

FREELAND and KAUFFMAN, INC.

ENGINEERS - LANDSCAPE ARCHITECTS

August 23, 2021

City of Lee's Summit

Development Services Department

220 SE Green

Lee's Summit, MO 64063

Phone: (816) 969-1200

Subject: Caliber Collision - Commercial Preliminary Development Plan
710 SE Blue Parkway, Lee's Summit, MO 64063

Application No: PL2021279

This letter is being sent to confirm the receipt of the City's review comments during the Analysis of the Commercial Preliminary Development Plans (PDP) for Caliber Collision at the subject address. Below are the comments received followed by the response of how they were addressed:

Planning Review

Contact: Victoria Nelson (816) 969-1605 or Victoria.Nelson@cityofls.net

1. Sidewalks. Please show the sidewalks that are required along SE Blue Parkway and SE 7th Terrace. Unless, you and our Traffic Engineer have discussed doing a payment in lieu of which please refer to the UDO Sec 7.370. C.

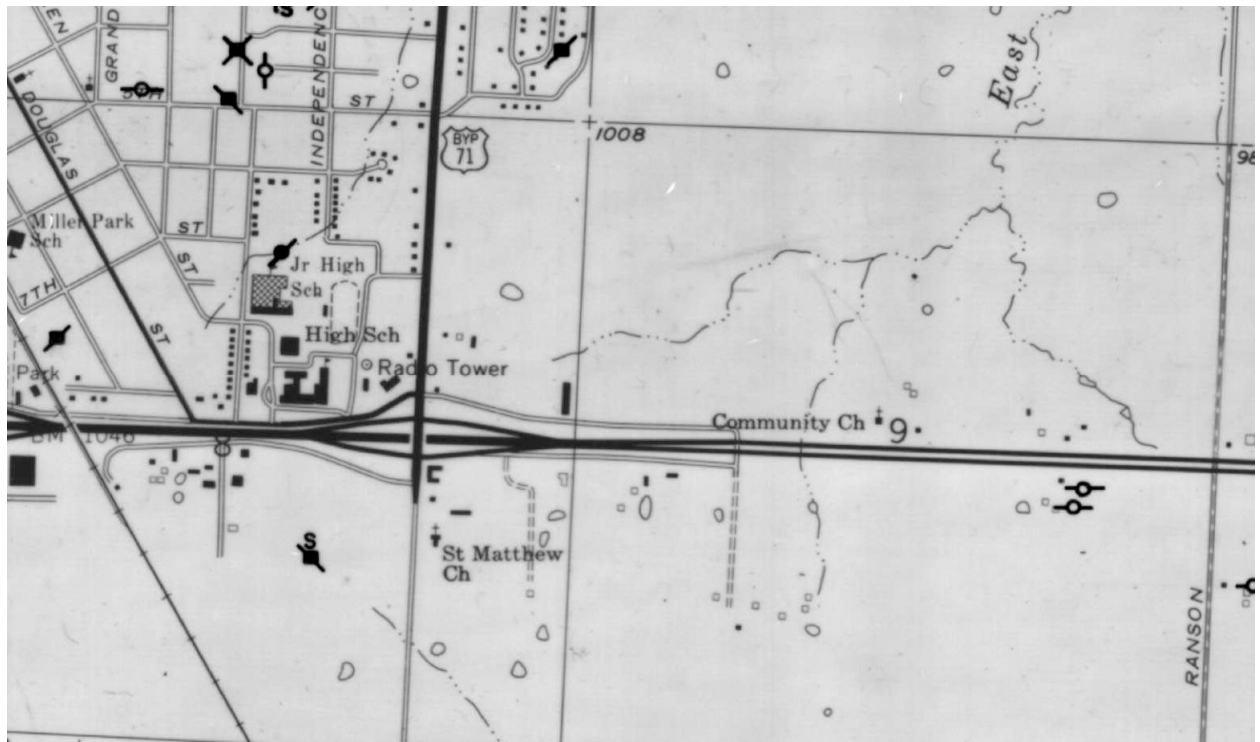
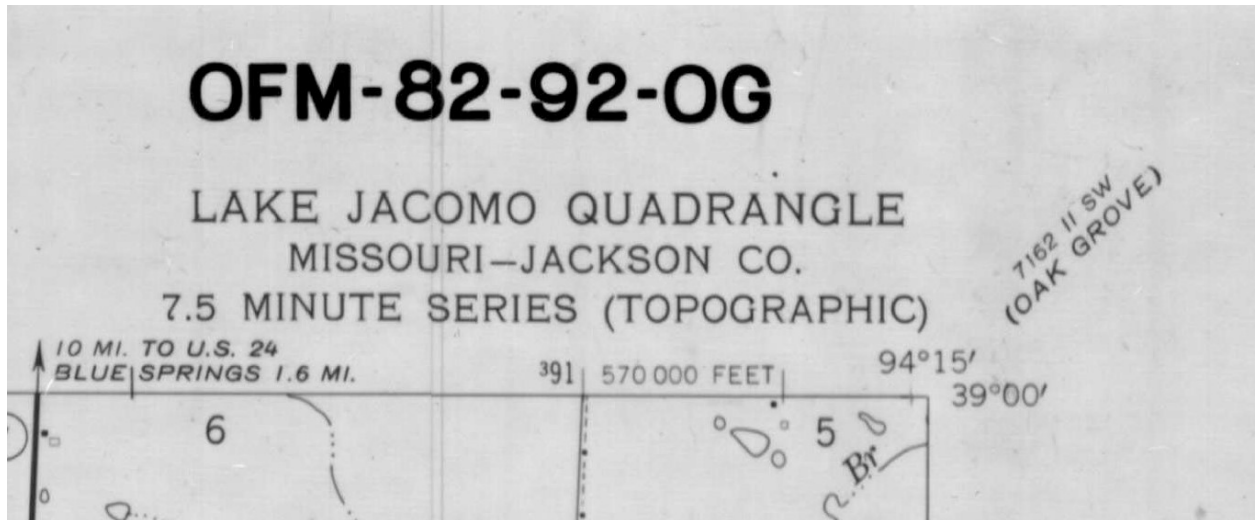
RESPONSE: A payment in lieu of sidewalk construction was pursued for this development. A formal letter requesting this per the aforementioned code was provided and addressed to Ryan Elam. A copy of this letter and the approval received has been provided with this submittal.

2. Oil and Gas Wells. Please state whether or not there are active, inactive, or capped wells with the area. Refer to DNR Well Database and reference the site.

RESPONSE: Per the MoDNR Well Database for Oil and Gas Wells, there were not active, inactive, or capped wells located on the property. An image from the Map is shown below.

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3. Blue Parkway ROW Width. Please show Blue Parkway ROW width.

RESPONSE: The right-of-way width for SE Blue Parkway was labeled as variable. Per the recorded survey plat titled "Minor Plat Chapman Plaza II, Lots 1, 2 and 3", approved by the City of Lee's Summit, the widths from the centerline of SE Blue Parkway change from one property to the another. The labels for SE Blue Parkway in the plans were updated to reflect this.

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4. Parking lot setback. Please label and show all parking lot setback.

RESPONSE: The Parking lot setbacks were added to the plans. The property has a side parking setback of 6 feet, a rear parking setback of 20 feet, and a front parking setback of 20 feet.

5. Building setback lines. Please show the east and west building setback lines.

RESPONSE: The Building setback lines for all property frontages were updated/added to the plans. The property has a front building setback of 20 feet, a side building setback of 10 feet, and a rear building setback of 20 feet.

6. Exterior Lighting. Please show all exterior lighting specifications, including pole heights. Refer to the UDO Subdivision 5-Lighting Standards.

RESPONSE: Light specifications have been provided with this submittal for both the pole lights and wall packs located around the site. Each of the pole light heights have been provided on the Photometric Plan. See the Photometric Plan (sheet SP1.0) in the Site Development Plans.

7. Monument sign. The monument sign shown is encroaching into the utility easement. This is not allowed, please move the monument sign out of the U/E.

RESPONSE: The monument sign was relocated outside of the utility easement. Reference the Site Plan.

8. Curbing. It appears you are showing CG-2 curbing at the end of the driveway stub to the east, this is not allowed. Please show it as a CG-1 curbing like the rest of the parking lot or a straight-back temporary asphalt curb.

RESPONSE: All interior concrete curb, including the proposed potential access drive located at the east property line, was updated to be the City's concrete curb and gutter.

9. Concrete pad. The concrete pad in front of the trash enclosure appears to be short from meeting the 30' requirement. I am not seeing the concrete pad detail. Please refer to UDO Sec. 8.620 Parking Lot Design.

RESPONSE: The concrete pad in front of the trash enclosure was updated to meet the 30-foot requirement. A dimension was also added to the pad to show this length.

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10. Architectural Elevations. The zoned CP-2 Commercial Districts have since been updated since the last buildings in the area were constructed. It is now required that all buildings incorporate four-sided architecture and offsets to help break up the facades. The building sides and rear appear to have an industrial building aesthetic due to the usage of materials and lack of four-sided architecture. Since you are proposing a large amount of the building to be a metal façade with a stucco texture you will need to get a conditional material approval with Planning Commission and City Council. You will need to submit something in writing stating how much, what type, and why you are proposing the metal façade and material samples of the proposed metal panel for staff to review. The stucco and stone needs to be extended to all four sides of the building and you will need to provide some type of offset to help break up the flat appearance. Please refer to the UDO Article 8-Site Standards. Architectural metal has been approved on recent projects to complement the usage of "approved materials" listed in the UDO. Use of the proposed metal panel as the sole or dominant exterior material as presented will not be supported by staff.

RESPONSE: CMU Wainscot has been provided around the entire building to satisfy the "four-sided architecture" requirement. A letter stating the use of the textured architectural panel, as well as the constraints for adding protrusions along the two longer sides of the building, has been provide with this submittal.

11. RTU equipment. All RTUS must be fully screened by a parapet wall. Please refer to UDO Sec 8.180-Architectural Characteristics

RESPONSE: Parapets on all 4 sides have been provided that extend beyond the roof line to screen all RTU and mechanical equipment on the roof.

12. Interior drive aisle flanked by islands. You show a measurement of 25' from back to curb. When I measure from the front of the curbs I am only getting 23'. Please check this measurement and be sure it meets the 24' minimum requirement. Refer to UDO Sec. 8.620

RESPONSE: The width of the drive aisle is 25 feet. The measurements is taken from each curb's face. The 23-foot measurement is from the curb gutter to curb gutter. Note there are three line shown for each stretch of curb: the back of curb,

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the face of curb (0.5 feet from back of curb), and the curb gutter (1.0 feet from the face of curb). These total a width of 1.5 feet.

Engineering Review

Contact: Sue Pyles P.E. (816) 969-1245 or Sue.Pyles@cityofls.net

1. Please revise the contact list as follows:
 - Revise the telephone number for Lee's Summit Water Utilities to 816-969-1900 in the sanitary sewer and water contacts on both the cover and utility sheets.
 - "Planning & Zoning Commission" isn't an applicable term in Lee's Summit. Please revise the department's contact to not include a specific name and revise the phone number to 816-969-1200.
 - Stormwater Management is the responsibility of Lee's Summit Public Works. Their phone number is 816-969-1800. No specific contact name is needed.

RESPONSE: The contacts were updated on the Cover Sheet and Utility Plan as requested.

2. Please remove the erosion control plans, storm sewer plans and profiles, standard details from the plan set. They are not required at this time. They will be reviewed with the Final Development Plan submittal.

RESPONSE: The requested plans were removed from the plan set.

3. Please make sure that the City's standard curb and gutter types are used.

RESPONSE: The site was updated to propose the City of Lee's Summit "Type CG-1" standard concrete curb detail. This includes the concrete curb and gutter on site. See the Site Plan and Keynote #13.

4. Please note that geotechnical report requirements must meet or exceed the City design requirements.

RESPONSE: See the Paving Details on the Site Details. The City's design requirements and standards (from Section 8.620 of the City's Ordinances) are more stringent than that of the geotechnical report of record, and therefore govern the pavement design. The paving details have been updated to reflect the City requirements.

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5. Unified Development Ordinance (UDO) Section 8.620 includes the design requirements for private parking lots. Please review and update the pavement sections and any references accordingly.

RESPONSE: See the Paving Details on the Site Details. The City's design requirements and standards (from Section 8.620 of the City's Ordinances) are more stringent than that of the geotechnical report of record, and therefore govern the pavement design. The paving details have been updated to reflect the City requirements.

6. Sanitary sewer connection to the public main shall be with a cut-in wye. Direct connection to MHs are not allowed. Please revise accordingly.

RESPONSE: The proposed 6" sanitary sewer line was updated to connect to the 8" main at a wye. Reference "Keynote UU" on the Utility Plan.

7. Remove the sanitary sewer stub provided to the adjacent property. That lot will connect directly to the public main.

RESPONSE: The sewer stub provided to the adjacent property was removed.

8. Please review Design and Construction Manual (DCM) Section 6500 for connection, water meter location, and backflow prevention device location requirements. Revise accordingly.

RESPONSE: Noted. A separate meeting with Sue Pyles from the City of Lee's Summit Engineering Department was held to coordinate specific connections, appurtenances, and orientations for the water line(s). Reference the Utility Plan for the updated water line layouts. The proposed water main extension was removed and an updated layout of multiple taps to the existing main was provided. The domestic and fire lines are to tap the main and each have their stretch of pipe to the proposed building.

9. Please note that "as-built" drawings are not required for the water or sanitary sewer lines since they are private, but are required for the detention basin.

RESPONSE: Note #9 under the "Utility Plans Notes" on the Utility Plan has been removed. This was the note stating as-built drawings would be required for utility services. Additionally, Note #10 of the "Grading & Drainage Notes" on the Grading Plan has been updated to require as-built drawings for the underground storm

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sewers and detention system be submitted to the City of Lee's Summit once construction has been completed.

10. The service location staking note on the Utility sheet is misleading as it appears to indicate that the City's Water Utility Department will have a contractor installing the services. Please reword.

RESPONSE: The box note in question was updated by removing reference to the City of Lee's Summit. See the Utility Plan.

Traffic Review

Contact: Michael Park (816) 969-1820 or Michael.Park@cityofls.net

1. Confirmation from MoDOT of access along Blue Parkway will be required.
RESPONSE: Discussions with Nathan Juliana and Melissa Black from MoDOT have occurred. A MoDOT driveway access permit will be required for SE Blue Parkway and the process for review/approval is currently underway.

Fire Review

Contact: Jim Eden (816) 969-1820 or Michael.Park@cityofls.net

1. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.
RESPONSE: Noted. A box note containing this information was added to the Site Plan.
2. Provide the correct address on the plans.
RESPONSE: The address was updated throughout the plans to be 710 SE Blue Parkway.
3. IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in

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accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official. 506.1.1 Locks. An approved lock shall be installed on gates or similar barriers when required by the fire code official. The Knox Box needs to be over the FDC, 6' AFF.

RESPONSE: Noted. A Knox Box has been provided at the front entrance (entrance facing SE Blue Parkway) to the building, as well as at the sliding gate to the fence around the back parking area.

Please process the enclosed plans for review. Should you have any questions, or should you require additional information, please contact me directly at 864.672.3432 or by email at bcox@fk-inc.com Thank you.

Blake Cox