.
SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.
CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.
EVERGREEN TREES				
JCK	52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.
JVC	72 EA.	Juniperus virginiana 'Canaertii'	Canaertii Juniper	6' ht.

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 - ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
 - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI



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LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

BLUE PARKWAY TREES REQUIRED (1 PER 30'X)(30')	TREES
BLUE PARKWAY TREES PROVIDED	TREES
BLUE PARKWAY SHRUBS REQUIRED (1 PER 20'X)(20')	SHRUBS
BLUE PARKWAY SHRUBS PROVIDED	SHRUBS (PARKING LOT SCREEN)
STREET TREES REQUIRED (1 PER 30'X)(30')	TREES
STREET TREES PROVIDED	TREES
STREET SHRUBS REQUIRED (1 PER 20'X)(20')	SHRUBS
STREET SHRUBS PROVIDED	SHRUBS (PARKING LOT SCREEN)

SITE LANDSCAPE REQUIRED

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(X/5000)	TREES	TREES (INCL STREET TREES)
TREES PROVIDED		
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(X/5000X2)	SHRUBS	SHRUBS (INCL 83 FOR PARKING LOT SCREEN & FOR BUFFER SCREEN)
SHRUBS PROVIDED		

PARKING LOT LANDSCAPE

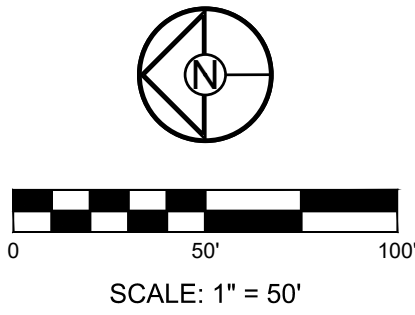
LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(X.X.05)	S.F.
LANDSCAPE AREA PROVIDED	S.F.
TREES REQUIRED (1 PER ISLAND)	TREES
TREES PROVIDED	TREES
SCREENING (2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)	SHRUBS

BUFFER SCREENING & LANDSCAPE (ADD LOCATION)

A 100% OPAQUE 6'-0" WOOD FENCE ALONG PERIMETER OF PROP. LINE (SOUTH & WEST PROPERTY BUFFERS COMPLY WITH THE HIGH IMPACT SCREENING REQUIREMENTS)	PROVIDED
TREES REQUIRED (1 PER 1,000 S.F.)(S.F./1,000)	TREES
TREES PROVIDED	TREES
ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(S.F./500)	TREES
ORNAMENTAL TREES PROVIDED	TREES
EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(S.F./500)	TREES
EVERGREEN TREES PROVIDED	TREES
SHRUBS REQUIRED (1 PER 500 S.F.)(S.F./500)	SHRUBS
SHRUBS PROVIDED	SHRUBS

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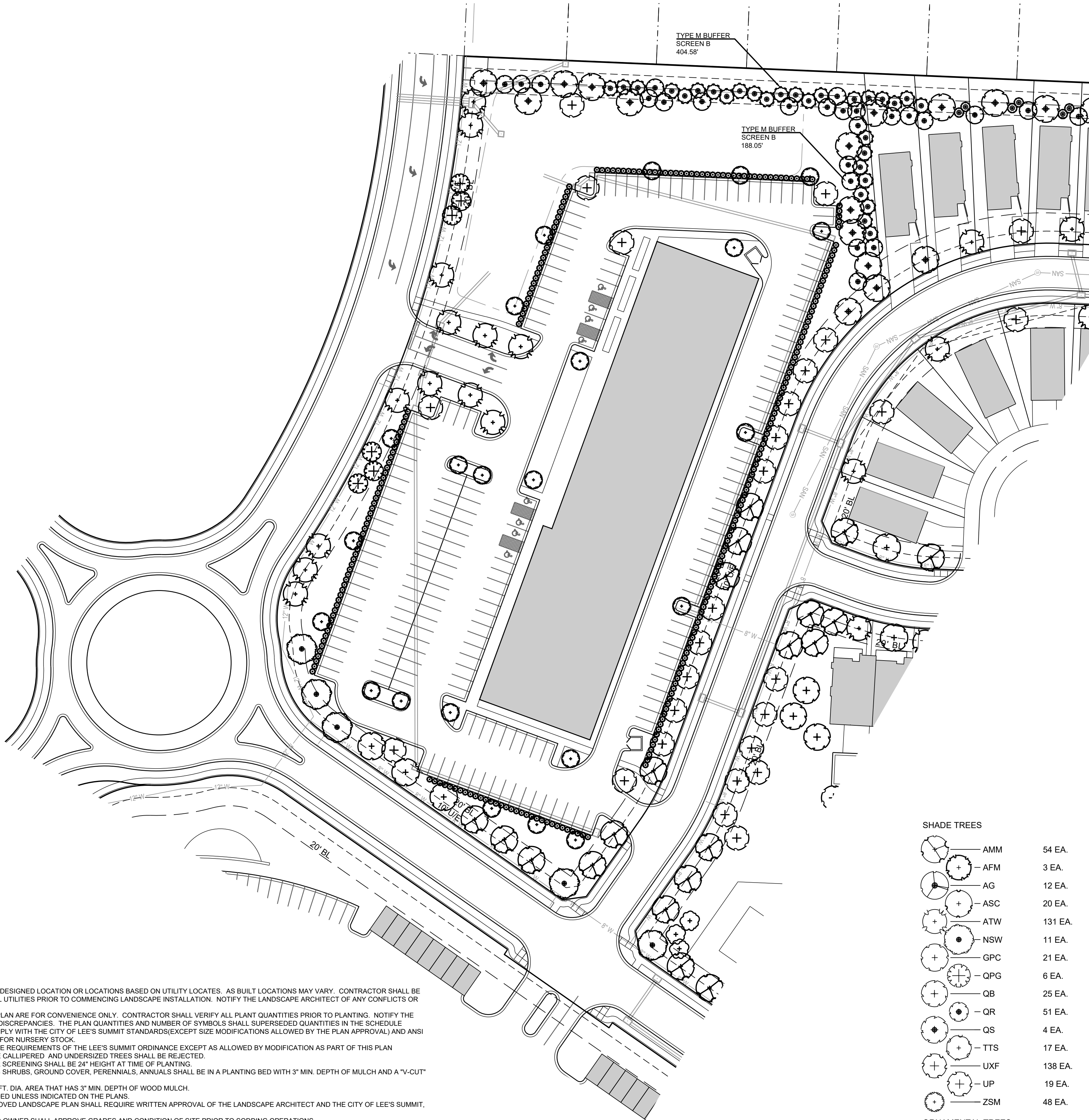
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PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1		DESCRIPTION 1
2		
3		
4		
5		
6		
7		
8		
9		
10		

APARTMENT
LANDSCAPE
PLAN



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	ZSM	48 EA.	Zelkova serrata 'Musashino'

ORNAMENTAL TREES

	AGF	15 EA.	Acer ginnala 'Flame'
	AC	57 EA.	Amelanchier canadensis
	BN	10 EA.	Betula nigra
	SRI	20 EA.	Syringa reticulata 'Ivory Silk'
	CCB	14 EA.	Cercis canadensis "Burgandy Hart"

EVERGREEN TREES

	JCK	52 EA.	Juniperus chinensis 'Keteleeri'
	JVC	72 EA.	Juniperus virginiana 'Canaertii'

LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)

BLUE PARKWAY TREES REQUIRED (1 PER 30')(481.57/30')
BLUE PARKWAY TREES PROVIDED

16 TREES
16 TREES

BLUE PARKWAY SHRUBS REQUIRED (1 PER 20')(481.57/20')
BLUE PARKWAY SHRUBS PROVIDED

24 SHRUBS
24 SHRUBS (PARKING LOT SCREEN)

COLLECTOR STREET TREES REQUIRED (1 PER 30')(267.68/30')
COLLECTOR STREET TREES PROVIDED

9 TREES
9 TREES

COLLECTOR STREET SHRUBS REQUIRED (1 PER 20')(267.68/20')
COLLECTOR STREET SHRUBS PROVIDED

14 SHRUBS
14 SHRUBS (PARKING LOT SCREEN)

RESIDENTIAL STREET TREES REQUIRED (1 PER 30')(573.03/30')
RESIDENTIAL STREET TREES PROVIDED

19 TREES
19 TREES

RESIDENTIAL STREET SHRUBS REQUIRED (1 PER 20')(573.03/20')
RESIDENTIAL STREET SHRUBS PROVIDED

29 SHRUBS
29 SHRUBS (PARKING LOT SCREEN)

OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790 B)

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)(180,515/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)(180,515/5000X2)
SHRUBS PROVIDED

36 TREES
36 TREES (IN ADDITION TO STREET TREES)
72 SHRUBS
72 SHRUBS (INCL. PARKING LOT SCREEN)

PARKING LOT LANDSCAPE(Sec. 8.810)

LANDSCAPE AREA REQUIRED PER CODE
PARKING LOT LANDSCAPE AREA REQUIRED(86,490.16X0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED (1 PER ISLAND)
TREES PROVIDED
SCREENING REQUIRED PER CODE
SCREENING PROVIDED

5% OF PARKING AREA
4,324.51 S.F.
7,053.59 S.F.
14 TREES
14 TREES
2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET
SHRUBS TO MEET CODE

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900) (WEST BOUNDARY)

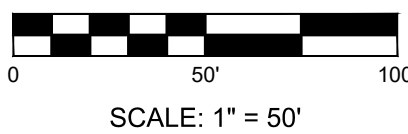
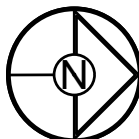
PROPOSED USE
ADJACENT USE
BUFFER TYPE REQUIRED BY CODE
SCREENING TYPE PROPOSED
BUFFER LENGTH
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(8,091.6 S.F./1,000)
SHADE TREES PROVIDED
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./500)
ORNAMENTAL TREES PROVIDED
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./500)
EVERGREEN TREES PROVIDED
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(8,091.6 S.F./200)
SHRUBS PROVIDED

CP-1
R-1
M
B
404.58'
8 TREES
8 TREES
16 TREES
16 TREES
16 TREES
16 TREES
16 TREES
41 SHRUBS
41 SHRUBS

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900) (NORTH BOUNDARY)

PROPOSED USE
ADJACENT USE
BUFFER TYPE REQUIRED BY CODE
SCREENING TYPE PROPOSED
BUFFER LENGTH
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(3,761 S.F./1,000)
SHADE TREES PROVIDED
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(3,761 S.F./500)
ORNAMENTAL TREES PROVIDED
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(3,761 S.F./500)
EVERGREEN TREES PROVIDED
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(3,761 S.F./200)
SHRUBS PROVIDED

CP-1
R-1
M
B
188.05'
4 TREES
4 TREES
8 TREES
8 TREES
8 TREES
8 TREES
19 SHRUBS
19 SHRUBS



REVISION DATE	DESCRIPTION
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
DATE	DESCRIPTION 1
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DATE	DESCRIPTION 1

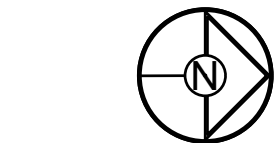
- LEGEND:**
- BL, B.L. or S.B. - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - G/E - GAS LINE EASEMENT
 - P/L - PROPERTY LINE
 - ROW or R.W. - RIGHT-OF-WAY
 - SE - SANITARY SEWER EASEMENT
 - SW - SIDEWALK
 - UE - UTILITY EASEMENT
 - WE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
 - - CURB & GUTTER
 - - CURB & GUTTER - EXISTING
 - - EXISTING LOT AND R/W LINES
 - - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - - RIGHT-OF-WAY
 - - SANITARY SEWER MAIN - EXIST.
 - - SANITARY SEWER MAIN PUBLIC
 - - SANITARY SEWER MAIN PRIVATE
 - - STORM SEWER
 - - STORM SEWER - EXISTING
 - - CABLE TV - EXISTING
 - - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - - OVERHEAD POWER LINE - EXIST.
 - - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING PUBLIC
 - - WATERLINE PUBLIC
 - - WATERLINE PRIVATE
 - - EXISTING MANHOLE
 - - CLEANOUT
 - - EXISTING SANITARY MANHOLE
 - - PROPOSED SANITARY MANHOLE
 - - EXISTING AREA INLET
 - - EXISTING CURB INLET
 - - EXISTING GRATE INLET
 - - EXISTING JUNCTION BOX
 - - EXISTING STORM MANHOLE

FLOOD NOTE:

According to the Flood Insurance Rate Map of FEMA panel 437 for map number 29095C0437G, FEMA panel 439 for map number 29095C0439G, FEMA panel 441 for map number 29095C0441G, FEMA panel 445 for map number 29095C0445G dated January 20, 2017 the project does not lie within Zone X, Area of Minimal Flood Hazard.

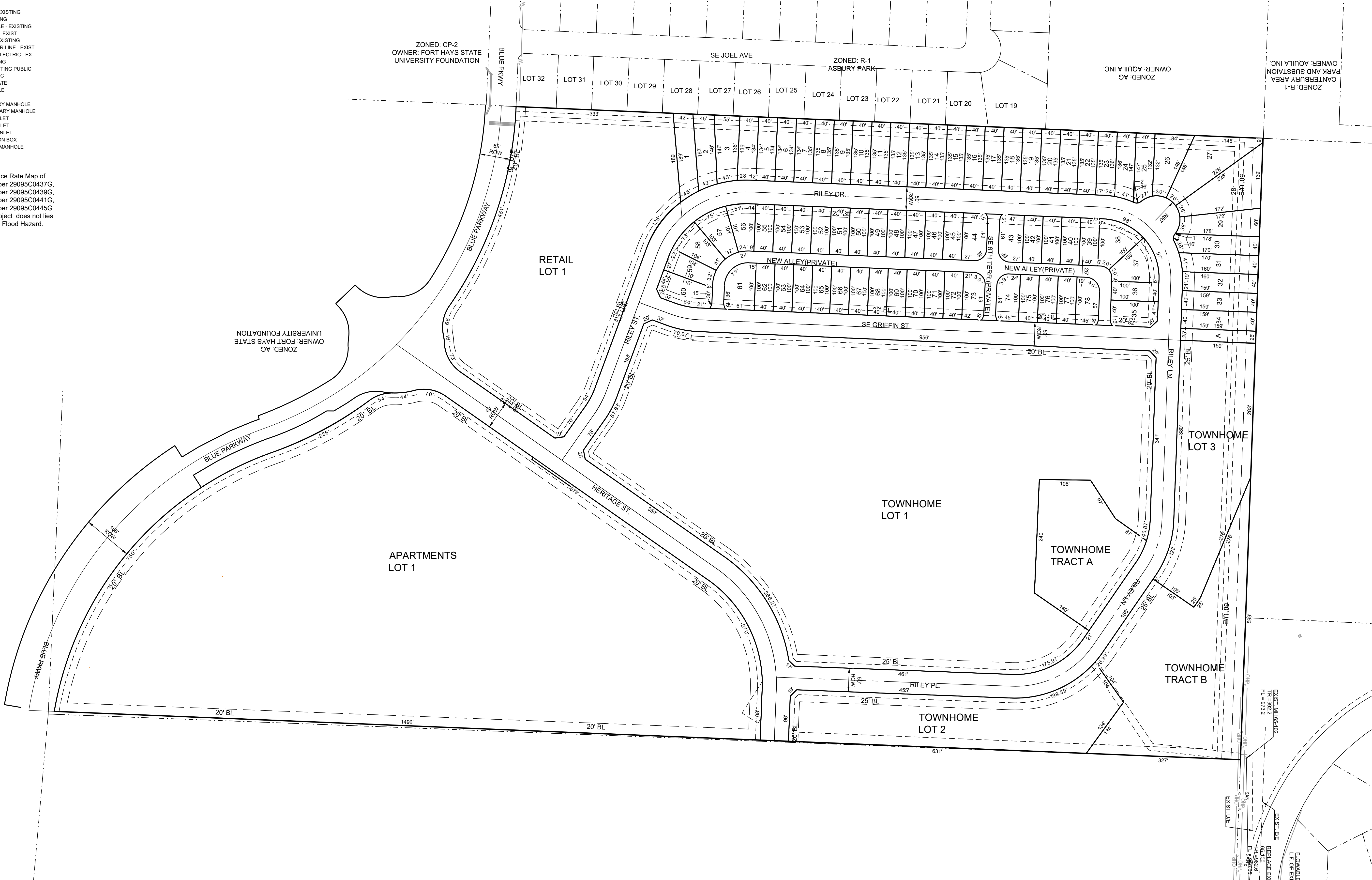
NOTES:

- BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY OLSSON DATED 2/21/2019 PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
- TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
- AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "UE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
- THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.



0 100' 200'

SCALE: 1" = 100'



**A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI**

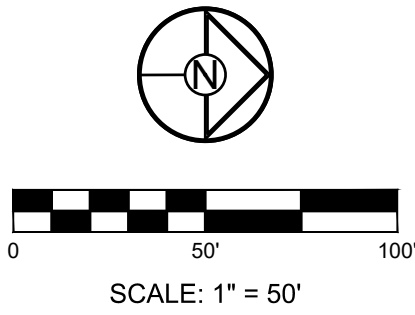
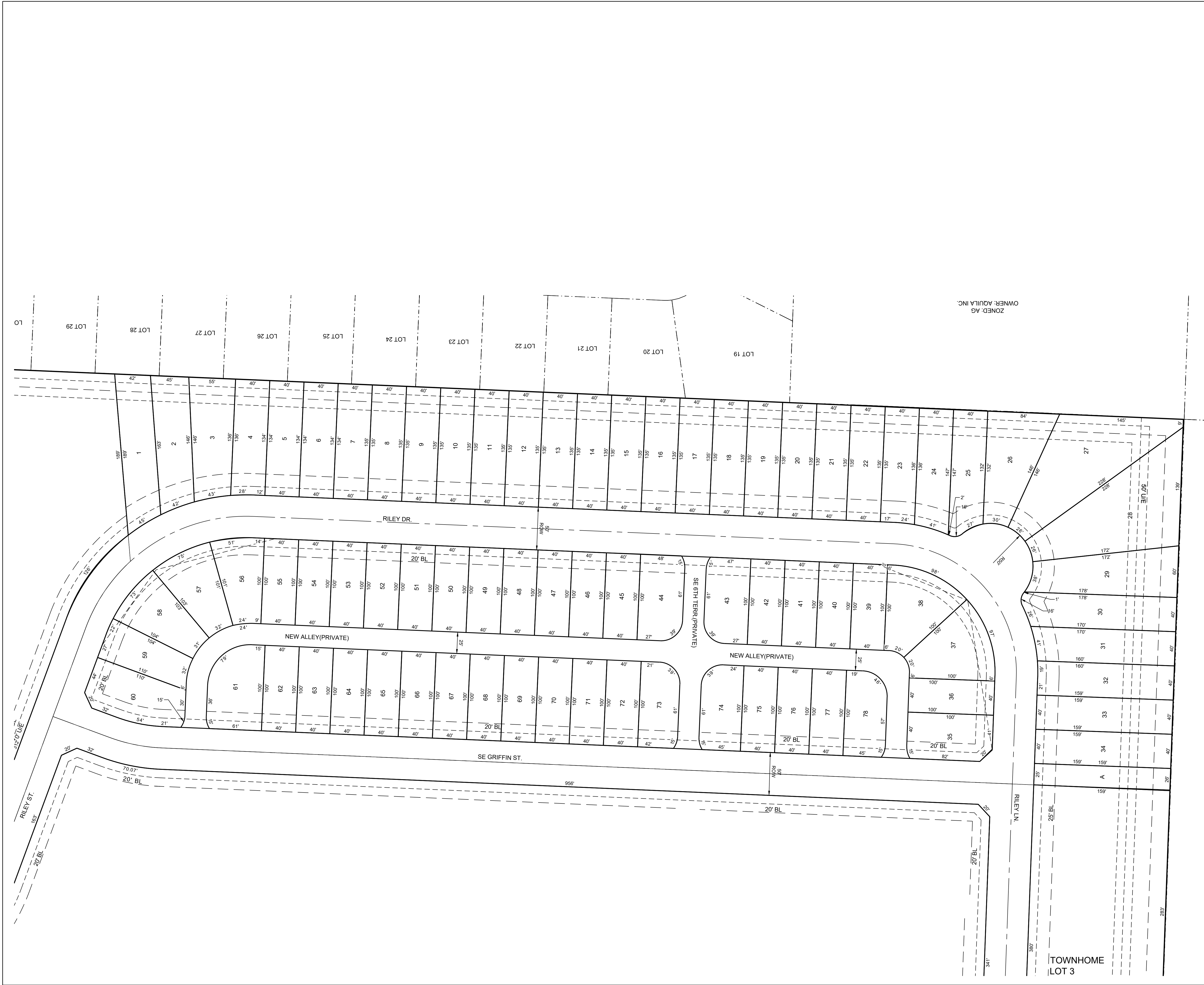
REVISION DATE	DESCRIPTION
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2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS

DRAWN BY:	DATE
SCH	2021.08.24
CHECKED BY:	DATE
SCH	2021.08.24
DATE PREPARED:	DATE
SCH	2021.08.24
PROJ. NUMBER:	DATE
20-005	2021.08.24

**OVERALL
PRELIMINARY
PLAT**

SHEET
V1.0
##

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certified of Authority
#E2002003600-F #LAC2001006237 #LS200200859-F

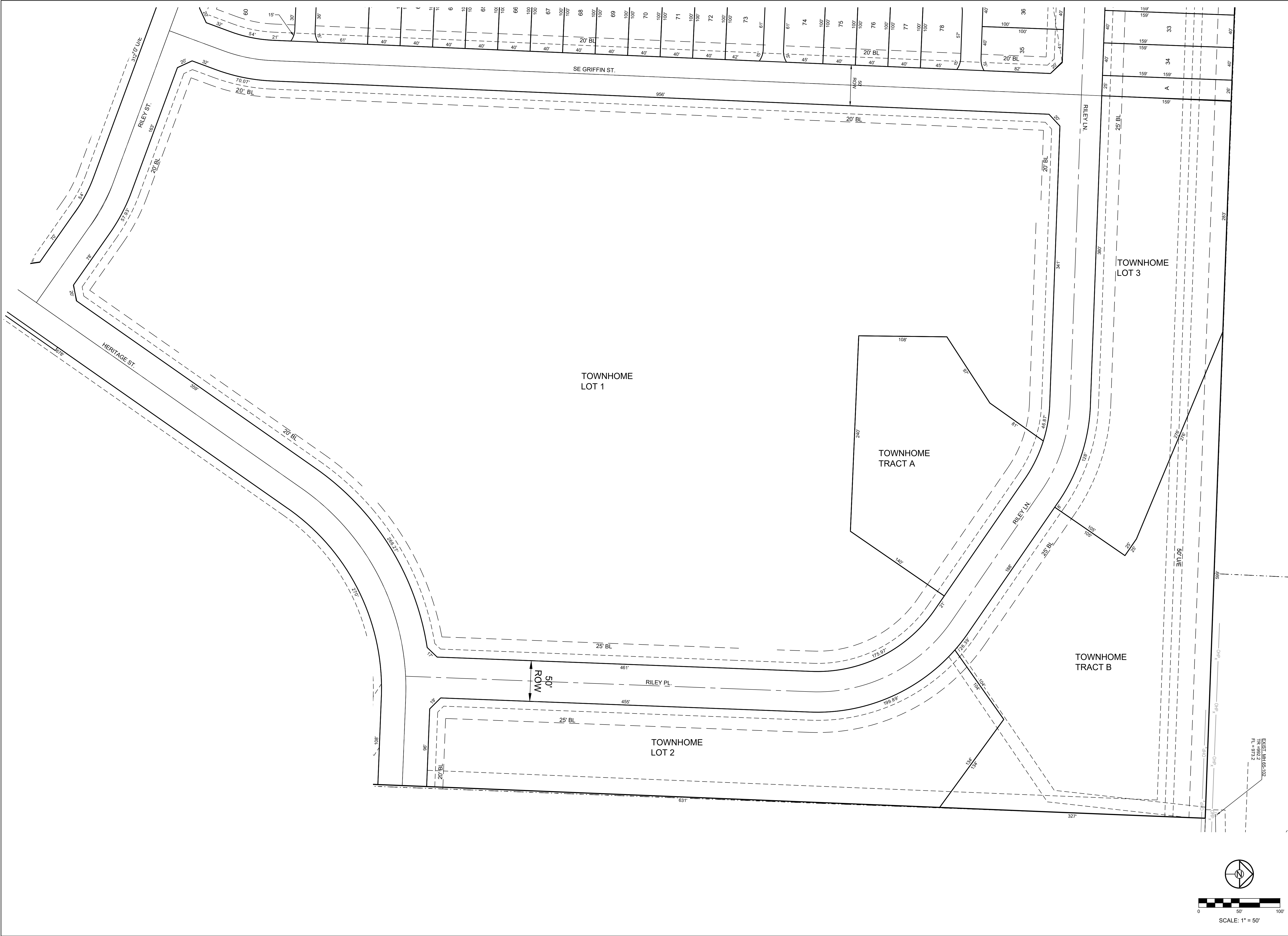


A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	2021.08.24	CITY COMMENTS
CHECKED BY:		
SCH		
DATE PREPARED:		
SCH		
PROJ. NUMBER:		
20-205		

SINGLE FAMILY
PRELIMINARY
PLAT

SHEET
V1.1
##



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

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Missouri State Certificates of Authority

#E2002003600-F #LAC2001005237 #LS200200859-F

A NEW GRIFFIN RILEY DEVELOPMENT

PRELIMINARY DEVELOPMENT PLAN

BLUE PARKWAY AND BLACKWELL ROAD

LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS

DRAWN BY:

SCH

CHECKED BY:

SCH

DATE PREPARED:

PROJ. NUMBER:

20-505

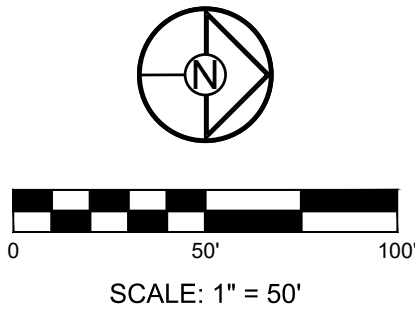
55+ TOWNHOMES PRELIMINARY PLAT

SHEET

V1.2

#

EXIST. LOTS 102
20-505
FL = 873.2





A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:		REVISION DATE	DESCRIPTION
SCH	DATE	DATE	DESCRIPTION 1
CHECKED BY:			
SCH			
DATE PREPARED:			
PROJ. NUMBER:			
PROJECT NO.			

RETAIL
PRELIMINARY
PLAT

SHEET
C1.3
##

TRACT 1:
THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 47, RANGE 31, JACKSON COUNTY, MISSOURI
EXCEPT THAT
PART IN ROADS.

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE QUIT CLAIM DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995 AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064936.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995, AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014, AS DOCUMENT NO. 2014E0064937.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995, AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064940.

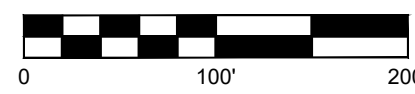
THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/05/2014 AS DOCUMENT NO. 2014E0054941.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,

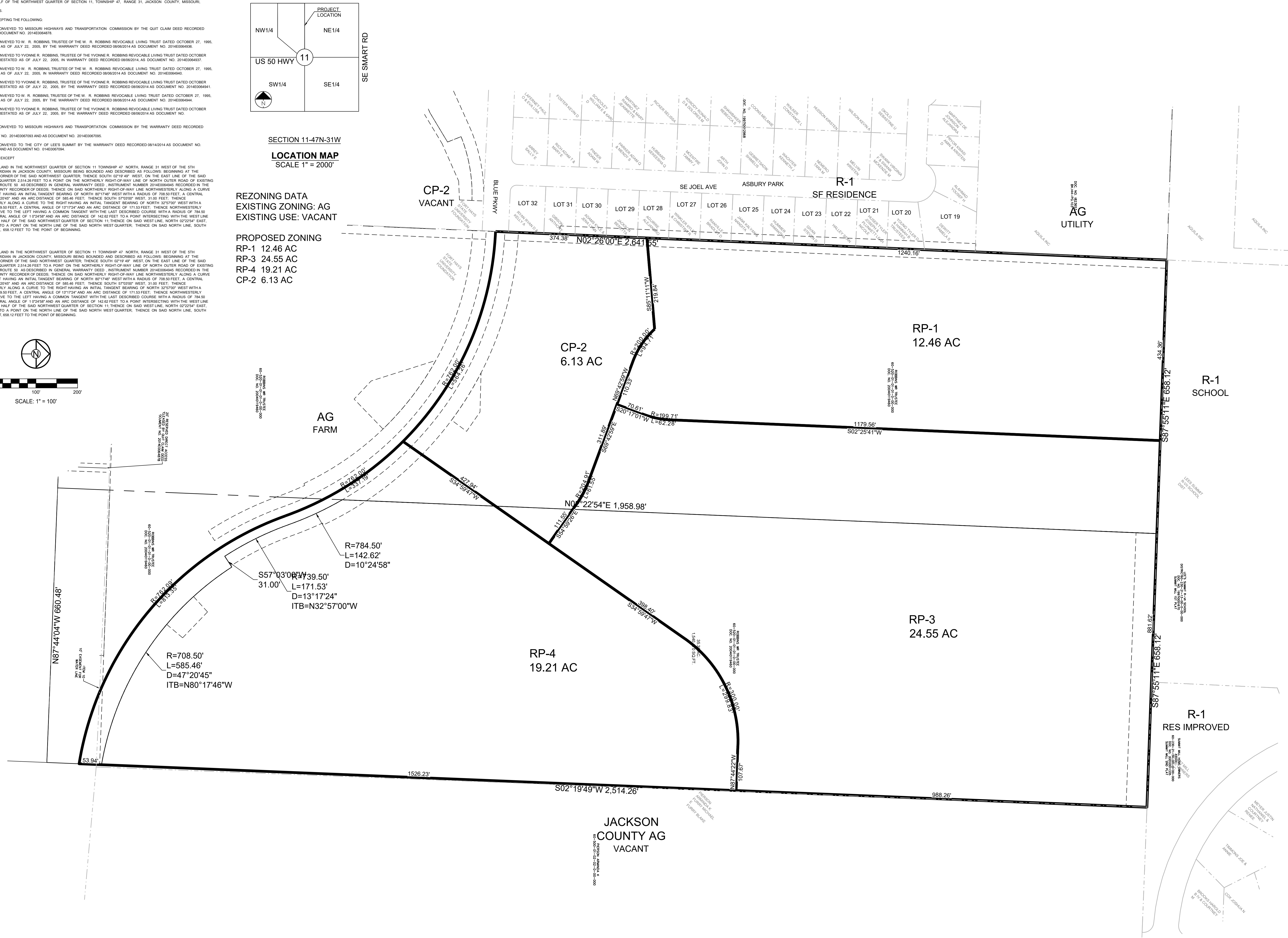
2014E0064945.

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE WARRANTY DEED RECORDED
08/14/2014
AS DOCUMENT NO. 2014E0067093 AND AS DOCUMENT NO. 2014E0067095.

THAT PART CONVEYED TO THE CITY OF LEE'S SUMMIT BY THE WARRANTY DEED RECORDED 08/14/2014 AS DOCUMENT NO. 2014E0067094 AND AS DOCUMENT NO. 014E0067094.

[illegible][illegible]

SCALE: 1" = 100'



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PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:		REVISION DATE	DESCRIPTION
SCH	1	2021.08.24	CITY COMMENTS
	2		
CHECKED BY:	3		
SCH	4		
DATE PREPARED:	5		
	6		
	7		
PROJ. NUMBER:	8		
20-205	9		

REZONING
EXHIBIT

SHEET
Z2.0