

SITE LOCATION MAP (NOT TO SCALE)

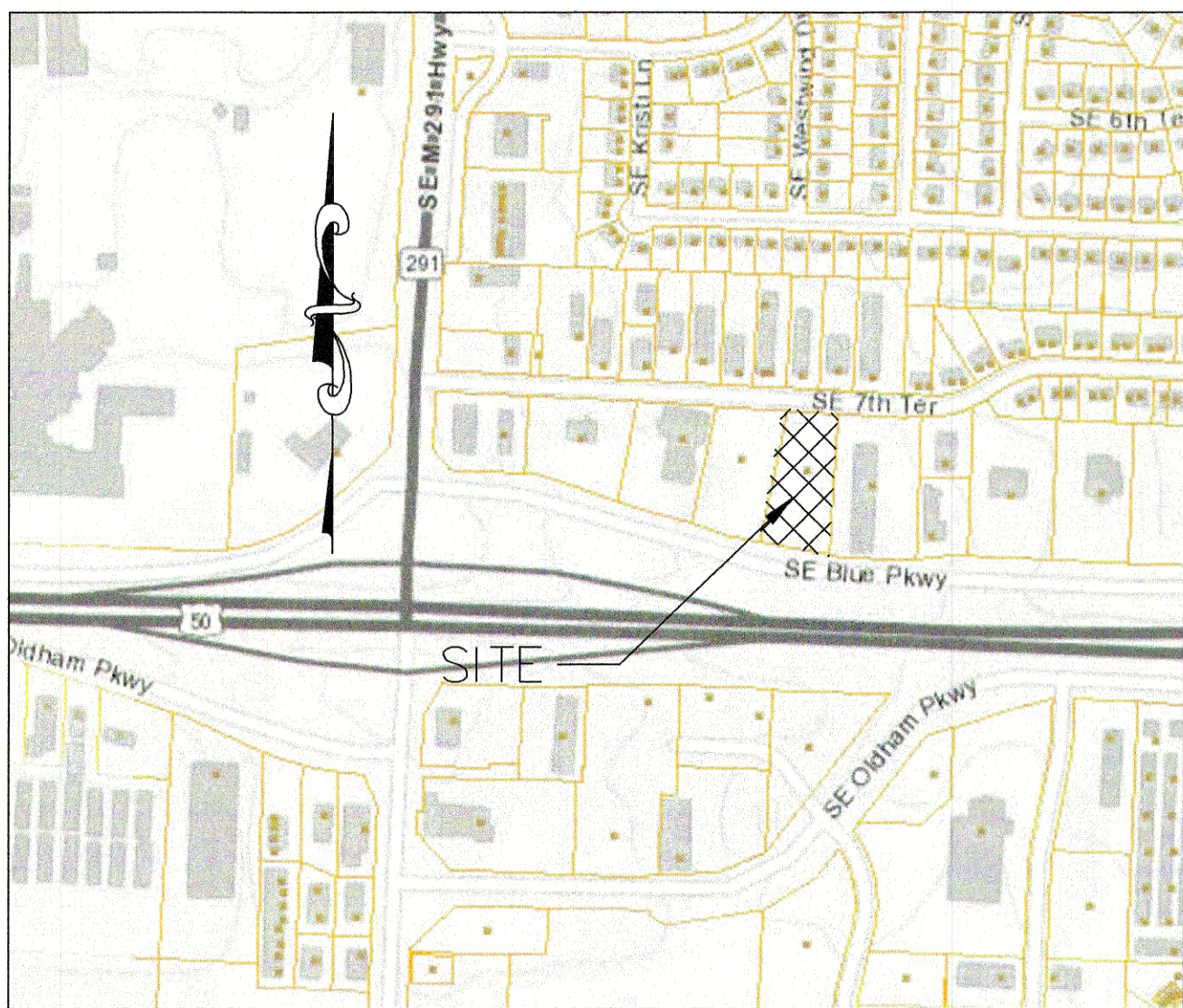


TABLE A ITEMS:

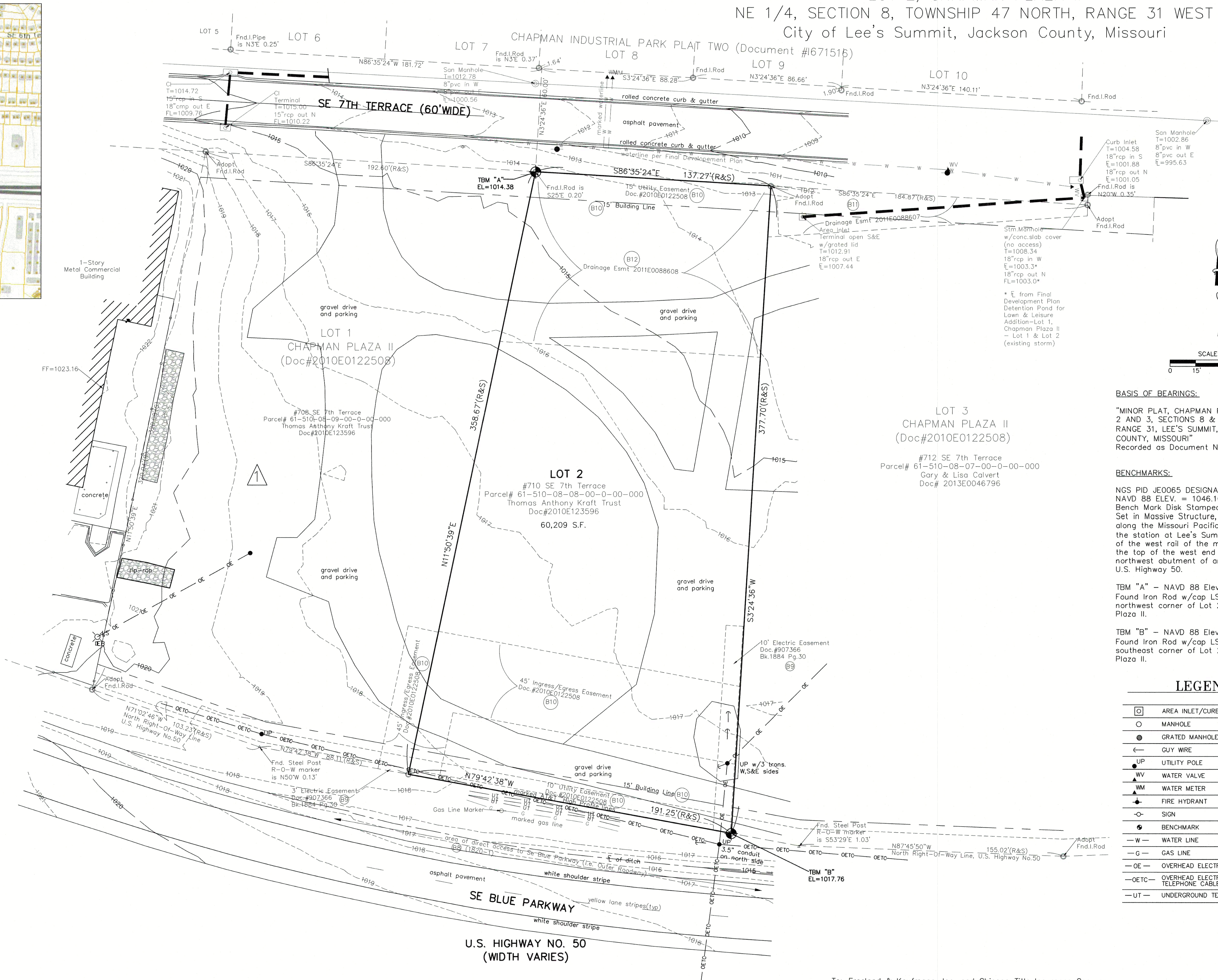
- Monuments set as shown
- Address - 710 SE 7th Terrace, Lee's Summit, MO 64063
- Flood Zone X - Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) 29183C0185G effective 1/20/2016 and 29189C0205G effective 1/20/2016
- There are 60,209 square feet in Lot 2
- Vertical datum is NAVD 88 (See Benchmark Note)
- No zoning letter provided
- No zoning letter provided
- There is no building on property
- Substantial features are shown
- There is no designated parking on property
- There were no division or party walls designated by the client.
- Utilities as shown
- The names of adjoining property owners are shown as of the date of the survey from the Assessor's records online.
- Site is approximately 0.2 miles east of SE Missouri 291 Highway along SE 7th Terrace.
- There is no new construction on or adjacent to site, however, there is a "Final Development Plan, Concept Development Plan, for Lawn & Leisure Addition - Lot 1 and Chapman Plaza II - Lot 1 & Lot 2", by Hamilton & Sterrett, Inc., Engineers, Land Surveyors & Planners, Signed & Sealed by Leslie R. Hamilton, MO E-22616, dated March 13, 2015. Plans depict proposed parking, building and detention.
- There was no evidence of changes in street right of way lines, and none made available to the surveyor by the controlling jurisdiction. There is no evidence of recent street or sidewalk construction or repairs observed during the process of conducting the field work.

Chicago Title Insurance Company Commitment No. 211007
Dated April 19, 2021

Description:
Lot 2, CHAPMAN PLAZA II, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

Chicago Title Insurance Company Commitment No. 211007
Dated April 19, 2021
Schedule B, Part II, Exceptions, Item #s

- Rights of way, and easement, together with abutter's rights of direct access to State of Missouri, Doc# 882977 in Bk 1820 pg 1 - property has direct access along the South line of Lot 2 to Se Blue Parkway, as shown, temporary easement mentioned for landscaping should be no longer in effect.
- Electric line easement to Missouri Public Service Company Doc# 907336 in Bk 1884 pg 30, as shown
- Boundaries, building lines, easements and dedications on Chapman Plaza II, Doc# 2010E122508, as shown
- Easement for storm drainage, Doc# 2011E0088607, as shown
- Easement for storm drainage, Doc# 2011E0088608, as shown



REVISION 6/23/2021
Added topography through Lot 1 of CHAPMAN PLAZA II.

To: Freeland & Kaufmann, Inc. and Chicago Title Insurance Company

This is to certify that the map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standards Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 8, 9, 10, 11a, 13, 14, 16 & 17 of Table A thereof.
The fieldwork was completed on April 29, 2021

Date of Plot of Map: May 14, 2021

PRELIMINARY

MARK WILEY MO PLS 2437

BASIS OF BEARINGS:

"MINOR PLAT, CHAPMAN PLAZA II, LOTS 1, 2 AND 3, SECTIONS 8 & 9 TOWNSHIP 47, RANGE 31, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI"
Recorded as Document No.2010E0122508

BENCHMARKS:

NGS PID JE0065 DESIGNATION X 205
NAVD 88 ELEV. = 1046.10
Bench Mark Disk Stamped X 205 1946
Set in Massive Structure, 0.6 miles south along the Missouri Pacific Railroad from the station at Lee's Summit, 19.1' west of the west rail of the main track, set in the top of the west end of the northwest abutment of an overpass over U.S. Highway 50.

TBM "A" - NAVD 88 Elev. = 1014.38
Found Iron Rod w/cap LS 371 D at northwest corner of Lot 2, Chapman Plaza II.

TBM "B" - NAVD 88 Elev. = 1017.76
Found Iron Rod w/cap LS 371 D at southeast corner of Lot 2, Chapman Plaza II.

LEGEND

	AREA INLET/CURB INLET
	MANHOLE
	GRATED MANHOLE
	GUY WIRE
	UTILITY POLE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SIGN
	BENCHMARK
	WATER LINE
	GAS LINE
	OVERHEAD ELECTRIC
	OVERHEAD ELECTRIC TELEPHONE CABLE
	UNDERGROUND TELEPHONE

ALTA/NSPS SURVEY

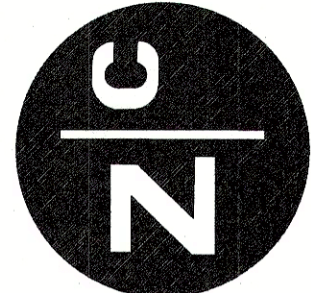
LOT 2, CHAPMAN PLAZA II

NE 1/4, SECTION 8, TOWNSHIP 47 NORTH,
RANGE 31 WEST

City of Lee's Summit, Jackson County, Missouri

HEIDEMAN | ASSOCIATES, INC.

Consulting
Civil
Electrical
Mechanical
Engineers
Land Surveying



240 LARKIN WILLIAMS INDUSTRIAL COURT
LEE'S SUMMIT, MO 64063
Phone: 636-492-3200
Fax: 636-492-3202

Heideman + Associates, Inc. Professional Land Surveying Corporation Missouri State Certificate of Authority #000281

REVISIONS

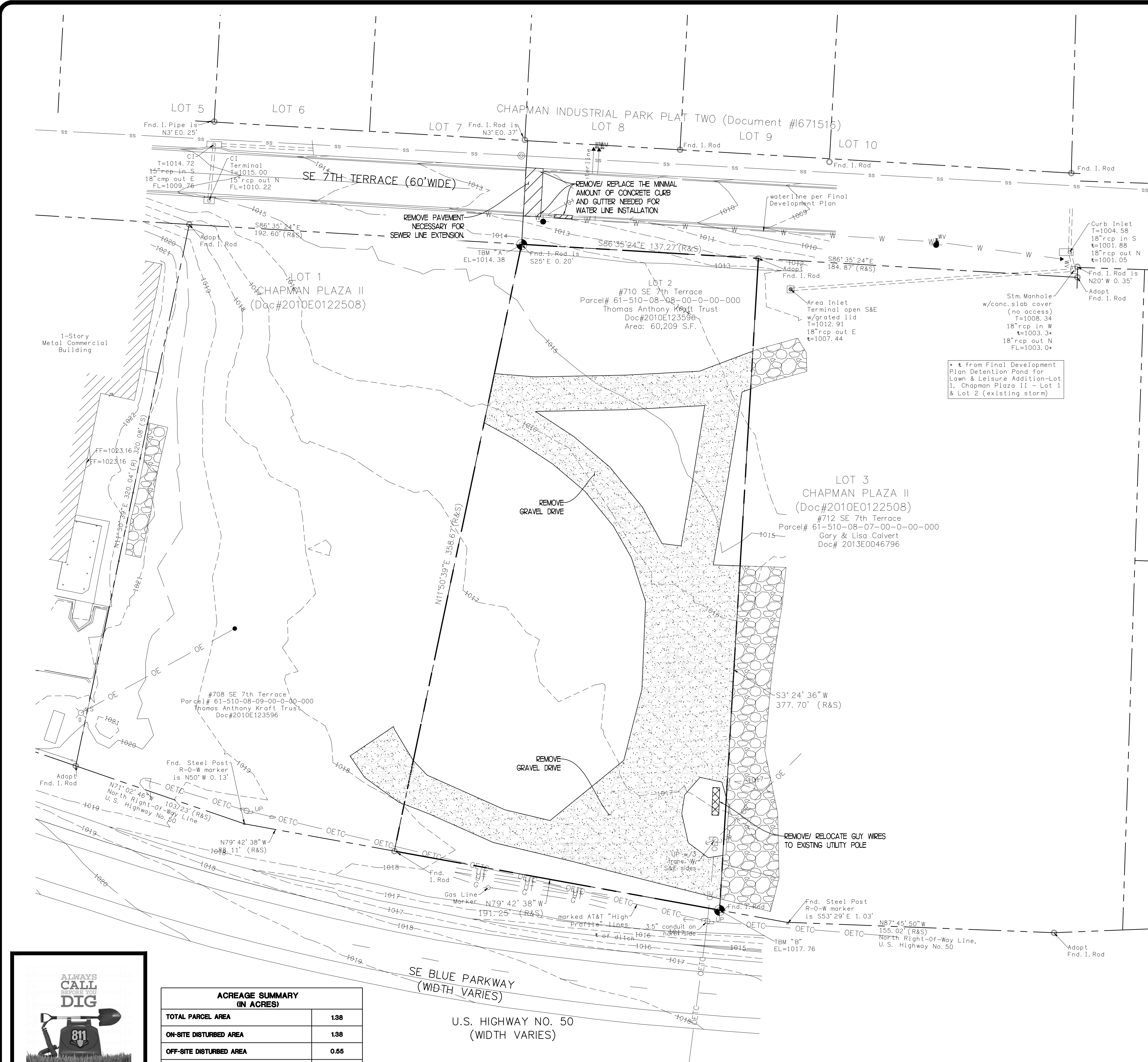
DATE	DESCRIPTION
6/01/21	REV.

DATE 2021/05/04

CHECKED BY MWW
DRAWN BY AGK
SHEET NO.

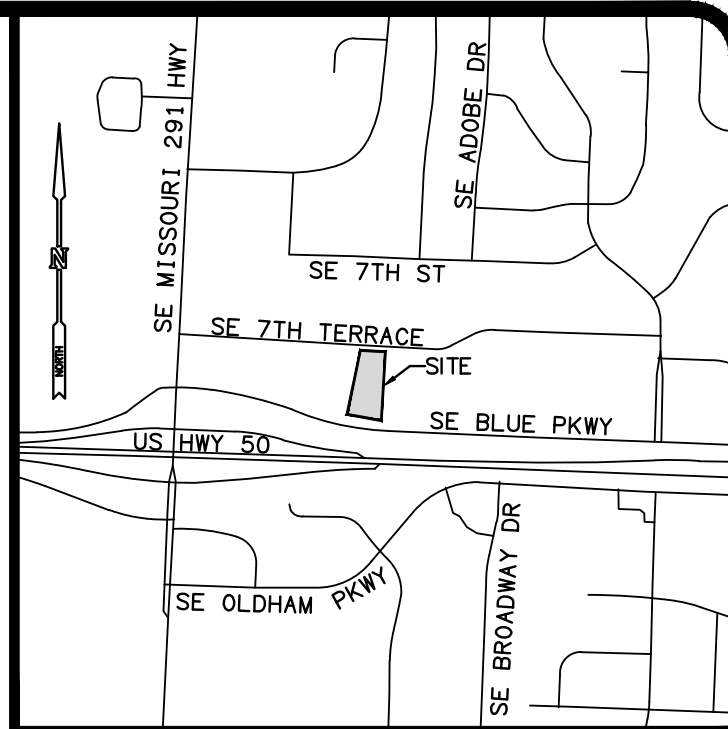
1_of_1

JOB NO.
211029



LEGEND

SYMBOL	DESCRIPTION (TO BE REMOVED)
	GRAVEL DEMO
	ASPHALT/ CONCRETE DEMO
	UTILITY DEMO



- DEMOLITION PLAN NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
 - ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE AUTHORITIES.
 - UTILITY CONTACTS ARE LISTED ON THE COVER SHEET.
 - EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO SWPP PLAN FOR DETAILS.
 - ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
 - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
 - DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE OWNER'S REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - CONTRACTOR SHALL REMOVE AIR CONDITION UNITS / FREON IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL UTILITY OR SERVICE LINES THAT UNDERLIE THE PROPOSED STRUCTURES SHALL BE REMOVED. ALL STORM AND SANITARY SEWER LINES THAT LIE BENEATH A HWY LINE EXTENDING FROM THE BASE OF FOUNDATIONS FOR FREE STANDING FOUNDATIONS FOR LOAD BEARING WALLS SHOULD BE REMOVED OR PRESSURE-GROUTED IN-PLACE.

- NOTE:**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 - DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITIES DISCONNECTS WITH OWNER'S REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
 - CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT PREPARED BY INTERTEK PSI DATED MAY 21, 2021 FOR INFORMATION ON THE REMOVAL OF EXISTING IN SITU MATERIALS AND HARDSCAPE.

ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	1.38
ON-SITE DISTURBED AREA	1.38
OFF-SITE DISTURBED AREA	0.55
TOTAL DISTURBED AREA	1.93
IMPERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY & INCLUDES GRAVEL)	0.48
PERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY)	0.90
IMPERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.90
PERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.48
IMPERVIOUS AREA INCREASE (PRE VS POST) (ON-SITE ONLY)	0.42
IMPERVIOUS PERCENTAGE (AT POST-CONSTRUCTION STAGE)	65.2%

ALWAYS CALL BEFORE YOU DIG

811

THE ONLY WAY TO SAFELY AND LEGALLY DIG IS TO CALL 811. IT'S THE ONLY WAY TO FIND OUT WHERE ALL THE UTILITIES ARE. IT'S THE ONLY WAY TO AVOID ACCIDENTS, INJURIES, AND DEATH. IT'S THE ONLY WAY TO PROTECT THE ENVIRONMENT. IT'S THE ONLY WAY TO PROTECT YOUR PROPERTY. IT'S THE ONLY WAY TO PROTECT YOUR LIFE.

EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHEDS. IF YOU HIT AN UNDERGROUND UTILITY LINE WHILE DIGGING, YOU CAN HARM YOURSELF OR THOSE AROUND YOU, DISRUPT SERVICE TO AN ENTIRE NEIGHBORHOOD AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS.

SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

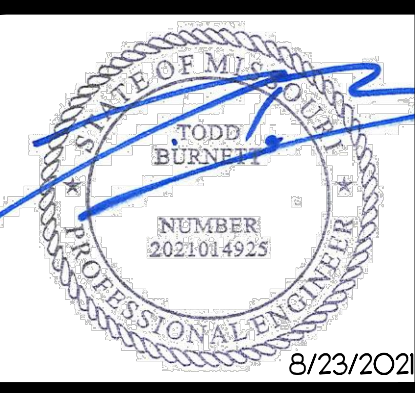
REVISIONS	BY

FREELAND and KAUFFMAN, INC.

Engineers * Landscape Architects

209 West Stone Avenue
Greenville, South Carolina 29609

864-233-5497
fax 864-233-8916



CALIBER COLLISION

710 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063

CROSS DEVELOPMENT, CC LEE'S SUMMIT, LLC
4388 MARSH RIDGE ROAD
CARROLLTON, TX 75010
TEL (214) 614-8252

DRAWN
BAC
CHECKED
TMB
DATE
8/23/2021
SCALE

DRAWING

3

DEMOLITION PLAN

SCALE 1" = 30'

ALWAYS CALL 811 BEFORE YOU DIG

EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHEDS. IF YOU HIT AN UNDERGROUND UTILITY LINE WHILE DIGGING, YOU CAN HARM YOURSELF OR THOSE AROUND YOU, DISRUPT SERVICE TO AN ENTIRE NEIGHBORHOOD AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS.

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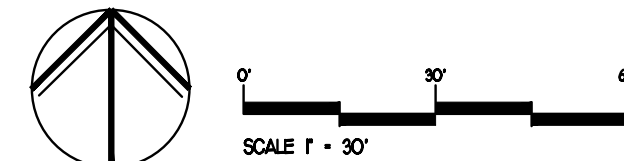
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CITY OF LEE'S SUMMIT LAND USE SCHEDULE	
TOTAL FLOOR AREA:	11,582 SF
NUMBER OF DWELLINGS:	1
LAND AREA:	1.38 ACRES
REQUIRED PARKING SPACES:	36
PROVIDED PARKING SPACES:	66
IMPERVIOUS COVERAGE:	0.90 ACRES
FLOOR AREA RATIO (FAR):	0.9
DWELLING UNITS PER ACRES:	0.72
LAND USES TO BE PERMITTED:	1

KEYNOTES:

- 24" WHITE THERMOPLASTIC PAINT STOP BAR (SEE DETAILS)
- ACCESSIBLE PARKING (SEE DETAIL)
- STOP SIGN (SEE DETAIL)
- DUMPSTER ENCLOSURE W/ GATES (RE: ARCH)
- NEW SIDEWALK (SEE DETAIL AND PLAN FOR WIDTH)
- 6" DIAMETER BOLLARD (SEE DETAIL)
- CONCRETE TRANSFORMER PAD (SEE DETAIL)
- TERMINATE CURB AND GUTTER
- HANDICAP PARKING SIGN IN 6" BOLLARD (SEE DETAIL)
- 6" DECORATIVE SECURITY FENCE (SEE DETAIL)
- ACCESSIBLE SPACE WITH SIGN "VAN" INDICATES VAN ACCESSIBLE, SIGN MOUNTED IN BOLLARD, SEE DETAIL
- 26" SLIDING GATE (RE:ARCH FOR GATE DETAIL)
- "TYPE CG-1" CONCRETE STRAIGHT BACK CURB & GUTTER PER CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATION (SEE DETAIL)
- SITE SIGNAGE, NOT PART OF THE SITE PLAN APPROVAL, PERMITTED BY OTHERS UNDER SEPARATE APPLICATION
- KNOX BOX (RE: ARCH)
- 136" X 6" GAS CLEAR SPACE AREA
- 160" X 54" ELECTRICAL CLEAR SPACE AREA
- TRANSITION FROM ON-SITE ASPHALT TO CITY OF LEE'S SUMMIT STANDARD CONCRETE FOR COMMERCIAL DRIVEWAYS, ENSURE SMOOTH TRANSITION
- SITE LIGHTING (RE: PHOTOMETRIC PLANS)
- CONCRETE FLUME (SEE DETAIL)
- TRANSITION FROM CITY OF LEE'S SUMMIT CONCRETE TO CITY OF LEE'S SUMMIT ASPHALT PAVEMENT, ENSURE SMOOTH TRANSITION
- SIDEWALK FLUSH WITH ASPHALT
- "TYPE C-1" CONCRETE STRAIGHT CURB PER CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS, SEE CITY DETAIL
- "TYPE CG-2" CONCRETE ROLL BACK CURB & GUTTER PER CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS, SEE CITY DETAIL
- COMMERCIAL DRIVEWAY PER CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS, SEE DETAIL
- ASPHALT PAVING FOR ROADWAY TRENCH REPAIR PER CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS, SEE DETAIL
- SIDEWALK TAPER, TAPER INTEGRAL SIDEWALK FROM A HEIGHT OF 0' TO 6" OVER 18 FEET

SITE PLAN



ACREAGE SUMMARY AND PARKING SUMMARY:

ACREAGE SUMMARY:
TOTAL PARCEL: 1.38 AC.
GROSS FLOOR AREA: 11,582 SF.
IMPERVIOUS COVER: 0.90 AC. (65%)
PARKING SUMMARY:
MIN REQUIRED: 3 SPACES PER BAY (EACH BAY CAN COUNT)
12 BAYS X 3 = 36 SPACES REQUIRED
PROVIDED:
15* CUSTOMER SPACES PROVIDED
51 STORAGE SPACES PROVIDED
2** ADA SPACES PROVIDED
TOTAL: 66 SPACES TOTAL

NOTES:
* GATES FOR STORAGE PARKING SPACES WILL REMAIN OPEN DURING BUSINESS HOURS TO ALLOW FOR OVERFLOW PARKING (SHOULD IT BE NEEDED).
** TOTAL NUMBER OF ADA PARKING SPACES IS TO BE RESULT OF THE NUMBER OF CUSTOMER SPACES PROVIDED AND NOT TOTAL SPACES PROVIDED.

DEPICTION OF THE DEVELOPMENT ON THE NEIGHBORING PROPERTY TO THE WEST IS SHOWN FOR PLANNING PURPOSES ONLY. THE LAYOUT AND LOCATIONS OF THE SITE FEATURES SHOWN ARE APPROXIMATE AND SHOULD NOT BE CONSIDERED DEFINITE. CONTRACTOR SHALL NOT INCLUDE THE NEIGHBORING DEVELOPMENT IN THE CALIBER COLLISION BID.

LAND USES OF THE ADJACENT PROPERTIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE LAND USES SHOWN WERE TAKEN FROM THE JACKSON COUNTY GIS.

PROPERTY DATA

PN: 61-510-08-00-0-00-000
ADDRESS: 710 SE 7TH TERRACE
LEE'S SUMMIT, MO 64063
ZONING & SETBACK DATA
ZONED: CP-2, PLANNED COMMUNITY COMMERCIAL
BUILDING SETBACKS:
FRONT/STREET: 15'
SIDE: 10'
REAR: 20'
LANDSCAPE SETBACKS:
PUBLIC STREET: 20'
SIDE STREET: 6'
MAXIMUM BUILDING HEIGHT: 60'
PROPOSED BUILDING HEIGHT: 26'
FLOOD INFORMATION
FLOOD ZONE "X" (AREA OF MINIMUM FLOOD HAZARD) PER FEMA MAP NO. 29095004386G EFFECTIVE DATE: JANUARY 20, 2017

PAINTING STRIPES LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE

SYMBOL	DESCRIPTION
	HANDICAPPED SYMBOL
	NUMBER OF PARKING SPACES
	SITE SIGNAGE
	BOLLARD
	6' SCREEN FENCE
	CONCRETE PAVING/SIDEWALK
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT*
	STANDARD DUTY ASPHALT*
	CITY SPEC'D CONCRETE**
	CITY SPEC'D ASPHALT**
	PAINTED STOP LINE
	SAWCUT LINE

* COORDINATE WITH THE PAVEMENT DESIGN RECOMMENDATIONS IN THE GEOTECH REPORT PREPARED BY INTERTEK PSL DATED MAY 21, 2021.
** REFERENCE THE CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON PAVING REQUIREMENTS.

SITE NOTES:

- CONTRACTOR SHALL REFER TO THE CALIBER COLLISION ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, AND FOR THE EXACT LOCATION OF UTILITY ENTRANCES, ROOF LEADERS, EXIT DOORS, EXIT STOOPS, ETC.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, CENTERLINE OF PARKING, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL STRIPING SHALL BE WHITE, 4" WIDE, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE MONUMENT SIGN WITH CALIBER COLLISION.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT REGULATIONS AND CODES AND OSHA STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS NOTED OTHERWISE.
- EXISTING SITE IMPROVEMENTS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY HEIDEMAN ASSOCIATES, INC.
- UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
- ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN. ALL HANDICAPPED STALLS SHALL BE PER CITY OF LEE'S SUMMIT STANDARDS. SPACES MARKED "VAN" SHALL RECEIVE A "VAN ACCESSIBLE" SIGN.
- STOP SIGNS SHALL MEET THE CRITERIA OF THE STATE OF MISSOURI DEPT. OF TRANSPORTATION AND MUTCD STANDARDS.
- ALL PARKING SPACES ARE TO BE 9.0' WIDE AND 90' TYPICAL UNLESS NOTED OTHERWISE.
- LIGHT POLES ARE SHOWN FOR REFERENCE ONLY. RE: PHOTOMETRIC PLAN.

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
Engineers * Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916

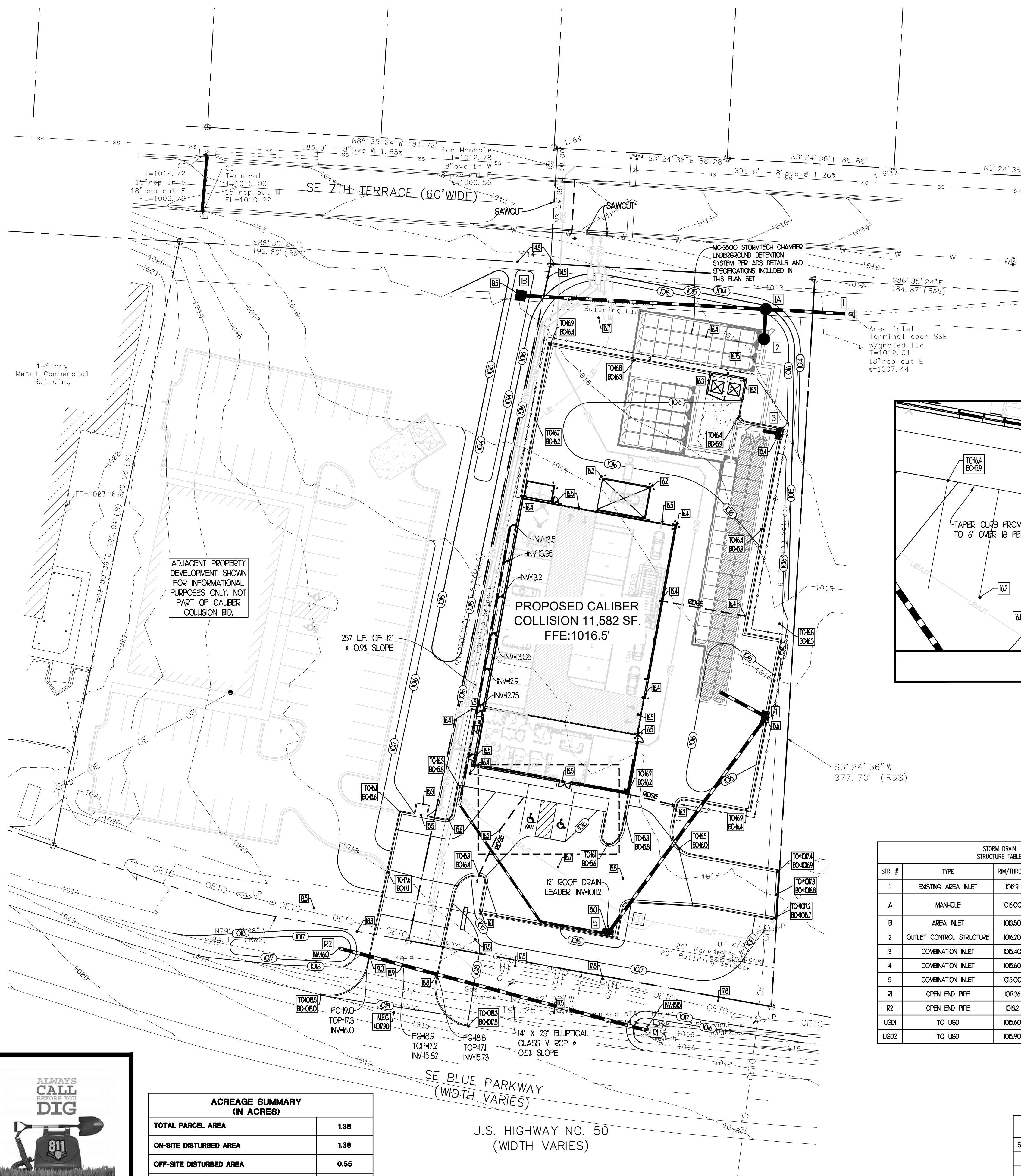


CALIBER COLLISION
710 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
CROSS DEVELOPMENT, CG LEE'S SUMMIT, LLC
4838 MARSH RIDGE ROAD
CARROLLTON, TX 75010
TEL (214) 614-8252

DRAWN	BAC
CHECKED	TMB
DATE	8/23/2021
SCALE	

DRAWING

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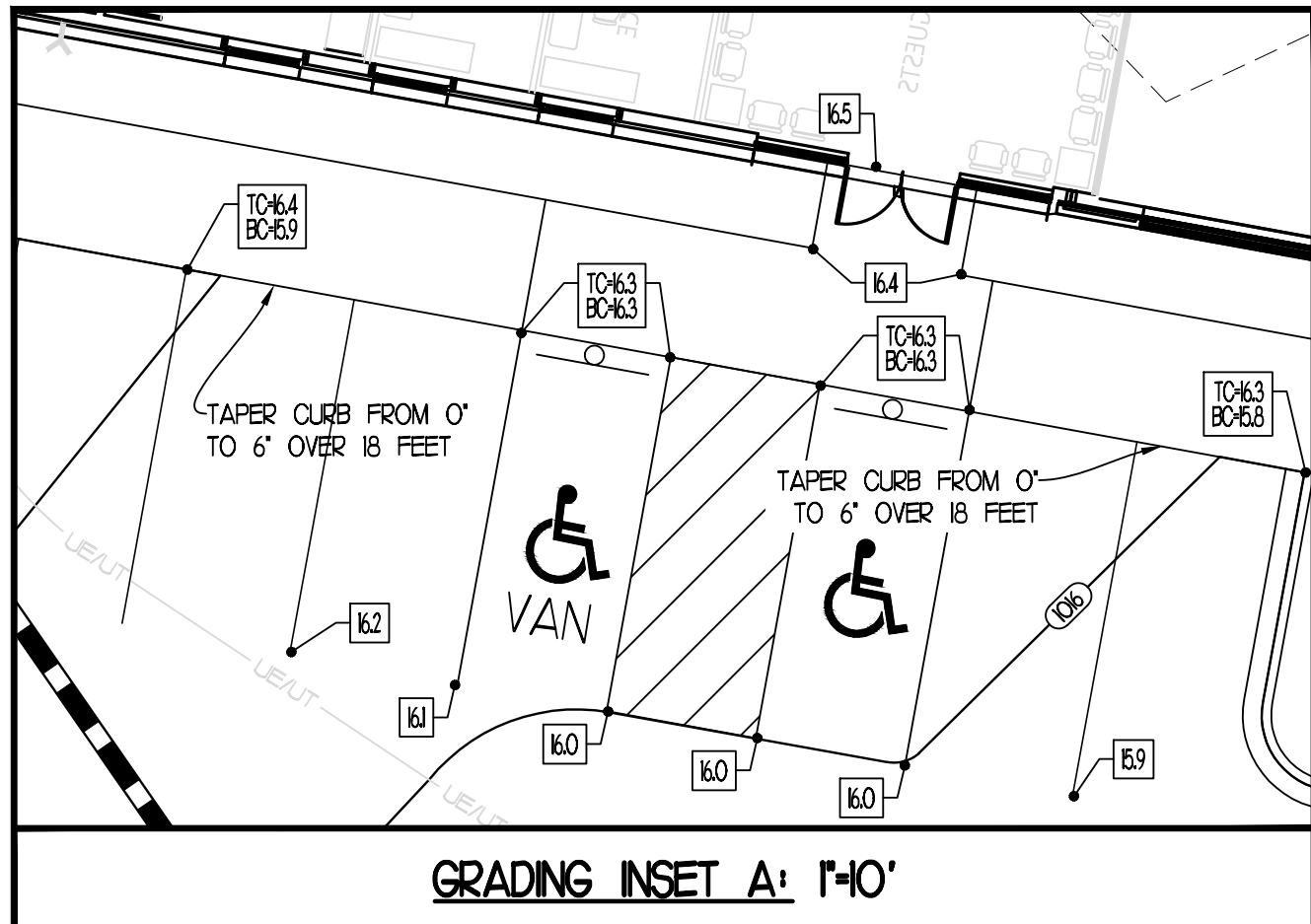
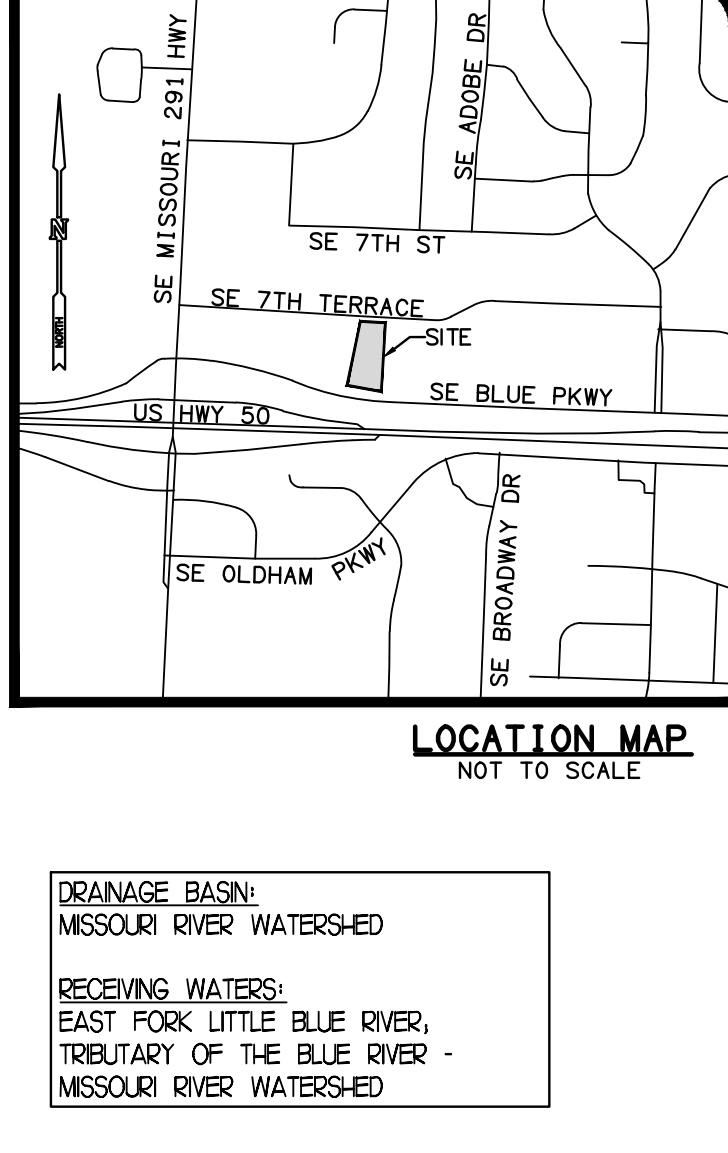
STORM DRAIN NOTES

1. ALL HYDRAULIC DATA FOR THE STORM DRAINAGE PIPES ARE BASED ON THE 100-YEAR DESIGN STORM.
2. ALL MAN-HOLE DIAMETERS AND ALL INLET DIMENSIONS SHALL HAVE A MINIMUM INSIDE DIMENSION OF 4' DIAMETER (OR CIRCULAR) OR 4'x4' (SQUARE). STRUCTURES SHALL BE UP-SIZED AS NEEDED TO ACCOMMODATE THE CONNECTING PIPE SIZES/ ANGLES.
3. STORM DRAIN PIPE SHALL BE CLASS III, WALL 12" RCP IN ACCORDANCE WITH ASTM C-76, UNLESS NOTED OTHERWISE.
4. HIGH DENSITY POLYETHYLENE PIPE (HDPE) MAY BE USED AS AN ALTERNATE. ALL HDPE PIPE JOINTS, AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATIONS M252 AND M294 TYPE S.
5. PIPE LENGTHS ARE BASED ON HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND USED FOR DESIGN ONLY. CONTRACTOR TO FIELD VERIFY ACTUAL PIPE LENGTHS NEEDED FOR CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM DRAIN WITH THE PROFILES FOR THE STORM DRAIN LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. STORM DRAIN PIPE SHALL HAVE WATER TIGHT JOINTS IN ACCORDANCE WITH ASTM C 361, C443, AND D3212.

CONTRACTOR SHALL USE EXTREME CAUTION WHILE WORKING UNDERNEATH OVERHEAD POWER LINES. ANY DAMAGE TO THE EXISTING UTILITY POLES AND UTILITY LINES SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PHASE 2 CONTOURS (NOT PART OF CALIBER BID)
- SPOT ELEVATION
- MATCH EXISTING GRADE
- PROPOSED STORM DRAIN
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED AREA INLET
- PROPOSED HEADWALL
- DRAINAGE FLOW ARROW
- EROSION CONTROL BLANKET



GRADING & DRAINAGE NOTES

1. ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC. THE CURRENT REQUIREMENTS OF THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, APPLICABLE SECTIONS OF THE MDOOT STANDARD SPECIFICATIONS, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. ALL EXISTING STRUCTURES, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE, UNLESS OTHERWISE NOTED TO REMAIN. BURNING ON-SITE SHALL NOT BE ALLOWED.
3. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST AND SHALL MEET MDOOT MINIMUM REQUIREMENTS.
4. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
5. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND THE EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
6. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
7. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-554), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
9. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) UNLESS NOTED OTHERWISE. NO SLOPES SHALL EXCEED 2:1 IN ANY CASE.
10. AN AS-BUILT DRAWING OF STORM DRAIN LINES AND THE UNDERGROUND DETENTION SYSTEM MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER AND THE CITY OF LEE'S SUMMIT UPON COMPLETION OF THE PROJECT.
11. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE TOPSOILED, SEEDED AND MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS, OR INSTRUCTED BY THE OWNER.
12. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT, PREPARED BY OTHERS, PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
13. IF ANY EXISTING STRUCTURES OR SITE FEATURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
14. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. STORM PIPE MATERIALS SHALL MEET ALL CITY OF LEE'S SUMMIT, JACKSON COUNTY, AND MDOOT REQUIREMENTS.
15. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE NPDES GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
16. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
17. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
18. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY HEIDMAN ASSOCIATES, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
19. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
20. EXISTING STORM DRAIN PIPES IMMEDIATELY ADJACENT TO THE SITE SHALL BE INSPECTED AND CLEANED TO REMOVE ALL SILT AND DEBRIS.
21. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER INLETS AND MANHOLES FOR REVIEW PRIOR TO ORDERING.
22. ROOF LEADERS SHALL DISCHARGE TO SPLASH BLOCKS UNLESS SPECIFICALLY NOTED OTHERWISE. RE-ARCH FOR EXACT NUMBER AND LOCATION.
23. ALL SIDEWALKS TO HAVE 2.00% MAXIMUM CROSS SLOPE AND 5.00% MAX LONGITUDINAL SLOPE.
24. SLOPES 3:1 AND STEEPER SHALL BE INSTALLED WITH AN EROSION CONTROL BLANKET (TOURLEX® OR APPROVED EQUAL).
25. INSURE THAT ALL SIDEWALK CURBS LESS THAN 6" HEIGHT OR LESS ARE PAINTED YELLOW PRIOR TO CERTIFICATE OF OCCUPANCY. SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.
26. CONTRACTOR SHALL PROVIDE EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.
27. CONTRACTOR HAS THE OPTION TO UTILIZE SOD IN LIEU OF AN EROSION CONTROL BLANKET (TYPICAL).
28. ALL CONSTRUCTED SEWER SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER. ADDITIONALLY, FOR CONSTRUCTED SEVERE SLOPES GREATER THAN FIVE FEET IN HEIGHT, AN INSPECTION AND A STABILITY CERTIFICATE ARE REQUIRED BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE SUFFICIENT TO PERFORM THE INSPECTION AND STABILITY ANALYSIS. FOR ALL CONSTRUCTED SEVERE SLOPES WITHIN PROPOSED OR EXISTING PUBLIC RIGHTS-OF-WAY, PERIODIC INSPECTIONS AND COMPACTED REPORTS ARE REQUIRED BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE.

STORM DRAIN STRUCTURE TABLE				
STR. #	TYPE	RIM/THROAT	INV. IN	INV. OUT
1	EXISTING AREA INLET	102.9	1007.60 (A)	1008.0 (B)
1A	MANHOLE	106.00	1008.30 (B) 1008.30 (C)	1008.0 (B)
1B	AREA INLET	108.50		1009.60 (A)
2	OUTLET CONTROL STRUCTURE	106.50		1008.50 (A)
3	COMBINATION INLET	105.40		1007.90 (UG2)
4	COMBINATION INLET	105.60	1009.70 (C)	1009.50 (UG2)
5	COMBINATION INLET	105.00		1010.00 (A)
R1	OPEN END PIPE	107.36	106.5 (R2)	
R2	OPEN END PIPE	108.2		106.00 (R)
UG21	TO UG2	105.60	1007.60 (C)	
UG22	TO UG2	105.90	1009.20 (A)	

STORM PIPE TABLE					
STORM DRAIN PIPE	SIZE	LENGTH	SLOPE	INV. IN	INV. OUT
1A - 1	18"	44'	0.3%	1008.00'	1007.60'
B - 1A	18"	127'	0.2%	1009.60'	1008.30'
2 - 1A	18"	16'	0.2%	1008.50'	1008.30'
5 - 4	18"	199'	0.03%	1010.00'	1009.70'
R2 - R1	18" BLUE	164'	0.52%	106.00'	105.6'

WATER TIGHT STORM PIPES:
CONTRACTOR TO ENSURE THAT ALL STORM PIPES ARE WATER TIGHT AND TESTED PER ASTM C902-02.

CONTRACTOR TO ENSURE ALL STORM DRAIN PIPE SHALL HAVE WATER TIGHT JOINTS IN ACCORDANCE WITH ASTM C 361, C443 AND D3212.

GRADING PLAN

ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	1.38
ON-SITE DISTURBED AREA	1.38
OFF-SITE DISTURBED AREA	0.55
TOTAL DISTURBED AREA	1.93
IMPERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY & INCLUDES GRAVEL)	0.48
PERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY)	0.90
IMPERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.90
PERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.48
IMPERVIOUS AREA INCREASE (PRE VS POST) (ON-SITE ONLY)	0.42
IMPERVIOUS PERCENTAGE (AT POST-CONSTRUCTION STATUS)	65.2%

ALWAYS CALL 811 BEFORE YOU DIG

EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHEDS. IF YOU HIT AN UNDERGROUND UTILITY LINE WHILE DIGGING, YOU CAN HARM YOURSELF OR THOSE AROUND YOU, DISRUPT SERVICE TO AN ENTIRE NEIGHBORHOOD AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS.

SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

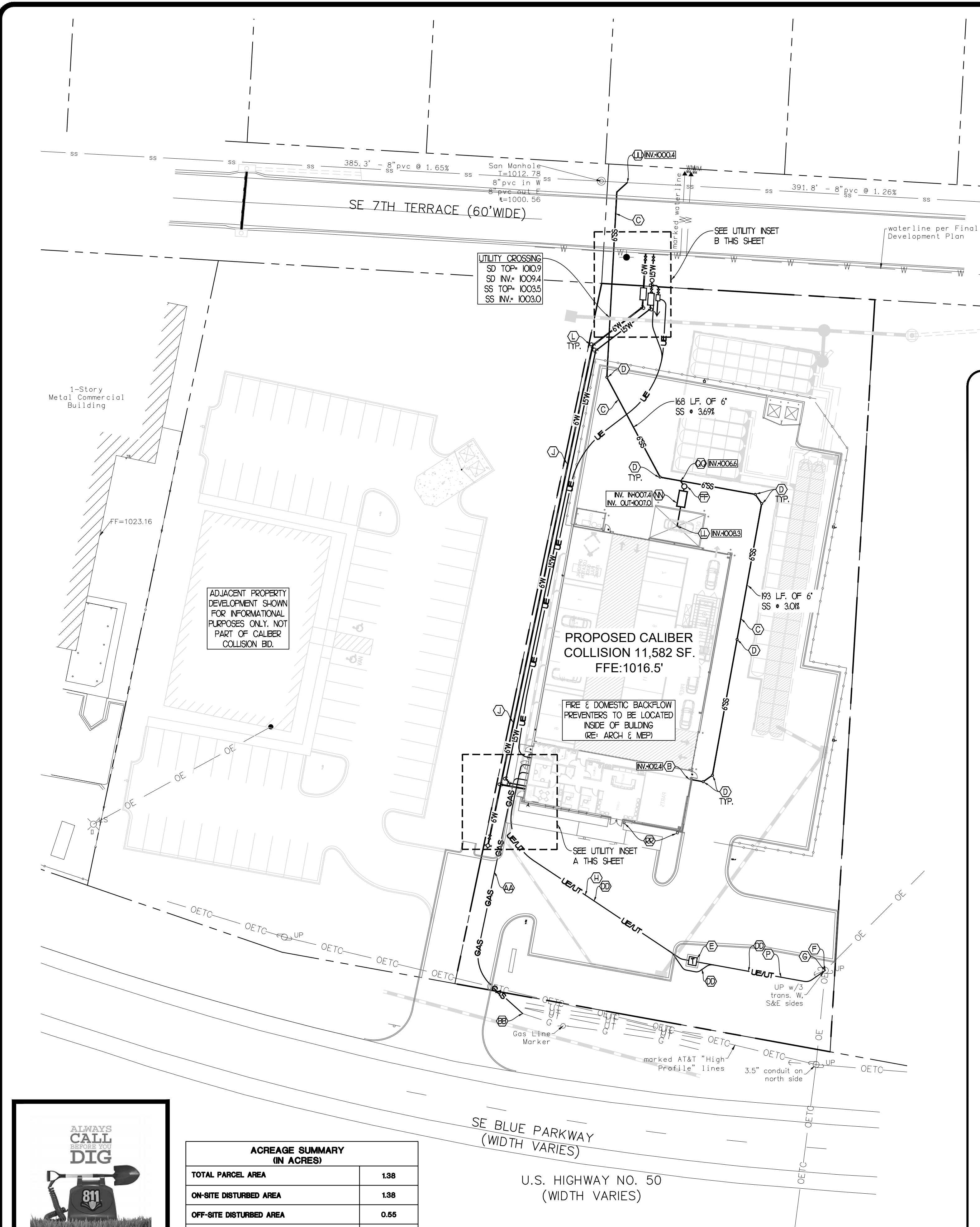
REVISIONS	BY

FREELAND and KAUFFMAN, INC.
Engineers & Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916

CALIBER COLLISION
710 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063

CROSS DEVELOPMENT, CC LEE'S SUMMIT, LLC
4388 MARSH RIDGE ROAD
CARROLLTON, TX 75010
TEL (214) 614-8252

DRAWN BAC
CHECKED TMB
DATE 8/23/2021
SCALE
DRAWING
13



UTILITY CONTACTS

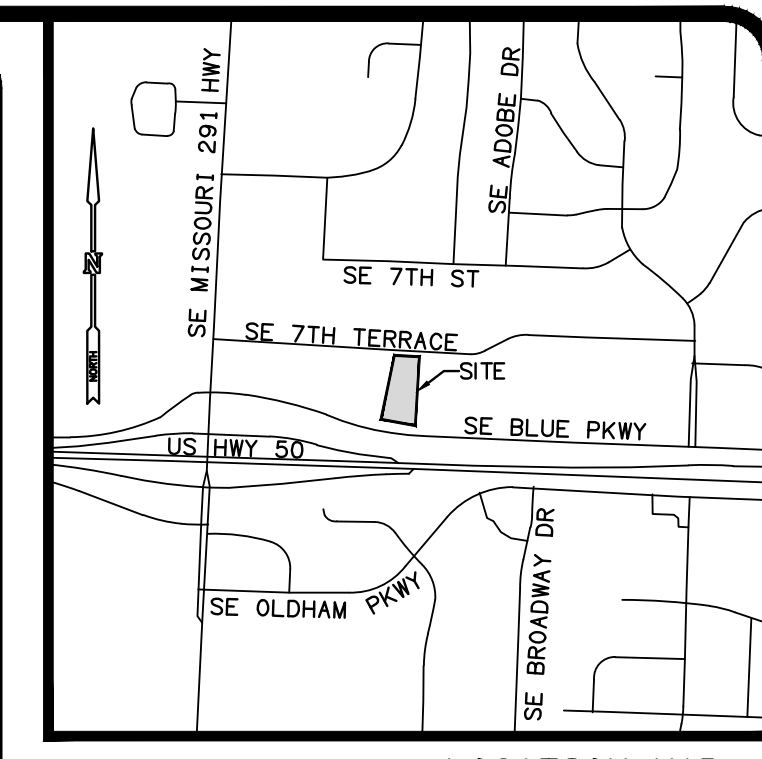
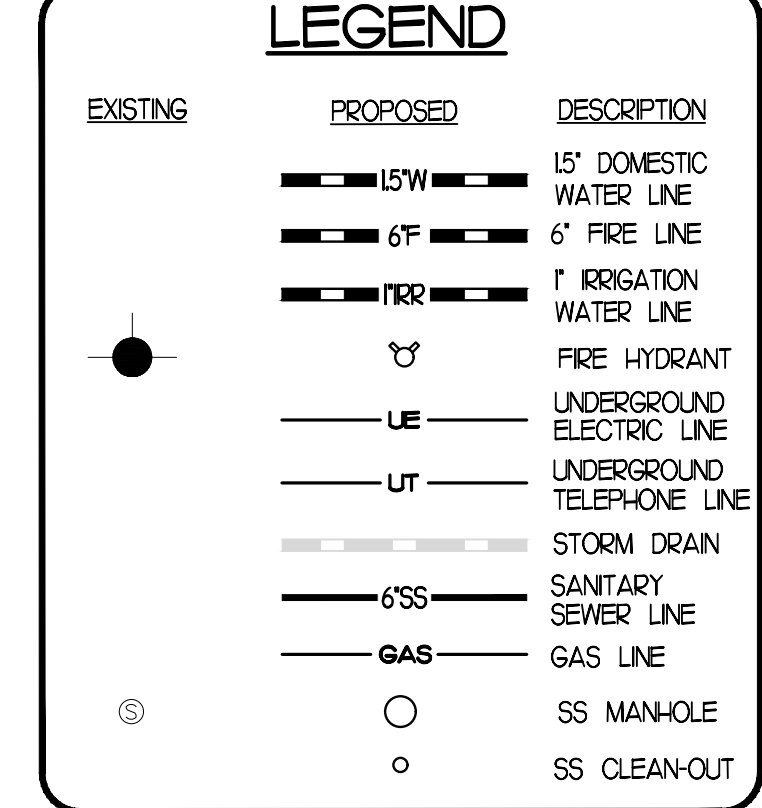
WATER:
LEE'S SUMMIT WATER UTILITIES
PHONE: (816) 969-1900

SEWER:
LEE'S SUMMIT WATER UTILITIES
PHONE: (816) 969-1900

GAS:
SPIKE, INC.
CONTACT: BOBBIE GAULSBERRY
PHONE: (816) 969-2266

ELECTRIC:
EVERGY LEE'S SUMMIT SERVICE
CONTACT: DOUG DAVIN
PHONE: (816) 347-4320

TELEPHONE/CABLE:
AT&T
CONTACT: DARRIN SHEPARD
PHONE: (816) 772-0336



REVISIONS	BY

CONTRACTOR SHALL USE EXTREME CAUTION WHILE WORKING UNDERNEATH OVERHEAD POWER LINES. ANY DAMAGE TO THE EXISTING UTILITY POLES AND UTILITY LINES SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR IS RESPONSIBLE FOR RELOCATING ANY APPLICABLE CONFLICTING UTILITIES NECESSARY TO COMPLETE SERVICE INSTALLATIONS.

CONTRACTOR IS RESPONSIBLE FOR STAKING SITE AS NECESSARY TO DETERMINE SERVICE LOCATIONS AND ELEVATIONS PRIOR TO MOBILIZING TO INSTALL SERVICES.

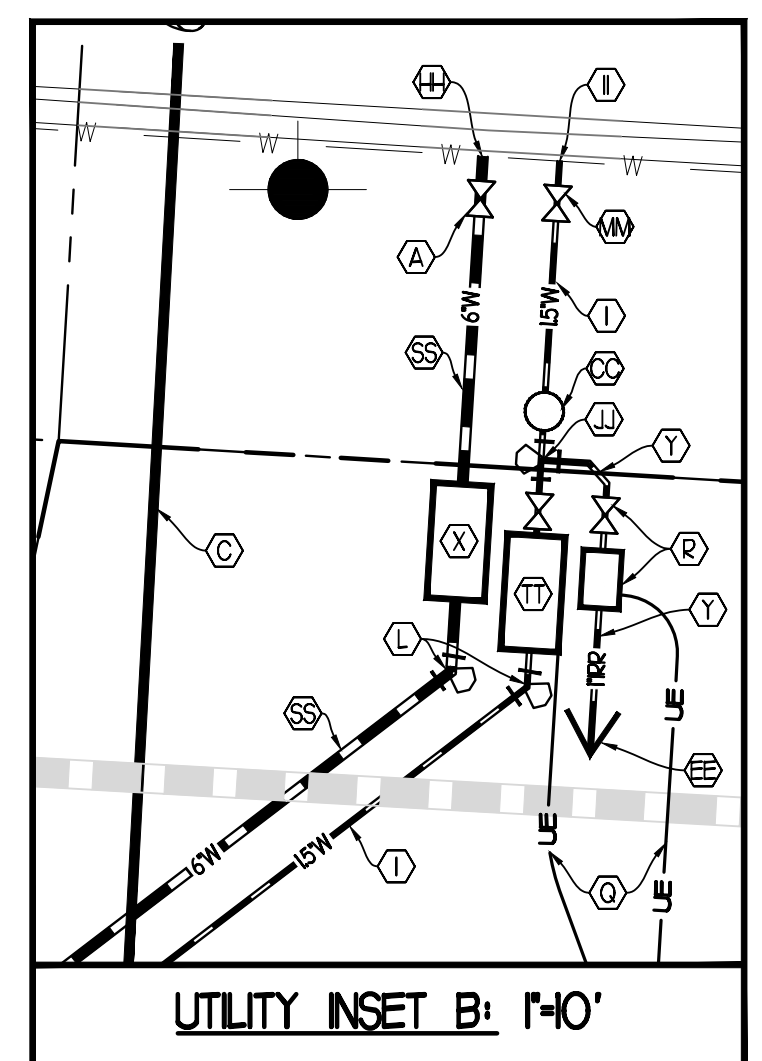
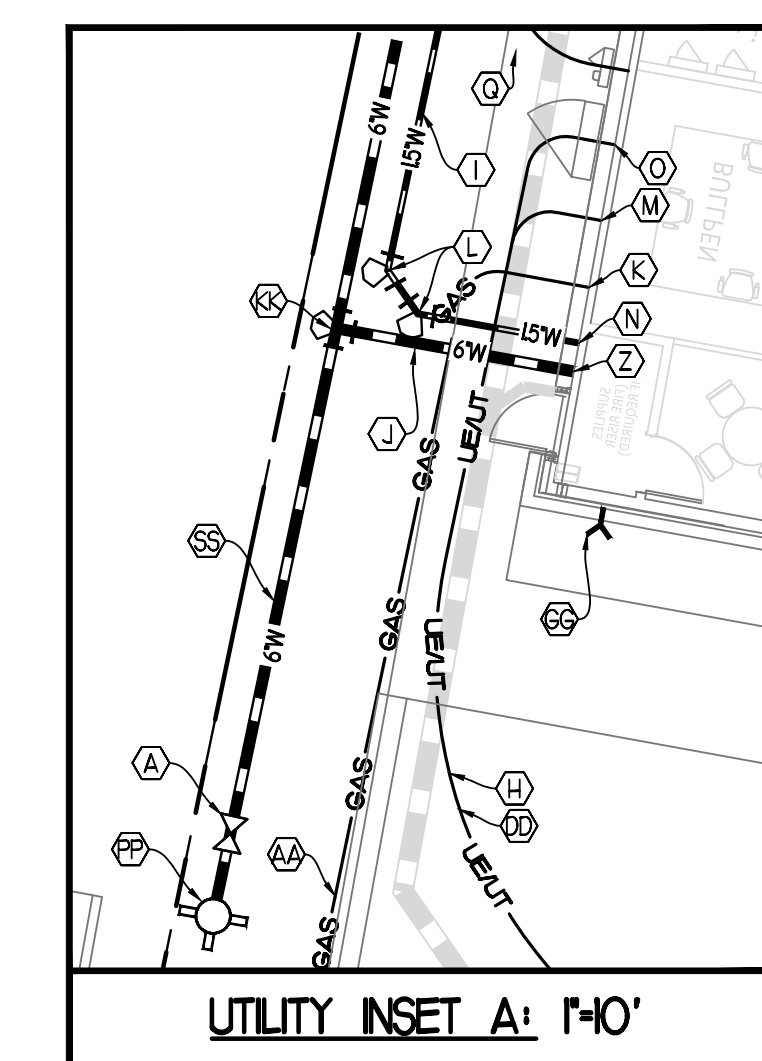
HYDRANTS SHALL BE PROTECTED FROM MECHANICAL DAMAGE. THE MEANS OF PROTECTION SHALL BE ARRANGED SO THAT IT WILL NOT INTERFERE WITH THE OPERATION OF THE HYDRANT (3 FEET CLEARANCE).

CONTRACTOR SHALL ENSURE THAT PROPOSED WATER LINE EXTENSION HAS A MINIMUM OF 18" VERTICAL CLEARANCE WHEN CROSSING STORM & SANITARY SEWER (PROPOSED OR EXISTING) BENDS AND FITTINGS SHALL BE UTILIZED TO MEET THIS REQUIREMENT.

CONTRACTOR TO INCLUDE ALL METER INSTALLATION AND CAPACITY FEES FOR UTILITY SERVICES IN THE BASE BID TO PROVIDE UTILITY SERVICES AS SHOWN.

- UTILITY PLAN NOTES**
- ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, CURRENT REQUIREMENTS OF LEE'S SUMMIT WATER UTILITIES, JACKSON COUNTY, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
 - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING THE MEANS OF PROTECTION SHALL BE ARRANGED SO THAT IT WILL NOT INTERFERE WITH THE OPERATION OF THE HYDRANT (3 FEET CLEARANCE).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL EXISTING UTILITIES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE BUILDING.
 - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
 - A SEALED AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE ENGINEER/SURVEYOR AND SUBMITTED TO LEE'S SUMMIT WATER UTILITIES UPON COMPLETION & PRIOR TO ACTIVATION OF THE PROJECT.
 - REFER TO THE BUILDING PLANS FOR ALL CONDUIT SIZES, NUMBER AND LOCATIONS FOR SERVICE TO THE SIGN AND SITE LIGHT POLES. COORDINATE FINAL CONDUIT LOCATIONS WITH THE OWNER.
 - CONTRACTOR SHALL COORDINATE WITH THE OWNER ON CONDUIT ROUTE TO THE STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICES.
 - ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY'S INSPECTORS 72 HOURS BEFORE CONNECTION OR DEMOLITION OF ANY EXISTING LINE.
 - MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE LEE'S SUMMIT WATER UTILITIES WATER STANDARDS AND SPECIFICATIONS AND LEE'S SUMMIT WATER UTILITIES SEWER STANDARDS AND SPECIFICATIONS.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - RESTRAINED JOINTS BY AN APPROVED PIPE MANUFACTURER ARE TO BE USED FOR ALL PUBLIC WATERLINES WHERE THRUST RESTRAINING IS REQUIRED, HOWEVER, THRUST BLOCKS ARE PERMITTED WHERE CONNECTIONS ARE MADE TO EXISTING WATERLINES OR WHERE THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE). UTILITIES OF THE SAME SERVICE ARE NOT REQUIRED TO PROVIDE 18" OF VERTICAL SEPARATION.
 - MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CROSSING LESS THAN 18" BETWEEN WATERLINES AND SANITARY LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE RESTRAINED JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED MEETING ALL ANSI, AWWA, AND CITY OF LEE'S SUMMIT WATER UTILITIES REQUIREMENTS.
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 PSI.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - 1" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN HEATED INSULATED ENCLOSURE PER LEE'S SUMMIT WATER UTILITIES REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER LEE'S SUMMIT WATER UTILITIES REQUIREMENTS. SEE DETAIL ON UTILITY DETAILS SHEET.

- ELECTRIC SERVICE NOTES:**
- CONTRACTOR RESPONSIBLE FOR COORDINATING TIMING AND EXACT CONDUIT ROUTING WITH EVERGY.
 - CONTRACTOR SHALL INSTALL TRANSFORMER PAD PER EVERGY STANDARDS AND SPECIFICATIONS.
 - EVERGY SHALL INSTALL TRANSFORMER AND PRIMARY CONDUIT & CABLE FROM THE EXISTING UTILITY TO THE PROPOSED TRANSFORMER LOCATION.
 - CONTRACTOR SHALL INSTALL CT ENCLOSURE, CT, METER BASE, AND METER AT ONCE EVERGY HAS INSTALLED THE TRANSFORMER.
 - CONTRACTOR SHALL PROVIDE AND INSTALL SECONDARY CONDUIT & CABLE FOR SERVICE (SEE KEYNOTES FOR SIZE AND QUANTITY).
 - CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF PROPER ELECTRICAL SERVICE INSTALLATION UPON COMPLETION.



- KEYNOTES**
- | | | |
|---|---|--|
| (A) 6" GATE VALVE PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (D) ELECTRIC SERVICE ENTRY (RE: ARCH FOR EXACT LOCATION) | (H) 6" X 6" OUT IN TEE, VALVE AND THRUST BLOCK TO EXISTING MAIN PER LEE'S SUMMIT WATER UTILITIES STANDARDS |
| (B) SANITARY SEWER EXT (RE: ARCH FOR EXACT LOCATION) | (E) 12'-6" PRIMARY ELECTRICAL CONDUIT & PULLWIRE SEE ELECTRIC SERVICE NOTES THIS SHEET FOR LIST OF RESPONSIBILITIES | (I) 6" X 15" TAP WITH A CORPORATION STOP TO EXISTING MAIN PER LEE'S SUMMIT WATER UTILITIES STANDARDS |
| (C) 6" PVC SANITARY SEWER LATERAL (SEE PLAN FOR SLOPE (RE: ARCH FOR BUILDING ENTRY)) | (F) 1" LOW VOLTAGE ELECTRICAL CONDUIT FOR HEATED BFP ENCLOSURE | (J) 15" X 1" TEE PER LEE'S SUMMIT WATER UTILITIES STANDARDS |
| (D) SEWER CLEAN-OUT (SEE DETAIL) | (G) 1" RPZ BFP DEVICE IN ABOVE GROUND HEATED ENCLOSURE ADD 1" PRESSURE REDUCING VALVE BEFORE RPZ BY CONTRACTOR (SEE DETAIL) | (K) 6" X 6" TEE PER LEE'S SUMMIT WATER UTILITIES STANDARDS |
| (E) TRANSFORMER PAD AND METER (SEE ELECTRIC SERVICE NOTES THIS SHEET FOR LIST OF RESPONSIBILITIES) | (H) 6" DOUBLE DETECTOR CHECK VALVE BACKFLOW PREVENTER FOR FIRE SERVICE LOCATED IN BELOW GROUND VAULT | (L) SANITARY SEWER EXT FROM DETAIL BAY (RE: ARCH FOR EXACT LOCATION) |
| (F) UNDERGROUND TELEPHONE POINT OF CONNECTION AT POLE BY AT&T | (I) 1" IRRIGATION WATERLINE PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (M) DOMESTIC WATER GATE VALVE |
| (G) UNDERGROUND ELECTRIC POINT OF CONNECTION AT POLE BY EVERGY LEE'S SUMMIT SERVICE CENTER | (J) 1" IRRIGATION WATERLINE PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (N) SAND/CIL SEPARATOR (RE: ARCH) |
| (H) CONTRACTOR TO PROVIDE 4" CONDUIT AND SERVICE FOR SECONDARY UNDERGROUND ELECTRICAL UTILITY (RE: ARCH FOR BUILDING ENTRY) | (K) FIRE LINE ENTRY (RE: ARCH) | (O) SITE LIGHTING, TYPICAL (RE: PHOTOMETRIC) |
| (I) 15" DOMESTIC WATERLINE PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (L) 1" GAS SERVICE LINE | (P) FIRE HYDRANT PER LEE'S SUMMIT WATER UTILITIES AND CITY OF LEE'S SUMMIT FIRE MARSHALL STANDARDS |
| (J) 6" WATERLINE FOR FIRE SERVICE PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (M) GAS SERVICE POINT OF CONNECTION, DOMINION ENERGY TO EXTEND SERVICE FROM MAIN | (Q) SANITARY SEWER WYE CONNECTION SEE PLAN FOR INVERT |
| (K) GAS SERVICE ENTRY AND METER (RE: ARCH) | (N) 1" DOMESTIC WATERLINE METER AND VAULT PER LEE'S SUMMIT WATER UTILITIES STANDARDS | (R) KNOX BOX PER LEE'S SUMMIT WATER UTILITIES AND CITY OF LEE'S SUMMIT FIRE MARSHALL STANDARDS |
| (L) WATER LINE BEND WITH THRUST BLOCK | (O) 12" TELEPHONE CONDUIT & PULLWIRE BY CONTRACTOR - SERVICE BY AT&T | (S) 6" C900 PVC WATER LINE PER CITY OF LEE'S SUMMIT WATER UTILITIES STANDARDS & SPECIFICATIONS |
| (M) TELEPHONE SERVICE ENTRY (RE: ARCH) | (P) 1" WATER LINE TO SITE IRRIGATION (BY OTHERS) | (T) 15" RPZ BFP DEVICE IN ABOVE GROUND HEATED ENCLOSURE ADD 1" PRESSURE REDUCING VALVE BEFORE RPZ |
| (N) DOMESTIC WATERLINE ENTRY (RE: ARCH) | (Q) SAMPLING WELL (RE: ARCH) | (U) 6" SANITARY SEWER SERVICE LINE WYE CONNECTION TO EXISTING 8" SANITARY SEWER MAIN SEE PLAN FOR INVERT |
| | (R) BUILDING MOUNTED FDC PER FIRE MARSHALL STANDARDS TO BE LOCATED WITHIN 100 FEET OF THE PROPOSED FIRE HYDRANT. SEE DETAIL | |

ALWAYS CALL 811 BEFORE YOU DIG

811

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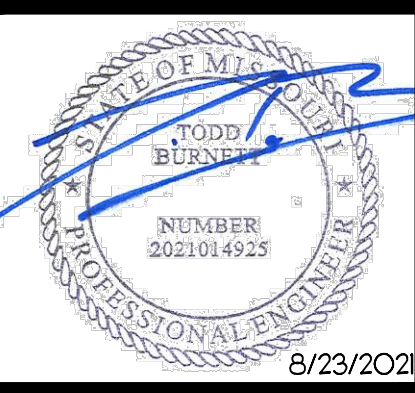
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ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	1.38
ON-SITE DISTURBED AREA	1.38
OFF-SITE DISTURBED AREA	0.55
TOTAL DISTURBED AREA	1.93
IMPERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY & INCLUDES GRAVEL)	0.48
PERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY)	0.90
IMPERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.90
PERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.48
IMPERVIOUS AREA INCREASE (PRE VS POST) (ON-SITE ONLY)	0.42
IMPERVIOUS PERCENTAGE (AT POST-CONSTRUCTION STATUS)	65.2%

UTILITY PLAN

SCALE 1" = 30'

FREELAND and KAUFFMAN, INC.
Engineers & Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916

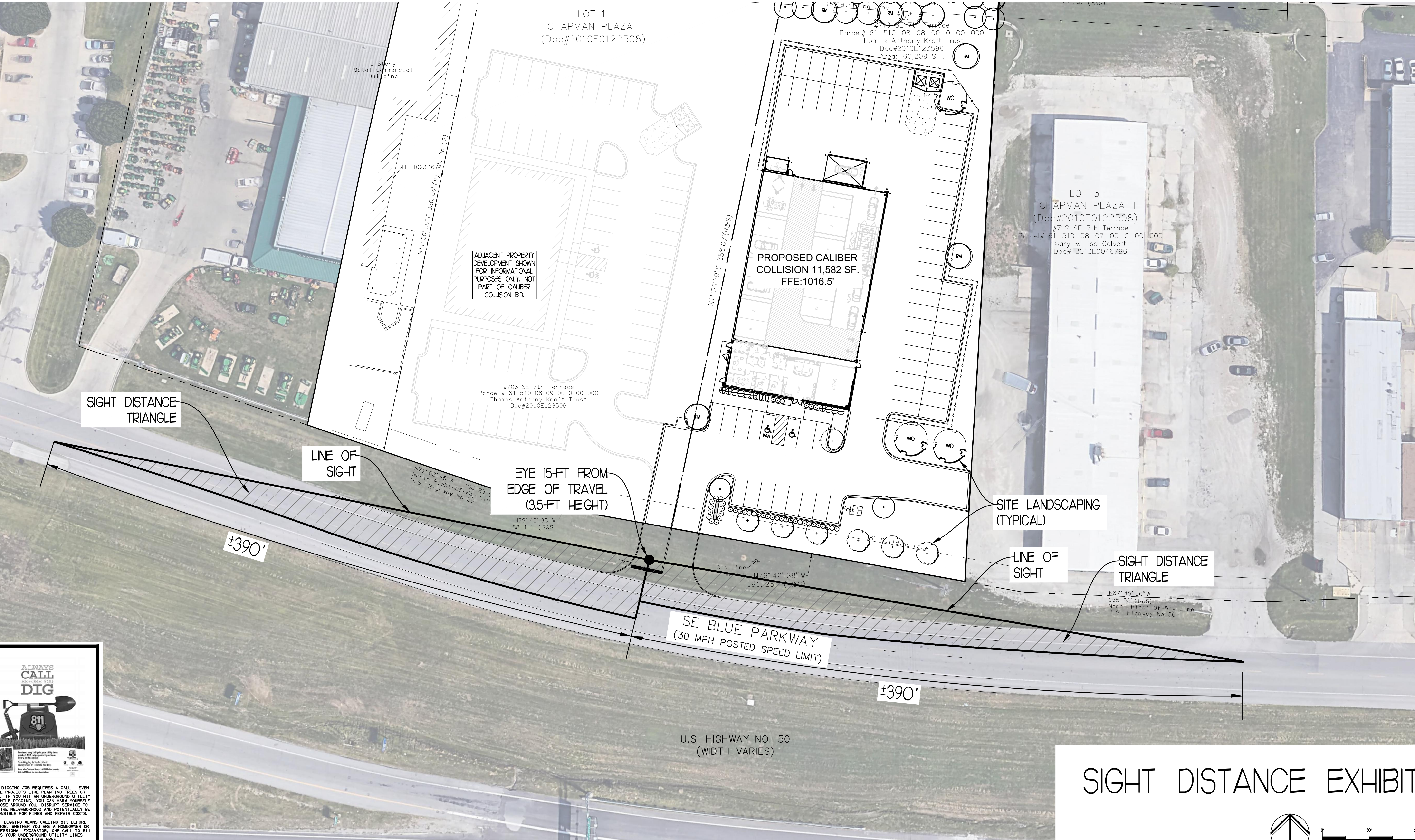


CALIBER COLLISION
710 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
CROSS DEVELOPMENT, CC LEE'S SUMMIT, LLC
4388 MARSH RIDGE ROAD
CARROLLTON, TX 75010
TEL (214) 614-8252

DRAWN
BAC
CHECKED
TMB
DATE
8/23/2021
SCALE

DRAWING

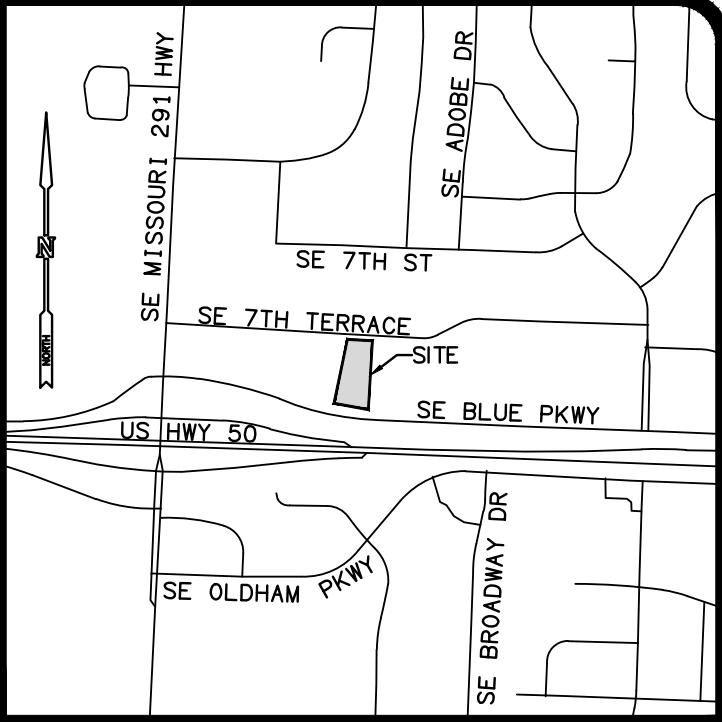
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NOTES:
POSTED SPEED LIMIT OF SE BLUE PARKWAY AT DEVELOPMENT IS 35-MPH.

LEGEND

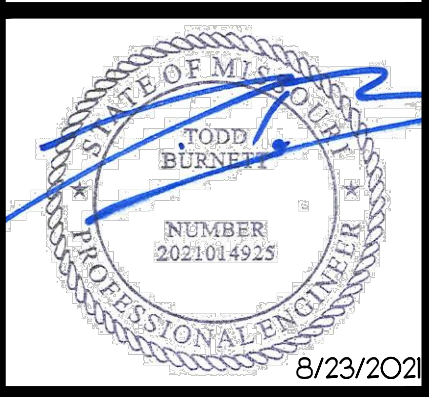
SYMBOL	DESCRIPTION
	PROPOSED SIGHT DISTANCE TRIANGLE
	PROPOSED TREES



LOCATION MAP
NOT TO SCALE

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
Engineers * Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916



CALIBER COLLISION
710 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
CROSS DEVELOPMENT, CC LEE'S SUMMIT, LLC
4338 MARSH RIDGE ROAD
CARROLLTON, TX 75010
TEL (214) 614-8252

DRAWN
BAC
CHECKED
TMB
DATE
8/23/2021
SCALE
DRAWING
26

ALWAYS CALL 811 BEFORE YOU DIG

THE 811 SERVICE IS A FREE, NATIONWIDE SERVICE THAT HELPS YOU IDENTIFY AND MARK地下 UTILITY LINES BEFORE YOU DIG. CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG. IT'S THE SMART WAY TO DIG.



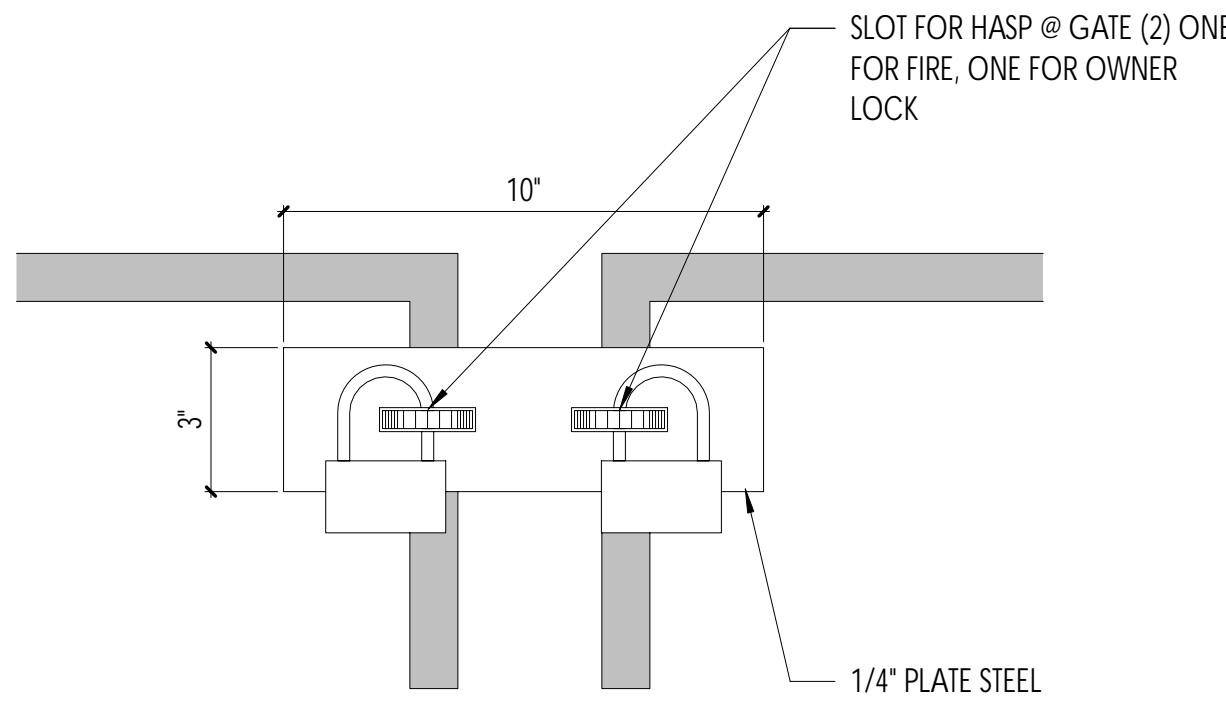
OXFORD
ARCHITECTURE

2934 Sidco Drive
Suite 120
Nashville, TN 37204

Architecture
Planning
Interior Architecture

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COLLISION

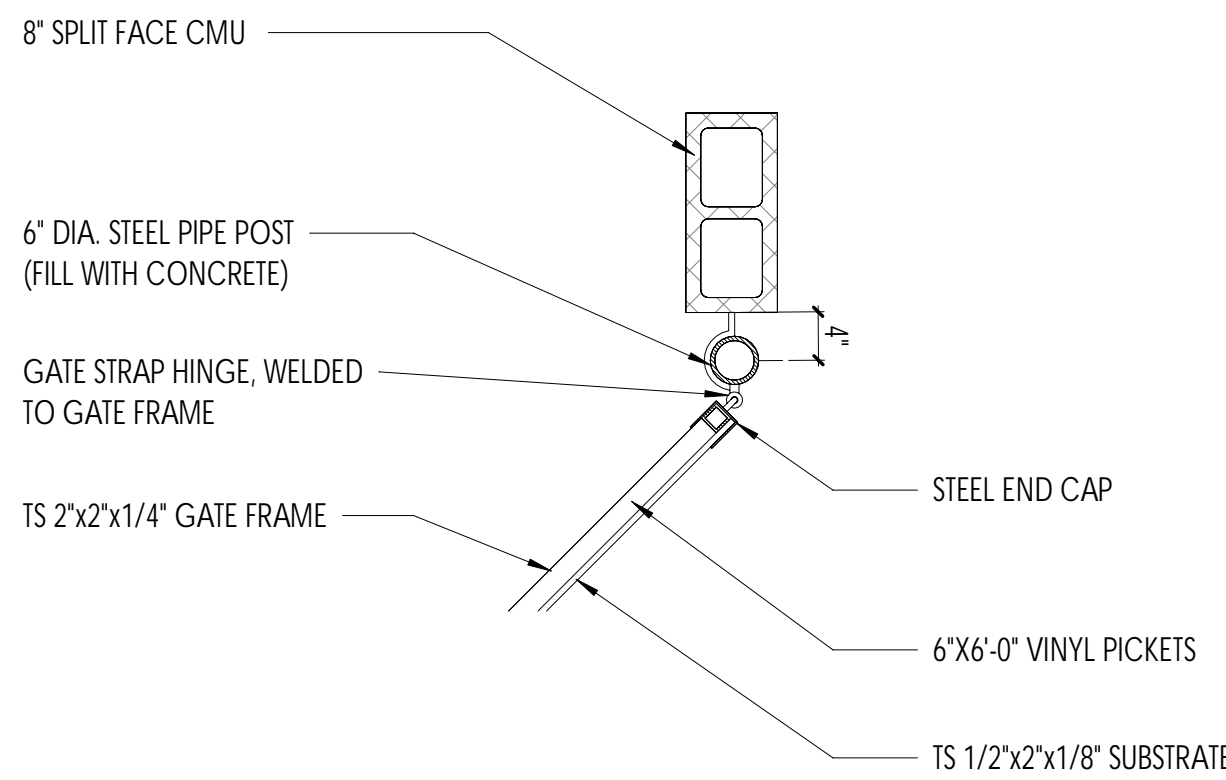
LEE'S SUMMIT,
MISSOURI



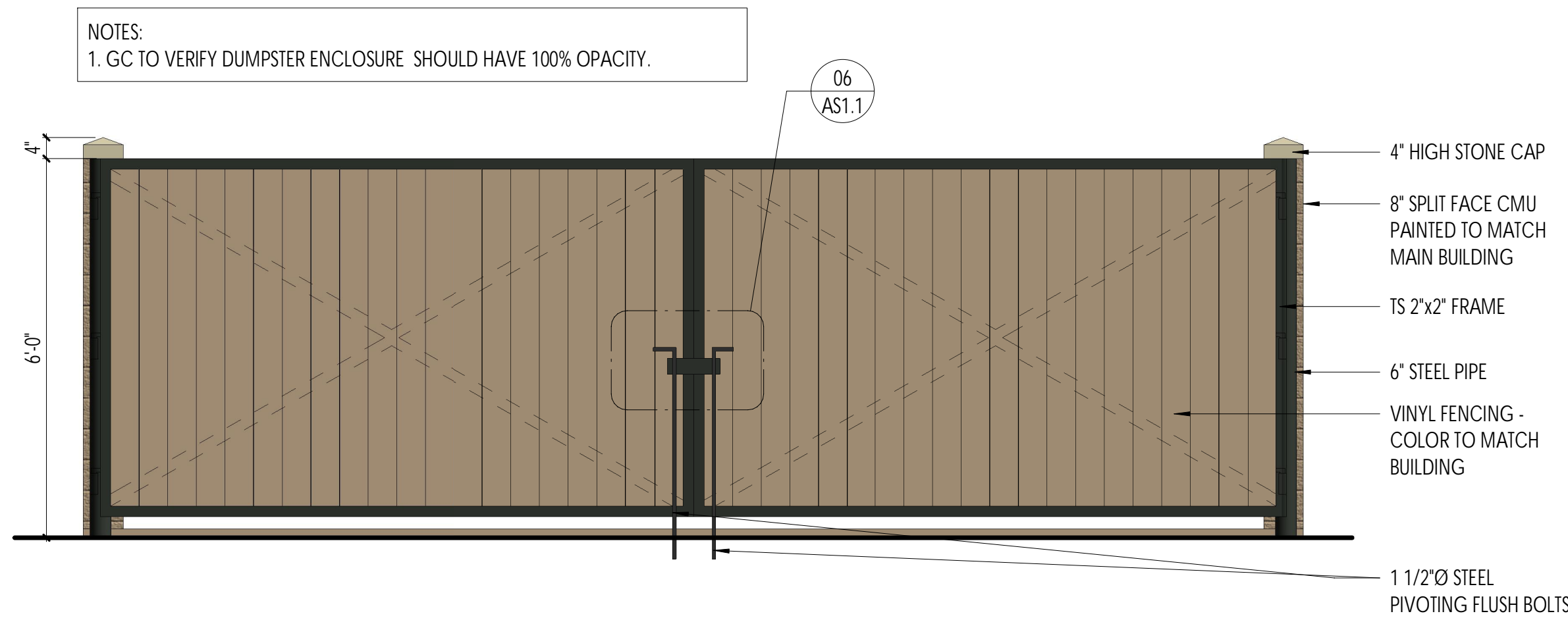
06 GATE CLASP
SCALE: 3" = 1'-0"



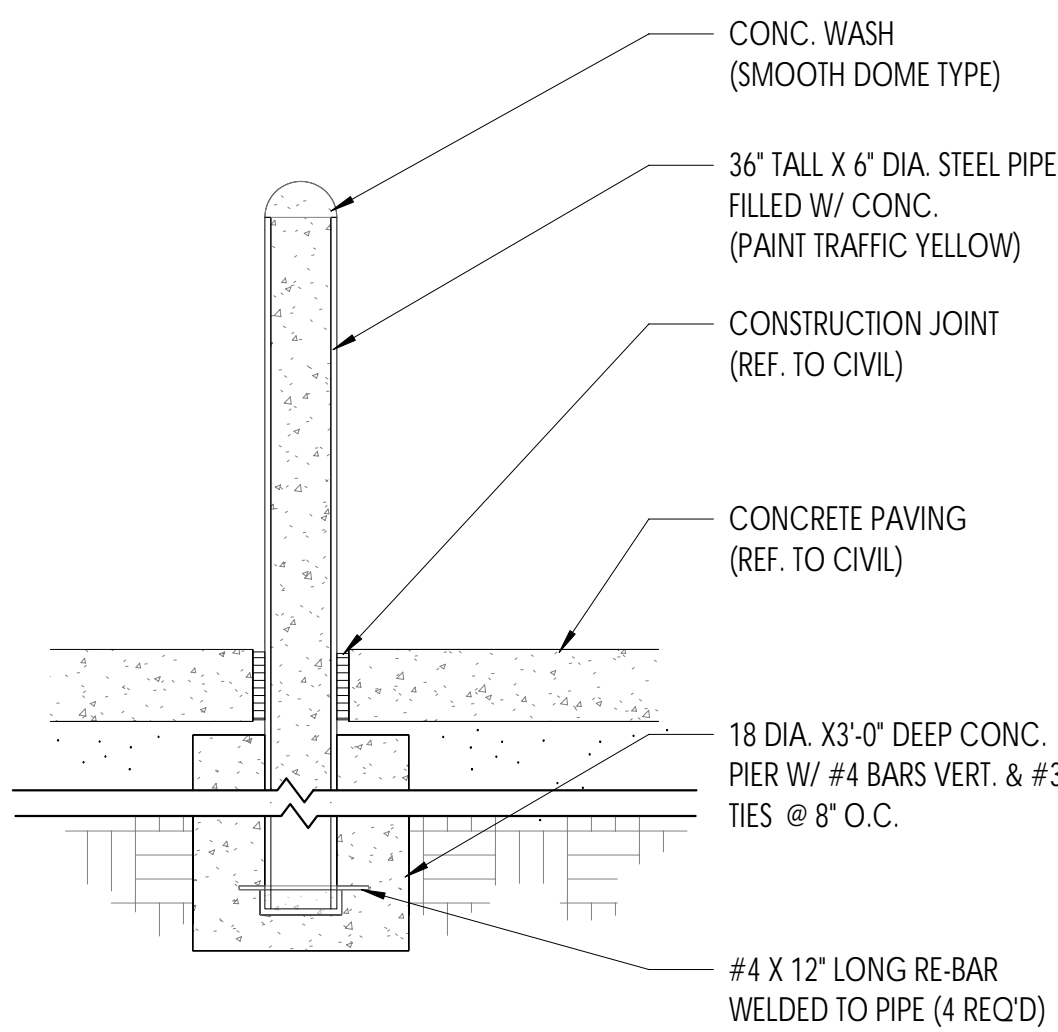
03 DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"



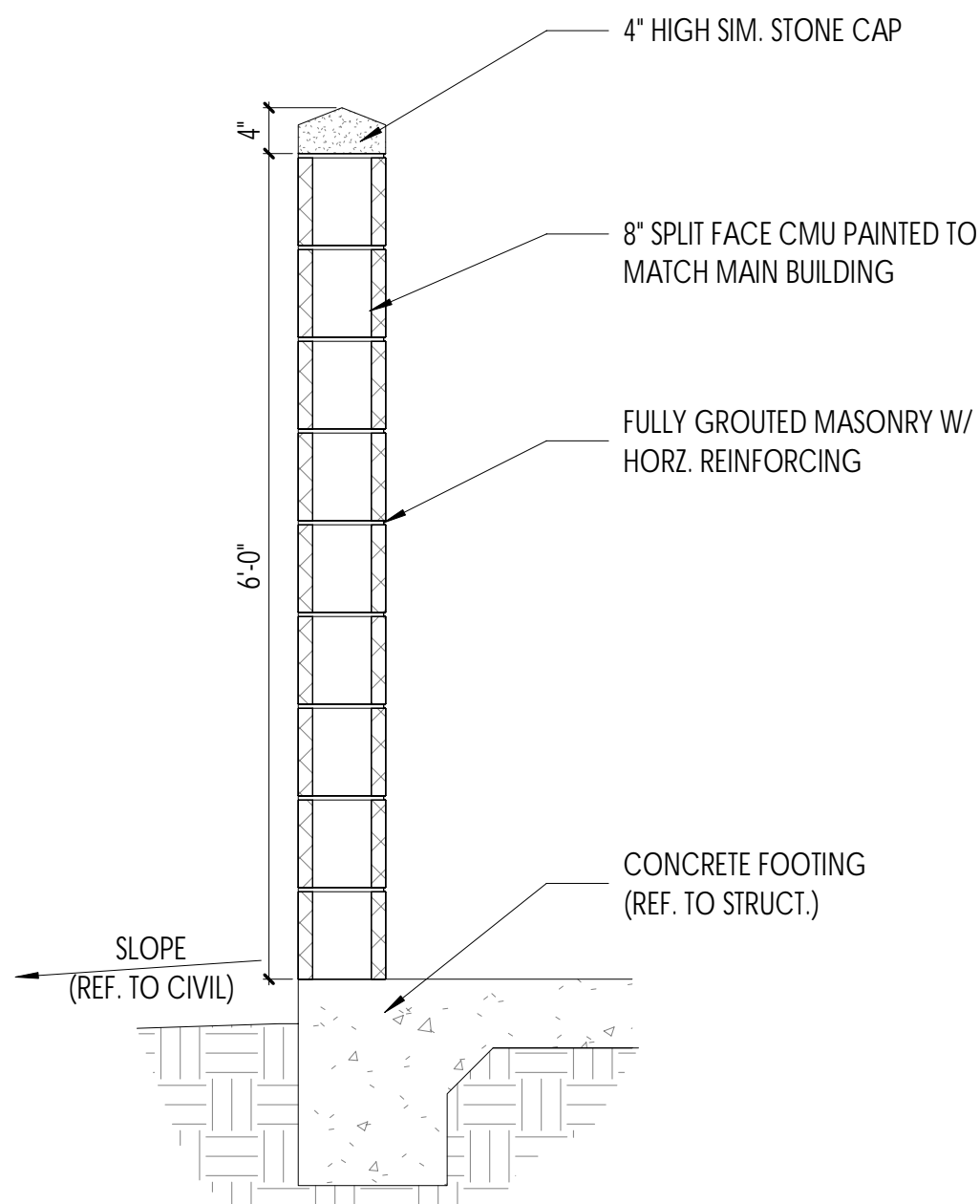
05 GATE DETAILS
SCALE: 3/4" = 1'-0"



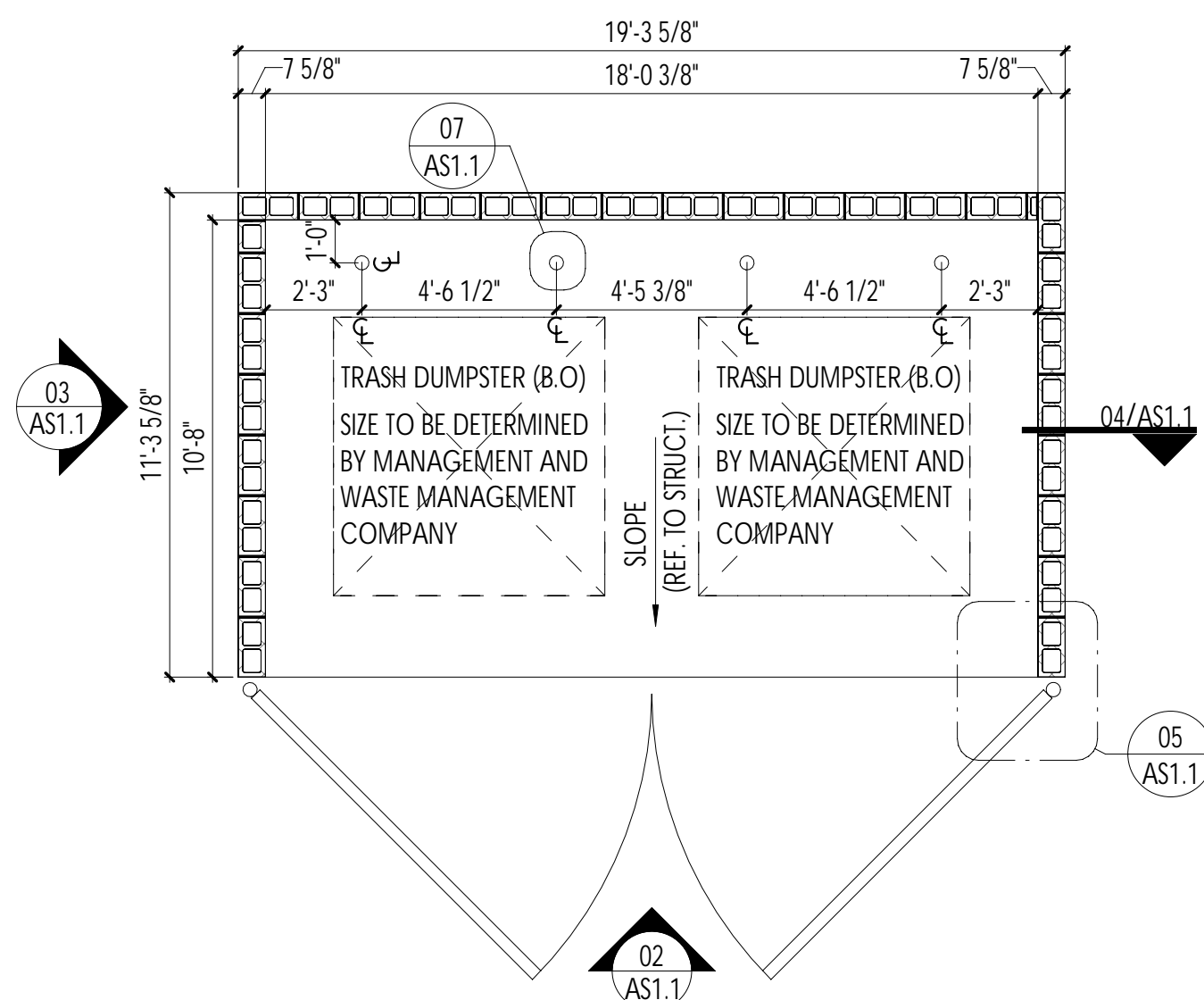
02 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



07 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



04 WALL SECTION
SCALE: 3/4" = 1'-0"



01 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

All measurements and items portrayed on this sheet are deemed to be accurate by architect, however all bidding General Contractors should field verify the actual conditions. Any changes to the scope of work, and thus potential change orders, should be identified and communicated in your price submittal to Cross Development / Caliber Collision.

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Job Number: TBD
Issue Date: TBD

Revisions:
Revisions:
Revisions:
Revisions:
Revisions:

Site and Trash Enclosure Details

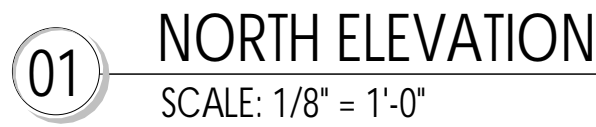


Sheet Number: AS1.1



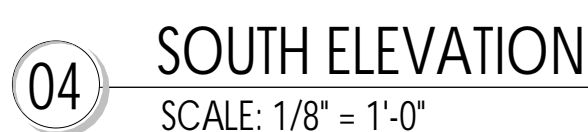
Architecture
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KEYNOTES:

401 SIGNAGE (BY OTHERS)-PROVIDE 3/4" PLYYD. BACKING (SEPARATE PERMIT).
402 PREMANUFACTURED MTL. AWNING W/ THE RODS BY GC.
403 SYNTHETIC STONE SIL/WATER TABLE. REFER TO SPECS.
404 PARAPET BACK PANEL (SOLAR WHITE COLOR).
405 MTL. GUTTER-PROVIDED BY MTL. BUILDING PROVIDER AND INSTALLED BY GC.
406 STOREFRONT / GLAZING (AL-2).
407 ROOFLINE BEYOND.
408 STRUTURC STUCCO TEXTURED ARCHITECTURAL METAL PANEL (PNL-1).
409 PRE-FINISHED 6'x4" (SQUARE) METAL DOWNSPOUT (BURNISHED SLATE)- PROVIDED BY MTL. BUILDING SUPPLIER AND INSTALLED BY GC.
410 FACTORY FINISHED SECTIONAL OH DOOR (PI-3).
411 HOLLOW MTL. DOOR (PI-3) AND FRAME (SADDLE TAN). PROVIDE DRIP CAP OVER DOORS WITH NO OVERHEAD COVER.
412 SYNTHETIC STONE VENEER (M-1).
413 EXHAUST AND AIR INTAKE. REF. PAINT BOOTH SHEETS.
414 WALL MOUNTED LIGHT FIXTURE. REF. MEP.
415 PRE-FINISHED MTL. COPING (MTL-2) - PROVIDED BY MTL. BUILDING SUPPLIER AND INSTALLED BY GC.
416 METAL BUILDING STANDING SEAM ROOFING (MTL-1).
417 3 STEP STUCCO INTEGRATED COLOR (PI-3).
418 CONTROL JOINT
419 WALL LOUVER. (CLEAR ANODIZED FINSH) REF. MEP
420 EPS CORNICE. (PI-9).
421 EPS ACCENT BANDING-PAINT TO MATCH SW6258 TRICORN BLACK (EF-4).
422 BOLLARDS.
423 PRE-FINISHED METAL BUILDING 'R' PANEL ROOFING.
424 SPLIT FACE C.M.U. - COLOR TO MATCH (PI-7) LIGHT STONE.
425 DASH LINE REPRESENTS ROOF TOP UNIT BEYOND.



GENERAL NOTE

- DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
- HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE. IF THERE ARE TWO ADJACENT COLORS AT THE DOOR LOCATIONS CONTRACTOR TO USE THE BASE OF THE BOTTOM FINISH FOR THE ENTIRE DOOR.
- SIGNAGE SHALL BE PERMITTED SEPARATELY.
- REFER TO THIS SHEET FOR FINISHES AND MATERIALS.
- PAINT EXPOSED STEEL BEAMS IN STORAGE AREA.
- MECHANICAL SCREENING TO MATCH THE ROOF MATERIAL.
- THE LIGHT SOURCE FOR EXTERIOR FIXTURES SHALL NOT PROJECT BELOW THE OPAQUE HOUSING SELECTED. NO FIXTURE SHALL DIRECTLY PROJECT LIGHT HORIZONTALLY.

Job Number:	TBD
Issue Date:	TBD

[illegible]

Exterior Elevations (Colored)

Sheet Number: A2.07



Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	5	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-03-LED-E1-SL4-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	48	314	1	166
	B	4	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	IST-SA1A-740-U-SL2	IMPACT ELITE LED TRAPEZOID LUMINAIRE (1) 70 CRI, 4000K, 350mA LIGHTSQUARE WITH 16 LEDS AND TYPE II SPILL LIGHT ELIMINATOR OPTICS	16	171	1	20.1
	C	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	IST-SA1D-740-U-SL4	IMPACT ELITE LED TRAPEZOID LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	16	345	1	45.2
	D	4	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-5WQ	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS	32	410	1	113

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	1.1 fc	5.7 fc	0.0 fc	N/A	N/A
100' BEYOND PROP LINE	+	0.0 fc	0.8 fc	0.0 fc	N/A	N/A

