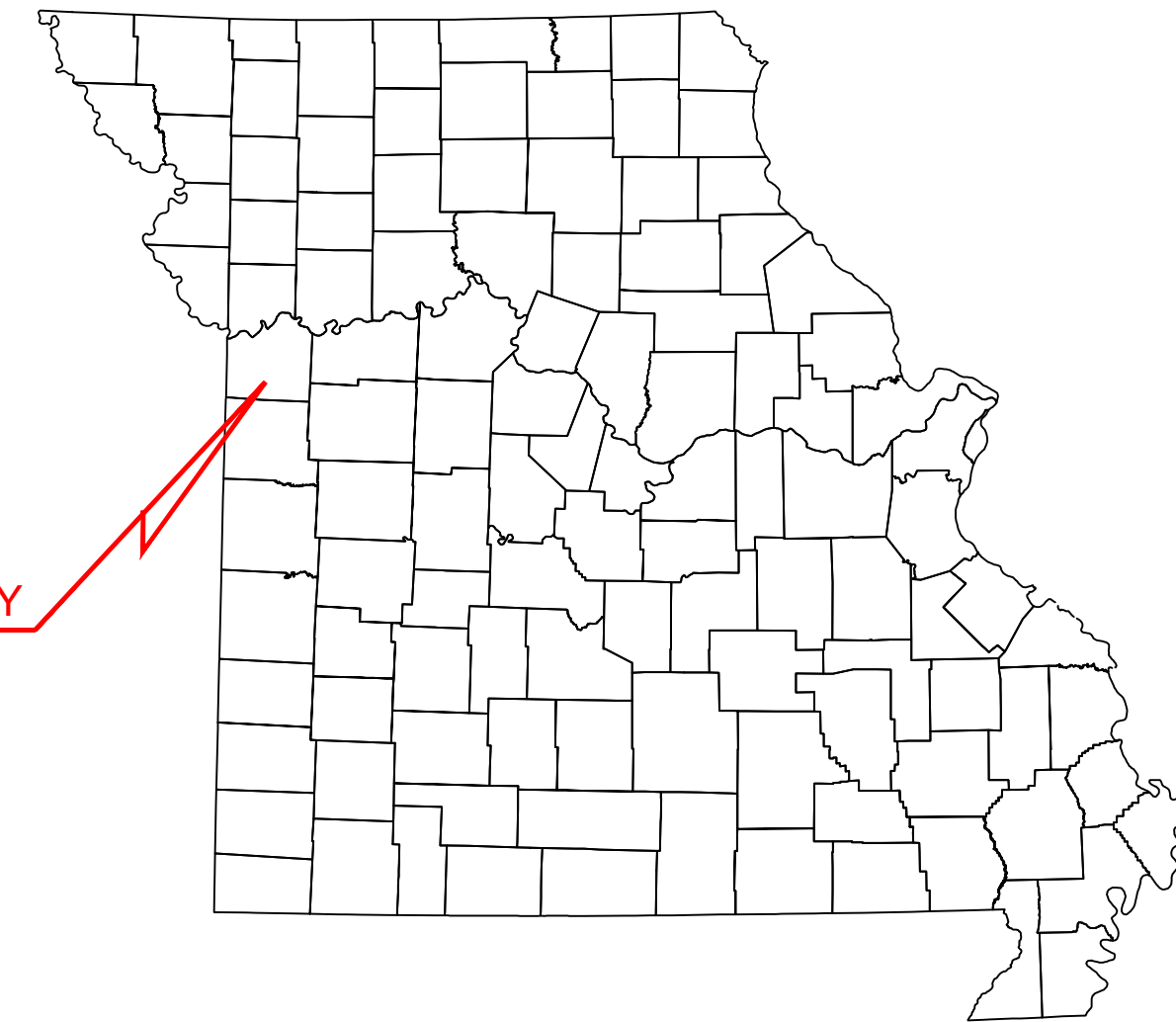


**CHASE BANK**  
**HIGHWAY 291 & NE LANGSFORD**  
890 NE LANGSFORD ROAD  
LEE'S SUMMIT, MO 64063  
JACKSON COUNTY, MISSOURI

## PROJECT VICINITY



OWNER / DEVELOPER: JP MORGAN CHASE  
1111 POLARIS PARKWAY  
COLUMBUS, OH 43240  
CONTACT: MARGARET TROIA  
10 S DEARBORN STREET, FLOOR 15  
CHICAGO, IL 60603  
312-732-7980

ARCHITECT: CORE STATES GROUP  
6500 CHIPPEWA STREET, SUITE 200  
ST. LOUIS, MO 63109  
CONTACT: R. BRUCE LASURS, A.I.A.  
TEL: 314-730-0772

SURVEYOR:                   SWT DESIGN, INC.  
772 BIG BEND BOULEVARD  
ST. LOUIS, MO 63119  
CONTACT: JAMES DEGENHARDT, P.L.S.  
TEL: 314-644-5700

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES  
220 SE GREEN  
LEE'S SUMMIT, MO 64063  
TEL: 816-969-1238

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT  
9933 DIAMOND DRIVE  
ST. LOUIS, MO 63137  
CONTACT: ASSISTANT CHIEF JIM EDEN  
TEL: 816-969-7407

TRANSPORTATION DEPARTMENT: LEE'S SUMMIT PUBLIC WORKS DEPARTMENT  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
TEL: 816-969-1800

STORMWATER STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT)  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
TEL: 816-969-1800

ELECTRIC COMPANY: EVERGY  
P.O. BOX 219330  
KANSAS CITY, MO 64121  
TEL: 816-556-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM  
188 NW OLDHAM PARKWAY  
LEE'S SUMMIT, MO 64081  
TEL: 866-874-2389

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

SHEET INDEX						
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5
C1	COVER SHEET	Δ	Δ	Δ	Δ	Δ
C2	GENERAL NOTES			Δ		
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ		
C6	DEMOLITION PLAN	Δ				
C7	SITE PLAN	Δ	Δ	Δ		
C8	GRADING AND DRAINAGE PLAN	Δ		Δ		
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ
C9	DRAINAGE BASIN MAPS					
C10	UTILITY PLAN	Δ	Δ		Δ	
C11-C13	CONSTRUCTION DETAILS	Δ			Δ	
C14	PHOTOMETRIC PLAN			Δ		
C15-C19	PHOTOMETRIC DETAILS	Δ				
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ		
C21	ROADWAY PLAN	Δ	Δ	Δ		
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ		
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ			
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ			
C25-C27	CONSTRUCTION DETAILS			Δ		Δ
REFERENCE SHEETS						
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3		
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ			
LP-1	PLANTING PLAN	Δ				
LP-2	PLANTING DETAILS, SPECS					

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

1. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.
2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.



DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORRESPONDENTS, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD
4	07/21/21	CITY COMMENTS	CDF
5	07/29/21	CITY COMMENTS	CDF

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL



SHEET TITLE COVER SHEET
----------------------------

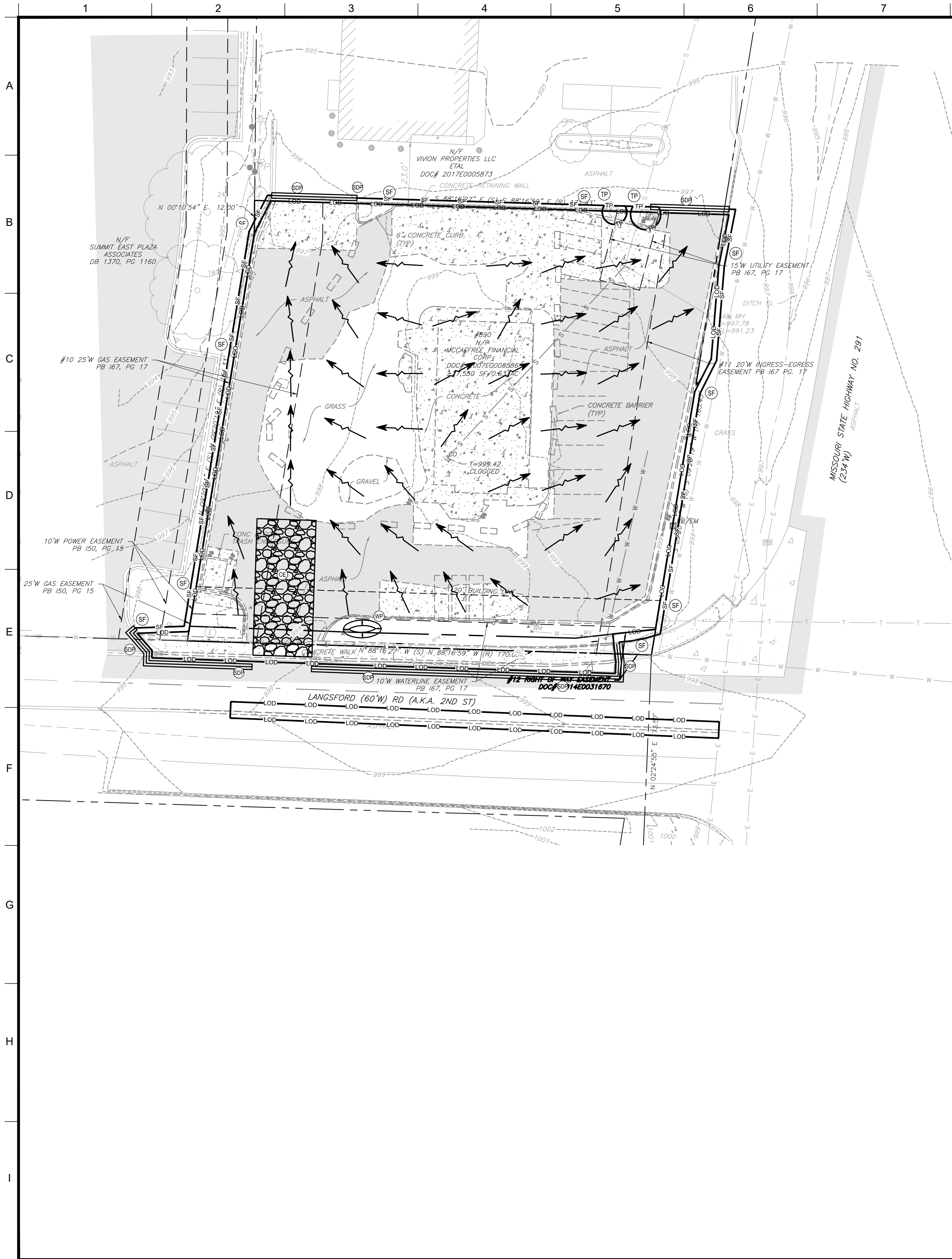
JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDP

SHEET NO.  
**C1**









SEQUENCE OF CONSTRUCTION

- PHASE 1

1.

INSTALL STABILIZED CONSTRUCTION EXIT(S).

2.

INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).

3.

PREPARE TEMPORARY PARKING AND STORAGE AREA.

4.

BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.

5.

BEGIN GRADING THE SITE.

6.

START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE 2

1.

TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.

2.

INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS.

3.

PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.

4.

PREPARE SITE FOR PAVING.

5.

PAVE SITE.

6.

COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.

7.

CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.

8.

REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.

9.

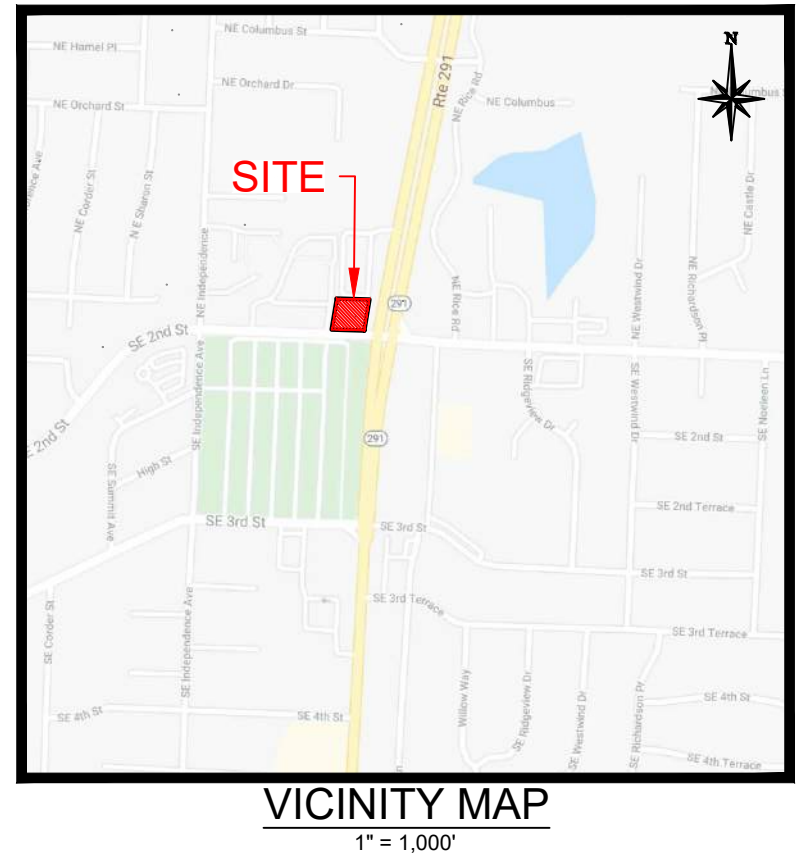
CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF RECORD.

11.

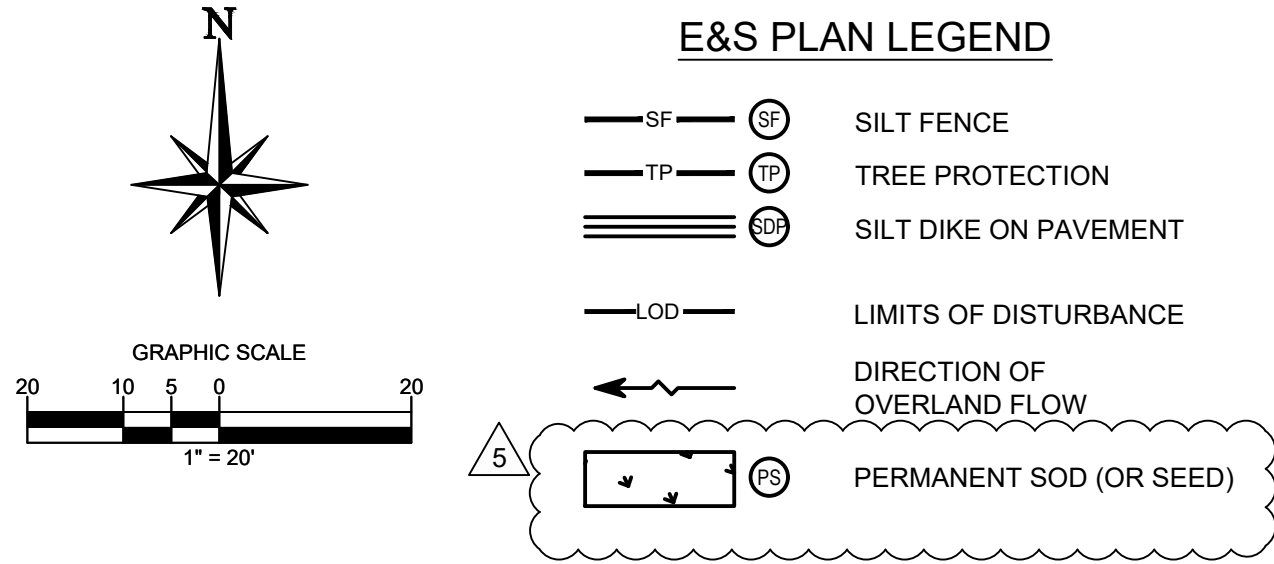
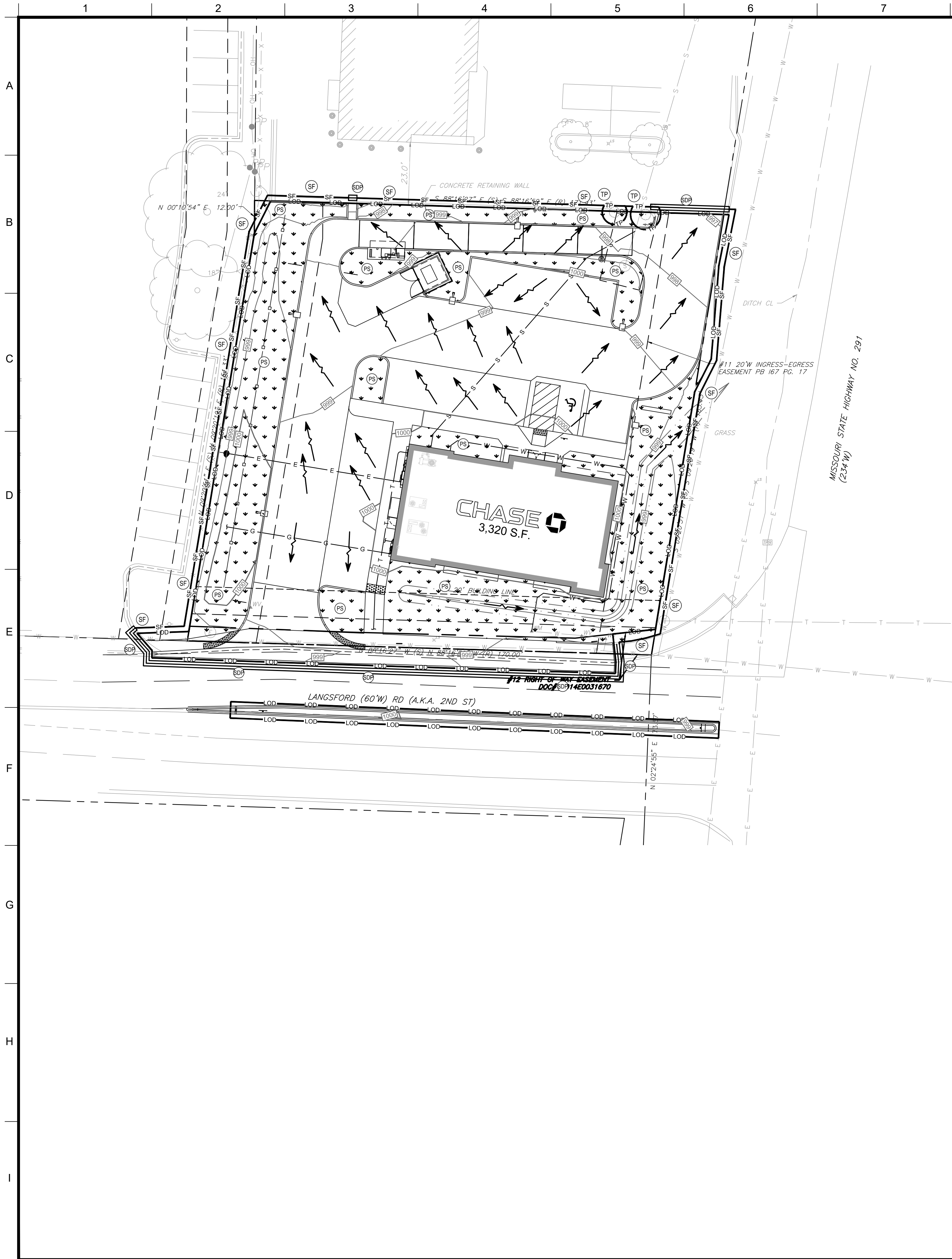
MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.
- NOTE:

THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	0.632
TOTAL DISTURBED AREA	0.685
ON-SITE DISTURBED AREA	0.629
ON-SITE IMPERVIOUS AREA	0.417
ON-SITE PERVIOUS AREA	0.212
OFF-SITE DISTURBED AREA	0.056
OFF-SITE IMPERVIOUS AREA	0.052
OFF-SITE PERVIOUS AREA	0.004







SEQUENCE OF CONSTRUCTION

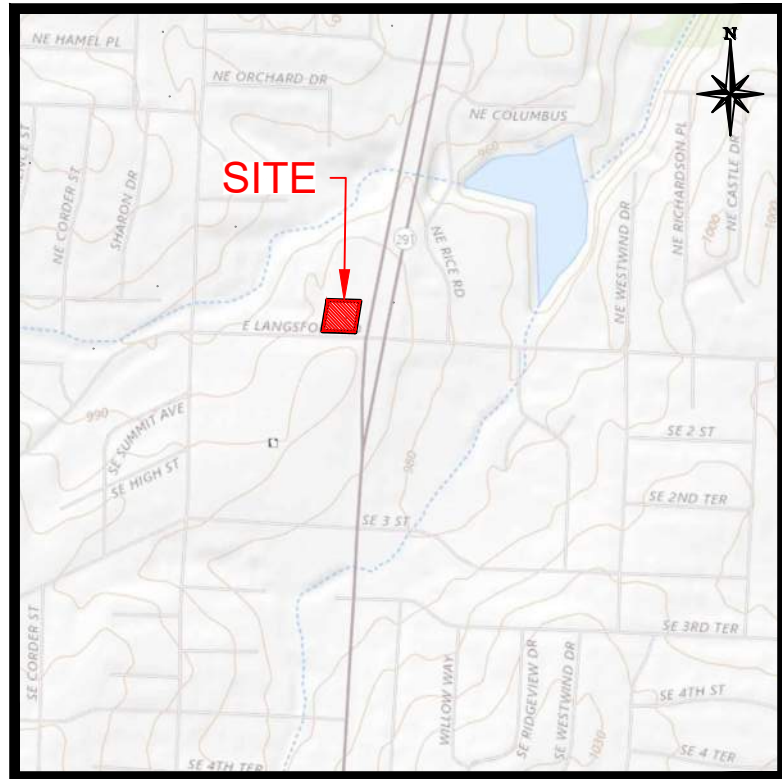
- PHASE 1
1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
  2. INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
  3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  4. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
  5. BEGIN GRADING THE SITE.
  6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE 2
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
  2. INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS.
  3. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  4. PREPARE SITE FOR PAVING.
  5. PAVE SITE.
  6. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
  7. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
  8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
  9. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF RECORD.
  11. MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	0.632
TOTAL DISTURBED AREA	0.685
ON-SITE DISTURBED AREA	0.629
ON-SITE IMPERVIOUS AREA	0.417
ON-SITE PERVIOUS AREA	0.212
OFF-SITE DISTURBED AREA	0.056
OFF-SITE IMPERVIOUS AREA	0.052
OFF-SITE PERVIOUS AREA	0.004



VICINITY MAP  
1" = 1,000'



USGS QUAD MAP  
1" = 1,000'

GENERAL EROSION NOTES

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
6. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION MEETING.
7. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
9. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
11. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
17. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
20. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
21. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021



DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



Know what's below. Call before you dig.  
THE CONTRACTOR SPECIFICALLY WARRANTED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS BASED ON SURVEY MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF ANY UTILITIES. THE CONTRACTOR MUST OBTAIN THE PROPERLY LOCATED UTILITIES LOCATIONS OF ANY UTILITIES BEFORE ANY CONSTRUCTION TO AVOID ANY DAMAGE TO UTILITIES OR PERSONAL INJURY.

REVISIONS			
REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
2	04/12/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD
4	07/21/21	CITY COMMENTS	CDF
5	07/29/21	CITY COMMENTS	CDF

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

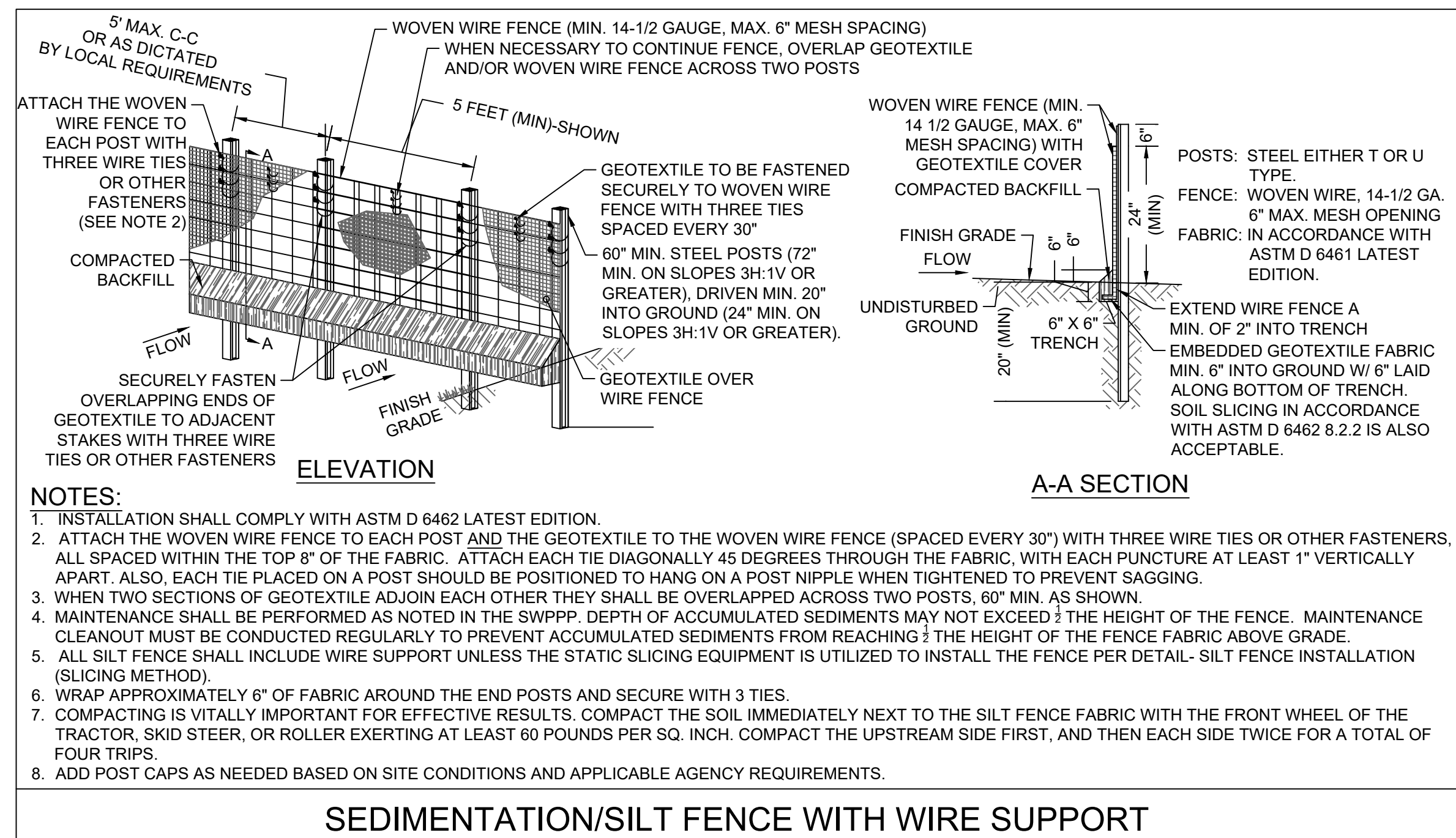
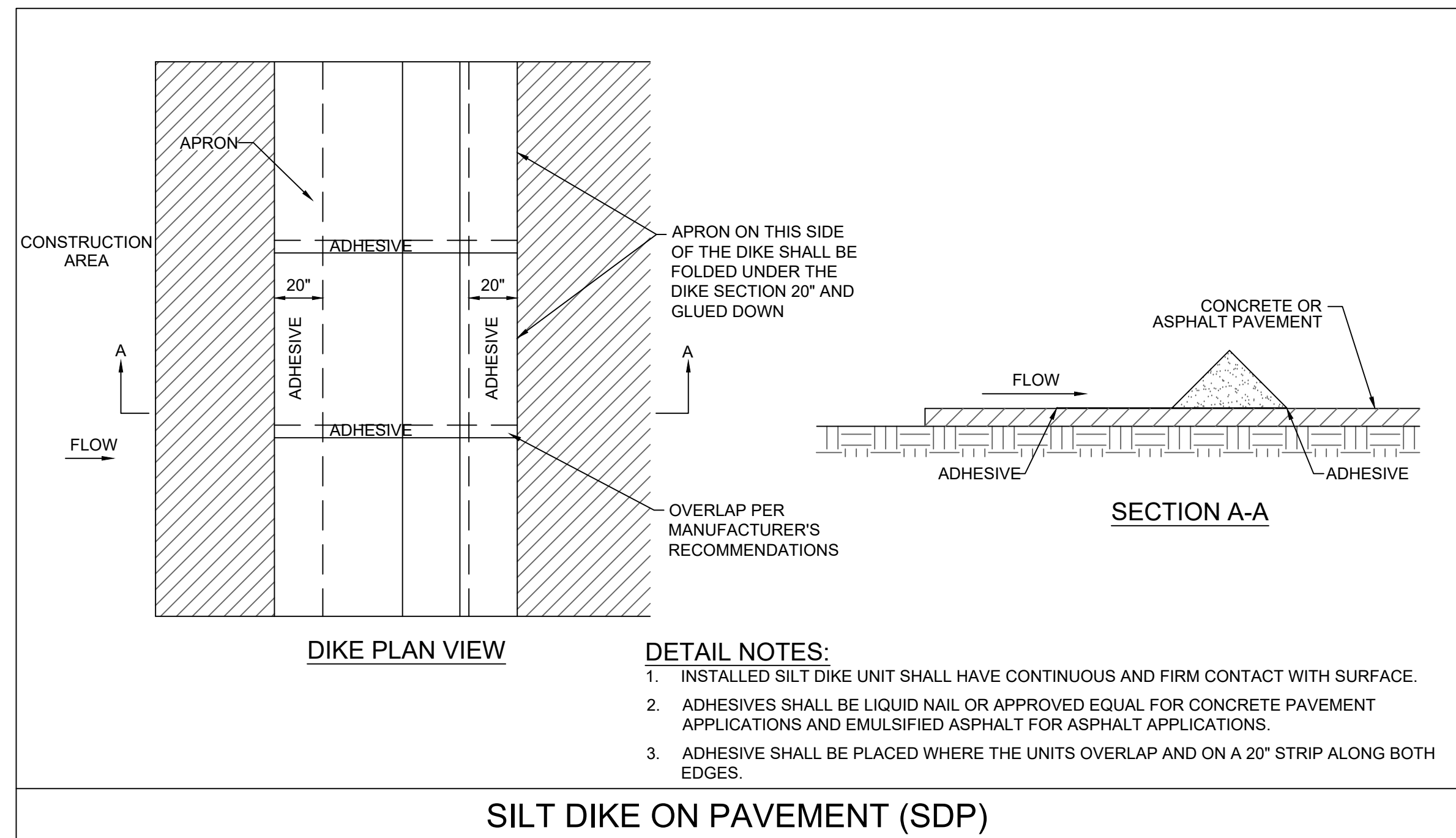
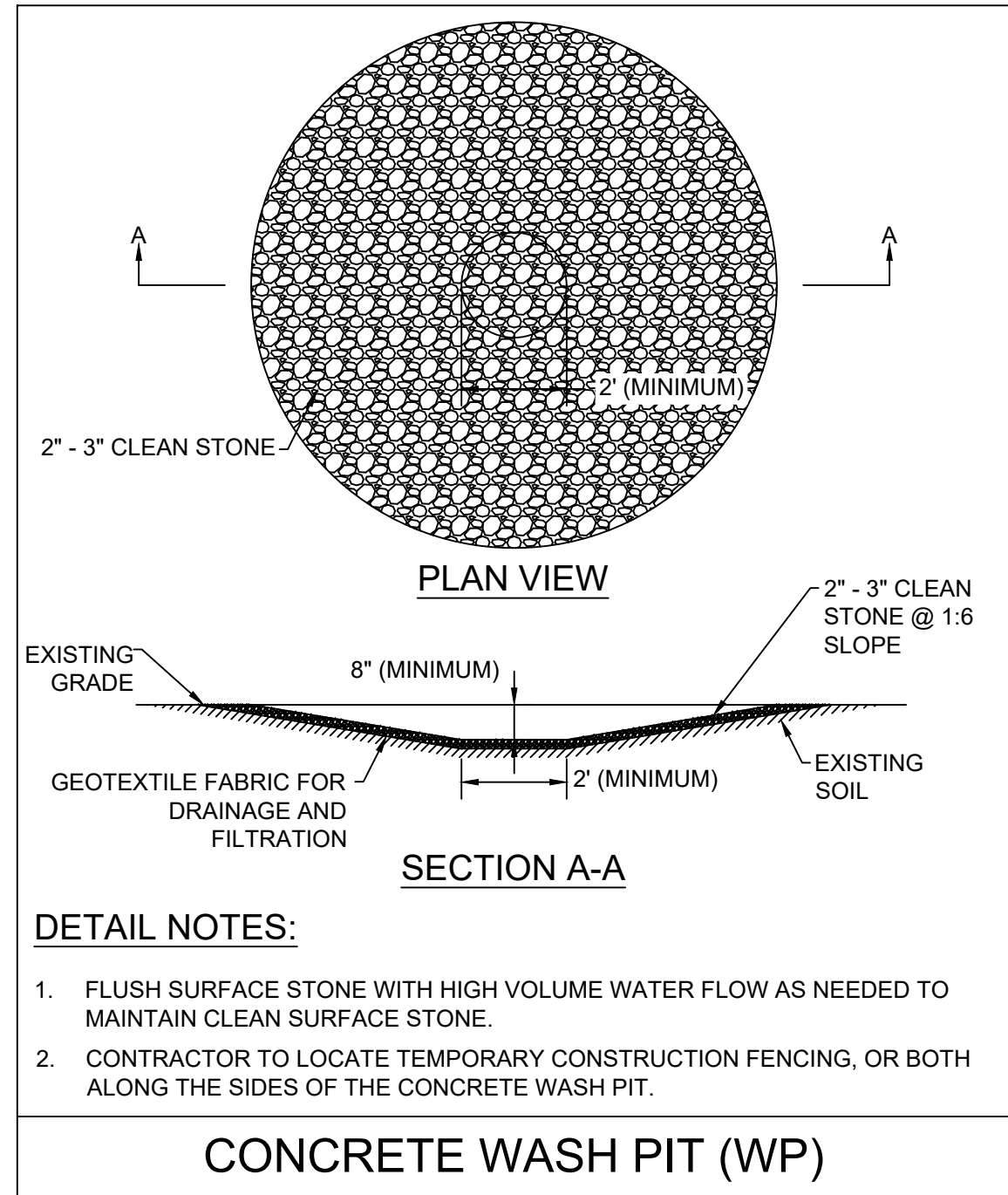


SHEET TITLE  
EROSION AND  
SEDIMENTATION  
CONTROL PLAN PHASE II

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.  
C4

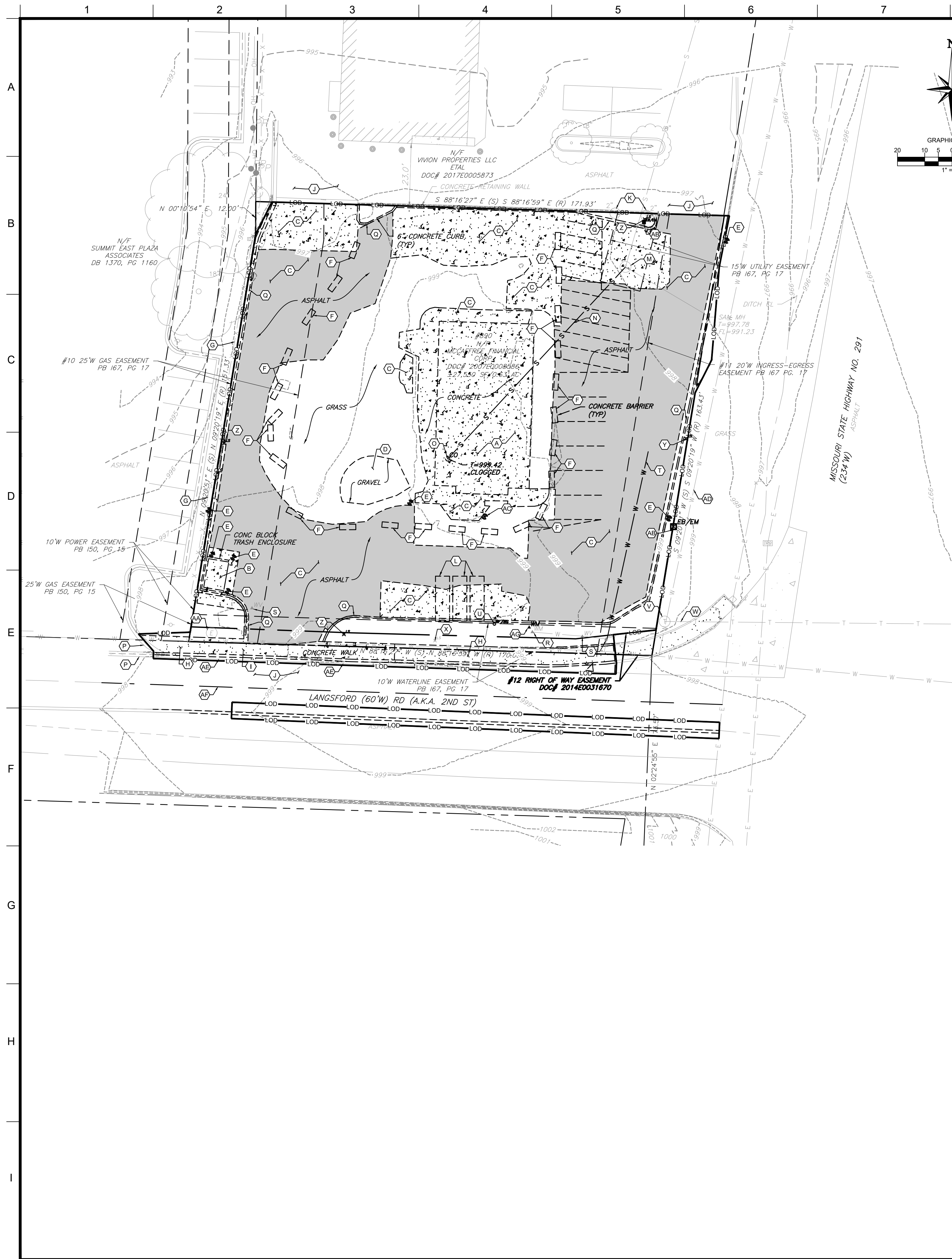




**RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI**

**08/13/2021**





DEMOLITION LEGEND

- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING WATER MAIN
- EXISTING WATER STRUCTURE
- EXISTING GAS MAIN
- EXISTING SANITARY
- EXISTING STORM
- LIMITS OF DISTURBANCE
- DEMO ASPHALT
- EXISTING TREES

DEMOLITION NOTES:

- CONTRACTOR TO FIELD LOCATE ALL EXISTING ON-SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, PROPOSED UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IN THE EVENT OF FIELD CONDITIONS THAT PREVENT THE PROPOSED SITE OPERATION.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL ITEMS DARK AND DASHED TO BE REMOVED OR REPLACED PER KEYED NOTES.
- ALL PROPER EROSION CONTROL METHODS SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.

KEYED NOTES:

- EXISTING BUILDING SLAB AND OR FOOTERS AND APPURTENANCES TO BE REMOVED.
- EXISTING DUMPSTER ENCLOSURE TO BE REMOVED.
- EXISTING HARDSCAPE TO BE REMOVED.
- EXISTING GRAVEL TO BE REMOVED.
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING CONCRETE BARRIER TO BE REMOVED.
- EXISTING FENCE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SIDEWALK TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SIDEWALK TO BE REMOVED.
- EXISTING ASPHALT TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING FUELING TANKS TO BE REMOVED UNDER SEPARATE CONTRACT PRIOR TO CONSTRUCTION.
- EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR SHALL ADJUST RIM TO FINAL GRADE. REFER TO SHEET C10 FOR PROPOSED RIM ELEVATION.
- EXISTING SANITARY SEWER LATERAL TO BE REMOVED. CONTRACTOR TO CAP AND SEAL STRUCTURE PIPE OPENINGS WITH CONCRETE GROUT, BRICK, AND MORTAR TO ENSURE A WATERTIGHT SEAL.
- EXISTING SANITARY SEWER CLEANOUT TO BE REMOVED.
- EXISTING VALLEY GUTTER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING CURB TO BE REMOVED.
- EXISTING WATER METER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATER VALVE TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO ADJUST TO FINAL GRADE.
- EXISTING WATER LATERAL TO BE REMOVED. **CONTRACTOR TO FIELD VERIFY MAIN ALIGNMENT, DEPTH, AND ULTIMATE TERMINATION PRIOR TO DEMOLITION.**
- EXISTING YARD HYDRANT TO BE REMOVED.
- EXISTING COMMUNICATIONS MANHOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING COMMUNICATION LINES TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR SHALL COORDINATE ANY REQUIRED RELOCATION WITH THE UTILITY COMPANY.
- EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING LIGHT POLE TO BE REMOVED.
- EXISTING LIGHT POLE BASE TO BE REMOVED.
- EXISTING ELECTRICAL MANHOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING ELECTRICAL BOX TO BE REMOVED.
- EXISTING MONITORING WELL TO BE REMOVED.
- EXISTING WATER MAIN TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO FIELD VERIFY MAIN ALIGNMENT, DEPTH, AND EXTENTS.
- EXISTING CURB TO BE REMOVED.
- EXISTING LANE STRIPING TO BE OBLITERATED.
- EXISTING BACKFLOW PREVENTER TO BE REMOVED.

**CORE STATES GROUP**  
6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CHAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT  
**CHASE**

811  
Know what's below. Call before you dig.  
The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on design records, records of utility companies, and where possible, field measurements taken in the field. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL  
CHAD D. FAIRBANKS  
REGISTERED PROFESSIONAL ENGINEER  
NUMBER E-2001018728  
7-21-21

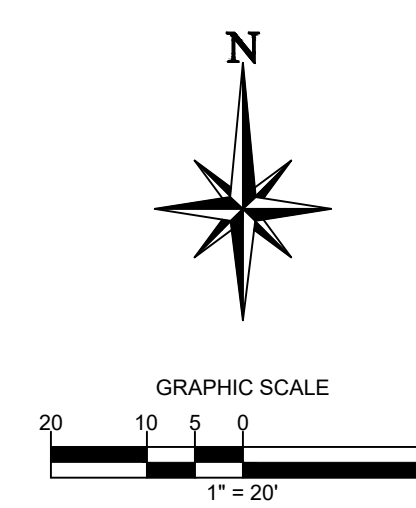
SHEET TITLE  
DEMOLITION  
PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDP

SHEET NO.  
**C6**

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021





SITE NOTES:

3. REFER TO SHEET C2 FOR GENERAL NOTES.
2. REFER TO SHEET C6 FOR DEMOLITION PLAN.
3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
4. REFER TO SHEET C10 FOR UTILITY PLAN.
5. REFER TO LANDSCAPE PLAN.
6. REFER TO SHEET C14 FOR PHOTOMETRIC PLAN AND SHEETS C15-C19 FOR SITE LIGHTING DETAILS.
7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

KEYED NOTES: 

- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.  
 B. PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.  
 C. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.  
 D. PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.  
 E. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.  
 F. PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.  
 3 G. PROPOSED 8' X 17' PARKING SPACE (TYPICAL).  
 H. PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.  
 I. PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAILS.  
 J. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C12 FOR DETAIL.  
 K. PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS.  
 L. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.  
 M. PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.  
 N. PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL.  
 O. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.  
 P. PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS.  
 3 Q. PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.  
 R. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C13 FOR DETAIL.  
 S. PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL.  
 T. PROPOSED 6" CURB. REFER TO SHEET C13 FOR DETAIL.  
 U. PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL.  
 V. PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.  
 W. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.  
 X. PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.  
 Y. PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.  
 Z. PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).  
 AA. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL.  
 AB. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL.  
 AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.  
 AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS.  
 AE. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.  
 AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL.  
 AG. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.  
 3 AH. PROPOSED 4" STRIPING. REFER TO SHEET C20 FOR DETAIL.  
 AI. PROPOSED 2" RAISED CONCRETE MEDIAN (RED BRICK-STAMPED) WITH CITY OF LEE'S SUMMIT DOWELED CURB (TYPE DC). REFER TO SHEET C13 FOR CURB DETAIL AND C20 FOR DETAIL.  
 3 AJ. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.  
 AK. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.  
 3 AL. PROPOSED NO U-TURN SIGN (R3-4). REFER TO SHEET C20 FOR DETAIL.  
 3 AM. PROPOSED 8" VINYL FENCE.  
 AN. PROPOSED DETECTABLE WARNING. REFER TO SHEET C11 FOR DETAILS.  
 AO. PROPOSED ADA COMPLIANT CURB RAMP. REFER TO SHEET C25 FOR DETAILS.  
 AP. PROPOSED 4" SOLID YELLOW LINE. REFER TO SHEET C20 FOR DETAIL.

**RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI**

**CORE STATES**

**GROUP**

5500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFARBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USER FOR WHOM THEY WERE PREPARED. NO EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR  
OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN  
INGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE,  
UREMENTS TAKEN IN THE FIELD. CORRESTATES, INC. DOES NOT GUARANTEE  
LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE

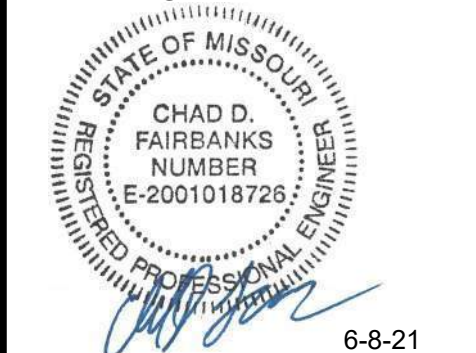
## REVISIONS

[illegible]

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL



SHEET TITLE  
SITE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.

C7

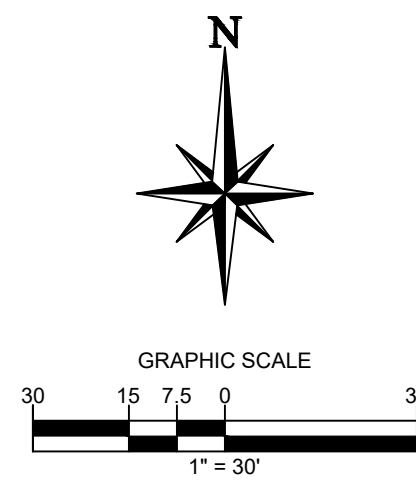












A Venn diagram illustrating the relationship between sets A, B, and C. Set A is represented by a large oval. Inside A, there are two smaller, disjoint ovals labeled B and C. This indicates that B and C are subsets of A, and B and C are mutually exclusive.

PRE-DEVELOPMENT STORMWATER RUNOFF CALCULATIONS						
DRAINAGE AREA	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TOTAL AREA (SF)	% IMPERVIOUS	TOTAL AREA (AC)	TOTAL IMPERVIOUS AREA (AC)
PRE-1	4224	9851	14075	90.24%	0.323	0.292
PRE-2	978	11121	12099	58.16%	0.278	0.162
PRE-3	249	175	424	100.00%	0.010	0.010
PRE-4	658	269	927	0.68%	0.021	0.000
PRE-5	73	0	73	0.68%	0.002	0.000
TOTAL	6182	21416	27598	53.97%	0.634	0.342

A - DRAINAGE AREA DESIGNATION  
B - ACREAGE  
C - WEIGHTED P.I. VALUE



POST-DEVELOPMENT STORMWATER RUNOFF CALCULATIONS						
DRAINAGE AREA	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TOTAL AREA (SF)	% IMPERVIOUS	TOTAL AREA (AC)	TOTAL IMPERVIOUS AREA (AC)
POST-1	2680	7914	10594	74.70%	0.243	0.182
POST-2	851	4039	4890	82.60%	0.112	0.093
POST-3	637	3637	3674	17.34%	0.084	0.015
POST-4	0	3320	3320	100.00%	0.076	0.076
POST-5	1868	2114	3982	53.09%	0.091	0.049
POST-6	987	6	993	0.60%	0.023	0.000
TOTAL	9423	18030	27453	65.68%	0.630	0.414

**RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021**

**CORE STATES**




**GROUP**

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-6262  
CF@AIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PURPOSE AND SPECIFIC USE FOR WHICH THEY WERE INTENDED, ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



**Call before you dig.**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORRESPONDING, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

## REVISIONS

[illegible]

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL



6-8-21

SHEET TITLE  
DRAINAGE  
BASIN MAPS

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.

C9







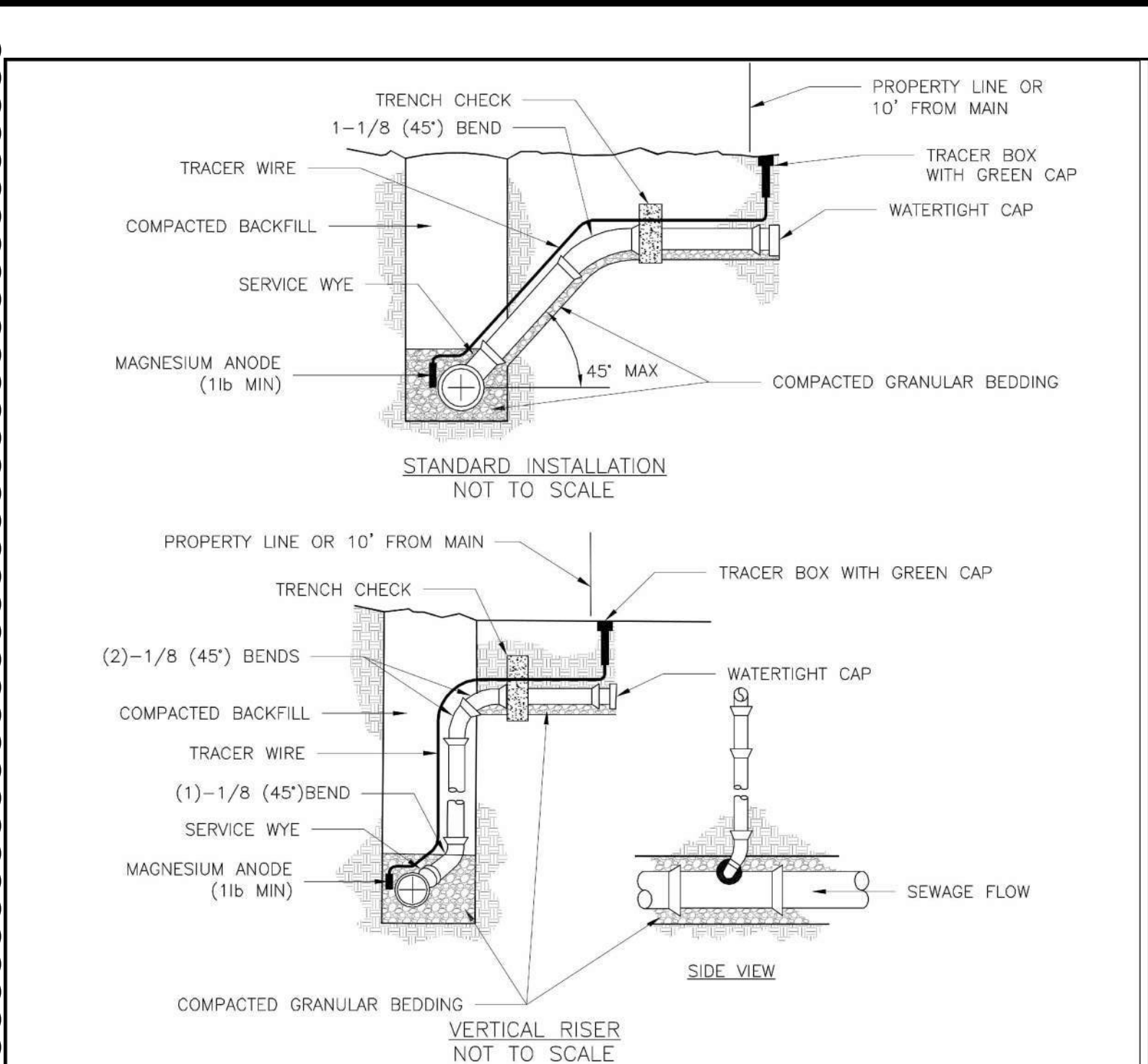
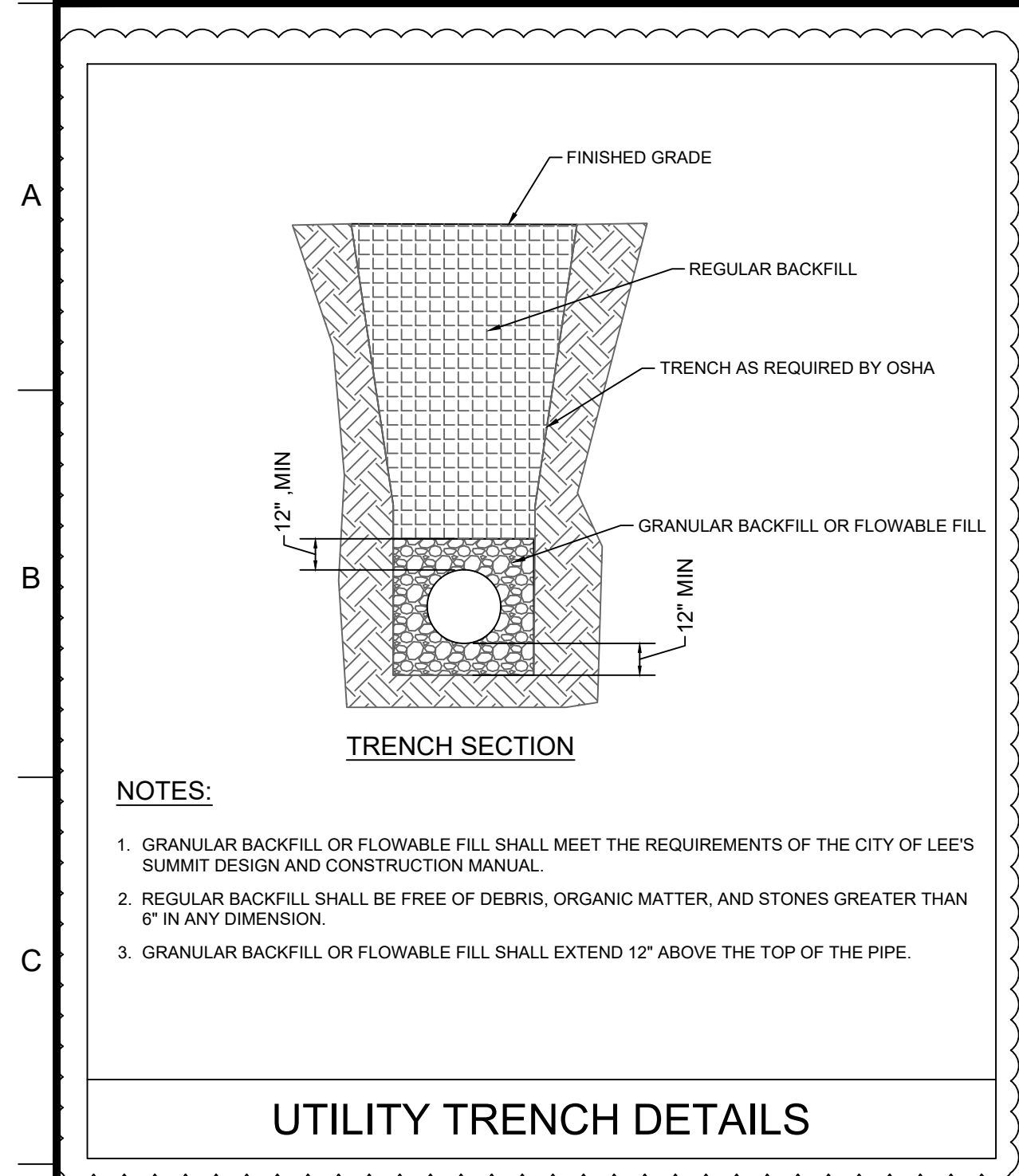
## "ONE WAY" SIGN DETAIL

# C11







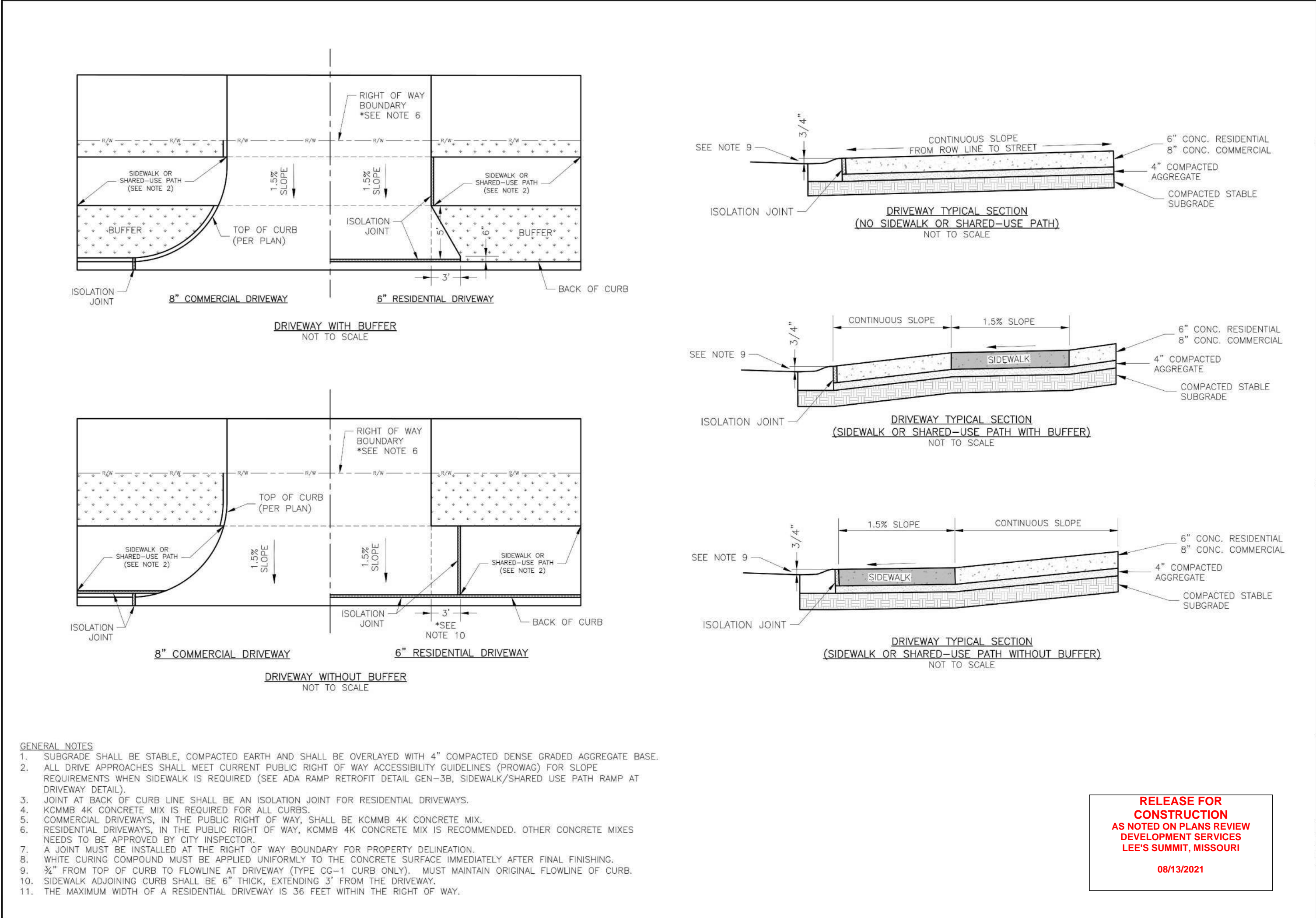
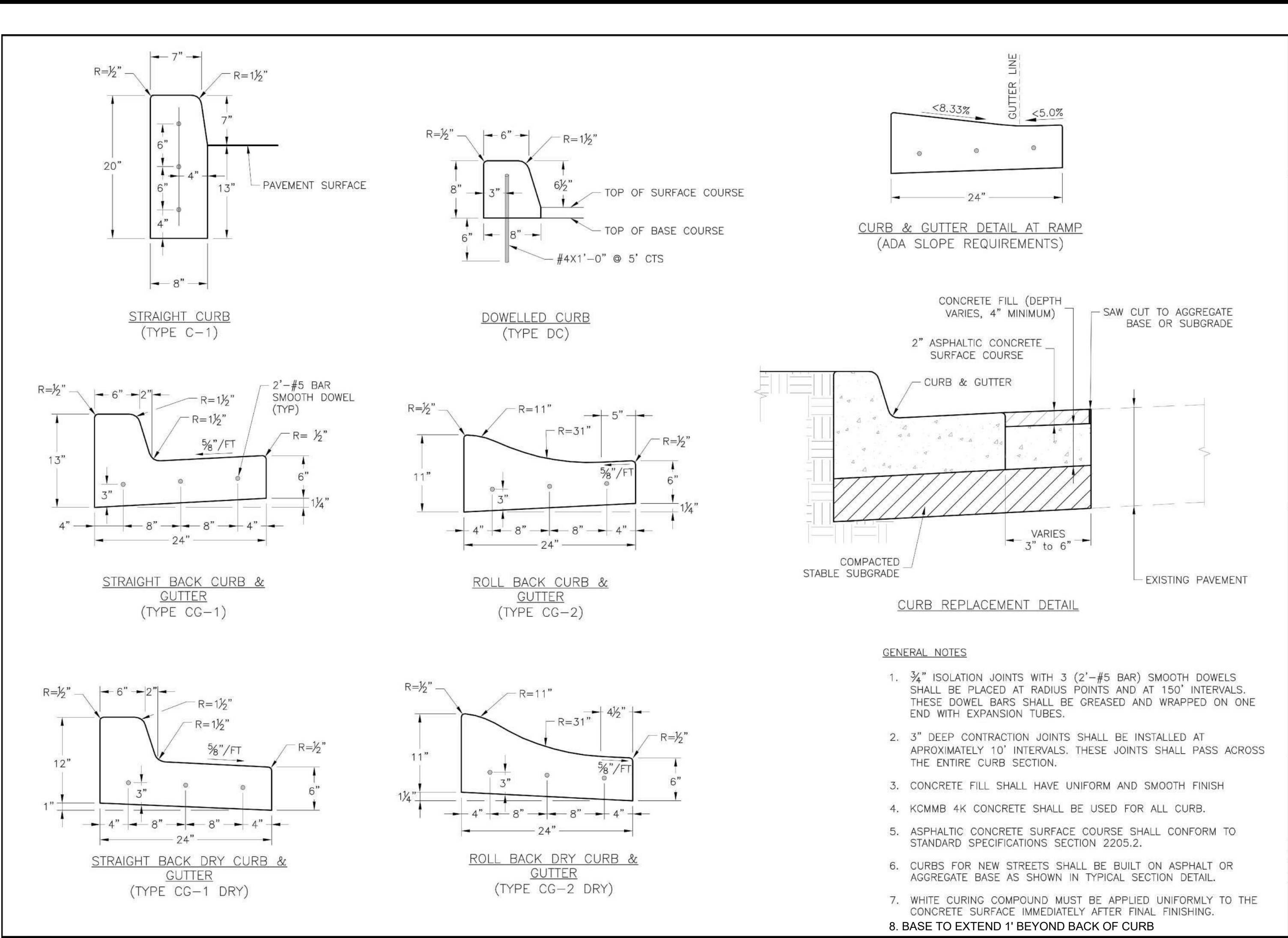
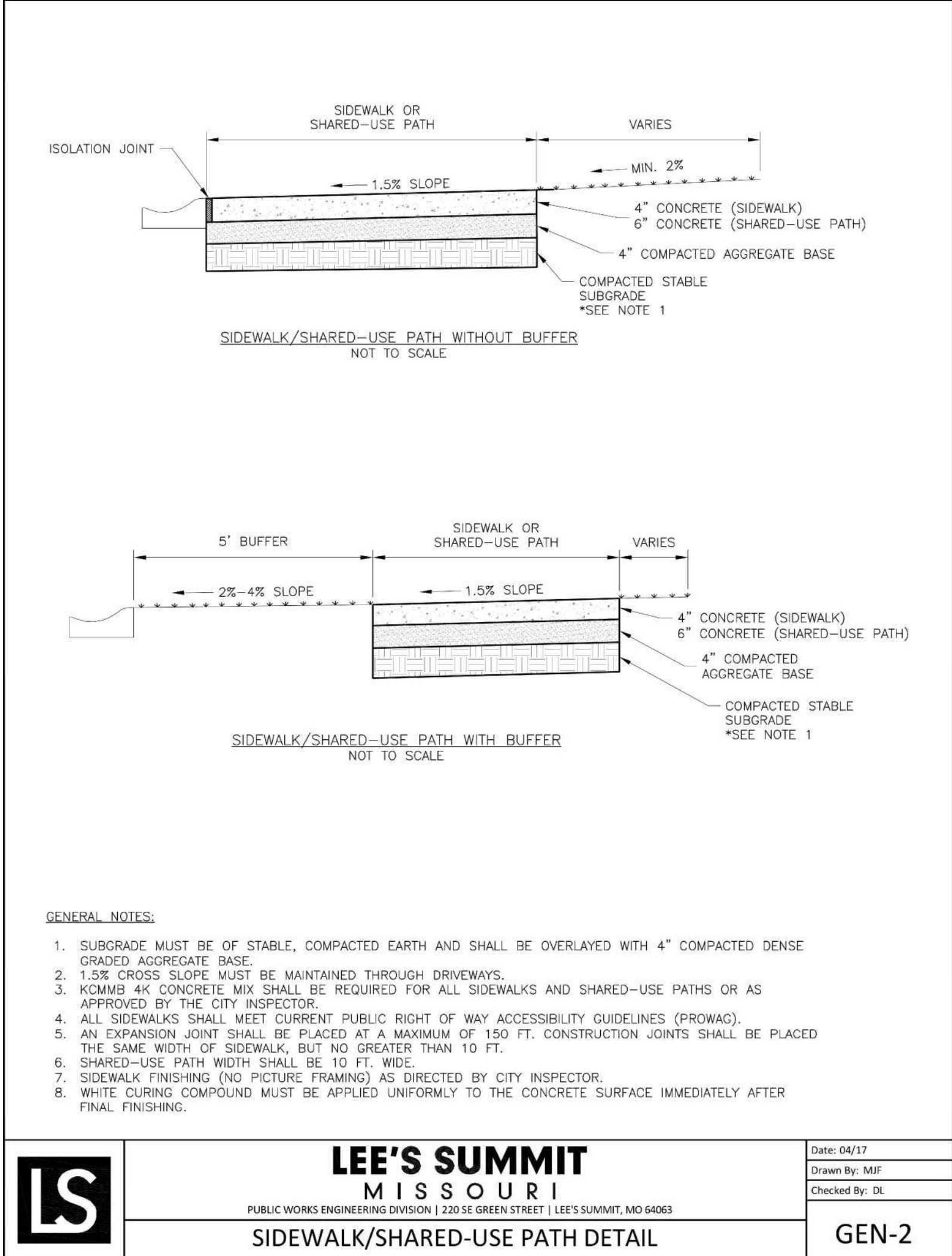


- NOTES:**
1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
  2. ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
  3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
  4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
  5. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
  6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
  7. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
  8. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
  9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17  
Drawn By: MJF  
Checked By: DL

**SAN-1**



**CORE STATES GROUP**  
6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 770-5203  
CHAIRBANKS@CORE-STATES.COM

**CLIENT**  
**CHASE**

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

**GEN-4**

**REVISIONS**

REV	DATE	COMMENT	BY
3	06/02/21	CITY COMMENTS	RJD
4	07/21/21	CITY COMMENTS	CDP

**DOCUMENT**  
**CIVIL**  
**CONSTRUCTION**  
**PLANS FOR CHASE BANK**

**SITE LOCATION**  
**890 NE**  
**LANGSFORD ROAD**  
**LEE'S SUMMIT, MO**  
**64063**

**ENGINEER SEAL**  
CHAD D. FAIRBANKS  
REGISTERED PROFESSIONAL ENGINEER  
E-2001018726  
7-21-21

**SHEET TITLE**  
**CONSTRUCTION**  
**DETAILS**

**JOB #:** JPM-27135.001  
**DATE:** 12/21/2020  
**SCALE:** AS NOTED  
**DRAWN BY:** RJD  
**CHECKED BY:** CDP

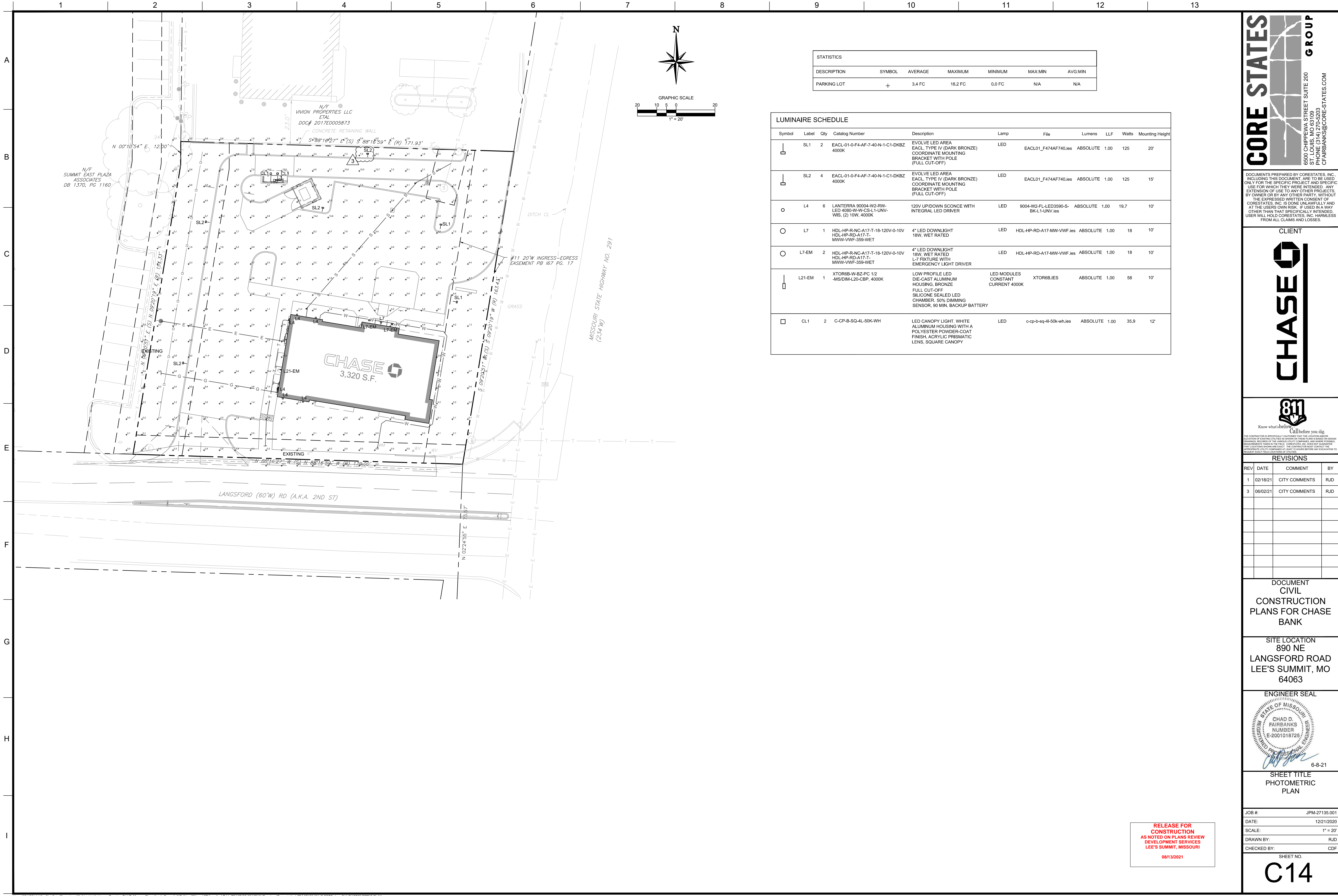
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

**GEN-1**

**C13**





STATISTICS						
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
PARKING LOT	+	3.4 FC	18.2 FC	0.0 FC	N/A	N/A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	SL1	2	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125
	SL2	4	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125
	L4	6	LAN TERRA 90004-W2-RW-LED 4080-W-W-CS-L1-UNV-WIS. (2) 10W, 4000K	120V UP/DOWN SCONCE WITH INTEGRAL LED DRIVER	LED	9004-W2-FL-LED3590-S-BK-L1-UNV.ies	ABSOLUTE	1.00	19.7
	L7	1	HDL-HP-R-NC-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18
	L7-EM	2	HDL-HP-R-NC-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED L-7 FIXTURE WITH EMERGENCY LIGHT DRIVER	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18
	L21-EM	1	XTOR6B-W-BZ-PC 1/2 -MS/DIM-L20-CBR, 4000K	LOW PROFILE LED DIE-CAST ALUMINUM HOUSING, BRONZE FULL CUT-OFF SILICONE SEALED LED CHAMBER, 50% DIMMING SENSOR, 90 MIN. BACKUP BATTERY	LED MODULES CONSTANT CURRENT 4000K	XTOR6B.IES	ABSOLUTE	1.00	58
	CL1	2	C-CP-B-SQ-4L-50K-WH	LED CANOPY LIGHT, WHITE ALUMINUM HOUSING WITH A POLYESTER POWDER-COAT FINISH, ACRYLIC PRISMATIC LENS, SQUARE CANOPY	LED	c-cp-b-sq-4l-50k-wh.ies	ABSOLUTE	1.00	35.9

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION, RECORDS OF THE PROJECT, AND/OR FIELD SURVEY. NO GUARANTEE OR WARRANTY IS MADE BY CORESTATES, INC. FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CORESTATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR DESTRUCTION OF EXISTING UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL

6-8-21

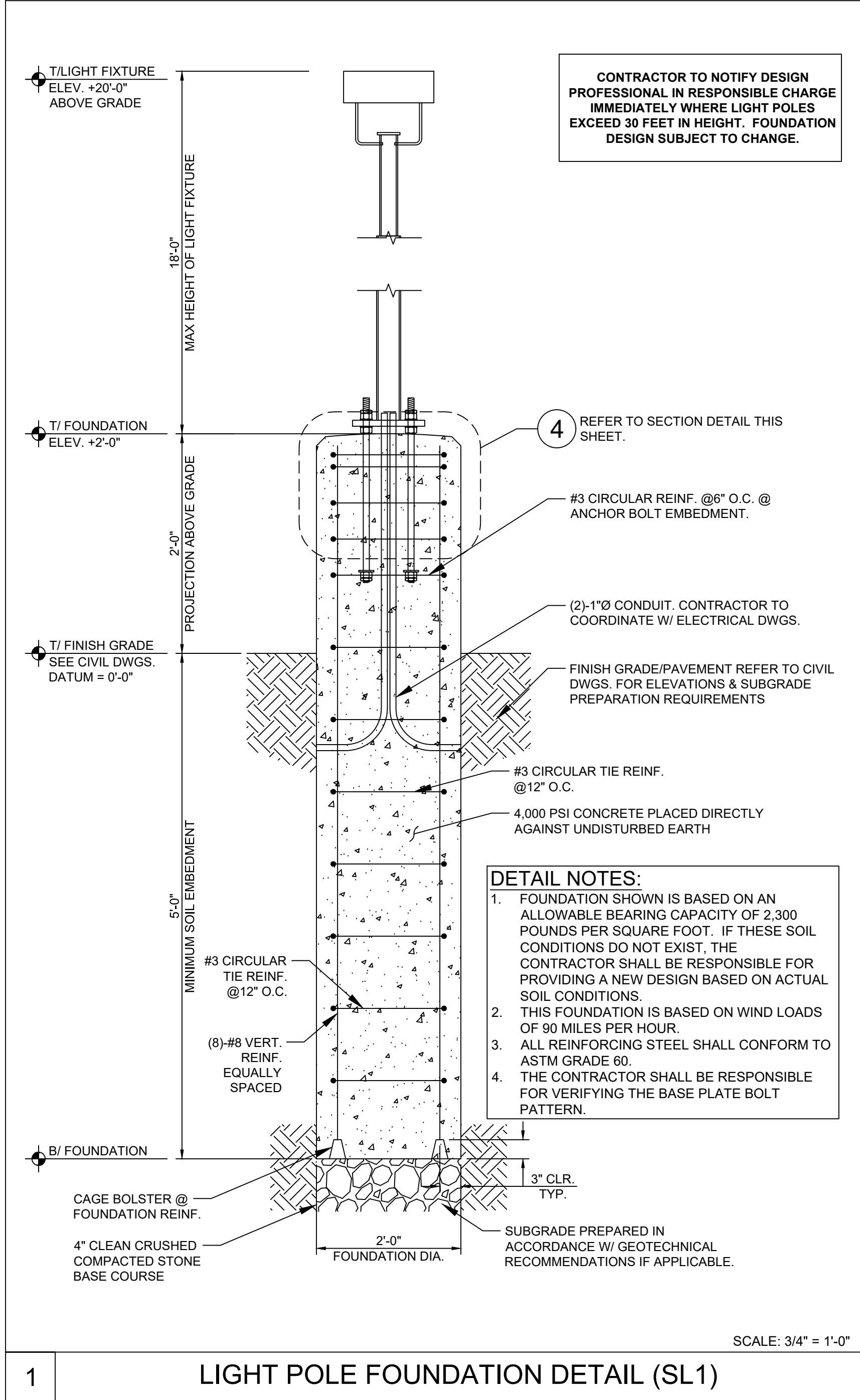
SHEET TITLE  
PHOTOMETRIC  
PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

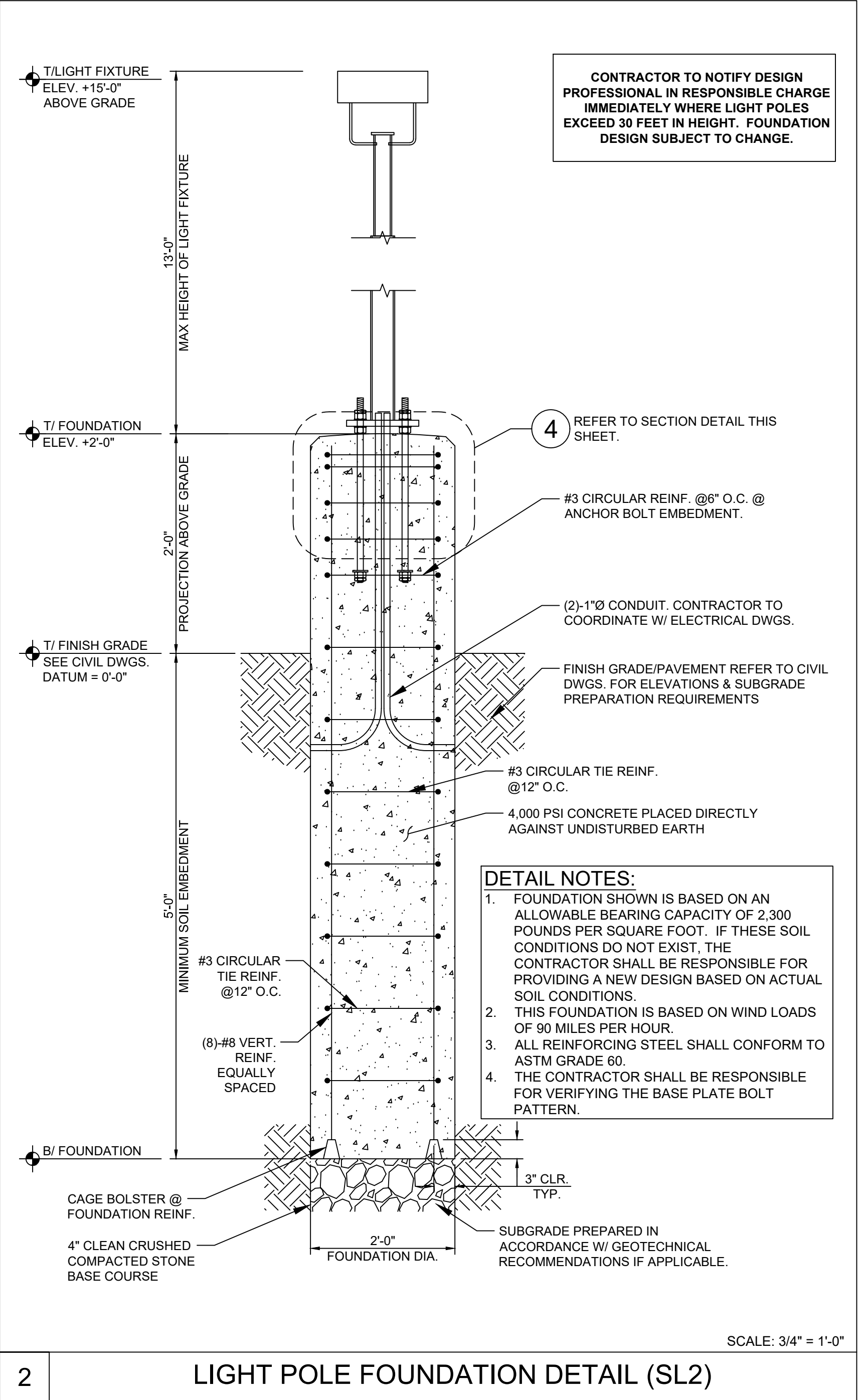
SHEET NO.  
C14

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021

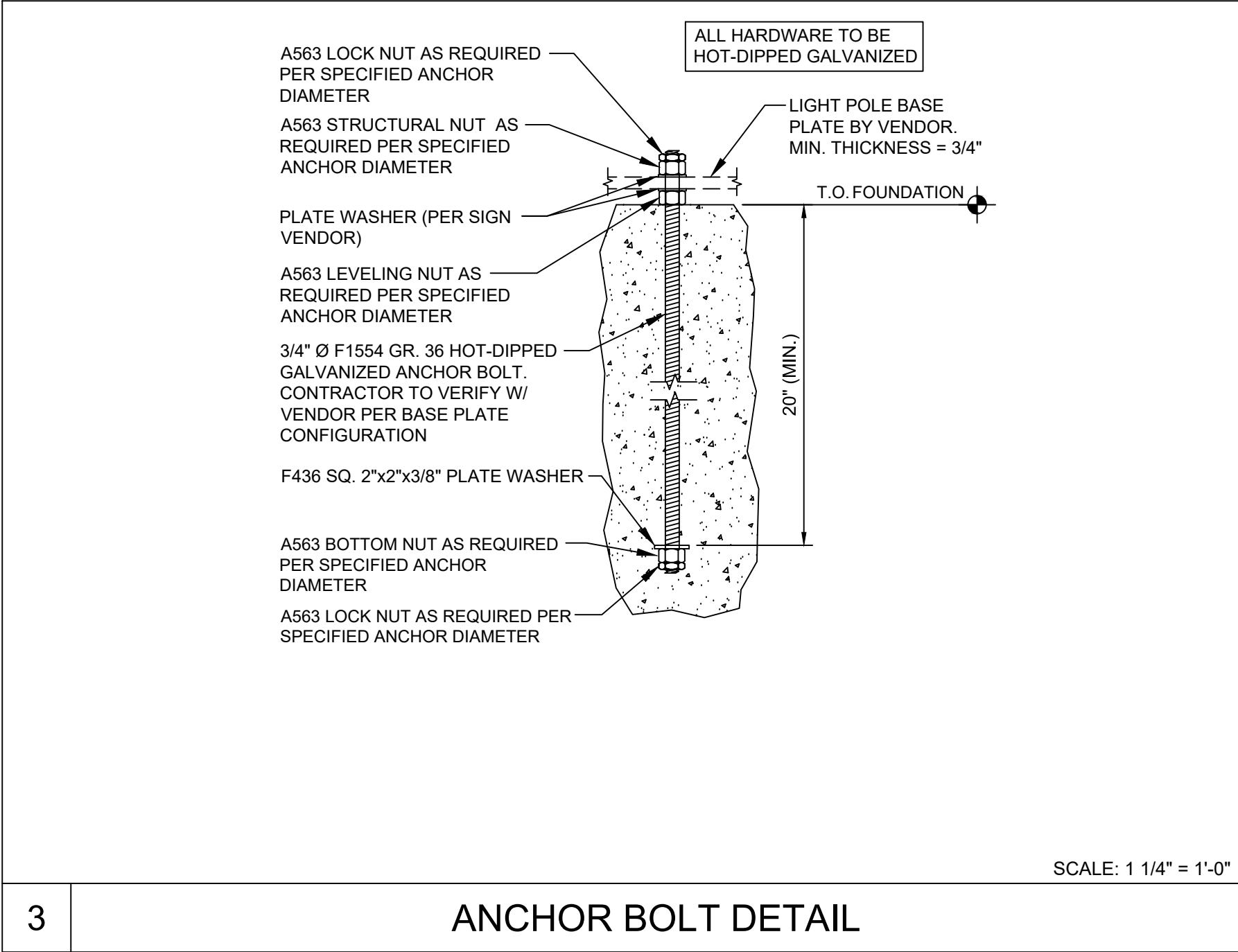




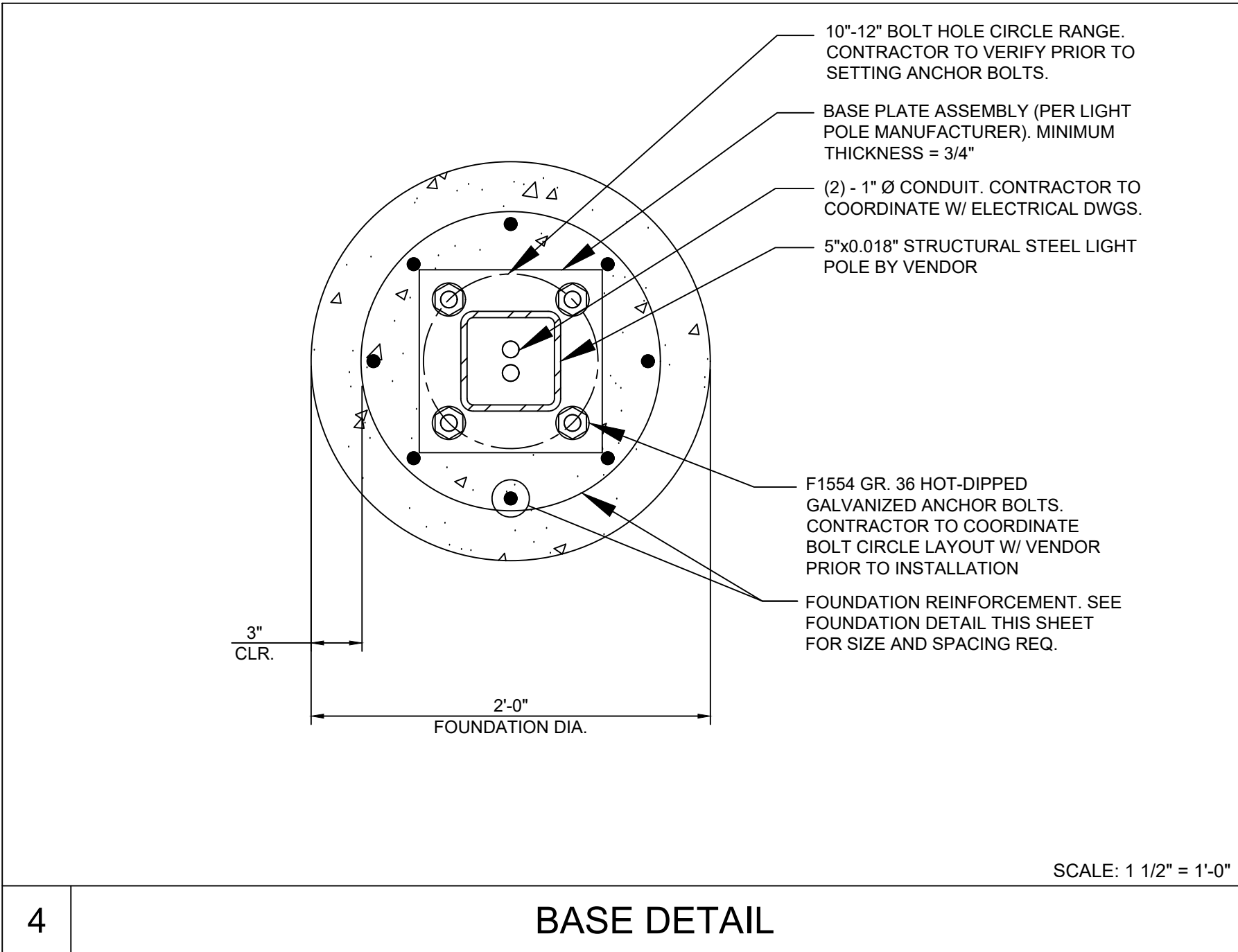
1 LIGHT POLE FOUNDATION DETAIL (SL1)



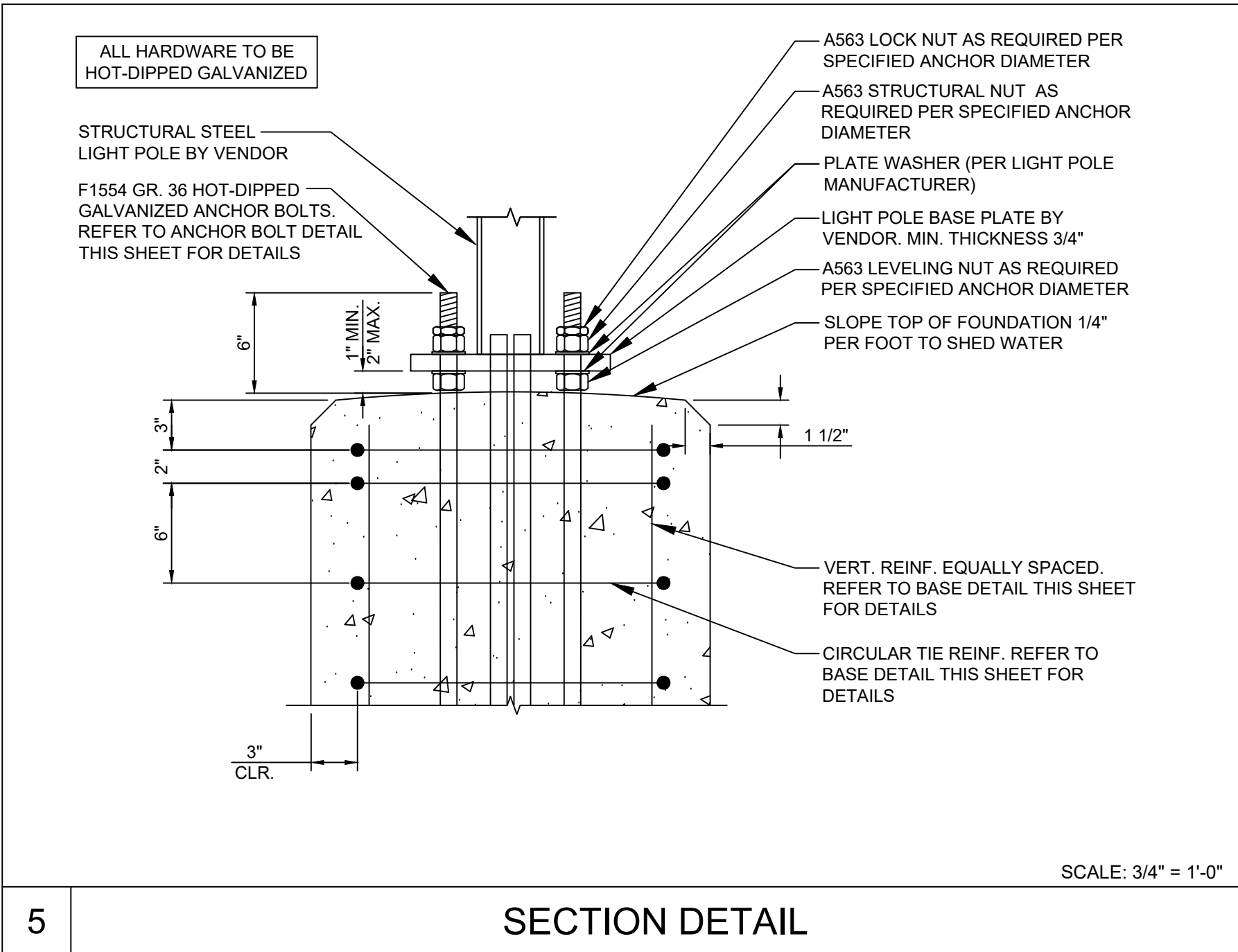
2 LIGHT POLE FOUNDATION DETAIL (SL2)



3 ANCHOR BOLT DETAIL



4 BASE DETAIL



5 SECTION DETAIL

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

**891**  
Know what's below. Call before you dig.  
The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these drawings is based on measurements taken in the field. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF ANY UTILITIES. THE CONTRACTOR SHALL OBTAIN THE NECESSARY UTILITY LOCATIONS OF UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

**DOCUMENT**  
**CIVIL**  
**CONSTRUCTION**  
**PLANS FOR CHASE**  
**BANK**

**SITE LOCATION**  
**890 NE**  
**LANGSFORD ROAD**  
**LEE'S SUMMIT, MO**  
**64063**

**ENGINEER SEAL**  
  
6-8-21

**SHEET TITLE**  
**PHOTOMETRIC DETAILS**

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CFD

**RELEASE FOR CONSTRUCTION**  
**AS NOTED ON PLANS REVIEW**  
**DEVELOPMENT SERVICES**  
**LEE'S SUMMIT, MISSOURI**  
08/13/2021



















A

B

C

DETAIL NOTES:

- ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.
- ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.

NO U-TURN SIGN DETAIL

D

E

DETAIL NOTES:

- ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.
- ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.
- AN OBJECT MARKER SIGN (OM1-1) SHALL BE MOUNTED BELOW THIS SIGN.

KEEP RIGHT SIGN DETAIL

F

G

H

I

DETAIL NOTES:

- ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.
- ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.

OBJECT MARKER SIGN DETAIL

616.8.22 (TA-22) Lane Closure of Right Lane on Far Side of Intersection - MT [www.invarion.com](#)

SPEED Permanent Posted (mph)	SIGN SPACING (ft.)		TAPER LENGTH (ft.)		OPTIONAL BUFFER LENGTH (ft.) (B)	CHANNELIZER SPACING (ft.) Tapers	Buffer Work Areas
	Undivided (S)	Divided (T1)	Lane (2) (T2)	Buffer (B)			
0-35	200	200	70	245	280	35	40
40-45	350	500	150	540	400	40	80
50-55	500	1000	185	660	560	50	80
60-70	1000	SA - 1000 SB - 1500 SC - 2640	235	840	840	60	120

1 Shoulder taper length based on 10 ft. (standard shoulder width) offset. 2 Lane taper length based on 12 ft. (standard lane width) offset.

TYPE OF ROADWAY SIGN HEIGHT MAXIMUM WORK ZONE LENGTH (L)

TYPE OF ROADWAY	SIGN HEIGHT	MAXIMUM WORK ZONE LENGTH (L)
URBAN	1' Portable 7' Post	1 Mi.
RURAL DIVIDED	1' Portable 7' Post	2 Mi.
RURAL UNDIVIDED	1' Portable 5' Post	3 Mi.

Channelizer Sign Work Space

(Advanced Warning Rail System) For Long Term Operations

This typical application is applicable to intersections with right of way control on all approaches.

A protective vehicle should be used while work is in progress when space allows. The protective vehicle should be equipped with a TMA and positioned at least 150 ft. in advance of the work space. The protective vehicle may be eliminated if the roadway is posted at 45 mph or below, the work vehicle is positioned in advance of the work space, and the work vehicle uses activated rotating lights or strobe lights.

At locations where right turn movements are minimal or where the inclusion of the turning traffic with the traffic using the adjacent open lane will not affect capacity of the approach, it is acceptable to close any lane not carried through the intersection prior to the intersection. Thereby, eliminating the turn bay shown. If right-turn movements are significant, however, the right lane may be left open prior to the intersection but restricted to right-turn movements only. In this case, all channelization devices prior to the intersection are eliminated except those that might be used to form a temporary island emphasizing the mandatory turning movement.

For intersection approaches reduced to a single lane, left-turning movements may be prohibited to maintain capacity for through motor vehicle traffic.

If the work space extends across the crosswalk, the crosswalk should be closed using the information and devices shown in EPG 616.8.29 (TA-29) Crosswalk Closures and Pedestrian Detours.

Buffer and taper lengths noted in table may be modified to fit conditions.

For short duration operations, signs and channelizers may be reduced or eliminated.

For mobile operations where workers are on foot and move with the operation, channelizers may be reduced or eliminated.

Where possible, signs should be provided on both sides of the affected approach when the approach is two or more lanes wide.

For high speed facilities, channelizer spacing may be reduced to 1/2 spacing noted in table.

Other appropriate signs may be used in lieu of the ROAD WORK AHEAD sign.

Supplemental warning methods may be used to call attention to the work zone.

If rumble strips are used, review EPG 616.6.87 RUMBLE STRIPS.

For long-term operations, refer to EPG 616.6.2.2 Flags and Advance Warning Rail System.

SEE EPG 616.12 WORK ZONE SPEED LIMITS FOR SPEED LIMIT GUIDELINES.

TA-22 1/16

616.8.23 (TA-23) Lane Closure of Left Lane on Far Side of Intersection - MT [www.invarion.com](#)

SPEED Permanent Posted (mph)	SIGN SPACING (ft.)		TAPER LENGTH (ft.)		OPTIONAL BUFFER LENGTH (ft.) (B)	CHANNELIZER SPACING (ft.) Tapers	Buffer Work Areas
	Undivided (S)	Divided (T1)	Lane (2) (T2)	Buffer (B)			
0-35	200	200	70	245	280	35	40
40-45	350	500	150	540	400	40	80
50-55	500	1000	185	660	560	50	80
60-70	1000	SA - 1000 SB - 1500 SC - 2640	235	840	840	60	120

1 Shoulder taper length based on 10 ft. (standard shoulder width) offset. 2 Lane taper length based on 12 ft. (standard lane width) offset.

TYPE OF ROADWAY SIGN HEIGHT MAXIMUM WORK ZONE LENGTH (L)

TYPE OF ROADWAY	SIGN HEIGHT	MAXIMUM WORK ZONE LENGTH (L)
URBAN	1' Portable 7' Post	1 Mi.
RURAL DIVIDED	1' Portable 7' Post	2 Mi.
RURAL UNDIVIDED	1' Portable 5' Post	3 Mi.

Channelizer Sign Work Space

(Advanced Warning Rail System) For Long Term Operations

This typical application is applicable to intersections with right of way control on all approaches.

A protective vehicle should be used while work is in progress when space allows. The protective vehicle should be equipped with a TMA and positioned at least 150 ft. in advance of the work space. The protective vehicle may be eliminated if the roadway is posted at 45 mph or below, the work vehicle is positioned in advance of the work space, and the work vehicle uses activated rotating lights or strobe lights.

At locations where left turn movements are minimal or where the inclusion of the turning traffic with the traffic using the adjacent open lane will not affect capacity of the approach, it is acceptable to close any lane not carried through the intersection prior to the intersection. Thereby, eliminating the turn bay shown. If left-turn movements are significant, however, the left lane may be left open prior to the intersection but restricted to left-turn movements only. In this case, all channelization devices prior to the intersection are eliminated except those that might be used to form a temporary island emphasizing the mandatory turning movement.

If the work space extends across the sidewalk, the crosswalk should be closed using the information and devices shown in EPG 616.8.29 (TA-29) Crosswalk Closures and Pedestrian Detours.

Buffer and taper lengths noted in table may be modified to fit conditions.

For short duration operations, signs and channelizers may be reduced or eliminated.

For mobile operations where workers are on foot and move with the operation, channelizers may be reduced or eliminated. Where possible, signs should be provided on both sides of the affected approach when the approach is two or more lanes wide.

For high speed facilities, channelizer spacing may be reduced to 1/2 spacing noted in table.

Other appropriate signs may be used in lieu of the ROAD WORK AHEAD sign.

Supplemental warning methods may be used to call attention to the work zone.

If rumble strips are used, review EPG 616.6.87 RUMBLE STRIPS.

For long-term operations, refer to EPG 616.6.2.2 Flags and Advance Warning Rail System.

SEE EPG 616.12 WORK ZONE SPEED LIMITS FOR SPEED LIMIT GUIDELINES.

TA-23 1/16

SECTION A-A  
CONCRETE MEDIAN STRIP

TIE BAR LOCATIONS FOR CONCRETE MEDIAN STRIP

TIE BAR LOCATIONS FOR CONCRETE MEDIAN STRIP (ISLAND)

CONCRETE MEDIAN STRIP JOINT LOCATION

GENERAL NOTES:

TIE BARS SHALL BE EPOXY COATED, DEFORMED REINFORCING BARS MEETING THE REQUIREMENTS OF SECTION 710 AND 1037.

BONDING FOR TIE BARS SHALL BE EPOXY OR POLYESTER BONDING AGENTS AS SPECIFIED IN SECTION 1039.

THE FACE OF THE MEDIAN MAY BE CONSTRUCTED WITHOUT BATTER WHEN CONSTRUCTED ON A RADIUS OF 6' OR LESS.

WHEN CONCRETE MEDIANS ARE CONSTRUCTED DIRECTLY BENEATH GUARDRAIL, THE MEDIAN HEIGHT WILL BE 4".

MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION

MDOT

JEFFERSON CITY, MO 65102

1-888-ASK-MODOT (1-888-275-6636)

CONCRETE MEDIAN STRIP

DATE EFFECTIVE: 10/01/2020

DATE PREPARED: 7/21/2020

608.30A

SHEET NO. 1 OF 1

TYPICAL LINE DETAILS

TYPICAL INTERSECTION MARKINGS

TYPICAL MIDBLOCK OR SCHOOL CROSS WALK

TYPICAL MARKINGS FOR FOUR-LANE UNDIVIDED ROADWAY

ARROW AND SYMBOL DETAILS

PAVEMENT MARKING GENERAL NOTES:

- All pavement markings shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- All words and symbols shall conform to the latest edition of Standard Alphabets for Highway Signs and Pavement Markings printed by the U.S. Department of Transportation, Federal Highway Administration.
- Pavement markings, either temporary or permanent are required at all times if the roadway is open to traffic.
- All pavement markings that conflict with the desired markings shall be completely removed. Removals shall not leave the road surface scarred with an image that misleads traffic. Any excess damage or scarring of pavement shall be repaired at the Contractor's expense.
- The proposed permanent markings shall be laid out by the Contractor in advance of the marking installation. Markings shall not be applied until the layout has been approved by the City Traffic Engineer.
- Center lines shall be marked on all undivided arterial streets, and any other undivided street with more than two lanes and/or a speed limit of 30 mph or more.
- Edge lines shall be marked on all non-curbed streets.

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI

08/13/2021

CITY OF LEE'S SUMMIT  
PLANNING DIVISION  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64083  
PHONE: (816) 969-1600 FAX: (816) 969-1609

ROADWAY MARKING DETAILS

STANDARD DRAWING PW-1

1 OF 2

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 705-5203  
CHAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. WE USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

811

Know what's below. Call before you dig.

THE CONTRACTOR SPECIFICALLY WARRANTED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS BASED ON REASONABLE CARE AND THAT THE INFORMATION PROVIDED IS ACCURATE. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

REVISIONS

REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL

CHAD D. FAIRBANKS  
REGISTERED PROFESSIONAL ENGINEER  
NUMBER E-2001018726

6-8-21

SHEET TITLE  
CONSTRUCTION DETAILS

JOB #: JPM-27135.001

DATE: 12/21/2020

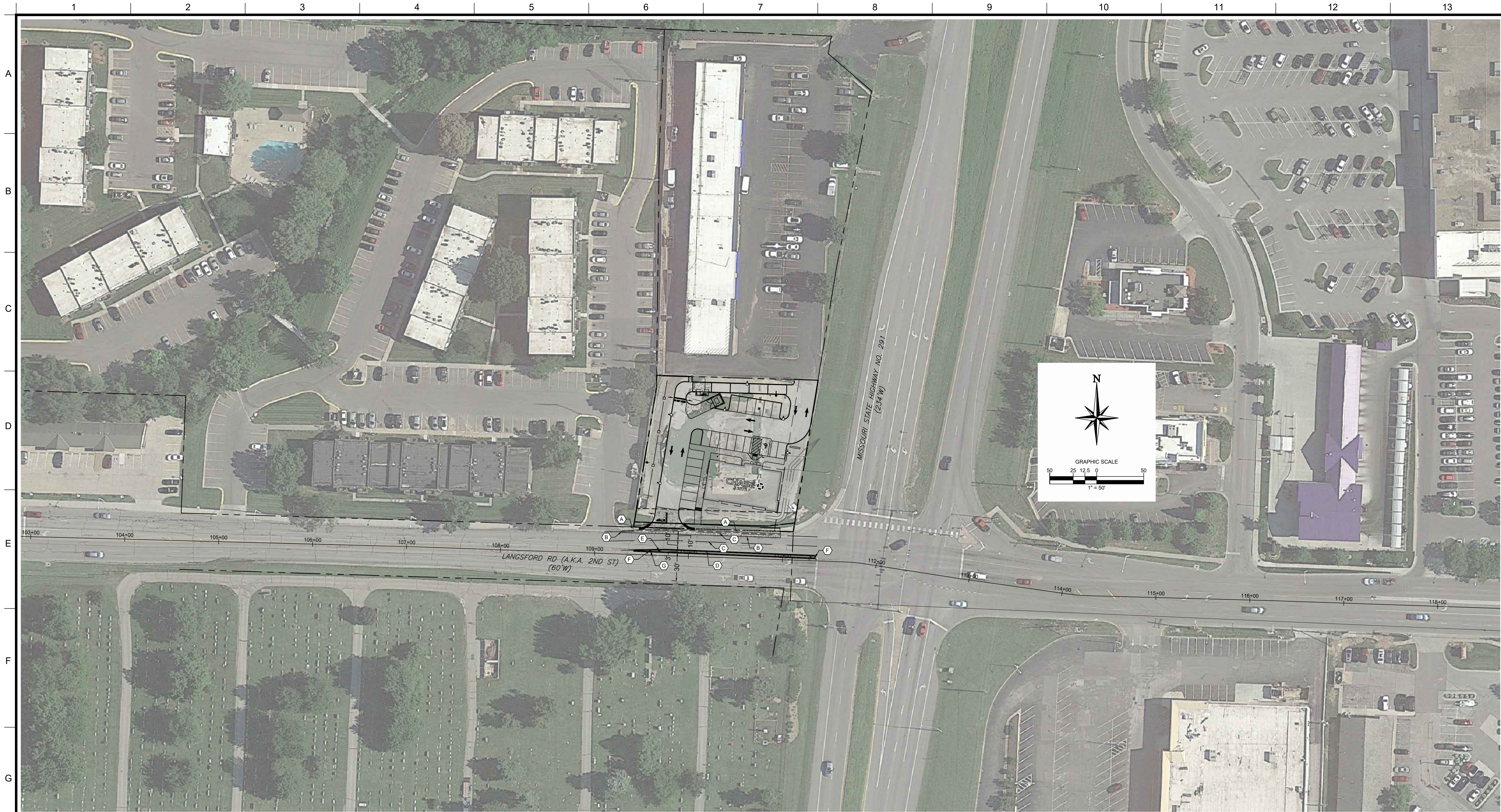
SCALE: AS NOTED

DRAWN BY: RJD

CHECKED BY: CDF

SHEET NO. C20





KEYED NOTES:

- A. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C12 FOR DETAIL.  
B. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.  
C. PROPOSED 4" STRIPING. STRIPING SHALL BE HIGH BUILD PAINT MATERIAL. REFER TO SHEET C20 FOR DETAIL.  
D. PROPOSED 2" RAISED CONCRETE MEDIAN. REFER TO SHEET C20 FOR DETAIL.  
E. PROPOSED "ONE WAY" SIGN (R8-1R). REFER TO SHEET C11 FOR DETAIL.  
F. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.  
G. PROPOSED NO U-TURN SIGN (R3-4). REFER TO SHEET C20 FOR DETAIL.

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE  
EXISTING ADJOINING PROPERTY LINE  
EXISTING UTILITY EASEMENT  
EXISTING CURB AND GUTTER  
EXISTING EDGE OF PAVEMENT  
PROPOSED CURB  
PROPOSED BUILDING  
PROPOSED SIDEWALK  
PROPOSED CONCRETE  
PROPOSED HEAVY DUTY ASPHALT  
PROPOSED MEDIUM DUTY ASPHALT  
PROPOSED WATER STRUCTURES  
PROPOSED SANITARY STRUCTURES  
PROPOSED SITE LIGHTING FIXTURES  
EXISTING SANITARY STRUCTURES  
EXISTING WATER STRUCTURE  
EXISTING ELECTRIC STRUCTURE  
EXISTING COMMUNICATIONS STRUCTURE  
PROPOSED PARKING COUNT

SITE NOTES:

1. REFER TO SHEET C2 FOR GENERAL NOTES.  
2. REFER TO SHEET C6 FOR DEMOLITION PLAN.  
3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.  
4. REFER TO SHEET C10 FOR UTILITY PLAN.  
5. REFER TO LANDSCAPE PLAN.  
6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.  
7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.  
8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.  
9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.  
10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021

CORE STATES GROUP  
6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE



Know what's below. Call before you dig.  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS, RECORDS OF THE FIELD, AND/OR OTHER AVAILABLE INFORMATION. MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION TO AVOID DAMAGE TO EXISTING UTILITIES.

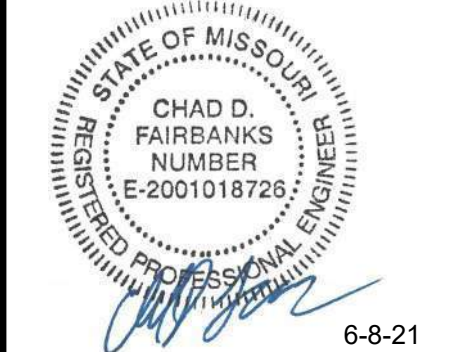
REVISIONS

REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL



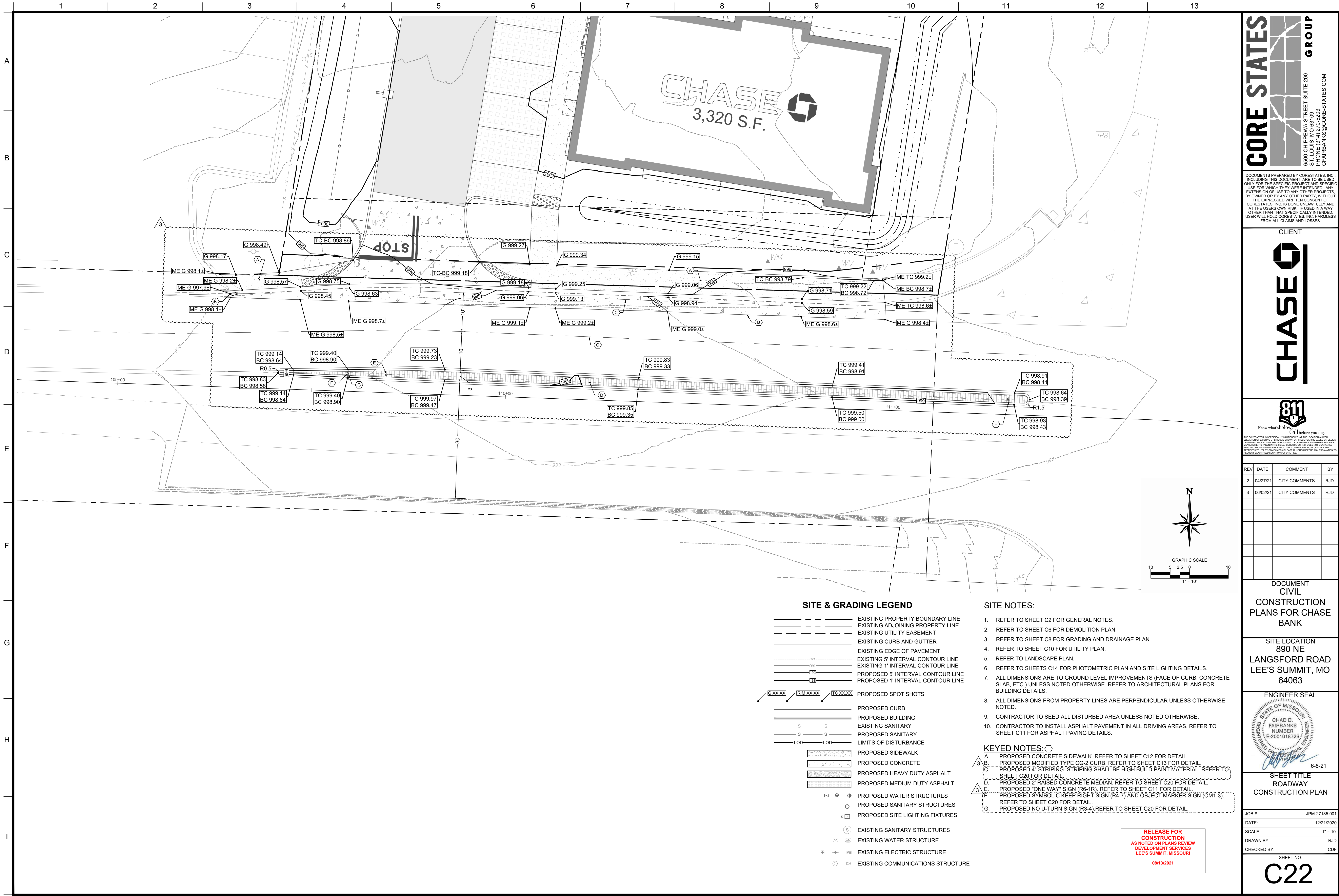
SHEET TITLE  
OVERALL ROADWAY PLAN

JOB #: JPM-27135.001  
DATE: 12/21/2020  
SCALE: 1" = 50'  
DRAWN BY: RJD  
CHECKED BY: CDF

SHEET NO.

C21





SITE & GRADING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED SPOT SHOTS
- PROPOSED CURB
- PROPOSED BUILDING
- EXISTING SANITARY
- PROPOSED SANITARY
- LIMITS OF DISTURBANCE
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED MEDIUM DUTY ASPHALT
- PROPOSED WATER STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- EXISTING COMMUNICATIONS STRUCTURE

SITE NOTES:

- REFER TO SHEET C2 FOR GENERAL NOTES.
- REFER TO SHEET C6 FOR DEMOLITION PLAN.
- REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- REFER TO SHEET C10 FOR UTILITY PLAN.
- REFER TO LANDSCAPE PLAN.
- REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.
- ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

KEYED NOTES:

- A. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C12 FOR DETAIL.
- B. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- C. PROPOSED 4" STRIPING. STRIPING SHALL BE HIGH BUILD PAINT MATERIAL. REFER TO SHEET C20 FOR DETAIL.
- D. PROPOSED 2' RAISED CONCRETE MEDIAN. REFER TO SHEET C20 FOR DETAIL.
- E. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- F. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- G. PROPOSED NO U-TURN SIGN (R3-4). REFER TO SHEET C20 FOR DETAIL.

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

891

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS, FIELD SURVEY, AND/OR OTHER AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.

REV	DATE	COMMENT	BY
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD

DOCUMENT

CIVIL

CONSTRUCTION

PLANS FOR CHASE BANK

SITE LOCATION

890 NE

LANGSFORD ROAD

LEE'S SUMMIT, MO

64063

ENGINEER SEAL

STATE OF MISSOURI

CHAD D. FAIRBANKS

REGISTERED PROFESSIONAL ENGINEER

NUMBER E-2001018726

6-8-21

SHEET TITLE

ROADWAY

CONSTRUCTION PLAN

JOB #:

JPM-27135.001

DATE:

12/21/2020

SCALE:

1" = 10'

DRAWN BY:

RJD

CHECKED BY:

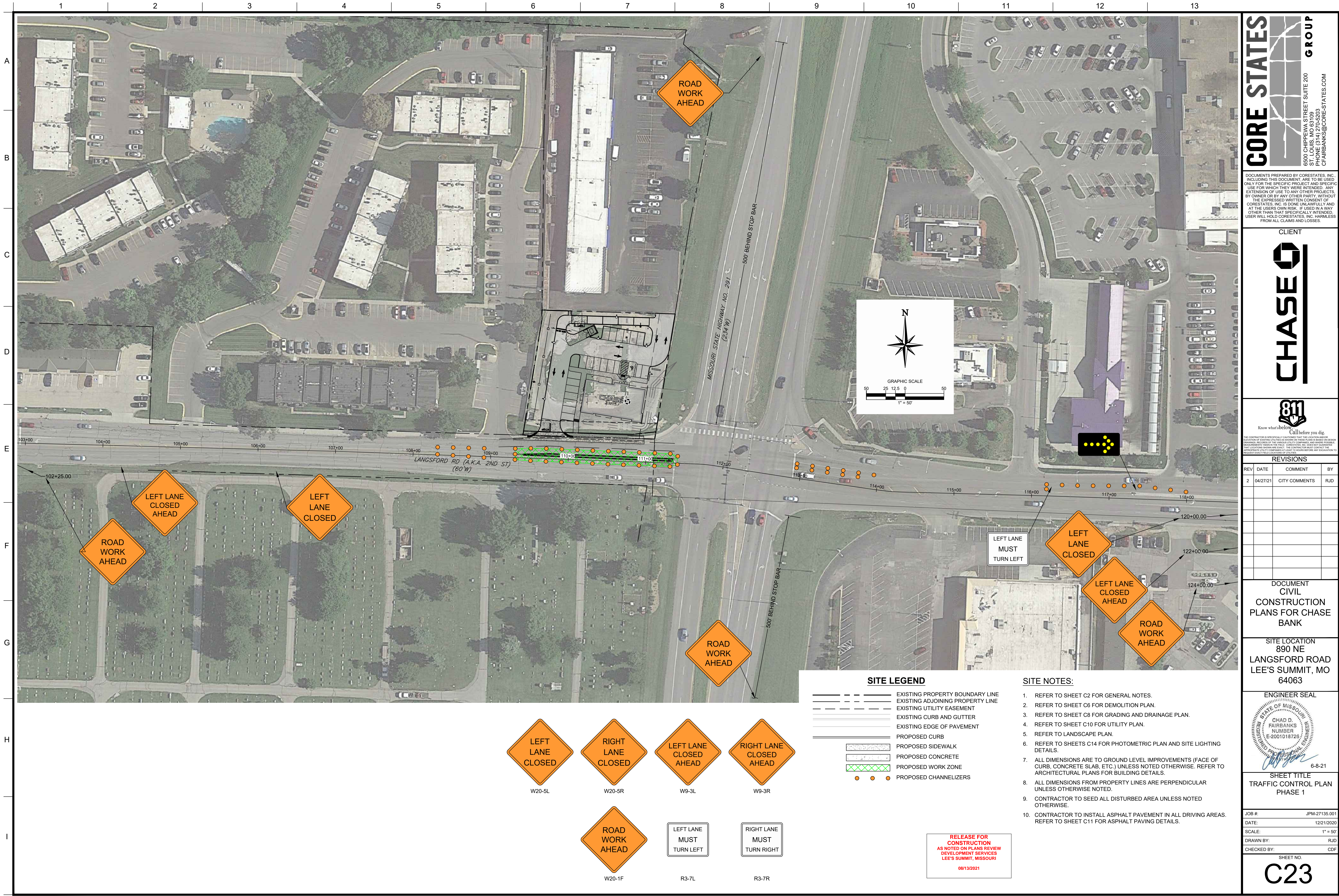
CFD

SHEET NO.

C22

User: CFAIRBANKS Plot Date/Time: Jun. 07. 21 - 12:04:52 Drawing: C:\Users\cfairbanks\appdata\local\temp\ArPub\3346\JPM-27135-001\P-SITE-ROAD.dwg C22 ROADWAY CONSTRUCTION PLAN





CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

831

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS. RECORDS OF UTILITIES MAY BE INCOMPLETE OR INCORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION TO THE REQUIRED DEPTHS TO AVOID DAMAGE TO UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY
2	04/27/21	CITY COMMENTS	RJD

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL

STATE OF MISSOURI  
CHAD D. FAIRBANKS  
NUMBER  
E-2001018726  
REGISTERED PROFESSIONAL ENGINEER

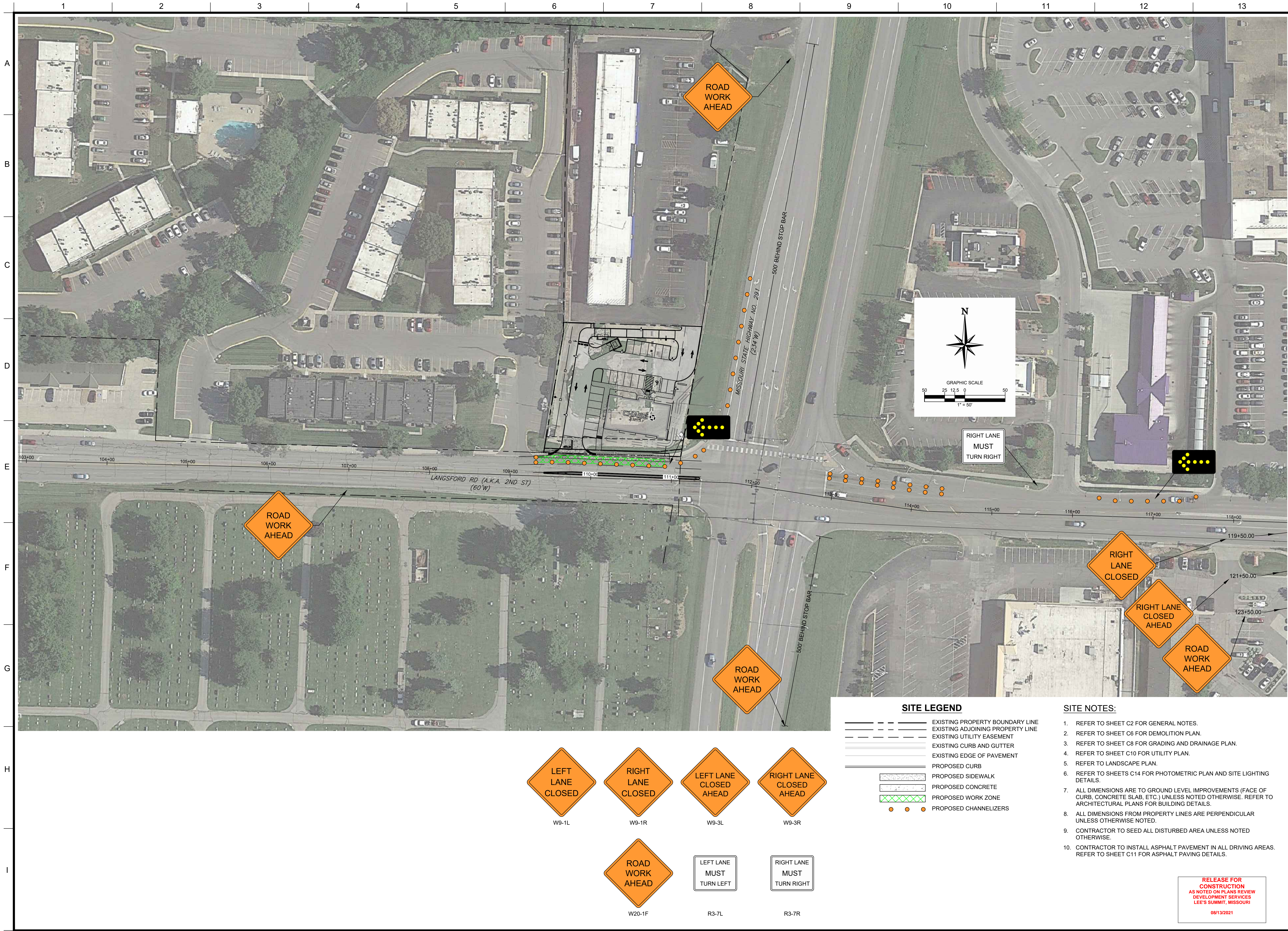
6-8-21

SHEET TITLE  
TRAFFIC CONTROL PLAN  
PHASE 1

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 50'
DRAWN BY:	RJD
CHECKED BY:	CDP

SHEET NO.  
C23





CORE STATES

GROUP

6500 CHIPPEWA STREET SUITE 200  
ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS. RECORDS OF UTILITIES ARE NOT ALWAYS ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION TO AVOID DAMAGE TO UTILITIES AND TO THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND TO THE PUBLIC.

REVISIONS			
REV	DATE	COMMENT	BY
2	04/27/21	CITY COMMENTS	RJD

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL

STATE OF MISSOURI  
CHAD D. FAIRBANKS  
REGISTERED PROFESSIONAL ENGINEER  
NUMBER  
E-2001018726  
6-8-21

SHEET TITLE  
TRAFFIC CONTROL PLAN  
PHASE 2

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 50'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.  
C24

RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021



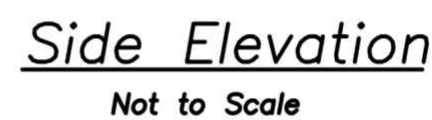
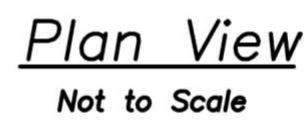


N.T.S

SHEET NO.

**C25**



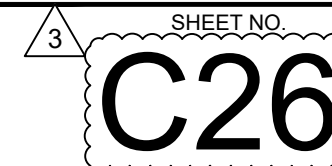


CONSTRUCTION ENTRANCE

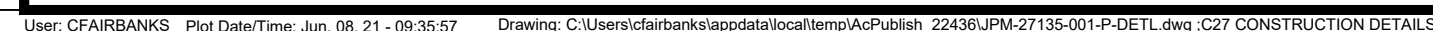
**RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI**

**08/13/2021**

**ADOPTED:**  
10/24/2016











## LOCATION MAP

### DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

### SCHEDULE B SECTION II COMMENTS:

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARKS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 99101701. (APPLIES, NOT PLOTTED. BLANKET IN NATURE.)
10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)
11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK I 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.)
12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

ZONING: CP-2 - PLANNED COMMUNITY COMMERCIAL

MIN FRONT YARD SETBACK = 15FT

MIN SIDE YARD SETBACK = 10FT

MIN REAR YARD SETBACK = 20FT

MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN 'ZONE X' AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017.

THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE.

UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

### SURVEYORS CERTIFICATE

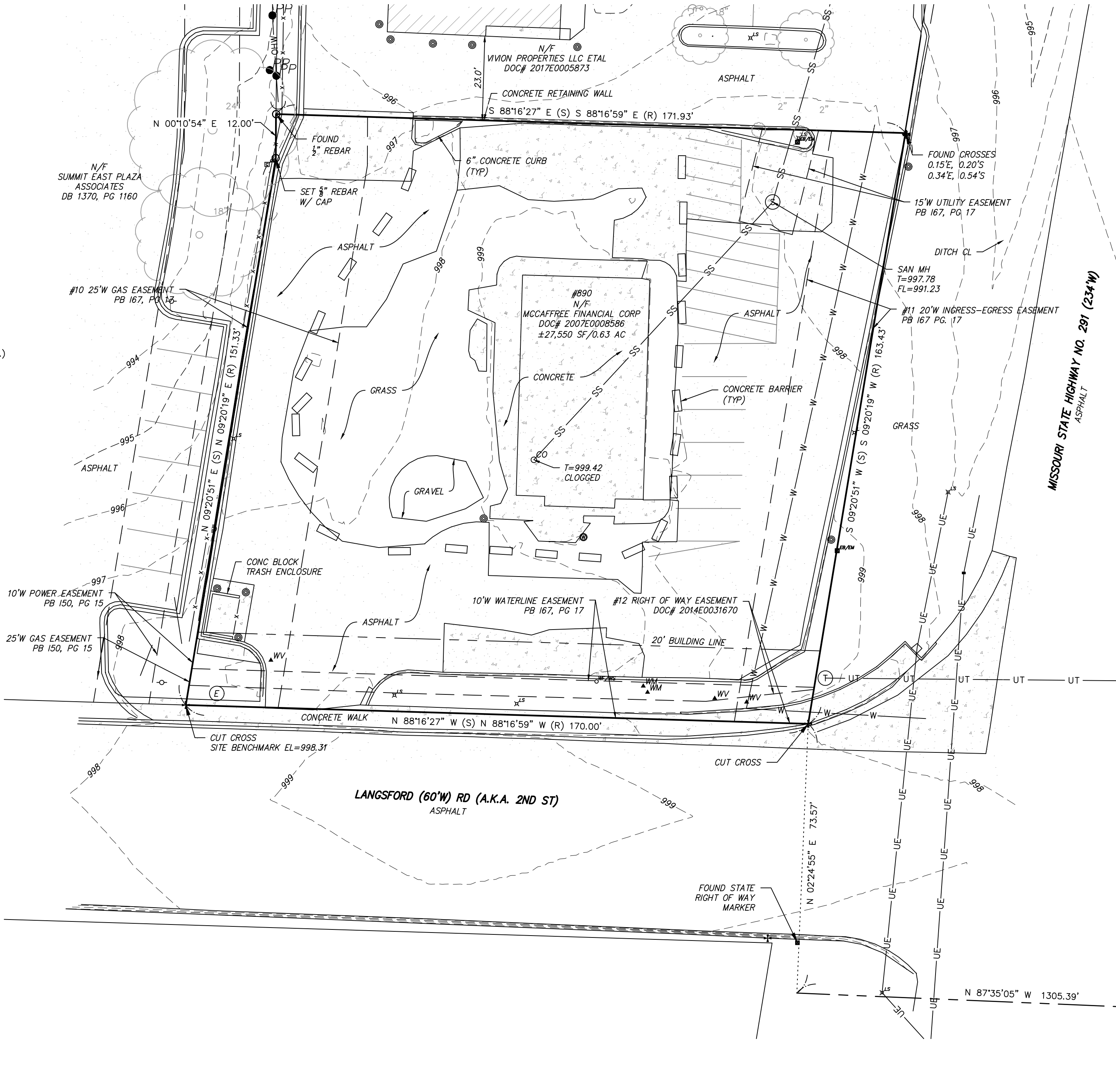
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

By *James L. Degenhardt*  
(AGENT) JAMES L. DEGENHARDT

# ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17  
JACKSON COUNTY, MISSOURI



## MONUMENT LEGEND

○	FOUND IRON PIPE
●	FOUND REBAR
○	SET REBAR
●	BENCHMARK
+	STONE
+	CONCRETE MONUMENT
+	RIGHT OF WAY MARKER
+	CROSS
+	ANCHOR CROSS
+	CUT CROSS
+	COTTON PICKER SPINDLE
+	RAILROAD SPIKE
+	POST
+	DISC
+	HUB
+	NAIL WITH NOTE TYPE
+	AXLE

## ABBREVIATIONS

AC	ACRES
ASPH	ASPHALT
BLDG	BUILDING
BM	BENCH MARK
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DB	DEED BOOK
E	EAST
EL	ELEVATION
FF	FINISHED FLOOR
FL	FLOW LINE
LF	LINEAR FEET
MH	MANHOLE
N	NORTH
NE	NORTHEAST
NTS	NOT TO SCALE
PB	PLAT BOOK
PG	PAGE
P.O.C.	POINT OF COMMENCEMENT
P.O.B	POINT OF BEGINNING
P.O.T.	POINT OF TERMINUS
PWT	PAVEMENT
R	RADIUS
R	RECORD
R/W	RIGHT OF WAY
S	SOUTH
SS	SQUARE FEET
ST	STORM
SUR	SURVEY
W	WEST
W/	DENOTES WITH

## LEGEND

—●—	PP	POWER POLE W/GUY WIRE
—●—	PP	POWER POLE
—○—	ST	STREET SIGN
—▲—	GV	GAS VALVE
—▲—	GM	GAS METER
—▲—	WV	WATER VALVE
—▲—	WM	WATER METER
—○—	OW/WS	WATER FAUCET OR SPRINKLER
—○—	CO	CLEAN OUT
—○—	ER	ELECTRIC RISER
—○—	YD	YARD DRAIN
—○—	EB/EM	ELECTRIC BOX OR METER
—○—	MB	MAIL BOX
—○—	TB/CB	TELEPHONE OR CABLE BOX
—○—	LS	LIGHT STANDARD
—○—	FH	FIRE HYDRANT
—○—	TS	TRAFFIC SIGNAL
—○—	YL	YARD LIGHT
—○—	CM	COIN METER
—○—	CM	TEST HOLE
—○—	FP	FLAGPOLE
—○—	BOLLARD	BOLLARD
—○—	OHW	OVERHEAD UTILITY LINE
—○—	UE	UNDERGROUND ELECTRIC
—○—	SS	SANITARY SEWER
—○—	W	WATER LINE
—○—	ST	STORM SEWER
—○—	X	FENCE
—○—	UT	UNDERGROUND TELEPHONE
—○—	FO	FIBER OPTIC
—○—	TL	TREE LINE
—○—	TS	SEPTIC TANK
—○—	TS	TREE W/SIZE
—○—	SGI	STORM GRATE INLET
—○—	SI	STORM INLET
—○—	ET	ELECTRIC TRANSFORMER
—○—	SM	SANITARY MANHOLE
—○—	UM	UTILITY MANHOLE
—○—	B	BUSH W/ DIAMETER
—○—	EPB	ELEC. PULL BOX



Missouri One Call System, Inc.  
Call Before You Dig!  
1-800-DIG-RITE  
(1-800-344-7483)

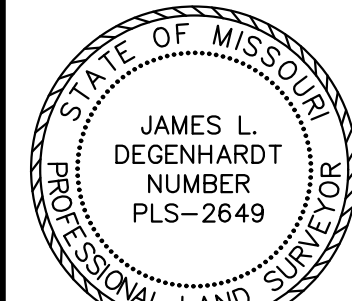
RELEASE FOR  
CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities.  
The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL, 1-800-DIG-RITE.



Gateway Land Services, Inc.  
9378 Olive Blvd.  
St. Louis, MO 63132  
Office: 314.881.9556  
www.glsllc.com  
Land Surveying Services No:  
LS-2009014482



James L. Degenhardt, P.L.S.  
License No: PL-9-2649

### PROJECT REVISION:

NO.	DATE	DESCRIPTION
1	3/3/21	ADD REC BEARINGS

880 LANGSFORD RD  
LEE'S SUMMIT, MO  
64063

## ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1  
PB 167, PG 17

DATE: 07/17/19  
BOOK NO.: 31/30  
DRAFTED BY: LSC  
APPROVED BY: JLD

19-0118 LEE'S SUMMIT.DWG

SHEET TITLE:

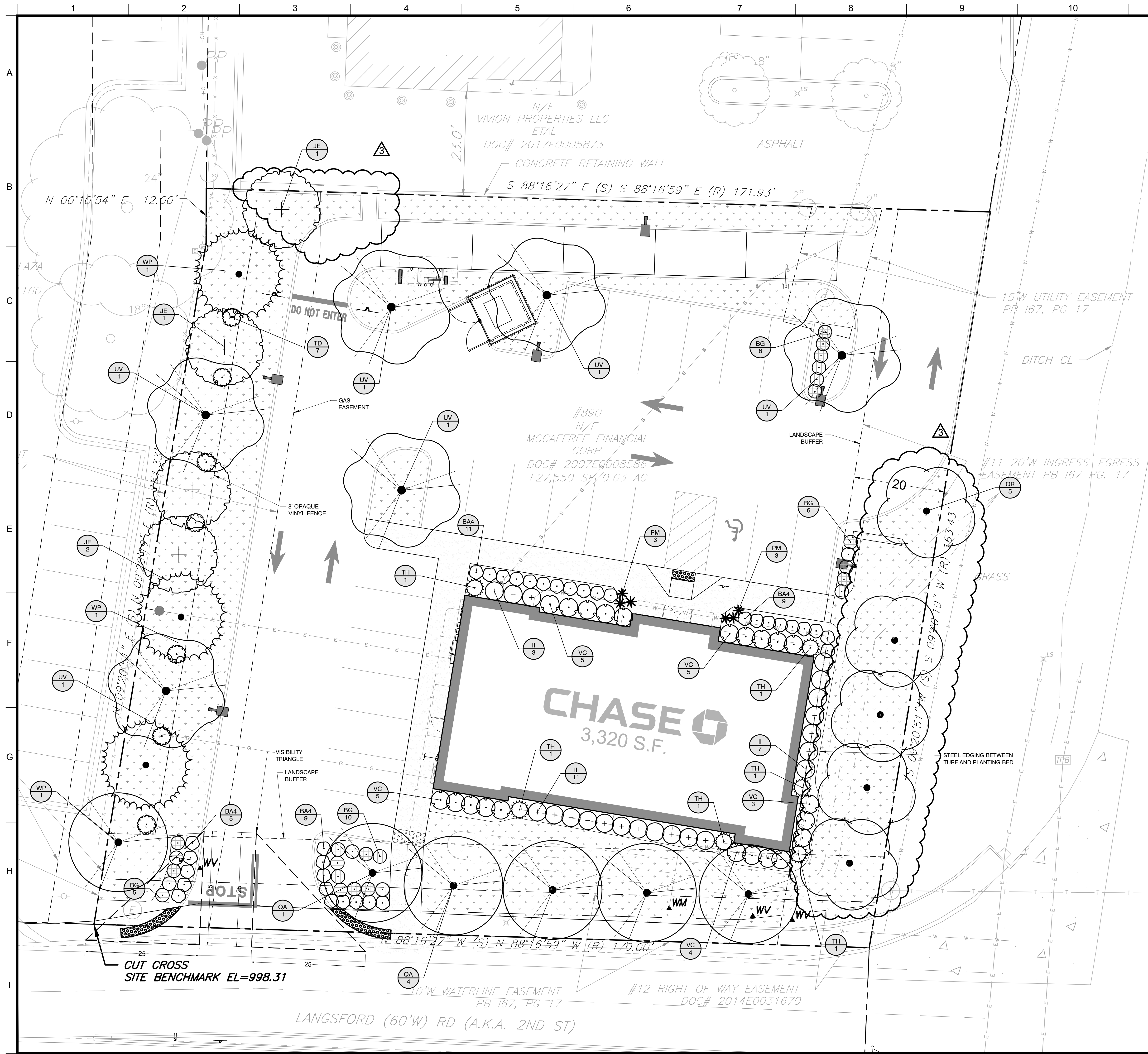
ALTA

SHEET NUMBER

SUV-1

SHEET NO: 1 OF 1  
PROJECT NO: 19-0118





### LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	.64 ac (27,550 SF)
LANDSCAPE STRIP	
20' STRIP REQUIRED AT STREET FRONTAGE	20' LANDSCAPE STRIP PROVIDED
1 TREE PER 30' OF STREET FRONTAGE	
MO STATE HWY 291 = 163 LF/30 = 5 TREES	5 TREES PROVIDED
LANGSFORD RD = 170 LF/30 = 6 TREES	6 TREES PROVIDED
2 SHRUBS PER 20' OF STREET FRONTAGE	
MO STATE HWY 291 = 163 LF/20 x 2 = 16 SHRUBS	20 SHRUBS PROVIDED
LANGSFORD RD = 170 LF/20 x 2 = 17 SHRUBS	30 SHRUBS PROVIDED
PARKING AREA	
5% PARKING SHALL BE LANDSCAPE	
TOTAL PARKING AREA = 11,101 x .05 = 555 SF REQUIRED	1544 SF PROVIDED
1 TREE PER REQUIRED ISLAND (4)	4 TREES PROVIDED
PARKING LOT SCREENING	
12' 18" EVERGREEN SHRUBS PER 40 LF	
48 LF / 40 = 1.2 x 12 = 15 SHRUBS	15 SHRUBS PROVIDED
BUFFERING	
REAR:	N/A
SIDE:	MEDIUM BUFFER REQUIRED (1,445 SF)
SCREEN C =	
8' OPAQUE VINYL FENCE	
1 SHADE TREE PER 750 SF = 2 TREES	2 TREE PROVIDED
1 EVERGREEN TREE PER 200 SF = 7 TREES	7 EVERGREEN TREES PROVIDED
1 SHRUB PER 200 SF = 7 SHRUBS	7 SHRUBS PROVIDED
OPEN YARD REQUIREMENTS	
1 TREE PER 5,000	
27,550 / 5,000 = 5 TREES REQUIRED	5 TREES PROVIDED
2 SHRUB PER 5,000	
27,550 / 5,000 = 11 SHRUBS REQUIRED	11 SHRUBS PROVIDED

### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING VIA PROPER CHANNEL(S).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

NOTE: SEE PLANT SCHEDULE ON SHEET LP-2

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

REVISIONS			
REV	DATE	COMMENT	BY
3	06/02/21	CITY COMMENTS	JWG

**DOCUMENT**  
**CIVIL**  
**CONSTRUCTION**  
**PLANS FOR**  
**CHASE BANK**

**SITE LOCATION**  
**LANGSFORD RD**  
**LEE'S SUMMIT, MO**  
**64063**

**ENGINEER SEAL**  
JAMES W. GIBSON  
Professional Engineer  
No. 1599138133  
Missouri  
DATE: 6/2/21

**SHEET TITLE**  
**LANDSCAPE**  
**PLANTING**

**JOB #:** JPM-28815  
**DATE:** 07/20/2020  
**SCALE:**  
**DRAWN BY:** JWG  
**CHECKED BY:** RM

**SHEET NO.**  
**LP-1**

**RELEASE FOR**  
**CONSTRUCTION**  
AS NOTED ON PLANS NEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
08/13/2021

**EVERGREEN**  
DESIGN GROUP  
(800) 680-6630  
15305 Dallas Pkwy., Ste 300  
Addicks, TX 75001  
www.EvergreenDesignGroup.com



