	1	2 3	4 5 6 7 8 9
A	DESIGN AND DEV OWNER / DEVELOPER:	<b>/ELOPMENT CONTACTS:</b> JP MORGAN CHASE 1111 POLARIS PARKWAY COLUMBUS, OH 43240 CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15	<b>COMMERCIAL FINA</b>
	CIVIL ENGINEER:	CHICAGO, IL 60603 312-732-7980 CORE STATES GROUP 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.	DEVELOPMENT PLA
в	ARCHITECT:	TEL: 314-270-5203 CORE STATES GROUP 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: R. BRUCE LASURS, A.I.A. TEL: 314-730-0772	FOR
	LANDSCAPE ARCHITECT:	EVERGREEN DESIGN GROUP 1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER TEL: 800-680-6630 EXT 5	
	SURVEYOR:	SWT DESIGN, INC. 772 BIG BEND BOULEVARD ST. LOUIS, MO 63119 CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700	
С	<b>GOVERNING AGE</b> PLANNING AND ZONING:	ENCIES CONTACTS: LEE'S SUMMIT DEVELOPMENT SERVICES 220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1238	CHASE BANK
	BUILDING DEPARTMENT:		HIGHWAY 291 & NE LANGSFOF
D	FIRE DEPARTMENT:	LEE'S SUMMIT FIRE DEPARTMENT 9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407	890 NE LANGSFORD ROAD
	TRANSPORTATION DEPARTMENT:	MISSOURI DEPARTMENT OF TRANSPORTATION 600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON TEL: 816-607-2107	LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI
	TRANSPORTATION DEPARTMENT:	LEE'S SUMMIT PUBLIC WORKS DEPARTMENT 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800	
E	WATER/WASTEWATER:	LEE'S SUMMIT WATER UTILITIES 1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 TEL: 816-969-1900	E Chipman Rd
_	STORMWATER	STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT) 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800	SITE
F	UTILITY CONTAC ELECTRIC COMPANY:	TS: EVERGY P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200	Sh Dolland St 291
	GAS COMPANY:	SPIRE ENERGY 3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200	SW Jefferson (291
	TELEPHONE / INTERNET	CHARTER / SPECTRUM 188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389	VICINITY MAP SCALE: 1" = 2,000'
G	SOLID WASTE:	WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702	SHEET INDEXSHEET NUMBERDESCRIPTIONREV 1REV 2REV 3REV 4REV 5C1COVER SHEETΔΔΔΔΔΔC2GENERAL NOTESΔΔ
_			C3EROSION AND SEDIMENTATION CONTROL PLAN PHASE IΔΔΔΔC4EROSION AND SEDIMENTATION CONTROL PLAN PHASE IIΔΔΔΔC5EROSION AND SEDIMENTATION CONTROL DETAILSΔΔΔΔC6DEMOLITION PLANΔΔΔΔC7SITE PLANΔΔΔΔ
н			CRCRCRCRCRC8GRADING AND DRAINAGE PLANAAAC8ADETAILED GRADING AND DRAINAGE PLANAAAC9DRAINAGE BASIN MAPSIIII
		IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988	C10UTILITY PLANΔΔΔC11-C13CONSTRUCTION DETAILSΔΔΔC14PHOTOMETRIC PLANΔΔΔ
_	(N.A.V.D. 88) BASED ON MC NAVD 88 - 0.302' = NGVD 29 <u>FLOOD NOTE:</u>	DDOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, ).	C15-C19PHOTOMETRIC DETAILSΔC20CONSTRUCTION DETAILSΔΔΔC21ROADWAY PLANΔΔΔΔC22ROADWAY CONSTRUCTION PLANΔΔΔΔ

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

# **ALERT TO CONTRACTOR:**

- 1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

# **CHASE BANK** HWAY 291 & NE LANGSFORD



	SHEET INDEX					
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5
C1	COVER SHEET	Δ	Δ	Δ	Δ	Δ
C2	GENERAL NOTES			Δ		
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ		
C6	DEMOLITION PLAN	Δ				
C7	SITE PLAN	Δ	Δ	Δ		
C8	GRADING AND DRAINAGE PLAN	Δ		Δ		
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ
C9	DRAINAGE BASIN MAPS					
C10	UTILITY PLAN	Δ	Δ		Δ	
C11-C13	CONSTRUCTION DETAILS	Δ			Δ	
C14	PHOTOMETRIC PLAN			Δ		
C15-C19	PHOTOMETRIC DETAILS	Δ				
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ		
C21	ROADWAY PLAN	Δ	Δ	Δ		
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ		
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ			
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ			
C25-C27	CONSTRUCTION DETAILS			Δ		Δ
	REFERENCE SHEETS					
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3		
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ			
LP-1	PLANTING PLAN	Δ				
LP-2	PLANTING DETAILS, SPECS					



# LEGAL DESCRIPTION:

# CITY OF LEE'S SUMMIT NOTES:

CONSTRUCTION MANUAL.

# **OIL AND GAS WELLS NOTE:**

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.

**PROJECT VICINITY** 

**PRCOM2021224** 



OIL/GAS WELL MAP SCALE: 1" = 1,000'

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

1. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND

2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

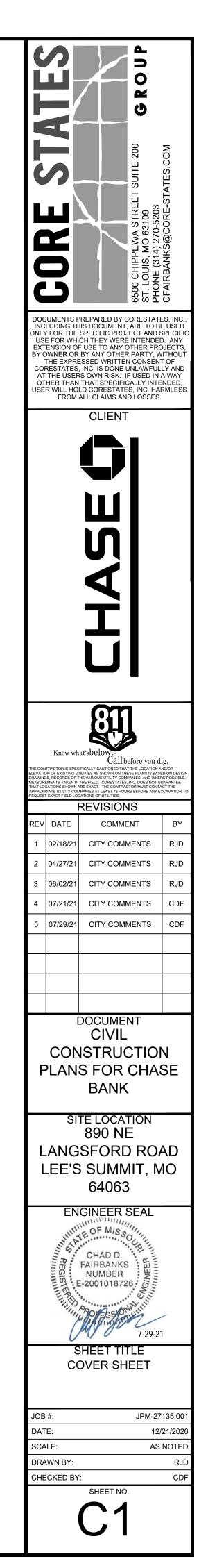
**RELEASE FOR** 

CONSTRUCTION AS NOTED ON PLANS REVIEW

DEVELOPMENT SERVICES

LEE'S SUMMIT, MISSOURI

08/13/2021



<u>G</u> 1. 2.	ENERAL DEMOLITION NOTES: THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES,	TURNOVER TO THE OWNER. THE COM	HE ENTIRE CONSTRUCTION AREA PRIOR TO	SLOPES 3H-1V O	R STEEPER. CONTRACTOR SHA				
A 2.			NTRACTOR IS RESPONSIBLE FOR PROVIDING RETE, STUCCO, ETC. THESE SHOULD BE ON ON THE PLANS AND ESTABLISHED AT THE		VITH GOVERNING SPECIFICATIO	NS UNTIL A HEALTHY STAND OF	11. UNDERGROUND UTI BEFORE BACKFILLIN		
2.	DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE	PRE-CONSTRUCTION MEETING.		CONSTRUCTED	TO SAME.	ICABLE GOVERNING CODES AND BE	12. ALL CONCRETE FOR STRENGTH AT 4000		IALL HAVE A MINIMUM
	REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND	DURING CONSTRUCTION SHALL BE SA 13. THE GENERAL CONTRACTOR SHALL F PUBLIC AND PRIVATE UTILITIES, INCLU		DEPARTMENT OF SUMMIT RIGHT-C DEPARTMENT OF	F TRANSPORTATION & DEVELOF DF-WAY SHALL BE IN ACCORDAN	NCE WITH THE STATE'S TIONS AND STANDARDS (LATEST	WATER AND SEWER	SPONSIBLE FOR CO S WITH REGARDS TO LINES.	OMPLYING TO THE SP O MATERIALS AND INS
 3.	DISPOSAL. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES	ANY UTILITY REQUIRE RELOCATION, O OWNER AND THE ARCHITECT/ENGINE	CONTRACTOR SHALL COORDINATE WITH THE ER.		D CONCRETE PIPE SHALL BE CL VITH THE APPROPRIATE APPRO		15. CONTRACTOR SHAL INSTALLATION REQU		
	PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE	REPLACE PORTIONS REMOVED TO MA	RUCT PROPOSED FACILITIES PER THIS PLAN. TCH EXISTING FLUSH AND SMOOTH.	PLANS OR SPEC 14. ALL CONCRETE	IFICATIONS. USED ON THE SITE SHALL HAVE	OTHERWISE INDICATED ON THE	<ol> <li>DRAWINGS DO NOT</li> <li>EXISTING UTILITIES NEW LINES.</li> </ol>		
B 4.	CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE	AREA OF CONSTRUCTION. FIELD VER OF FENCE WITH THE OWNER PRIOR T	NCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE FY EXACT LOCATION AND SPECIFICATIONS O START OF CONSTRUCTION. REMOVE CT AND PATCH PAVING AS REQUIRED AT	15. ALL AREAS INDI	,000 PSI IN 28 DAYS. CATED AS PAVEMENT SHALL BE FAL PAVEMENT SECTIONS AS INI	CONSTRUCTED IN ACCORDANCE DICATED ON THE DRAWINGS.	SHOWN ON THESE F	NES AND DOMESTIC PLANS. THE CONTR/	WATER AND FIRE PR ACTOR SHALL FURNIS
	CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.	<ul><li>FENCE POST HOLES.</li><li>16. ALL DIMENSIONS AND RADII ARE TO F</li><li>17. CONTRACTOR IS RESPONSIBLE FOR F</li></ul>		FOUNDATION PL LIMEROCK OR O	ANTING AREAS, ETC.) ARE NOT THER MATERIAL (CLAY, SUBGRA	ANTING AREAS (INTERIOR ISLANDS, COMPACTED AND DO NOT CONTAIN ADE MATERIAL, MARL, ETC.) WHICH AREAS. THE CONTRACTOR SHALL	LABOR NECESSARY ACCORDANCE WITH REQUIREMENTS OF	TO COMPLETE THE THE SHOWN, DESC THE CONTRACT DC	TOOLS, MEANS OF TR WORK IN FULL AND ( CRIBED AND REASONA CUMENTS AND JURIS
5.	ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY	<ol> <li>CONTRACTOR IS RESPONSIBLE FOR F</li> <li>CONTRACTOR SHALL MATCH PROPOS PAVEMENT TO EXISTING IN GRADE AN</li> </ol>	ED CURB AND GUTTER, CONCRETE, AND	ALSO EXCAVATE	E AND REMOVE ALL UNDESIRABI	LE MATERIAL FROM ALL AREAS ON CLEAN, FREE DRAINING TOPSOIL.		ENCY REQUIREMEN	HE CONTRACT DOCUN NTS ARE NOT IN AGRE
	OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL		OLLARDS FOR PROTECTION OF ALL ABOVE		S SPECIFICALLY CAUTIONED, DE OCATION, DEWATERING MAY BY	PENDING ON THE TIME OF YEAR ( REQUIRED.	19. THE CONTRACTOR SHOWN OTHERWISE		L DISTURBED VEGET
	LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.	20. CONSTRUCTION SHALL COMPLY WITH			IS REQUIRED, THE CONTRACTO /ITS. THE CONTRACTOR IS TO C	OR SHALL OBTAIN ANY APPLICABLE COORDINATE WITH THE OWNER	20. DEFLECTION OF PIP MANUFACTURER'S S		VATURE OF PIPE SHAI ECURELY CLOSE ALL (
C <sup>6.</sup>	ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY		REPAIRING THE DAMAGE DONE TO ANY DNSTRUCTION, SUCH AS, BUT NOT LIMITED STRIPING. CURB. ETC. REPAIRS SHALL BE			O SUPPLY THE CITY OF LEE'S TWO (2) BUSINESS DAYS PRIOR TO	AND FITTINGS WITH INTERIOR OF ALL PI DRY AFTER THE PIP	A WATERTIGHT PLU PES SHALL BE CLEA E HAS BEEN LOWER	UG WHEN WORK IS NO AN AND JOINT SURFAC RED INTO THE TRENC
	TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.	EQUAL TO, OR BETTER THAN, EXISTIN	-, , -	TO BE IMPERVIC ON SLOPES AND	OUS. TOPSOIL SHALL BE STOCKE ALL OTHER GREEN AND LANDS			ORM DRAIN TRENCI OMPLETELY BACKF	
7.	CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.	<ul><li>22. ALL DISTURBED AREAS ARE TO RECE MULCH AND WATER UNTIL A HEALTHY</li><li>23. EXISTING STRUCTURES WITHIN CONS</li></ul>		SPECIFICATIONS WHICH EVER IS	MORE STRINGENT.	ERNING REGULATORY AGENCY,		ENCY REQUIREMEN GOVERN.	NTS ARE NOT IN AGRE
8. 9.	CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE		SARY. ALL COST SHALL BE INCLUDED IN BASE	TRANSPORTATION SHALL CONFORM	M TO THE STATE'S DEPARTMEN	SIGN STANDARDS. CURB INLETS	TO AND APPROVED	BY THE ENGINEER	OF RECORD. NO WOR D, APPROVED, AND R
D 10.	INSTALLED. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	OTHERWISE NOTED ON PLANS) INCLU STORM DRAINAGE, SIGNS, TRAFFIC SI WORK SHALL BE IN ACCORDANCE WIT	DING BUT NOT LIMITED TO, ALL UTILITIES, GNALS & POLES, ETC. AS REQUIRED. ALL TH GOVERNING AUTHORITIES REQUIREMENTS TIONS AND SHALL BE APPROVED BY SUCH.	TRANSPORTATIO DEPARTMENT O	CTIONS SHALL CONFORM TO TH ON STANDARDS, MANHOLES SHA F TRANSPORTATION STANDARD	ALL CONFORM TO THE STATE'S OS.	WITH ALL REQUIRED	ELEE'S SUMMIT AND SHOP DRAWINGS	CONSTRUCTION, THE D THE UTILITY COMPA APPROVED BY ENGIN E. PROJECTED SCHED
	EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.	ALL COST SHALL BE INCLUDED IN BAS		BASINS TO PREC	CLUDE PONDED WATER.	O ALL INLETS WITHIN DRAINAGE	INFORMATION AS REINSPECTION OFFICE	EQUIRED. THE CITY SHOULD ALSO BE	OF LEE'S SUMMIT EN CONTACTED FIVE DAY
11.	. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.	<ul><li>IN THE CONTRACT DOCUMENTS.</li><li>26. ANY DISCREPANCIES ON THE DRAWIN THE ATTENTION OF THE OWNER AND</li></ul>		OF TRANSPORT	ATION STANDARDS. OR SHALL TAKE ALL MEASURES INCLUDING BUT NOT LIMITED 1	NECESSARY TO CONTROL	PREFORMED PRIOR INSPECTION OFFICE SUBJECT TO REMO	TO NOTIFYING THE OR WITHOUT A DE	ECITY OF LEE'S SUMM PARTMENT INSPECTO IENT AT THE SOLE EX
12.	THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY OF LEE'S SUMMIT UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY	TO BE MADE WITHOUT PRIOR APPROV	GES OR DEVIATIONS FROM THE DESIGN ARE /AL. ABANDONED PRIOR TO THE COMPLETION OF	FENCE AT ALL LO SUSPENDED SO	OCATIONS WHERE THE POSSIBILIDS INTO THE RECEIVING WATE	LITY OF TRANSFERRING	CONTRACTOR. 24. THE CONTRACTOR S GRAVITY SEWERS A		N INFILTRATION/EXFIL
Е	AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF LEE'S SUMMIT DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER	FILL WILL BE REMOVED FROM THE SIT	ND STOCKPILED VEGETATIVE DEBRIS AND TE AND THE SITE WILL BE STABILIZED PER THE GE FROM LARGE AND SMALL CONSTRUCTION	AREAS ARE STA SEDIMENT BARR	UNTIL CONSTRUCTION IS COMF BILIZED. THEREAFTER, THE COM RIERS AT NO TIME SHALL THERE S THE WATER QUALITY STANDA	NTRACTOR MUST REMOVE THE	TESTS ARE TO BE C THE CITY OF LEE'S S	ERTIFIED BY THE EI SUMMIT FOR APPRO	E'S SUMMIT UTILITY R NGINEER OF RECORD )VAL. THE SCHEDULIN THE CONTRACTOR'S I
	MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.	<ol> <li>THESE PLANS ARE INTENDED TO AND DISABILITIES ACT.</li> </ol>	SHALL COMPLY WITH AMERICANS WITH	PERMIT.			,	IS, SANITARY SEWE	R, AND STORM MAINS
13.	. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.		D GRUBBING WILL BE DISPOSED OF OFF-SITE.	GENERAL UTI					R MAINS AND OTHER UIRED IN THE PLANS,
	GENERAL SITE NOTES	SET DOWN IN THE CITY OF LEE'S SUM RELATED ORDINANCES, AND MINIMUM	ST CONFORM TO THE MINIMUM STANDARDS MIT DEVELOPMENT CODE, ZONING, AND/OR I TESTING FREQUENCY REQUIREMENTS.	SERVICES WITH 2. ALL ELECTRIC, T		3. DNS (INCLUDING SERVICE LINES)		DER WATER MAINS	ER LATERALS, AND ST AND/OR WATER SERV MAINS, SEWER LATEF
1. F	ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY OF LEE'S SUMMIT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.	31. CONTRACTOR IS RESPONSIBLE FOR F MAINTENANCE OF ALL MAINTENANCE CONSTRUCTION. MAINTENANCE OF TH LEE'S SUMMIT STANDARDS.	,	SPECIFICATIONS THE DESIGNATE	TRUCTED TO THE APPROPRIATE 3. ALL UTILITY DISCONNECTION D UTILITY COMPANIES. SHALL NOT START ON ANY PUE	S SHALL BE COORDINATED WITH	VERTICAL DISTANCE AND THE TOP OF TH	E OF 18 INCHES BET IE LOWER PIPE.	ALL BE LAID TO PROVI
2.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP	GENERAL PAVING AND G	RADING NOTES:	WRITTEN APPRO	OVAL HAS BEEN RECEIVED BY T		WATER LINES AND S	SEWER LINES OR O	10 FEET SHOULD BE I THER SOURCES OF CO F BE LAID IN THE SAMI IORITY HAVING JURISI
	AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF	STATE'S DEPARTMENT OF TRANSPOR THE LATEST EDITIONS OF THE STATE	CTION MATERIALS AND METHODS WITHIN THE TATION RIGHT-OF-WAY SHALL CONFORM TO S DEPARTMENT OF TRANSPORTATION	SANITARY SEWE SHALL EXCAVAT	E, VERIFY AND CALCULATE ALL	E DRY UTILITIES, THE CONTRACTOR POINTS OF CONNECTION AND ALL	THE BOTTOM OF TH THE SEWER LINE AT	E WATER LINE WILL ITS HIGHEST POIN	AITY TO SEWERS MUS BE AT LEAST 18 INCH T. IF THIS DISTANCE N WER LINE MUST BE E
3.	CONSTRUCTION OF THIS PROJECT. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL			ANY CONFLICT C BE MADE A MINI	OR REQUIRED DEVIATIONS FROM MUM OF 48 HOURS PRIOR TO CO	R AND THE OWNER/DEVELOPER OF M THE PLAN. NOTIFICATION SHALL DNSTRUCTION. THE ENGINEER AND EVENT THAT THE CONTRACTOR	WATERTIGHT PIPE V FEET EITHER SIDE C BE MECHANICALLY I	WITH SEALED WATE OF THE CROSSING. RESTRAINED. THE I	RTIGHT ENDS EXTEN ANY JOINT IN THE EN ENCASEMENT PIPE M
4.	ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY		RIGHT-OF-WAY SHALL ALSO CONFORM TO THE	5. PRIOR TO CONS	SUCH NOTIFICATION. TRUCTION, THE GENERAL CONT		LINE MUST UNAVOID OF SEPARATION MU	OABLY PASS BENEA ST BE MAINTAINED	VER UNDER PRESSUR TH THE SEWER LINE, BETWEEN THE OUTS
G	THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE	2. CONTRACTOR IS RESPONSIBLE FOR D INCLUDING REMOVAL OF ANY EXISTIN	DEMOLITION OF EXISTING STRUCTURES IG UTILITIES SERVING THE STRUCTURE. TO THE RIGHT-OF-WAY, UNLESS OTHERWISE	APPLICABLE) HA PROPOSED BUIL		DPTICS, WATER AND SEWER (IF S AT THE AREA ADJACENT TO THE TOR SHALL BE RESPONSIBLE FOR	THIS MUST BE APPR 28. A MINIMUM HORIZOI	OVED IN WRITING E	( <i>)</i>
5.	OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT.	NOTED. 3. THE CONTRACTOR IS SPECIFICALLY C	·	SCHEDULE FOR		NSIBLE FOR COORDINATING THE Y COMPANIES AND THE OWNER. O OR DISRUPTED DURING THE	NATURE (GAS, ELEC WRITING BY THE AU	TRIC, ETC.) EXCEP	
_	ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.	RECORDS OF THE VARIOUS UTILITY C MEASUREMENTS TAKEN IN THE FIELD AS BEING EXACT OR COMPLETE. THE	OMPANIES, AND WHERE POSSIBLE, . THE INFORMATION IS NOT TO BE RELIED ON CONTRACTOR MUST CALL THE APPROPRIATE	ORIGINAL COND OF NEW UTILITIE	ES SHALL BE REPAIRED AND OPI	ACED OR REPAIRED TO MATCH S DISRUPTED DURING PLACEMENT ERATING NORMALLY THE SAME DAY REPLACED OR REPAIRED INCLUDE	30. ALL DIP SHALL BE C	R AND WATER MAIN LASS 50 OR HIGHEF	N IN PARALLEL INSTAL
6.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF	EXACT FIELD LOCATION OF UTILITIES.	IRS BEFORE ANY EXCAVATION TO REQUEST IT SHALL BE THE RESPONSIBILITY OF THE STING UTILITIES WHICH CONFLICT WITH THE ON THE PLANS.	BUT ARE NOT LI PAVING, WATER LIGHTING. THE (	MITED TO: EXISTING ASPHALT F LINES, IRRIGATION LINES, GRAS GENERAL CONTRACTOR SHALL	PAVING, EXISTING CONCRETE SS AREAS, LANDSCAPING, AND SITE FIELD VERIFY THE EXACT	31. TREES SHALL BE PL	ACED SO AS TO AV	
Н	WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS	<ol> <li>ALL CUT OR FILL SLOPES SHALL BE 3:</li> <li>PRECAST STRUCTURES MAY BE USED</li> </ol>	1 OR FLATTER UNLESS OTHERWISE NOTED. AT CONTRACTORS OPTION AND SHALL MEET	PLACEMENT OF SCHEDULE OUTI	LINING THE TIMELINE FOR INSTA	HE OWNER A DETAILED PHASING	WITH FINISH PAVEM	PPROXIMATE. CONT ENT GRADES.	RACTOR SHALL SET N
7.	AND SUBCONTRACTORS WITH THIS PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY	AT A MINIMUM.	ORTATION REQUIREMENTS/SPECIFICATIONS	NEW UTILITIES T REQUIREMENTS	RENCH WIDTH AND DEPTH SHA FOR THE DISPLACEMENT OF AL	LL MEET ALL LOCAL AND STATE LL UTILITIES. IF DIRECTIONAL	33. PRESSURE PIPE TES SUMMIT AND/OR FIR	E DEPARTMENT.	
_	OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.		MAIN ARE DAMAGED DURING CONSTRUCTION PONSIBILITY TO REPAIR AND/OR REPLACE SARY TO RETURN IT TO EXISTING	REQUIRED TO BI 7. IF ANY EXISTING		DAMAGED DURING CONSTRUCTION,		QUIRED BY CODES	L NECESSARY INSPE AND/OR UTILITY SER SERVICE SHALL BE C
8.	THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.	7. THE CONTRACTOR SHALL ADHERE TO	ALL TERMS & CONDITIONS AS OUTLINED IN ERAL N.P.D.E.S. PERMIT FOR STORM WATER TRUCTION ACTIVITIES	THE EXISTING S CONDITIONS OR	TRUCTURE AS NECESSARY TO F BETTER.		35. CONTRACTOR SHAL INSTALLATION REQU	L COORDINATE WIT JIREMENTS AND SP	ECIFICATIONS.
9. I	THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.		CUT EXISTING PAVEMENT AS NECESSARY	PAVEMENT, AND MANHOLES IN UI	EWER MANHOLES IN PAVED ARI SHALL HAVE TRAFFIC BEARING NPAVED AREAS SHALL BE 6" AB		36. REFER TO BUILDING	PLANS FOR SITE E	LECTRICAL PLAN.
10.	. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.		/E DRAINAGE AWAY FROM BUILDINGS FOR	TIGHT LIDS. 9. ALL FILL MATERI PROPOSED UTIL	,	IPACTED BEFORE INSTALLATION OF			
11.	. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL		BY GRADING OPERATION SHALL RECEIVE 4 HALL APPLY STABILIZATION FABRIC TO ALL			ORITIES INSPECTORS 72 HOURS			

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SPECTED AND APPROVED

MUM 28 DAY COMPRESSION

LL UTILITIES.

E SPECIFICATIONS OF THE D INSTALLATION OF THE

OMPANIES FOR

ITILITIES.

TO INSTALLATION OF ANY

R LATERALS, MANHOLES, E PROTECTION SYSTEM AS RNISH ALL NECESSARY F TRANSPORTATION AND ND COMPLETE IN SONABLY INTENDED URISDICTIONAL AGENCY OCUMENTS AND THE AGREEMENT, THE MOST

GETATION IN KIND, UNLESS

SHALL NOT EXCEED THE ALL OPEN ENDS OF PIPE IS NOT IN PROGRESS. THE RFACES WIPED CLEAN AND ENCH. VALVES SHALL BE

IDER AREAS TO RECEIVE ACTED IN ACCORDANCE ACT DOCUMENTS AND AGREEMENT, THE MOST

NCE SHALL BE SUBMITTED WORK IS TO BEGIN UNTIL ND RETURNED TO THE

THE CONTRACTOR SHALL MPANY AND SUPPLY THEM NGINEER OF RECORD, THE HEDULE AND OTHER T ENGINEERING E DAYS PRIOR TO ON PERSONAL. ANY WORK UMMIT ENGINEERING ECTOR PRESENT MAY BE E EXPENSE OF THE

XFILTRATION TEST ON ALL E MAINS (AS APPLICABLE) TY REGULATIONS. SAID ORD AND SUBMITTED TO ULING, COORDINATION R'S RESPONSIBILITY.

ING EXISTING WATER AINS AND MAINTAIN A HER UTILITIES AT ALL ANS, DETAILS, AND

ID STORM SEWERS SERVICES WHENEVER ATERALS, AND STORM ROVIDE A MINIMUM OM OF THE UPPER PIPE

BE MAINTAINED BETWEEN OF CONTAMINATION. SAME TRENCH EXCEPT ON JRISDICTION. WATER MUST BE PLACED SO THAT INCHES ABOVE THE TOP OF NCE MUST UNAVOIDABLY BE BE ENCASED IN TENDING AT LEAST TEN E ENCASEMENT PIPE IS TO PE MAY BE VENTED TO THE SURE. WHERE A WATER INE, AT LEAST 18 INCHES UTSIDE OF THE TWO PIPES EMENT. EXCEPTIONS TO

TY HAVING JURISDICTION. SHALL BE MAINTAINED FILITIES OF A NONSANITARY UST BE APPROVED IN

E MAINTAINED BETWEEN STALLATIONS.

FITTINGS SHALL BE CLASS ROSION SHALL BE USED. ITIES.

ALL MANHOLE TOP SET MANHOLE TOP LEVEL

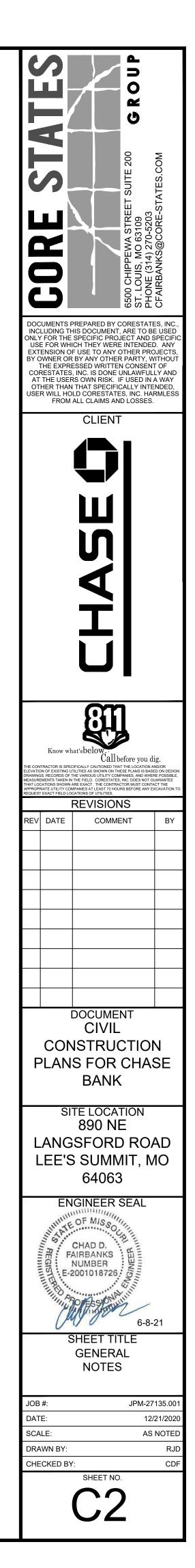
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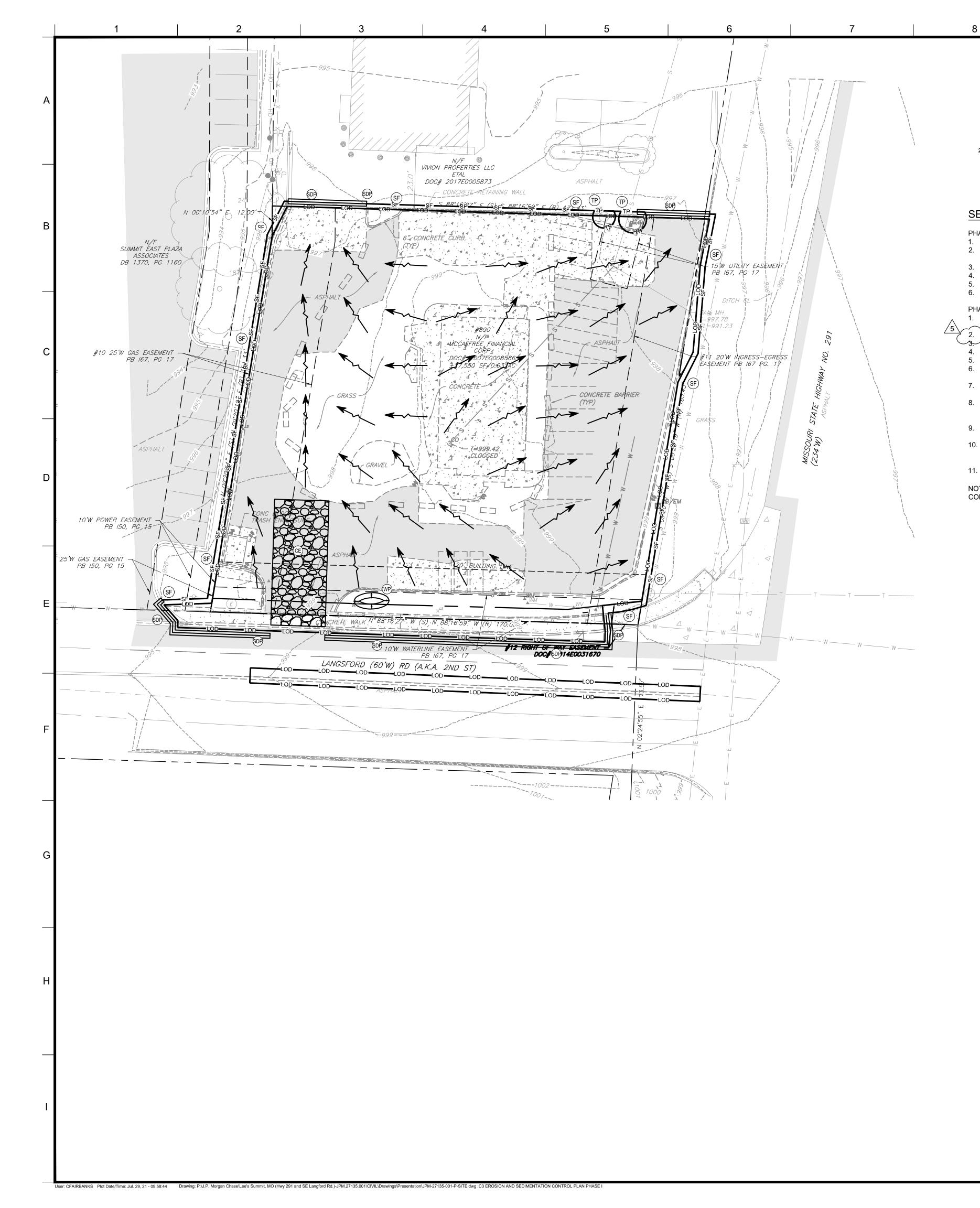
NSPECTIONS AND/OR / SERVICE COMPANIES. THIS BE COMPLETED 30 DAYS

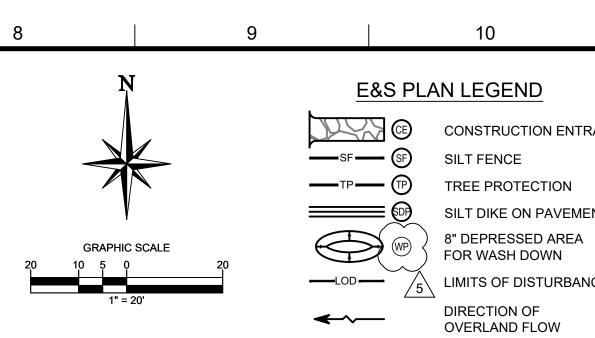
OMPANIES FOR

**RELEASE FOR** CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 08/13/2021

ACACRESADAAMERICANS WITH DISABILITY ACTARCHARCHITECTURALBCBOTTOM OF CURBBFBASEMENT FLOORBKBLOCKBLBASELINEBLDBUILDINGBOLBOLLARDBRLBUILDING RESTRICTION LINEBSLBUILDING SETBACK LINECFCUBIC FEETCLCENTERLINECMPCORRUGATED METAL PIPE	
ARCHARCHITECTURALBCBOTTOM OF CURBBFBASEMENT FLOORBKBLOCKBLBASELINEBLDBUILDINGBOLBOLLARDBRLBUILDING RESTRICTION LINEBSLBUILDING SETBACK LINECFCUBIC FEETCLCENTERLINE	
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BL       BASELINE         BLD       BUILDING         BOL       BOLLARD         BM       BENCH MARK         BRL       BUILDING RESTRICTION LINE         BSL       BUILDING SETBACK LINE         CF       CUBIC FEET         CL       CENTERLINE	
BLD       BUILDING         BOL       BOLLARD         BM       BENCH MARK         BRL       BUILDING RESTRICTION LINE         BSL       BUILDING SETBACK LINE         CF       CUBIC FEET         CL       CENTERLINE	
BM     BENCH MARK       BRL     BUILDING RESTRICTION LINE       BSL     BUILDING SETBACK LINE       CF     CUBIC FEET       CL     CENTERLINE	
BRL     BUILDING RESTRICTION LINE       BSL     BUILDING SETBACK LINE       CF     CUBIC FEET       CL     CENTERLINE	
BSL BUILDING SETBACK LINE CF CUBIC FEET CL CENTERLINE	
CF CUBIC FEET CL CENTERLINE	
CL CENTERLINE	
CMP CORRUGATED METAL PIPE	
CONN CONNECTION	
CONC CONCRETE	
CPP CORRUGATED PLASTIC PIPE CY CUBIC YARDS	
DEC DECORATIVE	
DEP DEPRESSED	
DIP DUCTILE IRON PIPE	
DOM DOMESTIC ELEC FLECTRIC	
ELEC ELECTRIC ELEV ELEVATION	
EP EDGE OF PAVEMENT	
ES EDGE OF SHOULDER	
EW END OF WALL	
EX EXISTING	
FES         FLARED END SECTION           FF         FINISH FLOOR ELEVATION	
FH     FIRE HYDRANT	
FG FINISHED GRADE	
G GRADE	
GF GARAGE FLOOR GH GRADE HIGH SIDE OF WALL	
GL GRADE LOW SIDE OF WALL	
GRT GRATE	
GV GATE VALVE	
HDPE HIGH DENSITY POLYETHYLENE PIPE	
HP HIGH POINT HOR HORIZONTAL	
HOR HORIZONTAL HW HEADWALL	
INT INTERSECTION	
INV INVERT	
LF LINEAR FOOT	
LOC LIMITS OF CLEARING	
LOD LIMITS OF DISTURBANCE	
LP LOW POINT	
LS LANDSCAPE	
MAX MAXIMUM	
ME MATCH EXIST	
MIN MINIMUM MH MANHOLE	
MJ MECHANICAL JOINT	
OC ON CENTER	
PC POINT OF CURVATURE	
PCCR POINT OF COMPOUND CURVATURE, CURB RE	TURN
PI POINT OF INTERSECTION POG POINT OF GRADE	
POINT OF INTEREST	
PROP PROPOSED	
PT POINT OF TANGENCY	
PTCR POINT OF TANGENCY, CURB RETURN PVC POLYVINYL CHLORIDE PIPE	
PVC         POLYVINYL CHLORIDE PIPE           PVI         POINT OF VERTICAL INTERSECTION	
PVT POINT OF VERTICAL TANGENCY	
R RADIUS	
RCP REINFORCED CONCRETE PIPE	
RCPR REINFORCED CONCRETE WITH RUBBER GASH	ΥΕΓ
R/W RIGHT OF WAY	
S SLOPE	
SAN SANITARY SEWER	
SF SQUARE FEET SSE SANITARY SEWER FASEMENT	
SSE SANITARY SEWER EASEMENT STA STATION	
STM STORM	
TBR TO BE REMOVED	
TBRL TO BE RELOCATED	
TC TOP OF CURB	
TP TREE PROTECTION	
TW TOP OF WALL	
TYP TYPICAL	
UG UNDERGROUND	
W/L WATER LINE W/M WATER METER	
W/M WATER METER ± PLUS OR MINUS	
° DEGREE	
Ø DIAMETER	
# NUMBER	







# SEQUENCE OF CONSTRUCTION

PHASE 1

- INSTALL STABILIZED CONSTRUCTION EXIT(S).
   INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREA NECESSARY TO INSTALL SILT FENCE).
- 3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
- BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- 5. BEGIN GRADING THE SITE.
- 6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE 2

 1.
 TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WIL

 .
 FOR 7 DAXS OR MORE.

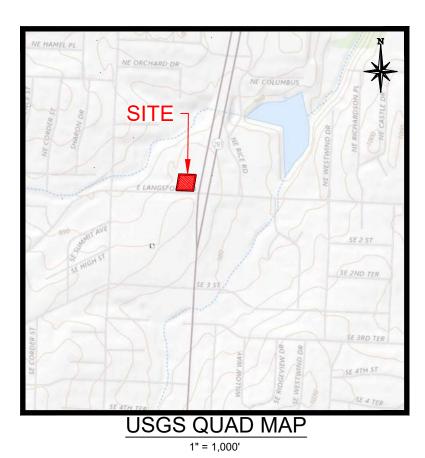
 2.
 INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS.

- 3. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO I 4. PREPARE SITE FOR PAVING.
- 5. PAVE SITE.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER AI INCLUDING OUT LOTS.
- 7. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED INSPECTION.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER AF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMO BMP.
- 9. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SI THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERM 10. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE
- CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABL JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND E RECORD.
- 11. MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

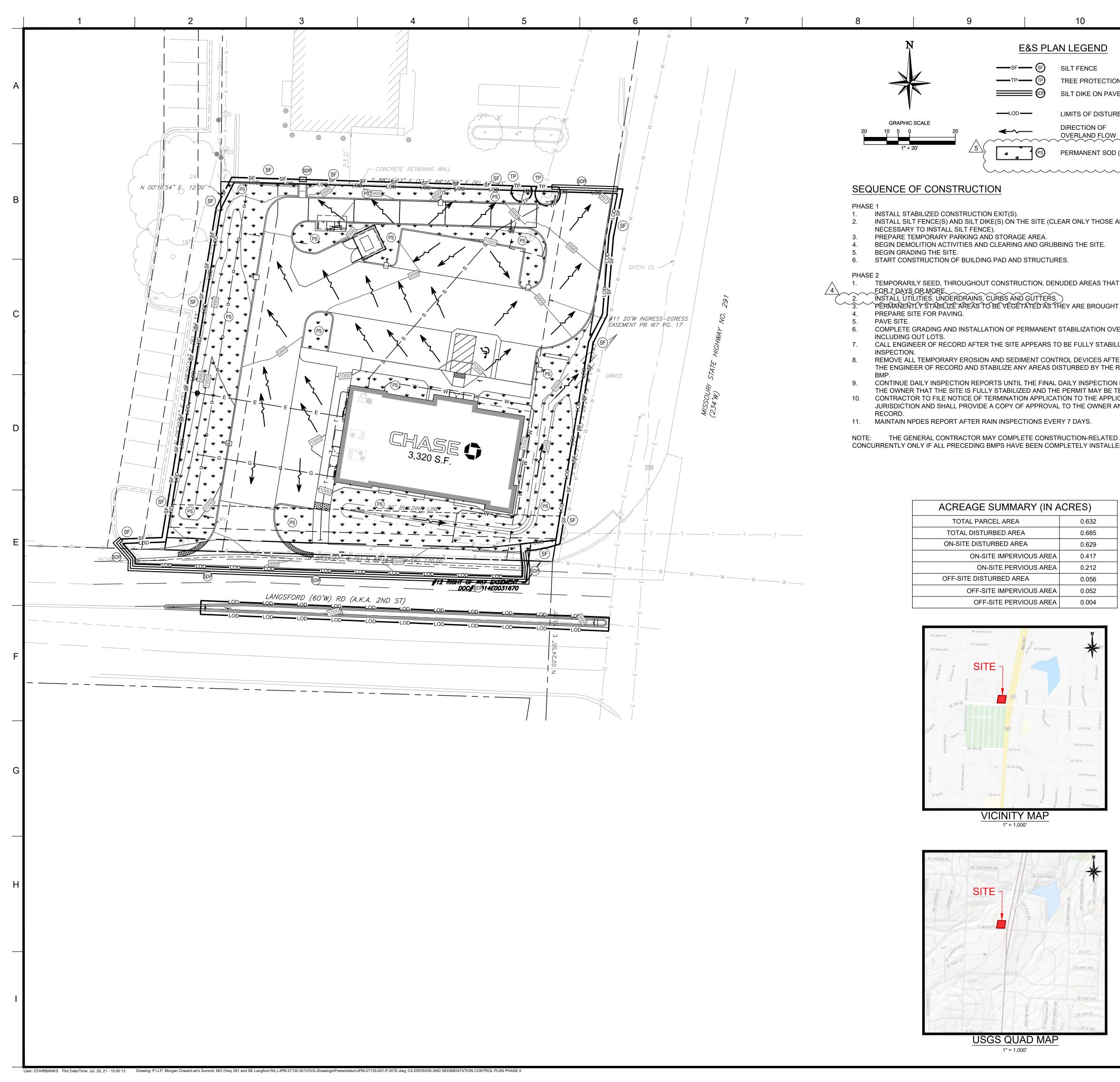
NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACT CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES)								
TOTAL PARCEL AREA	0.632							
TOTAL DISTURBED AREA	0.685							
ON-SITE DISTURBED AREA	0.629							
ON-SITE IMPERVIOUS AREA	0.417							
ON-SITE PERVIOUS AREA	0.212							
OFF-SITE DISTURBED AREA	0.056							
OFF-SITE IMPERVIOUS AREA	0.052							
OFF-SITE PERVIOUS AREA	0.004							





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	GE	ENERAL ERO	DSION NO	TES				Ċ	2	U P		
RANCE	1.		MAP"), THE ST	ANDARD D	TION PLAN IS COMI DETAILS, PLUS THE OCUMENTS.					G R O		
IENT	2.	POLLUTION PREV POLLUTION PREV DISCHARGE ELIN BECOME FAMILIA	VENTION SHAL VENTION PLAN /INATION SYST AR WITH THEIR	L OBTAIN	ORS INVOLVED WI A COPY OF THE ST STATE OR NATION RAL PERMIT (NPDE 'S. ALL EROSION A CE PRIOR TO ANY (	FORM WATER IAL POLLUTAN ES PERMIT) AI IND SEDIMEN	NT ND T			- SUITE 200	ATES.COM	
NCE	3.	GRUBBING, OR D BEST MANAGEMI FEDERAL, STATE	EMOLITION AC ENT PRACTICE , OR LOCAL RI	CTIVITIES. ES (BMP'S) EQUIREME	AND CONTROLS S NTS OR MANUAL ( EMENT ADDITIONA	HALL CONFO	RM TO AS		L Z	500 CHIPPEWA STREET SUITE 200 T. LOUIS, MO 63109 HONE (314) 270-5203	S@CORE-ST	
	4.	CONSTRUCTION	CLEARLY DELI ACTIVITY IMPA	NEATE ALL ACTING ST	STATE WATERS. ATE WATERS OR F		R ANY		<b>D</b>	6500 CHIPP ST. LOUIS, PHONE (312	CFAIRBANK	
EAS	5.	CONTRACTOR SI	HALL MINIMIZE		TE AT ALL TIMES. G TO THE MAXIMUN	M EXTENT PR	ACTICAL	INC	LUDING TH	REPARED BY CORESTAT IS DOCUMENT, ARE TO E SPECIFIC PROJECT AND	res, INC., Be used	
	6.		RACTOR SHAL	L DENOTE	ON PLAN THE TEM BE USED AS THE		KING	USE EXT BY C	E FOR WHIC ENSION OF WNER OR I THE EXPRE	CH THEY WERE INTENDE USE TO ANY OTHER PR BY ANY OTHER PARTY, 1 SSED WRITTEN CONSEN INC. IS DONE UNLAWFU	ED. ANY COJECTS, WITHOUT NT OF	
VILL BE INACTIVE		MAINTENANCE A LOCATING PORT CONTRACTOR IS CONCRETE, STU	ND CLEANING ABLE FACILITII RESPONSIBLI CCO, ETC. TH	AREA, EMI ES, OFFICE E FOR PRC ESE SHOU	PLOYEE PARKING TRAILERS, AND T VIDED DESIGNATE LD BE DESIGNATE ABLISHED AT THE	AREA, AND AI OILET FACILI ED WASH-OUT D PRIOR TO	TIES. THE IS FOR	AT OT	THE USERS HER THAN R WILL HOL	SOWN RISK. IF USED IN THAT SPECIFICALLY INT D CORESTATES, INC. HA ALL CLAIMS AND LOSSES	I A WAY ENDED, ARMLESS	
ALL AREAS	7.				VEHICLE CLEANIN				ļ			
ED FOR AN	8.		AINED ON SITE	E OR READ	G MATERIALS AND VILY AVAILABLE TO					ш		
APPROVAL OF MOVAL OF THE SIGNED OFF BY	9.	DUST ON THE SI	TE SHALL BE C EUM BASED OF	ONTROLLI	ED. THE USE OF M QUIDS FOR DUST S					ហ		
RMINATED. BLE ) ENGINEER OF	10.	DEPOSITED INTO LEAVING THE PR	SEALED CON EMISES THRO	TAINERS. I UGH THE A	OTHER SUCH MAT MATERIALS SHALL ACTION OF WIND C R WATERS OF THE	BE PREVENT	ED FROM			<b></b> ≰		
CTIVITIES	11.	INSTALLATION O	F THE EROSIO Ps). ALL STORN	N AND SEE	O BE INITIATED PR DIMENT CONTROL OLLUTION PREVEN	BEST MANAG				む		
	12.	STOPPED FOR A	T LEAST 7 DAY E SEEDED NO I	′S, SHALL E LATER THA	RE CONSTRUCTIC BE TEMPORARILY N 7 DAYS FROM T N THESE AREAS.	SEEDED. THE		_		នា		
	13.	PERMANENTLY S SHALL BE SEEDE	STOPPED SHAL ED NO LATER T RRING IN THES	L BE PERM HAN 7 DA	RE CONSTRUCTIC MANENTLY SEEDE YS AFTER THE LAS REFER TO THE GR	D. THESE ARE	AS TION	APPROPR	TRACTOR IS SPECIF N OF EXISTING UTI S, RECORDS OF TH MENTS TAKEN IN T ATIONS SHOWN AF IATE UTILITY COMF	tt'sbelow. Call before you of call sectors and the sectors and the evanous of the sectors and the the field corestates, inc. boes not when set least 72 Hours before any stons of unitations.	dig. AND/OR SED ON DESIGN ERE POSSIBLE, GUARANTEE TACT THE EXCAVATION TO	
	14.	ENTRANCES IS N THEN THE TIRES ROAD. IF WASHI	IOT SUFFICIEN MUST BE WAS NG IS USED, P ND TRAP THE S	IT TO REM SHED BEFO ROVISION SEDIMENT	OVER THE GRAVE OVE THE MAJORIT ORE THE VEHICLES S MUST BE MADE T BEFORE IT IS CAR S AS PROVIDED.	Y OF DIRT OR S ENTER A PU FO INTERCEP	MUD, BLIC T THE	1	DATE 02/18/21 04/27/21	COMMENT CITY COMMENTS CITY COMMENTS	BY RJD RJD	
	15.		,	,	SHED, OR TRACKEI NS MUST BE REMC				06/02/21	CITY COMMENTS	RJD CDF	
	16.	SEDIMENT IN TH	E DETENTION HE STORM SE	POND AND WER DRAII	VILL BE RESPONSI ANY SEDIMENT TI NAGE SYSTEMS IN	HAT MAY HAV	E					
	17.	ON-SITE & OFFSI FROM EROSION / MANAGEMENT P	TE SOIL STOC AND SEDIMEN RACTICES. STO	KPILE AND TATION TH OCKPILE A	BORROW AREAS ROUGH IMPLEMEN ND BORROW AREA D IN ACCORDANCE	NTATION OF B A LOCATIONS	EST SHALL BE					
	18.	PERMIT. SLOPES SHALL E	BE LEFT IN A R	OUGHENEI	D CONDITION DUR	ING THE GRA	DING			OCUMENT CIVIL STRUCTIO	NI	
	19.	THE CONTRACTO	ADE CHANGES OR SHALL BE F	DURING T RESPONSIE	AND EROSION. HE DEVELOPMENT BLE FOR ADJUSTIN ENCES, ETC.) TO P	IG THE EROSI	ON AND	F		5 FOR CHA BANK		
	20.	TOPSOIL AND BO	O COORDINAT	RIAL ONSIT	INER FOR STOCKF E. CONTRACTOR LE AREA AND OTH	TO PROVIDE				E LOCATION 890 NE SFORD RO	AD	
	21.		LL BE INSTALL		SILT FENCE, AROU				.EE'S	SUMMIT, N 64063	ON	
	M	AINTENANCI	E						EN	OF MISSON		
	FUI WC CO WI	NCTIONAL CONDIT ORK OR FINAL STA NTROL MEASURE TH THE CONTRAC	FION UNTIL NO BILIZATION OF S SHALL BE CH T DOCUMENTS	LONGER F THE SITE HECKED BY OR THE A	HALL BE MAINTAIN REQUIRED FOR A ( ALL EROSION ANI A QUALIFIED PEF PPLICABLE PERMI DANCE WITH THE	COMPLETED F D SEDIMENTA RSON IN ACCO IT, WHICHEVE	TION ORDANCE		F	CHAD D. AIRBANKS NUMBER 2001018726		
	1.	<ol> <li>ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.</li> <li>SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.</li> </ol>							7-29-21 SHEET TITLE			
	2.		BE REMOVED	FROM THE	R ORIGINAL CONDI SILT FENCES WHEN			С	SED	ROSION AND DIMENTATION OL PLAN PHA		
	3.	THE CONSTRUCT PREVENT TRACKI			TAINED IN A CONDI TO PUBLIC	TION WHICH V	VILL	JOB DAT SCA	E:		7135.001 2/21/2020 1" = 20'	
					RELEASE CONSTRUC AS NOTED ON PLA DEVELOPMENT LEE'S SUMMIT, I 08/13/202	CTION INS REVIEW SERVICES MISSOURI			WN BY: CKED BY:	SHEET NO.	RJD CDF	



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	G	ENERAL ER	OSION NOTE	<u>s</u>			C	?	<b>U</b>	
ON	1.	DRAWING ("SIT	TER POLLUTION PF E MAP"), THE STAN REPORTS AND REL	DARD DETAILS, F	LUS THE PERMI		F		G R O	
VEMENT	2.		ORS AND SUBCON					5	0	5
RBANCE		POLLUTION PRI DISCHARGE EL	EVENTION PLAN AN IMINATION SYSTEM	ND THE STATE OF 1 GENERAL PERM	R NATIONAL POLI 11T (NPDES PERN	LUTANT /IIT) AND	2		SUITE 200	STATES.COM
V		CONTROL MEA	IAR WITH THEIR CO SURES ARE TO BE DEMOLITION ACTIV	IN PLACE PRIOR						3 :-STATE
D (OR SEED)	3.	FEDERAL, STAT APPLICABLE. C	MENT PRACTICES ( E, OR LOCAL REQU ONTRACTOR SHAL PERMITTING AGENO	JIREMÉNTS OR N LI IMPLEMENT AL	IANUAL OF PRAC	CTICE, AS			6500 CHIPPEWA STREE ST. LOUIS, MO 63109	(314) 270-520 ANKS@CORE
	4.	CONSTRUCTIO	CLEARLY DELINE NACTIVITY IMPACT	ING STATE WAT	ERS OR REGULA			5	6500 CH ST. LOU	PHONE CFAIRB,
AREAS	5.		SHALL MINIMIZE CL ED BY THE GENERA		MAXIMUM EXTER	NT PRACTICAL	INCL ONLY	UDING TH FOR THE	REPARED BY CORESTA IIS DOCUMENT, ARE TO SPECIFIC PROJECT AN CH THEY WERE INTEND	BE USED
AT WILL BE INACTIVE	6.	AND STORAGE MAINTENANCE LOCATING POR CONTRACTOR CONCRETE, ST	FRACTOR SHALL DI AREA WHICH SHAL AND CLEANING AR TABLE FACILITIES, S RESPONSIBLE FO UCCO, ETC. THESE N ON THE PLANS A	L ALSO BE USED EA, EMPLOYEE F OFFICE TRAILER OR PROVIDED DE E SHOULD BE DE	) AS THE EQUIPM PARKING AREA, A IS, AND TOILET F ESIGNATED WAS SIGNATED PRIOF	IENT ND AREA FOR ACILITIES. THE H-OUTS FOR R TO	BY OV TI CORI AT 1 OTH	NNER OR HE EXPRE ESTATES IHE USER IER THAN WILL HO	USE TO ANY OTHER P BY ANY OTHER PARTY ESSED WRITTEN CONSE INC. IS DONE UNLAWF SOWN RISK. IF USED THAT SPECIFICALLY IN LD CORESTATES, INC. H ALL CLAIMS AND LOSSE	, WITHOUT ENT OF ULLY AND IN A WAY ITENDED, HARMLESS
IT TO FINAL GRADE.	7.		ER (CONCRETE TR ) SHALL BE DETAII						<b>O</b> I	
VER ALL AREAS	8.	SUFFICIENT OIL	- AND GREASE ABS TAINED ON SITE OI - OR CHEMICAL SP	ORBING MATERI R READILY AVAIL	ALS AND FLOTA <sup>-</sup> ABLE TO CONTA	TION BOOMS				
TER APPROVAL OF REMOVAL OF THE N IS SIGNED OFF BY	9.	DUST ON THE S	ITE SHALL BE CON EUM BASED OR TO	ITROLLED. THE U	SE OF MOTOR O				<b>N</b>	
TERMINATED. _ICABLE AND ENGINEER OF	10.	DEPOSITED INT LEAVING THE P	H, GARBAGE, LITTE O SEALED CONTAI REMISES THROUG O DRAINAGE DITC	NERS. MATERIAL H THE ACTION O	.S SHALL BE PRE F WIND OR STOP	VENTED FROM			<b>⊈</b>	
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	12.	STOPPED FOR AREAS SHALL E	RTIONS OF THE SIT AT LEAST 7 DAYS, S BE SEEDED NO LAT N ACTIVITY OCCUR	SHALL BE TEMPO ER THAN 7 DAYS	RARILY SEEDED	). THESE			<u>.</u>	
	13.	PERMANENTLY SHALL BE SEED	RTIONS OF THE SIT STOPPED SHALL E DED NO LATER THA JRRING IN THESE A AN.	BE PERMANENTL' N 7 DAYS AFTER	Y SEEDED. THES THE LAST CONS	E AREAS TRUCTION		RACTOR IS SPEC I OF EXISTING UT , RECORDS OF T IENTS TAKEN IN ITIONS SHOWN A ATE UTILITY COM	at's below. Call before you FICALLY CAUTIONED THAT THE LOCATION HEV AVRIOUS UTITY COMPANIES, AND V THE FIELD. CORESTATES, INC. DOES NO. THE FIELD. CORESTATES, INC. DOES NO. THE FIELD. CORESTATES, INC. DOES NO. THE STAT THE CONTRACTOR MUST CC IPANIES AT LEAST 72 HOURS BEFORE AN ATTONS OF UTITIES.	1 dig. DN AND/OR BASED ON DESIGN VHERE POSSIBLE, DT GUARANTEE DNTACT THE VY EXCAVATION TO
	14.	ENTRANCES IS THEN THE TIRE ROAD. IF WASH WASH WATER A	OF VEHICLES TRANNOT SUFFICIENT T S MUST BE WASHE HING IS USED, PRO AND TRAP THE SED RESS/EGRESS LOCA	O REMOVE THE D BEFORE THE VISIONS MUST B MENT BEFORE I	MAJORITY OF DII /EHICLES ENTER E MADE TO INTE T IS CARRIED OF	RT OR MUD, A PUBLIC RCEPT THE	1 (	DATE D2/18/21 D4/27/21	REVISIONS COMMENT CITY COMMENTS CITY COMMENTS	BY RJD RJD
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	17.	FROM EROSION MANAGEMENT	SITE SOIL STOCKPI I AND SEDIMENTAT PRACTICES. STOCH SITE MAP AND PEF	TION THROUGH IN KPILE AND BORR	MPLEMENTATION OW AREA LOCAT	NOF BEST FIONS SHALL BE			DOCUMENT	
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	19.	DUE TO THE GF THE CONTRAC <sup>-</sup> SEDIMENT CON	ADE CHANGES DU FOR SHALL BE RES TROL MEASURES (	IRING THE DEVEL	OPMENT OF THE	EROSION AND	Ρ	LAN	S FOR CHA BANK	ASE
	20.	TOPSOIL AND E	OFFARGE. TO COORDINATE W ORROW MATERIAL N ENTRANCE AT ST NG BUT NOT LIMITI	ONSITE. CONTR OCKPILE AREA	RACTOR TO PRO AND OTHER APPI	VIDE ROPRIATE		ANG	TE LOCATION 890 NE SFORD RC	DAD
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	M	SHOWN FOR CI					$\vdash$	EN	GINEER SEAL	
	FUI WC CO WI	NCTIONAL COND DRK OR FINAL ST NTROL MEASUR TH THE CONTRA	ATED ON THIS SITE ITION UNTIL NO LO ABILIZATION OF TH ES SHALL BE CHEC CT DOCUMENTS OF AND REPAIRED IN J	NGER REQUIREL IE SITE. ALL ERO XED BY A QUALI R THE APPLICABI	) FOR A COMPLE SION AND SEDIM FIED PERSON IN LE PERMIT, WHIC	CHEVER IS		HEGISTER	GINEER SEAL	ANNOUND 1
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	2.	SEDIMENT SHAL	IALL BE REPAIRED T L BE REMOVED FRO THE SILT FENCE.				СС	SEI	ROSION AND DIMENTATION OL PLAN PHA	
	3.		TION EXITS SHALL E KING OR FLOW OF M		;		JOB # DATE SCAL	:		27135.001 12/21/2020 1" = 20' RJD
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CONSTRUCTION AS NOTED ON PLANS REVIEW

DEVELOPMENT SERVICES

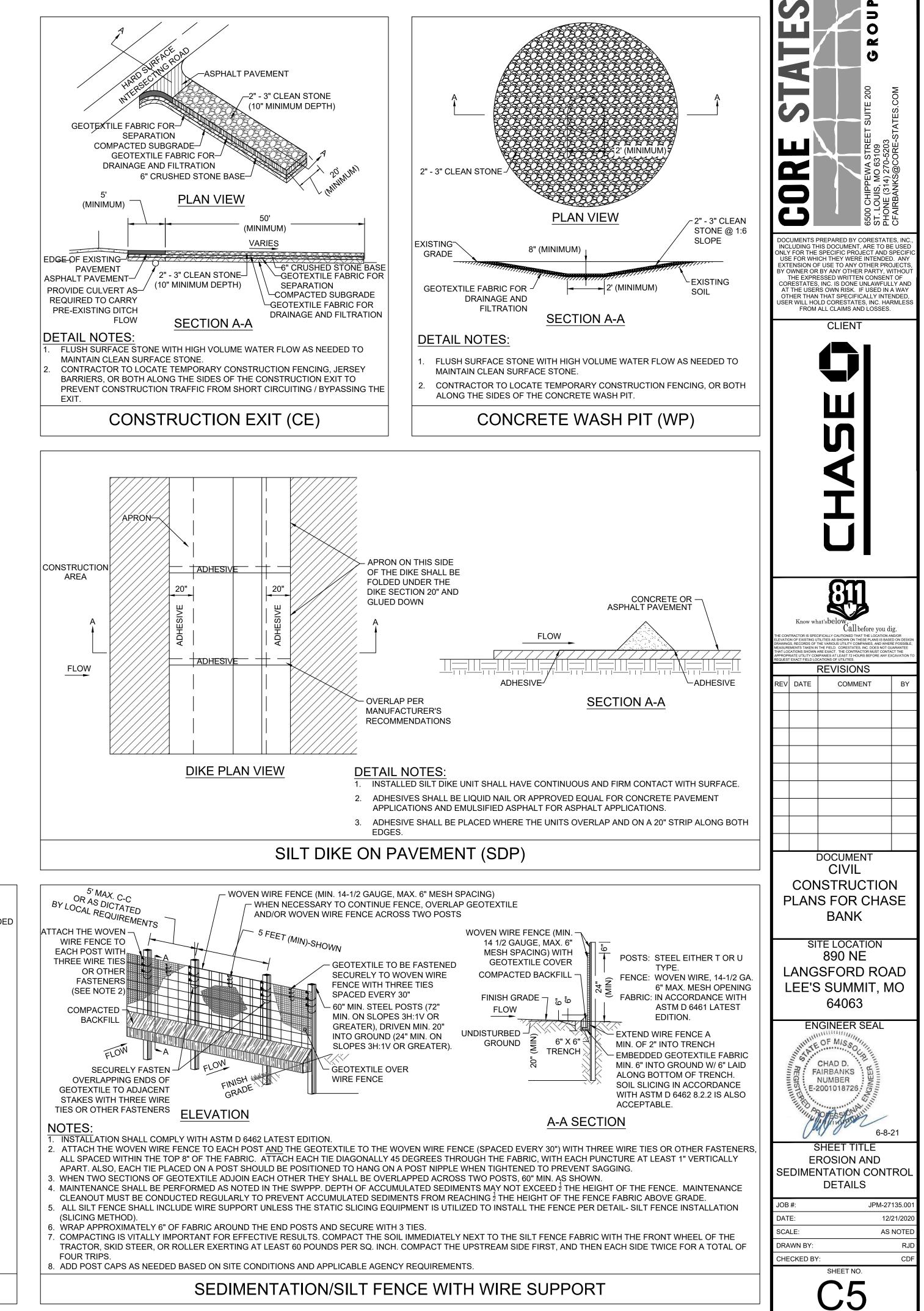
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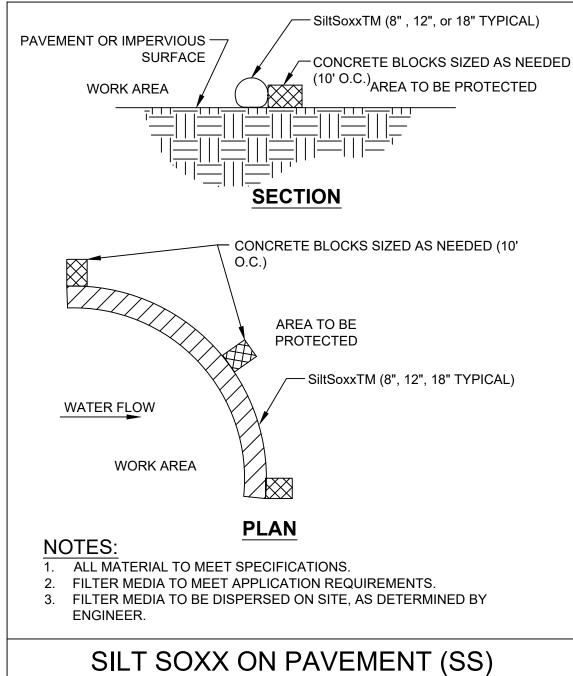
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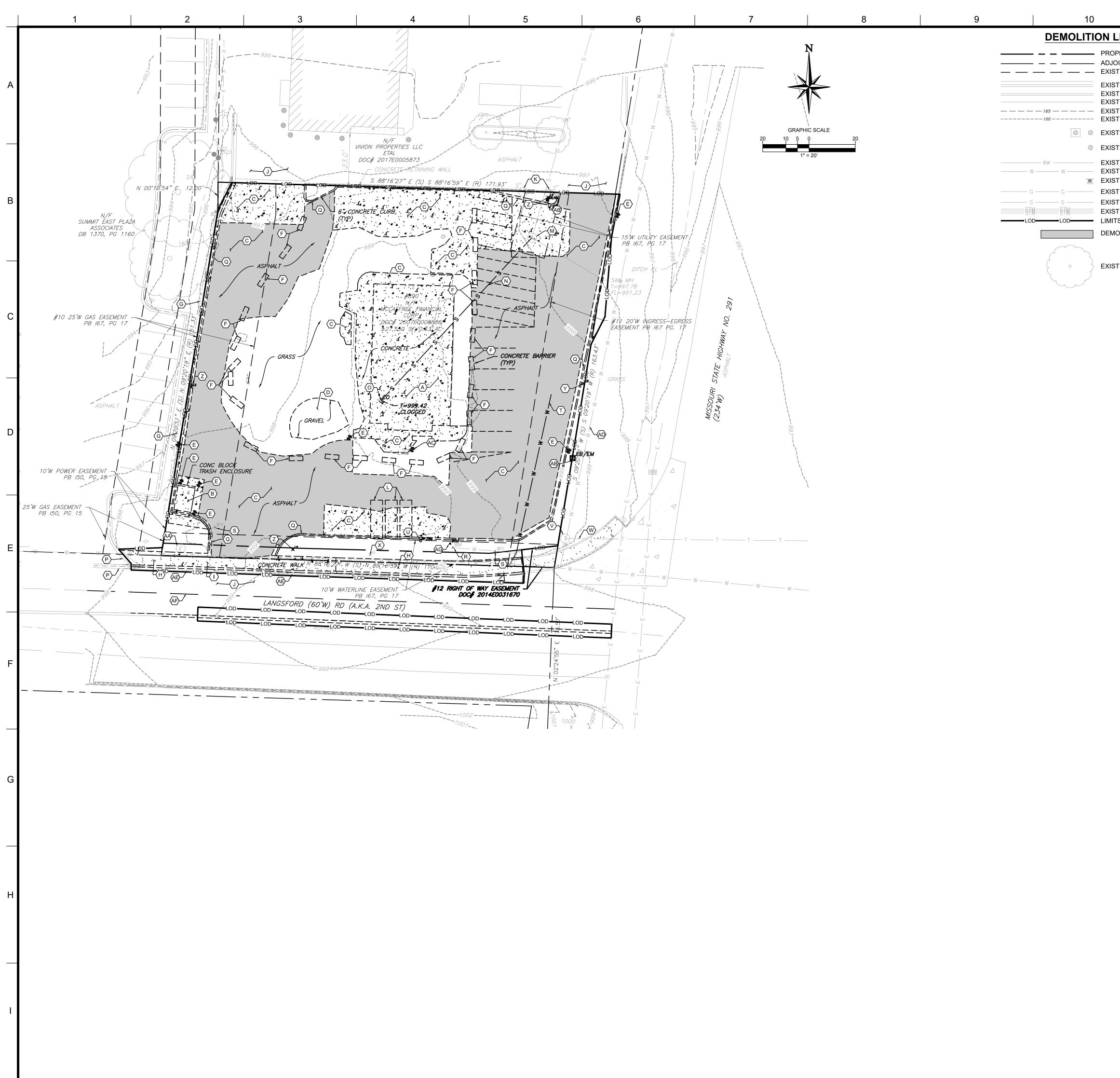
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		13	
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	<ul> <li>ORADE. REFER TO SHEET C10 FOR F</li> <li>N. EXISTING SANITARY SEWER LATERAL CONTRACTOR TO CAP AND SEAL ST CONCRETE GROUT, BRICK, AND MOU WATERTIGHT SEAL.</li> <li>O. EXISTING SANITARY SEWER CLEANCE</li> <li>P. EXISTING VALLEY GUTTER TO REMANA PLACE.</li> <li>Q. EXISTING CURB TO BE REMOVED.</li> <li>R. EXISTING WATER METER TO REMAIN CONTRACTOR TO ADJUST TO FINAL</li> <li>T. EXISTING WATER LATERAL TO BE REMOVED.</li> <li>T. EXISTING WATER LATERAL TO BE REMOVED.</li> <li>U. EXISTING YARD HYDRANT TO BE REIV. EXISTING COMMUNICATIONS MANNO PROTECTED IN PLACE.</li> <li>W. EXISTING COMMUNICATION LINES TO IN PLACE. CONTRACTOR SHALL COORELOCATION WITH THE UTILITY CONX.</li> <li>EXISTING LIGHT POLE TO REMAIN ANY. EXISTING LIGHT POLE TO BE REMOVEZ.</li> <li>EXISTING LIGHT POLE TO BE REMOVEZ.</li> <li>A. EXISTING ELECTRICAL BOX TO BE READING.</li> <li>A. EXISTING ELECTRICAL BOX TO BE READINAL CONTRACTOR TO FIELD VERIFY MAIN EXTENTS.</li> </ul>	PROPOSED RIM ELEVATION. AL TO BE REMOVED. RUCTURE PIPE OPENINGS WITH RTAR TO ENSURE A OUT TO BE REMOVED. AND BE PROTECTED IN PLACE. IN AND BE PROTECTED IN PLACE. I AND BE PROTECTED IN PLACE. GRADE. EMOVED. <u>CONTRACTOR TO</u> <u>PTH, AND ULTIMATE</u> <u>N.</u> MOVED. OLE TO REMAIN AND BE O REMAIN AND BE PROTECTED DRDINATE ANY REQUIRED MPANY. ND BE PROTECTED IN PLACE. /ED. REMOVED. O REMAIN AND BE PROTECTED IN EMOVED. O REMAIN AND BE PROTECTED IN EMOVED.	Korvester       Korvester         Korvester
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RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI My ye

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**C6** 

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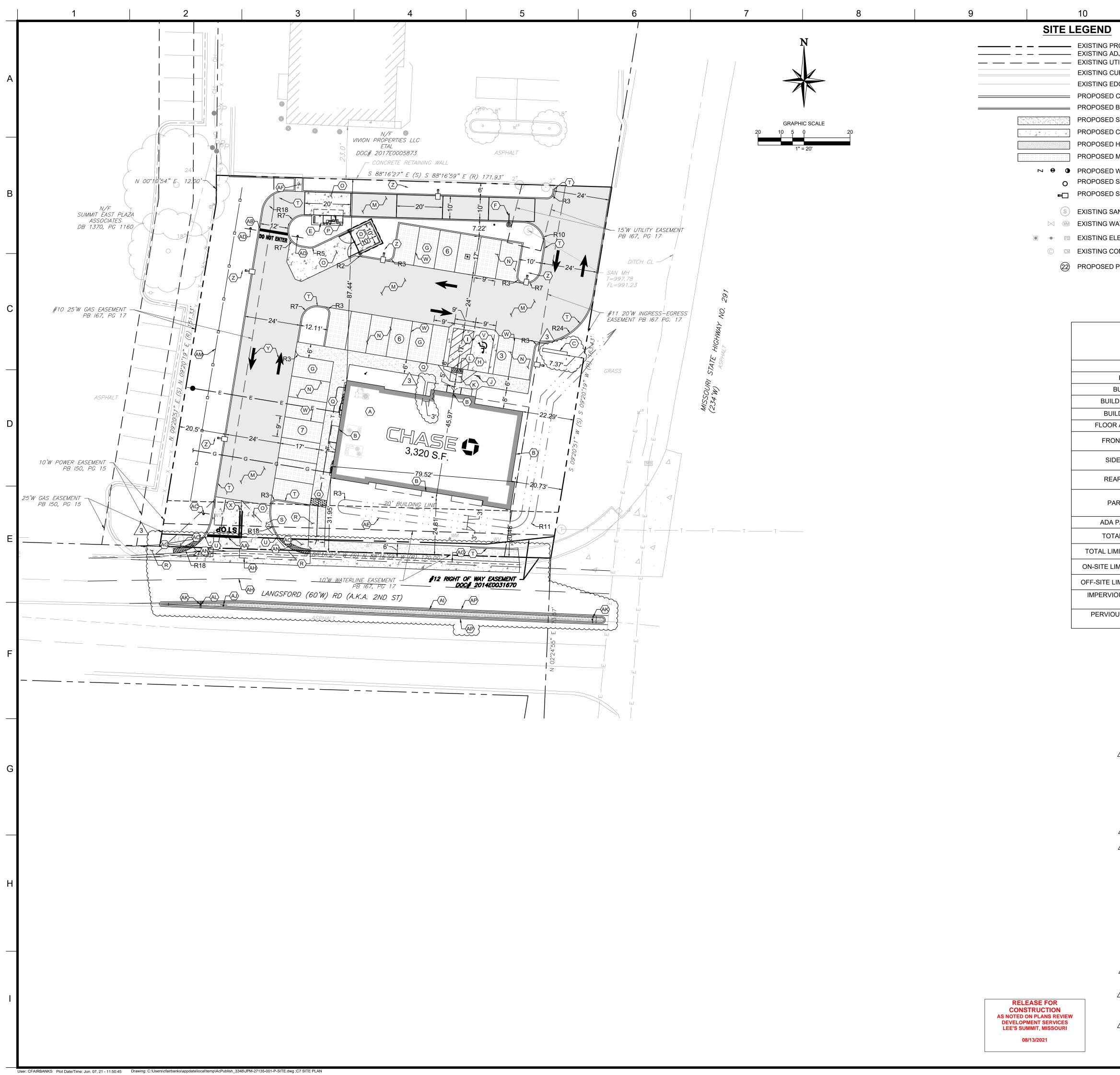
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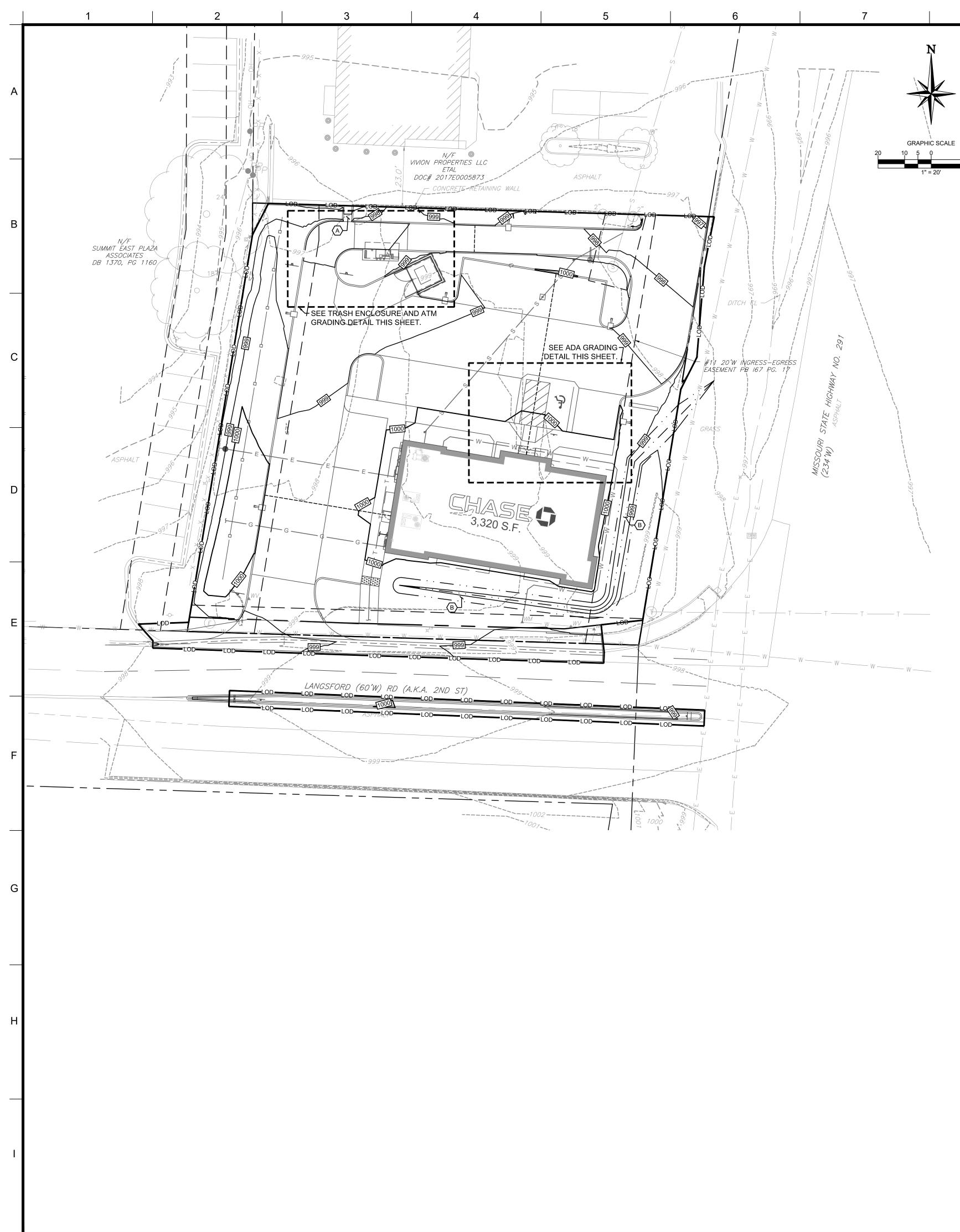
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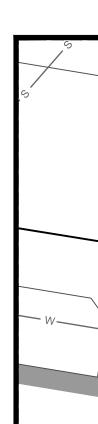
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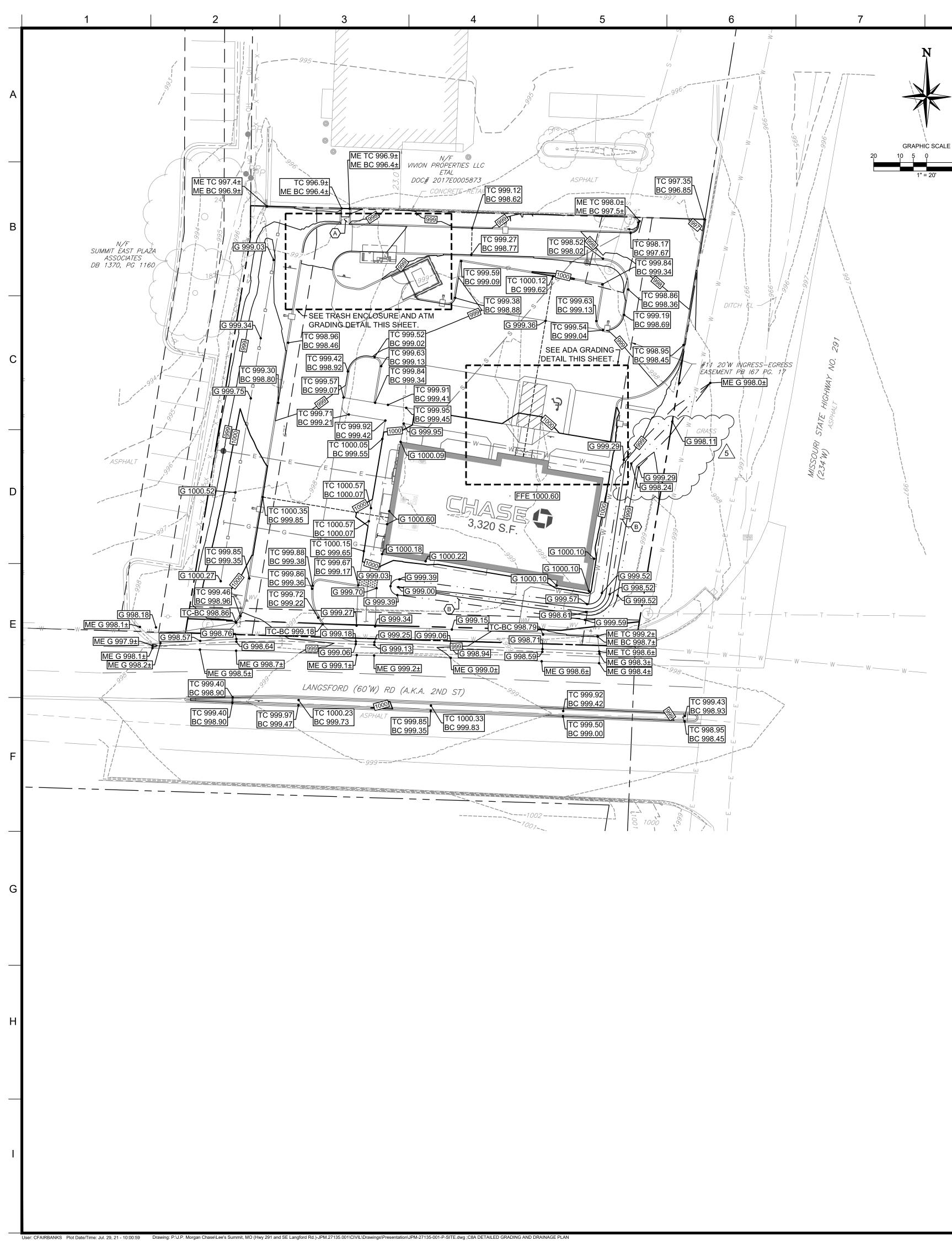
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ITEM PARCEL ID BUILDING USE	ZONING DATA NED C-2 - GENERAL BUSINESS EXISTING / REQUIRED 61-210-11-37-02-0-000 VACANT PAVED LOT (EXISTING)	PROPOSED 61-210-11-37-02-0-00-000 BANKING FACILITY	N Л П С
LDING HEIGHT (FT) JILDING AREA (SF) PR AREA RATIO (FAR) ONT SETBACK (FT)	MAX: 40' 0 SF (EXISTING) 0.55 (MAXIMUM) 20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	21'-6" 3,320 SF 0.12 (PROPOSED) 20.48' (SOUTH) 20.73' (EAST)	
DE SETBACK (FT) EAR SETBACK (FT)	10' (MINIMUM) 20' (MINIMUM)	N/A 87.44' (NORTH) 68.5' (WEST) 22 SPACES	្រា
ARKING SPACES A PARKING SPACES TAL PARCEL AREA	4 SPACES / 1,000 SF = 14 SPACES MINIMUM 1 SPACES (MINIMUM) 0.632 AC (27,550 SF)	(INCLUDING 1 ADA SPACES) 1 SPACES 0.632 AC (27,550 SF)	Know what's below. Call before you dig. The contractor is specifically cautioned that the location and/or prawings, records of the various utility companies, and where possible, measurements taken in the field. Cordstates takes to observe the possible, appropriate utility companies at least the contract the appropriate utility companies at least the contract the appropriate utility companies at least the contract of the second to the second the second the second the second to the second the second the second the second the second the second to the second
IMITS OF DISTURBANCE LIMITS OF DISTURBANCE LIMITS OF DISTURBANCE IOUS PROPERTY AREA (%)	N/A 3 N/A N/A 0.613 AC (21,369 SF) 77.56% (EXISTING) 0.142 AC (6,181 SF)	0.682 AC (29,716 SF) 0.629 AC (27,390 SF) 0.056 AC (2,454 SF) 0.418 AC (20,415 SF) 68.70% 0.214 AC (9,301 SF)	REQUEST EXACT FIELD LOCATIONS OF UTILITIES.         REVISIONS         REV       DATE       COMMENT       BY         1       02/18/21       CITY COMMENTS       RJD         2       04/27/21       CITY COMMENTS       RJD         3       06/02/21       CITY COMMENTS       RJD
(%) <u>KEYED NOTES</u> A. PROPOSED CHA B. PROPOSED BUIL PACKAGE BY VE C. PROPOSED MON PACKAGE BY VE D. PROPOSED MON ELEVATIONS. E. PROPOSED DRIN AND ELEVATIONS. F. PROPOSED HEA ELEVATIONS. 3 G. PROPOSED 9' X (H. PROPOSED 9' X	22.44% (EXISTING)	31.30%	DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK SITE LOCATION
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Y. PROPOSED DIRI Z. PROPOSED SITE AA. PROPOSED THE AB. PROPOSED THE SHEET C12 FOR AC. PROPOSED "STO AD. PROPOSED "DO AE. PROPOSED SWA AF. PROPOSED SWA AG. PROPOSED CON AG. PROPOSED MOD 3 AH. PROPOSED 4" ST AI. PROPOSED 2' RA	G-8-21 SHEET TITLE SITE PLAN JOB #: JPM-27135.001 DATE: 12/21/2020		
3       AJ.       PROPOSED "ONI         AK.       PROPOSED SYN         SHEET C20 FOR         AL.       PROPOSED NO I         3       AM.       PROPOSED 8' VI         AN.       PROPOSED 0ET         AO.       PROPOSED ADA	U-TURN SIGN (R3-4).REFER TO SHEET C20 FOR DETAIL.	SN (OM1-3). REFER TO	SCALE: 1" = 20' DRAWN BY: RJD CHECKED BY: CDF SHEET NO. CT



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	165 166 168 X.XX ↓ TC XX.XX ↓ TC XX.XX ↓ O ↓ O ↓ O	EXISTING PROPERTY BOUN EXISTING ADJOINING PROPE EXISTING UTILITY EASEMEN EXISTING 5' INTERVAL CONT EXISTING 1' INTERVAL CONT PROPOSED 5' INTERVAL CO PROPOSED 5' INTERVAL CO PROPOSED SPOT SHOTS EXISTING EDGE OF PAVEME PROPOSED CURB PROPOSED BUILDING PROPOSED BUILDING PROPOSED SANITARY STRUC PROPOSED SANITARY STRUC EXISTING SANITARY STRUC EXISTING SANITARY PROPOSED SANITARY PROPOSED SANITARY IMITS OF DISTURBANCE	ERTY LINE IT TOUR LINE TOUR LINE INTOUR LINE INTOUR LINE INTOUR LINE STURES FIXTURES	<ul> <li>ARCHITECTURAL PLANS FOR</li> <li>3. ALL DIMENSIONS FROM PRO UNLESS OTHERWISE NOTED</li> <li>4. CONTRACTOR TO SEED ALL OTHERWISE.</li> <li>5. CONTRACTOR TO INSTALL A</li> </ul>	ROUND LEVEL IMPROVEMENT C.) UNLESS NOTED OTHERWIS R BUILDING DETAILS. DERTY LINES ARE PERPENDI D. DISTURBED AREA UNLESS NO SPHALT PAVEMENT IN ALL DE 11 FOR ASPHALT PAVING DET EAS MUST BE STABILIZED WI ETHOD IS SPECIFICALLY PER NO ORGANIC MULCH WILL BE N / DETENTION AREA. SPONSIBLE FOR THE PERPET URES OF THE SURFACE WATE DUTLINED ON THE DRAINAGE EVATIONS SHOWN ARE IN FEE TICAL DATUM OF 1988 (N.A.V.I CONVERSION FROM NAVD 88	SE. REFER TO ICULAR OTED RIVING TAILS. TH SOD MITTED E PERMITTED TUAL ER PLAN. ET ABOVE D. 88) BASED	Signal       Signal         Signal       Signal <td< td=""></td<>
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		Poor A Contract of the second	OSURE AND SCALE =	ATM GRADING DETAI 1" = 10'	B B B B B B B B B B B B B B B B B B B	N EVIEW CES	DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 ENGINEER SEAL CHAD D. FAIRBANKS E-2001018726 CHAD D. FAIRBANKS E-2001018726 CHAD D. FAIRBANKS E-2001018726 CHAD D. FAIRBANKS E-20101018726 CHAD D. FAIRBANKS CALE: 1" = 20' DRAWN BY: CDF SHEET NO.







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	• • • ~ • ~ • ~ • ~ • ~ • ~ • ~ •	PROPOSED WATER STRUCTURES PROPOSED SANITARY STRUCTURES EXISTING SANITARY STRUCTURES EXISTING WATER STRUCTURE EXISTING SANITARY PROPOSED SANITARY LIMITS OF DISTURBANCE	<ol> <li>RETENTION / DETENTION AREAS MUST BE STABILIZED W UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PEF PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL B IN OR ADJOINING RETENTION / DETENTION AREA.</li> <li>THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPE MAINTENANCE OF ALL FEATURES OF THE SURFACE WAT MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE</li> <li>SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 NAVD 88 + 0.085' = NGVD 29.</li> <li><u>KEYED NOTES:</u></li> <li>PROPOSED 3' WIDE CONCRETE FLUME.</li> <li>PROPOSED SWALE.</li> </ol>	RMITTED         E PERMITTED         ETUAL         FER         E PLAN.         EET ABOVE         D. 88) BASED
		G 1000.53 G 1000.55 G 1000.60 • FFE 1000.60 ADA GRAI	G 999.82       G 999.77       TC 999.90         BC 999.40       BC 999.40         000.57       TC 1000.53         BC 1000.03       TC 1000.48         BC 999.98       TC 1000.19         D00.55       G 1000.52         G 1000.56       W G 1000.22         W       G 1000.55         DING DETAIL         E 1" = 10'	Image: Note of the second s
		BC 997.02       TC 998.07       BC 99         BC 997.57       TC 998.24       BC 997.57         TC 998.47       BC 997.74       G 998.32         TC 998.51       TC 998.60       BC 998.34         BC 998.10       TC 998.73       TC 998.73         TC 998.23       TC 998.28       TC 998.28         TRASH ENCLOSURE AN       TC 998.28	Image: space of the space of	ON     DRAWN BY:     RJE       REVIEW     CHECKED BY:     CDF       RVICES     CHECKED BY:     CDF
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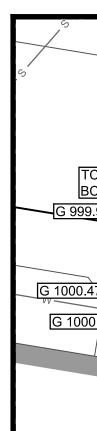
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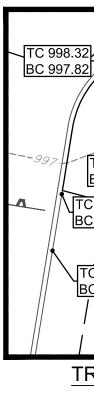
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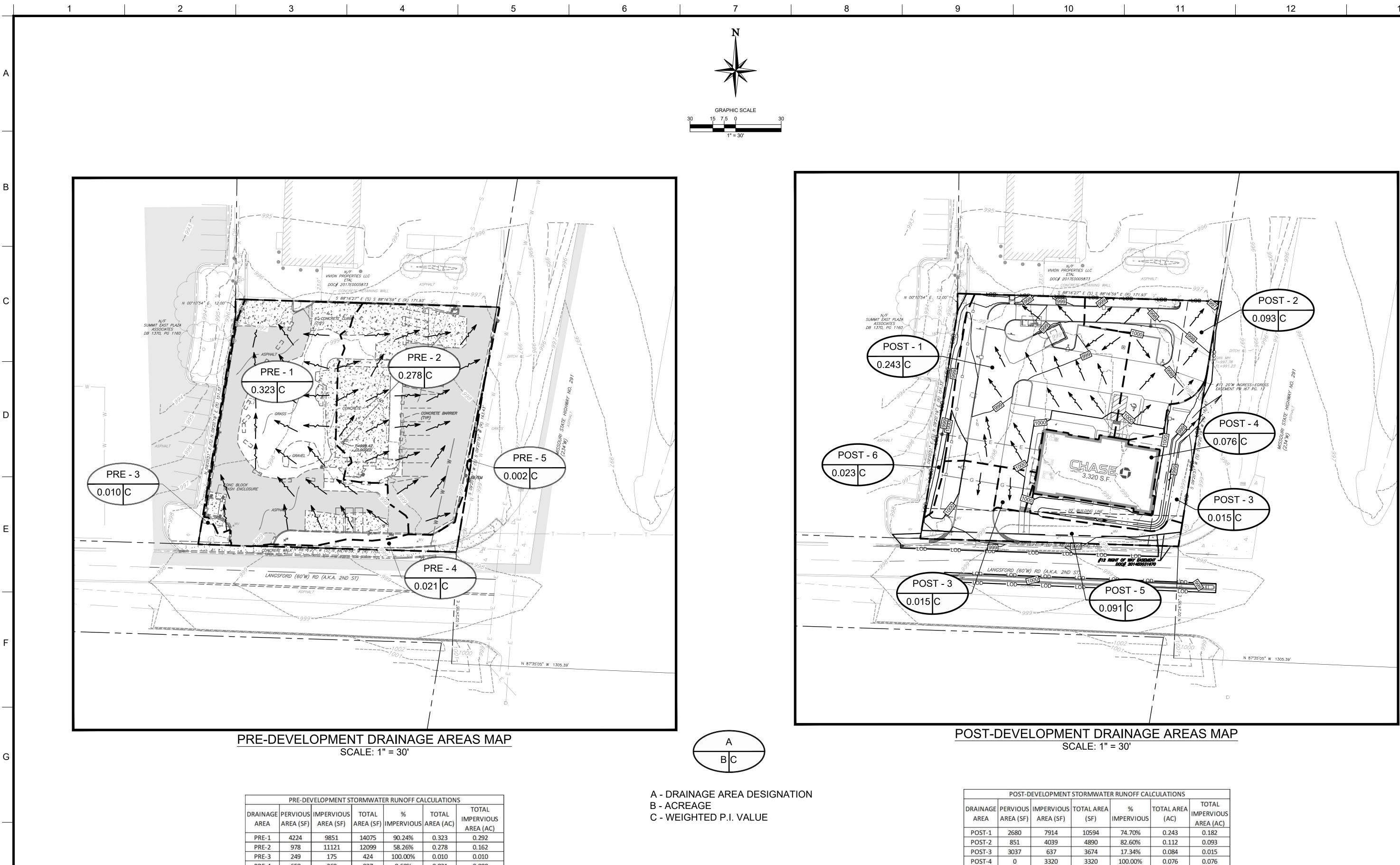
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	PRE-DE	VELOPIVIENT S	IORIVIWAI	ER RUNUFF CA	LCULATION	2
DRAINAGE AREA	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)		% IMPERVIOUS	TOTAL AREA (AC)	TOTAL IMPERVIOUS AREA (AC)
PRE-1	4224	9851	14075	90.24%	0.323	0.292
PRE-2	978	11121	12099	58.26%	0.278	0.162
PRE-3	249	175	424	100.00%	0.010	0.010
PRE-4	658	269	927	0.68%	0.021	0.000
PRE-5	73	0	73	0.68%	0.002	0.000
TOTAL	6182	21416	27598	53.97%	0.634	0.342

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4	POST-D	EVELOPMENT	STORMWA
DRAINAGE AREA	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TOTAL ARE (SF)
POST-1	2680	7914	10594
POST-2	851	4039	4890
POST-3	3037	637	3674
POST-4	0	3320	3320
POST-5	1868	2114	3982
POST-6	987	6	993
TOTAL	9423	18030	27453

100.00%

0.091 0.049

0.023 0.000 0.630 0.414

**RELEASE FOR** 

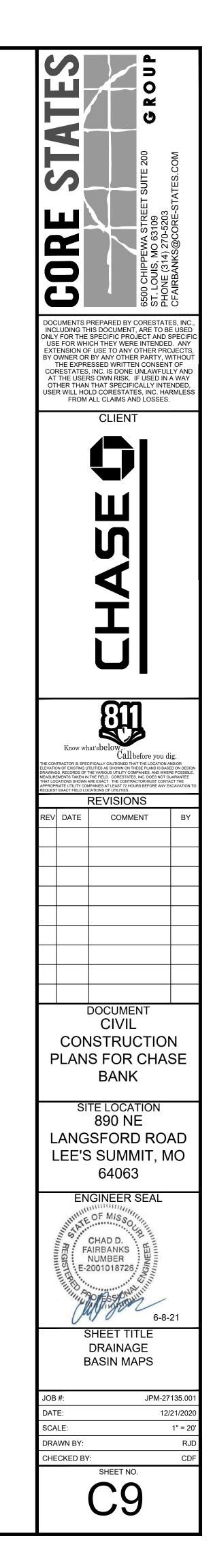
CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI

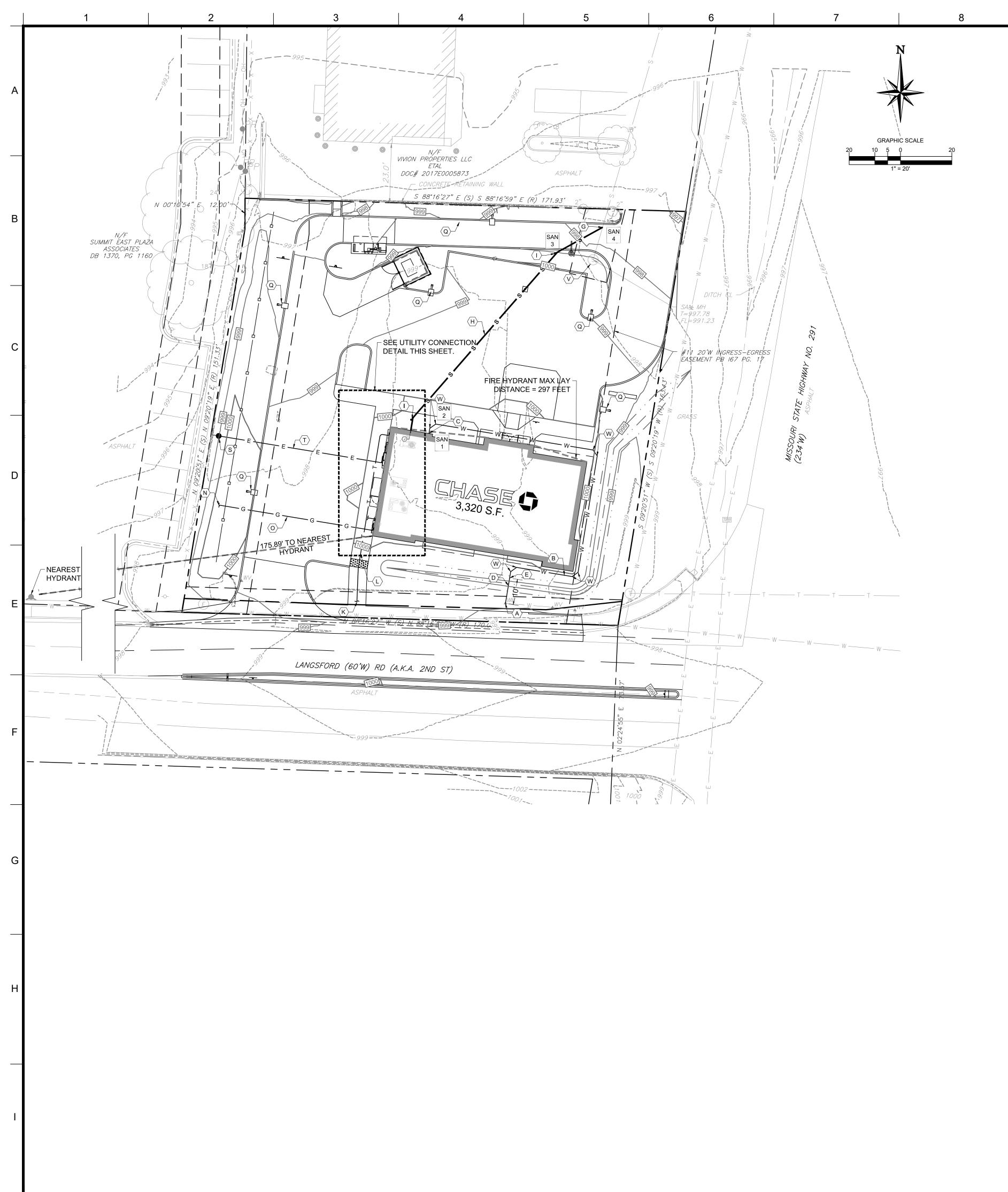
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53.09%

0.60%

65.68%

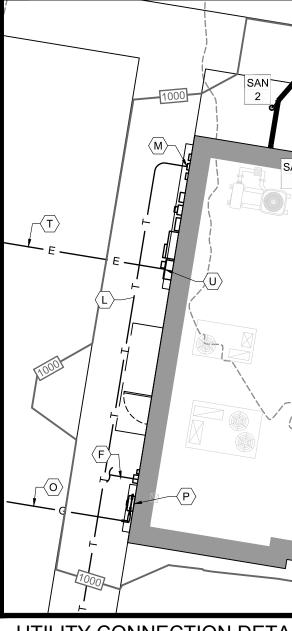




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	UTILITY	LEGEND			UTILITY	NOTES:				
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		EXISTING ADJOINI	ING PROPERTY LI					CONDITIONS.		
		EXISTING UTILITY EXISTING 5' INTER				TO SHEET C7				<u>ت</u>
	-166	EXISTING 1' INTER						AND DRAINAGE P	LAN.	
	168	PROPOSED 5' INTE PROPOSED 1' INTE			5. REFER	TO LANDSCAF	PE PLAN.			
		EXISTING CURB A					14 FOR PHOTO	METRIC PLAN AND	O SITE LIGHTING	E 200
		EXISTING EDGE O			DETAIL			FOR SITE ELECTR		ET SUITE 200
		PROPOSED CURB	AND GUTTER					Y CAUTIONED THA		STA STA
		PROPOSED CURB			AND / C	R ELEVATION	OF EXISTING	UTILITIES AS SHOV	VN ON THESE	STREET S3109 0-5203 CORE-STA
		PROPOSED BUILD						THE VARIOUS UTIL	,	@CC0-2270-22
		PROPOSED WATE						) UPON AS BEING ( ALL THE APPROPF		UIS, MO 63 (314) 270 ANKS@C
	0	PROPOSED STORI	MSTRUCTURES		COMPA	NIES AT LEAS	T 72 HOURS BI	EFORE ANY EXCAV	ATION TO	
		PROPOSED SANIT			CONTR	ACTORS RESP	ONSIBILITY TO	O RELOCATE ALL E	XISTING UTILITIES	ST.L ST.L CFAI
	<b>=</b>	PROPOSED SITE L		ES	WHICH THE PL		THE PROPC		NTS SHOWN ON	DOCUMENTS PREPARED BY CORESTATES, INC.,
	$\oplus$	EXISTING STORM	WATER STRUCTU	RES				ABOVE THE NORTH		INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY
	$\oplus$	EXISTING SANITAR	RY STRUCTURES				,	88) BASED ON MO VD 88 TO NGVD 29,	DOT VRS , NAVD 88 - 0.354' =	EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT
		EXISTING WATER	STRUCTURE		NGVD 2					THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY
———— G —	G	EXISTING GAS MA			KEYED	NOTES: (	>			OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.
S	S	EXISTING TELEPH EXISTING SANITAR			A. PROP	OSED DOMES	, TIC WATER SE	RVICE POINT OF C		CLIENT
STM		EXISTING STORM			THE C	CITY OF LEE'S	SUMMIT.	ACTOR SHALL COC		
——————————————————————————————————————	STM W	PROPOSED STORI PROPOSED WATE						STIC WATER SERV		
S	s	PROPOSED SANIT			BUILD	ING. REFER T	O ARCHITECTU	JRAL PLANS FOR D	DETAILS.	
					A MIN	IIMUM OF 10 FI	EET PAST THE			
7			-			OSED 2" X 1.5' PAST THE ME		BE INSTALLED A N	MINIMUM OF 10	
/				$\wedge$	F. PROP	OSED 1-1/2" P	C IRRIGATION	N STUB FROM BUIL		
				<u>/4</u>				TION ID POINT OF CONN		
		SAN	5					SANITARY SEWER		
	1000							IUM SLOPE OF 2.00 EANOUT LOCATION		
					SHEE	T C12 FOR DE	TAIL.			
		SAN						ARY SEWER TIE IN JRAL PLANS FOR D		
								ON FOR UNDERGRONTRACTOR SHALL		
- <b>/</b> T					WITH	UTILITY COMF	PANY.			
					CONT	RACTOR SHAL	L COORDINAT	TELEPHONE/CABLI E WITH UTILITY CO		
	──────────────────					ICE SPECIFICA		RGROUND TELEPH	IONE/CABLE TIE	
	5 7				IN TO	THE BUILDING	. REFER TO E	LECTRICAL PLANS	FOR DETAILS.	ណា
					CONT	RACTOR SHAI		E WITH UTILITY CO		
					(EVEF O. PROP	,	IE. CONTRACT	OR SHALL COORD	INATE WITH	Know what's below.
X10001						TY COMPANY (		CTOR SHALL COOI	RDINATE WITH	CALL DELOTE YOU GIG. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS REPORTS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBILE DRAWINGS REPORTS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBILE
L		A 17			UTILIT	TY COMPANY (	EVERGY).			MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
			~_					RE (SEE PHOTOME C18 FOR DETAILS		REVISIONS
	F							D ELECTRICAL CO		REV DATE COMMENT BY
		P			FOR	GENERAL LOC	ATION ONLY. C	CONTRACTOR TO IN	NSTALL	1 02/18/21 CITY COMMENTS RJD
q		<u> </u>			FACIL	ITATED PROP	OSED WIRING			2 04/27/21 CITY COMMENTS RJD
					-		-	RANSFORMERS AN D ELECTRIC SERV		3 06/02/21 CITY COMMENTS RJD
$\downarrow$	1000		Ţ		CONT	RACTOR SHAI		E WITH UTILITY CO		4 07/21/21 CITY COMMENTS CDF
	T		L_			RACTOR SHAI		UNDERGROUND S		
		TION DETAIL					,	ASE ELECTRICAL S TE WITH UTILITY CO		
	SCALE = 1				(EVEF	RGY).		TRIC METER AND		
					TRAN	SFER SWITCH	. CONTRACTO	R SHALL COORDIN	ATE WITH	
					FOR E	DETAILS.	. ,	. REFER TO ELECT		
									STED TO FINAL	DOCUMENT
				[]	W. PROP	$\overrightarrow{O}$ SED 1 $\frac{1}{2}$ " COF	PER 45° FITTI	NG.		CIVIL
										BANK
										SITE LOCATION
										890 NE
										LANGSFORD ROAD
										LEE'S SUMMIT, MO
			SAN	NITARY STRUCT						64063
STRUCTURE NAM	ME STRUG	CTURE TYPE			DOWNSTREAM PIPE NAME	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE	
1	BUIL	DING STUB	1000.18		SAN 1-2	996.67'	5.00'	6" PVC	2.00%	MINITE OF MIS O
2		YE W/CO & 11.25° BEND	1000.10 SAN 1-2	996.57'	SAN 2-3	996.57'	85.59'	6" PVC	1.39%	CHAD D.
3	6" PVC - 2	22.5° WYE W/CO	998.99 SAN 2-3	995.38'	SAN 3-4	995.38'	20.12'	6" PVC	21.68%	ER: FAIRBANKS
4	6" PVC - 8X6	CUT-IN WYE W/CO	997.77 SAN 3-4	991.01'						NUMBER E-2001018726

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 08/13/2021

7-21-21

JPM-27135.001

12/21/2020

1" = 20'

RJD

CDF

SHEET TITLE UTILITY PLAN

SHEET NO.

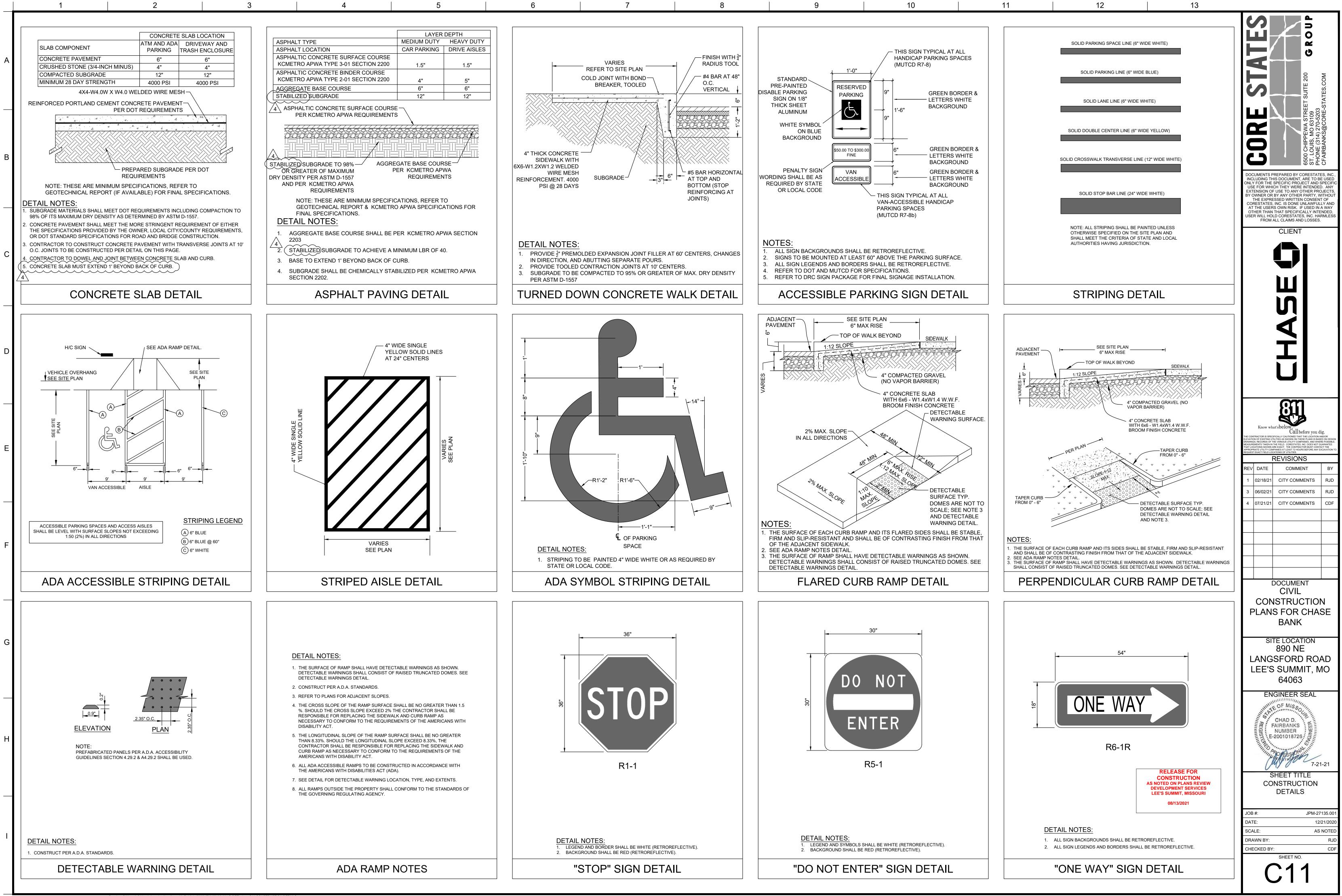
C10

JOB #: DATE:

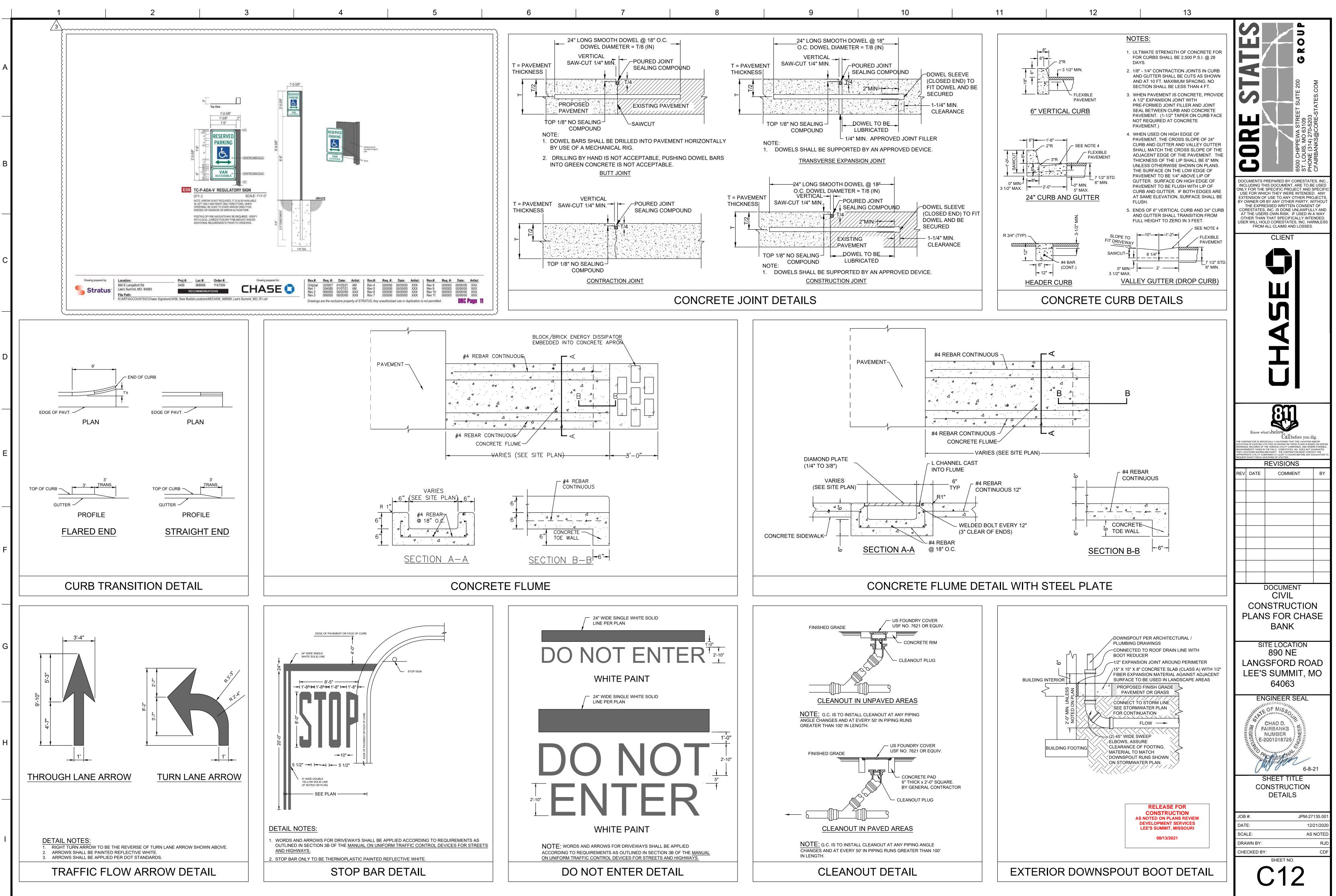
SCALE:

DRAWN BY:

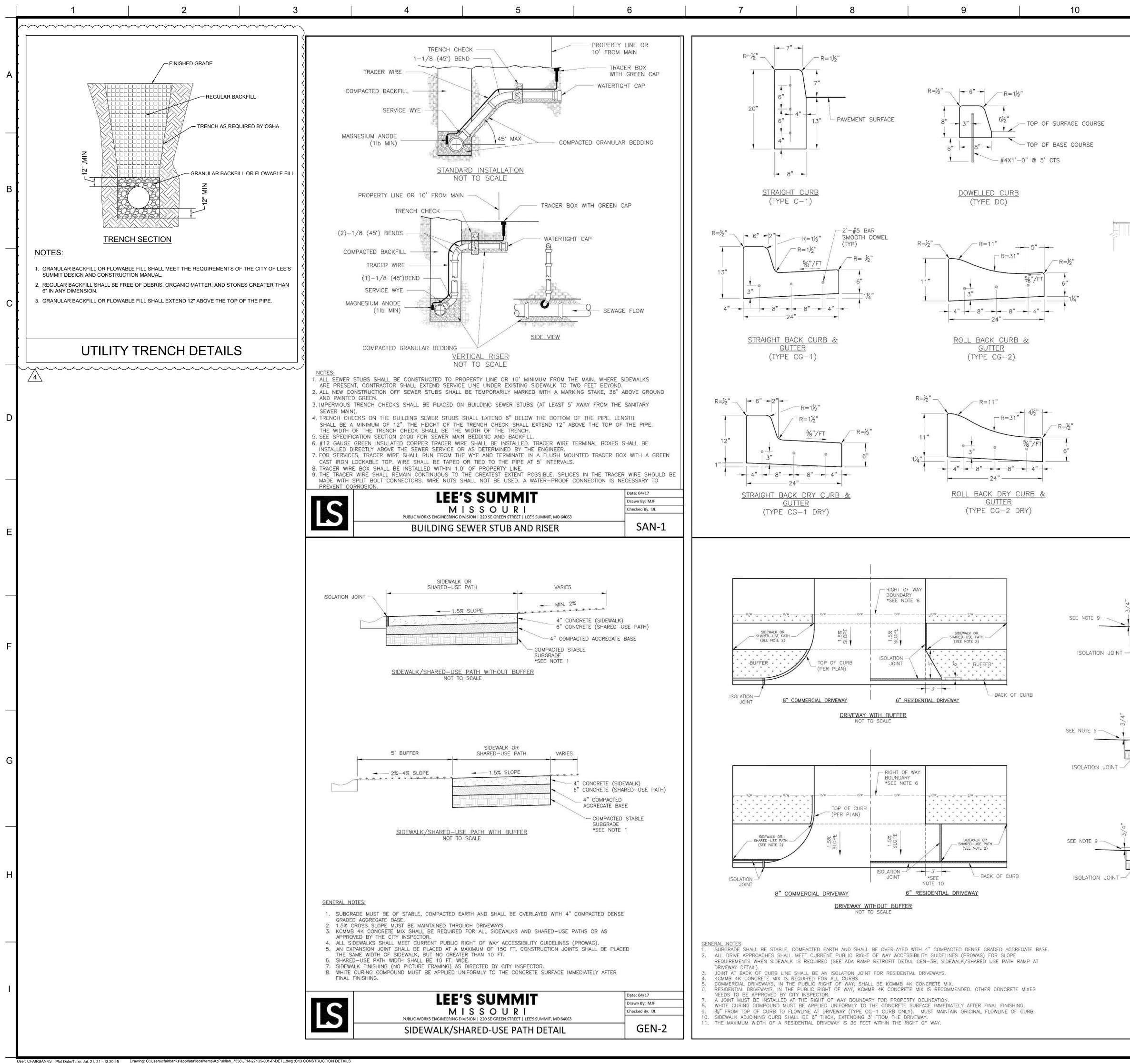
CHECKED BY:



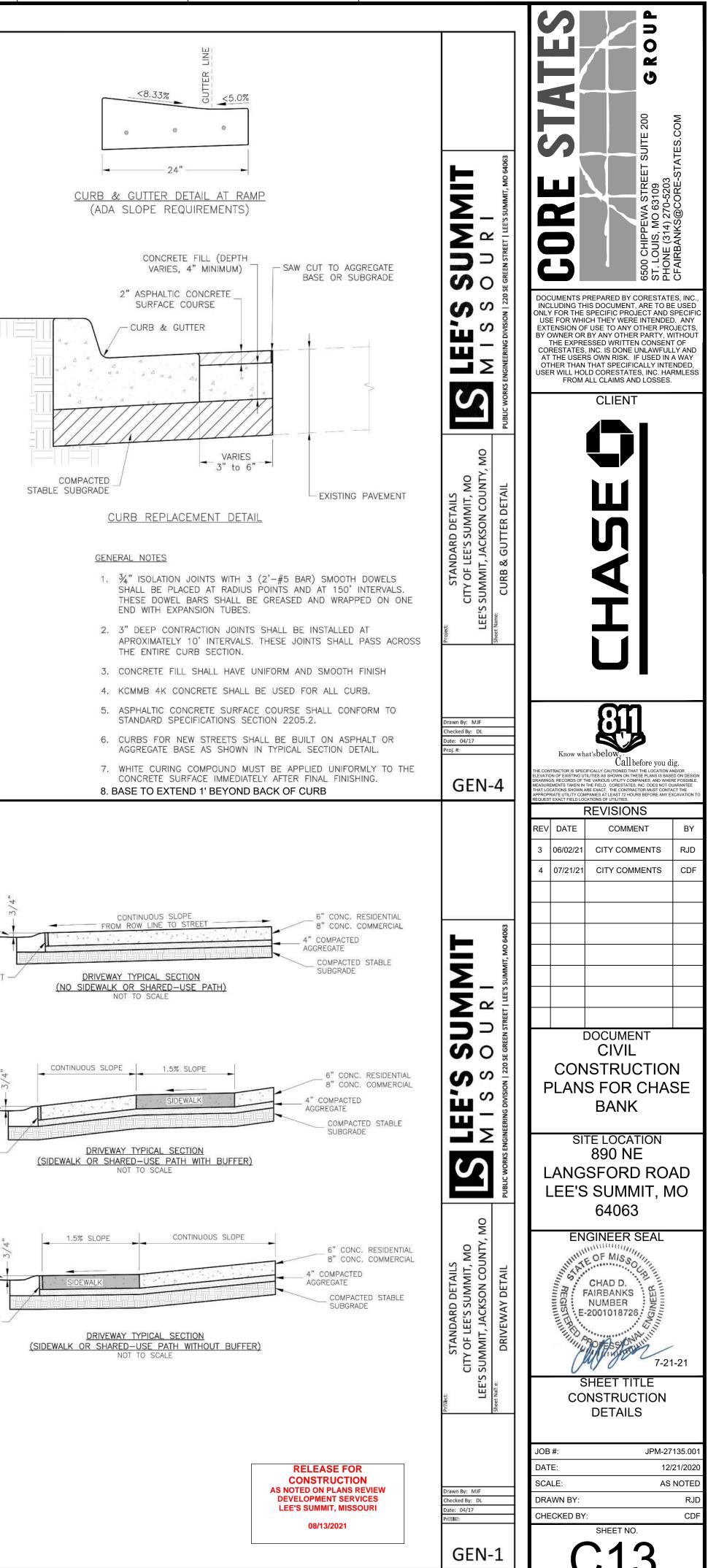
Jser: CFAIRBANKS Plot Date/Time: Jul. 21, 21 - 13:20:40 Drawing: C:\Users\cfairbanks\appdata\loca\\temp\AcPublish\_7356\JPM-27135-001-P-DETL.dwg; C11 CONSTRUCTION DETAILS

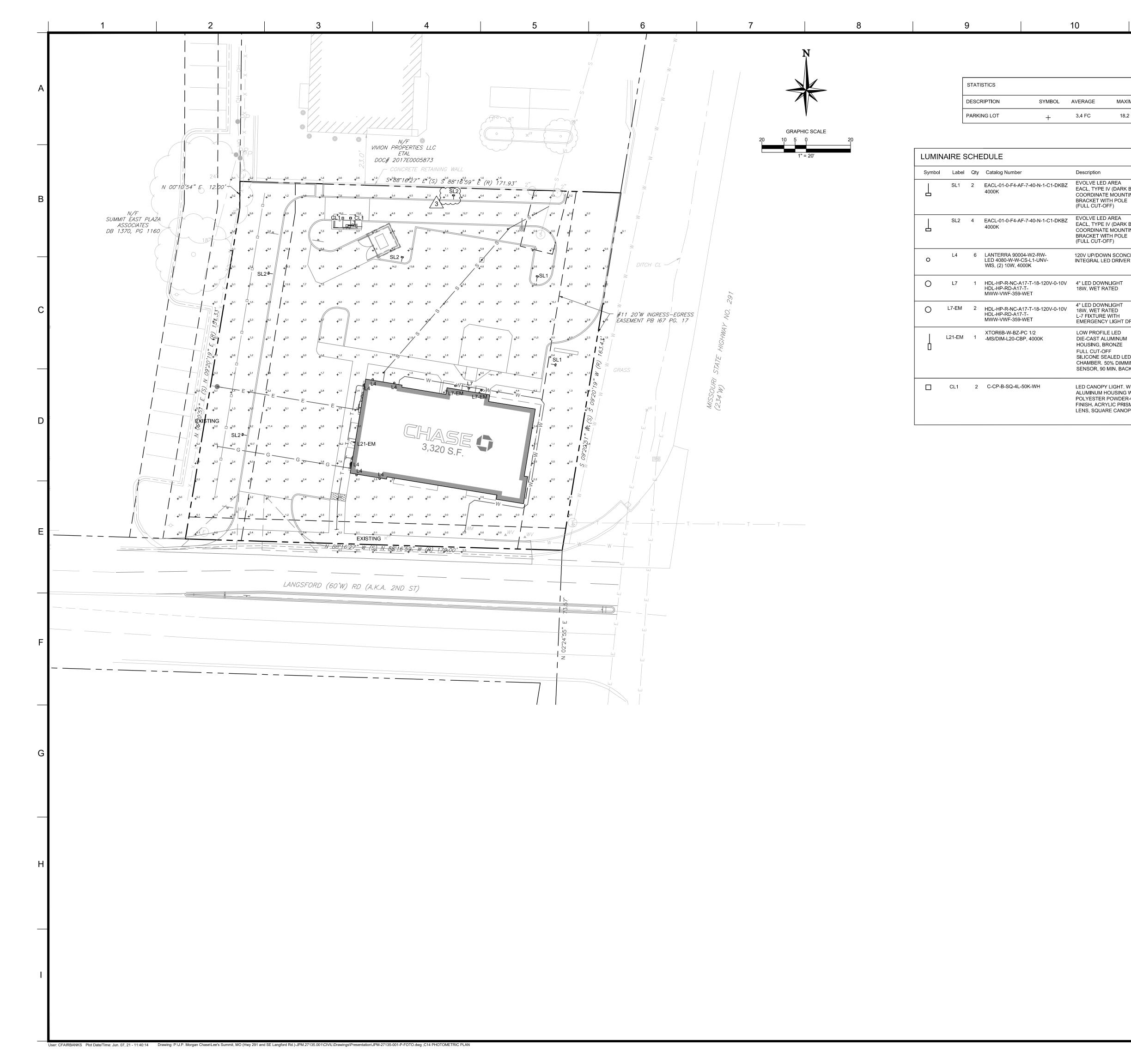


Jser: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:25:23 Drawing: C:\Users\cfairbanks\appdata\loca\\temp\AcPublish\_3348\JPM-27135-001-P-DETL.dwg; C12 CONSTRUCTION DETAILS









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12

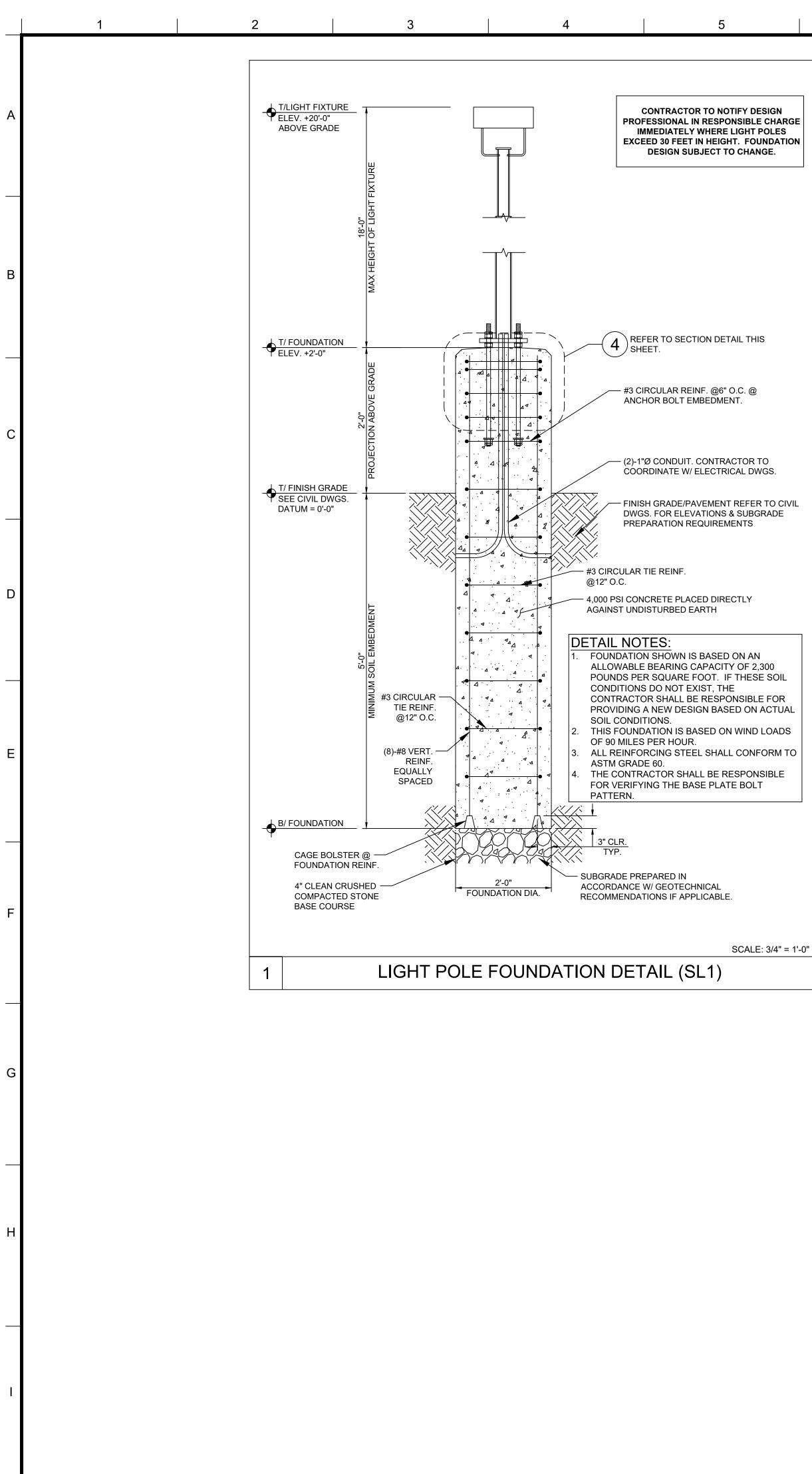
13

MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
18.2 FC	0.0 FC	N/A	N/A

	Lamp	File	Lumens	LLF	Watts	Mounting Height
AREA V (DARK BRONZE) E MOUNTING ITH POLE FF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	20'
AREA V (DARK BRONZE) E MOUNTING ITH POLE FF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	15'
N SCONCE WITH D DRIVER	LED	9004-W2-FL-LED3590-S- A BK-L1-UNV.ies	BSOLUTE 1	.00	19.7	10'
LIGHT TED	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18	10'
llight Ted With Light Driver	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18	10'
E LED JMINUM RONZE FF ALED LED D% DIMMING MIN. BACKUP BATTERY	LED MODUL CONSTANT CURRENT 40	XTOR6B.IES	ABSOLUTE	1.00	58	10'
LIGHT. WHITE OUSING WITH A POWDER-COAT LIC PRISMATIC RE CANOPY	LED	c-cp-b-sq-4l-50k-wh.ies	ABSOLUTE	1.00	35.9	12'

_					
			Æ	GROUP	
				EET SUITE 200	STATES COM
		JUXE		6500 CHIPPEWA STREET SUITE 200 ST. LOUIS, MO 63109 PHONE (314) 270-5203	CFAIRBANKS@CORE-STATES.COM
	INC ONLY USI EXT BY C COI AT OT	LUDING TH Y FOR THE E FOR WH ENSION O DWNER OR THE EXPRI RESTATES THE USEF HER THAN	PREPARED BY SPECIFIC PRC ICH THEY WER F USE TO ANY BY ANY OTHE ESSED WRITTE , INC. IS DONE RS OWN RISK. I THAT SPECIFI	CORESTATE , ARE TO B JJECT AND S E INTENDEL OTHER PRC R PARTY, W IN CONSEN IN CONSEN UNLAWFUL IF USED IN J CALLY INTE	ES, INC., E USED SPECIFIC D. ANY DJECTS, ITHOUT T OF LY AND A WAY SNDED,
	USE			ND LOSSES.	RMLESS
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	ELEVATIO DRAWING MEASURI THAT LOG APPROPI	ITRACTOR IS SPEC ON OF EXISTING U 3S, RECORDS OF EMENTS TAKEN IN CATIONS SHOWN RIATE UTILITY COI	tat'sbelow. Call Sifically cautioned the The various utility co the field. Constant are exact. The contra meanies at least 72 ho cations of utilities. REVISIO	HESE PLANS IS BASS MPANIES, AND WHEF S, INC. DOES NOT GI ACTOR MUST CONTA URS BEFORE ANY E:	ND/OR ED ON DESIGN RE POSSIBLE, UARANTEE ACT THE
	REV	DATE	сомм		BY
	1	02/18/21	СІТҮ СОМ	MENTS	RJD
	3	06/02/21	CITY COM	MENTS	RJD
			DOCUME		
	F	CON PLAN	CIVIL ISTRU S FOR BANK	- CTIOI CHAS	
		.ANG	TE LOCA 890 N SFORI SUMN 64063	E D RO/ /IIT, M	
		HINNE F	OF MISSO CHAD D. AIRBANKS NUMBER	SEAL	
			NUMBER 2001018726	aniona de la	21
		-	SHEET TI IOTOME PLAN		
		TE: ALE: AWN BY:	/.	-	135.001 21/2020 1" = 20' RJD
	DAT SCA DRA	E: NE:		12/	21/2020 1" = 20'

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 08/13/2021



T/LIGHT FIXTURE ELEV. +15'-0"

ABOVE GRADE

CONTRACTOR TO NOTIFY DESIGN

PROFESSIONAL IN RESPONSIBLE CHARGE

IMMEDIATELY WHERE LIGHT POLES

- EXCEED 30 FEET IN HEIGHT. FOUNDATION DESIGN SUBJECT TO CHANGE. 4 REFER TO SECTION DETAIL THIS SHEET. T/ FOUNDATION ELEV. +2'-0" — #3 CIRCULAR REINF. @6" O.C. @ ANCHOR BOLT EMBEDMENT. - (2)-1"Ø CONDUIT. CONTRACTOR TO COORDINATE W/ ELECTRICAL DWGS. T/ FINISH GRADE SEE CIVIL DWGS. 3 - FINISH GRADE/PAVEMENT REFER TO CIVIL DATUM = 0'-0" DWGS. FOR ELEVATIONS & SUBGRADE PREPARATION REQUIREMENTS - #3 CIRCULAR TIE REINF. @12" O.C. - 4,000 PSI CONCRETE PLACED DIRECTLY AGAINST UNDISTURBED EARTH DETAIL NOTES: . 44 FOUNDATION SHOWN IS BASED ON AN ALLOWABLE BEARING CAPACITY OF 2,300 Δ Δ POUNDS PER SQUARE FOOT. IF THESE SOIL CONDITIONS DO NOT EXIST, THE #3 CIRCULAR · CONTRACTOR SHALL BE RESPONSIBLE FOR **م** ۸ TIE REINF. PROVIDING A NEW DESIGN BASED ON ACTUAL 4 @12" O.C. SOIL CONDITIONS. THIS FOUNDATION IS BASED ON WIND LOADS OF 90 MILES PER HOUR. (8)-#8 VERT. ALL REINFORCING STEEL SHALL CONFORM TO REINF. ASTM GRADE 60. EQUALLY THE CONTRACTOR SHALL BE RESPONSIBLE SPACED FOR VERIFYING THE BASE PLATE BOLT PATTERN. B/ FOUNDATION CAGE BOLSTER @ FOUNDATION REINF. - SUBGRADE PREPARED IN 4" CLEAN CRUSHED ACCORDANCE W/ GEOTECHNICAL FOUNDATION DIA. COMPACTED STONE RECOMMENDATIONS IF APPLICABLE. BASE COURSE

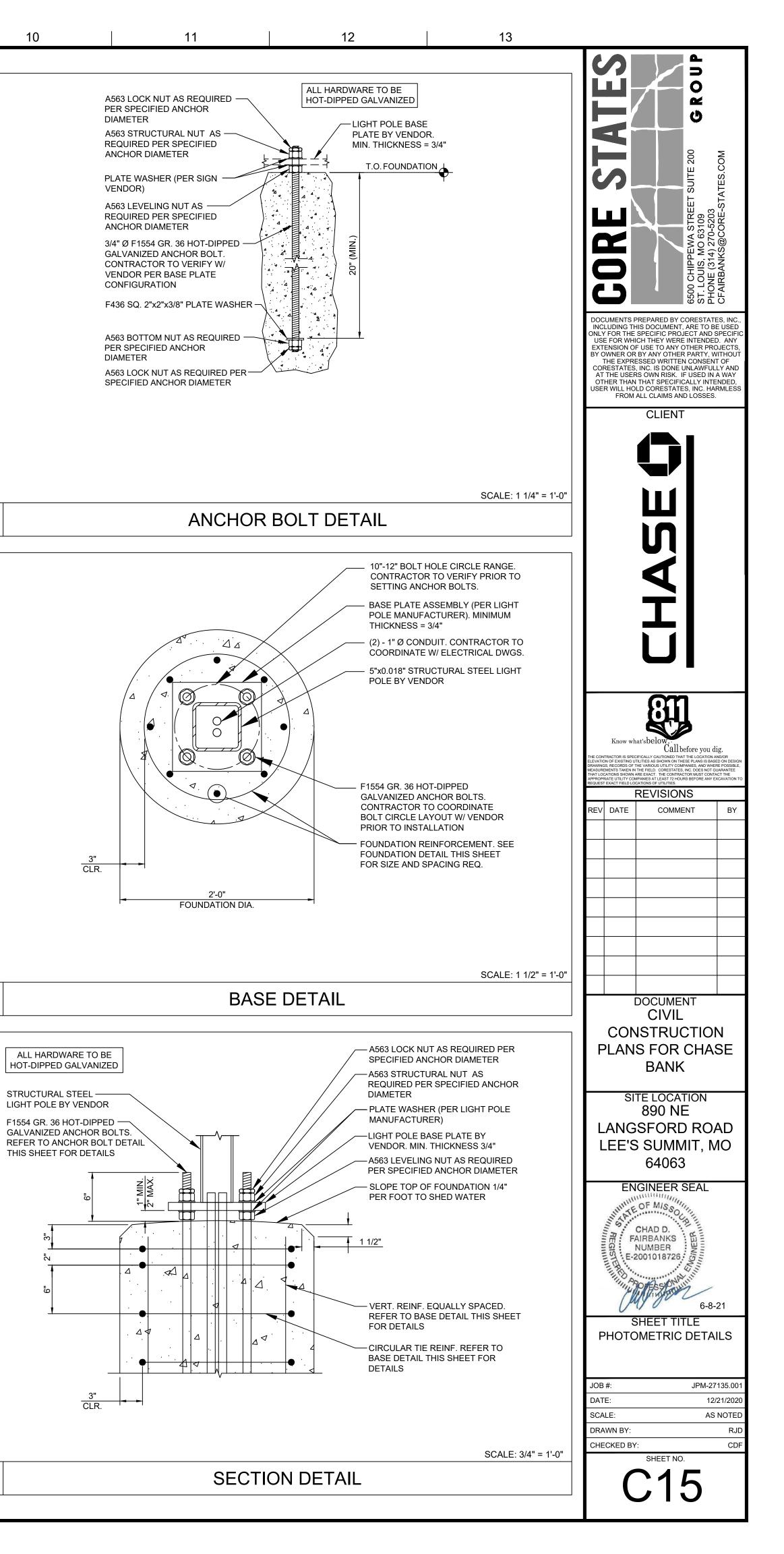
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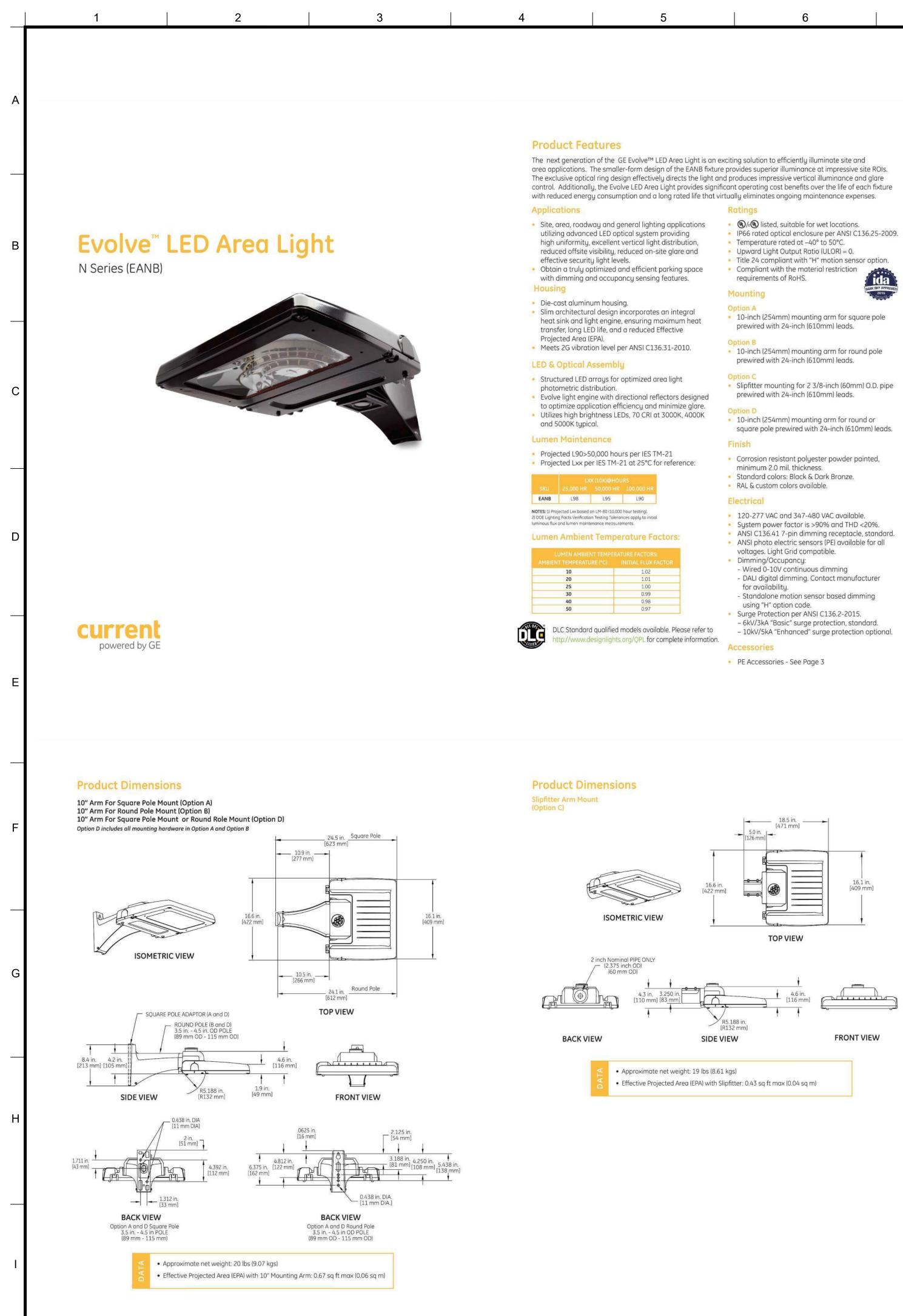
LIGHT POLE FOUNDATION DETAIL (SL2)

**RELEASE FOR** CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 08/13/2021

SCALE: 3/4" = 1'-0"

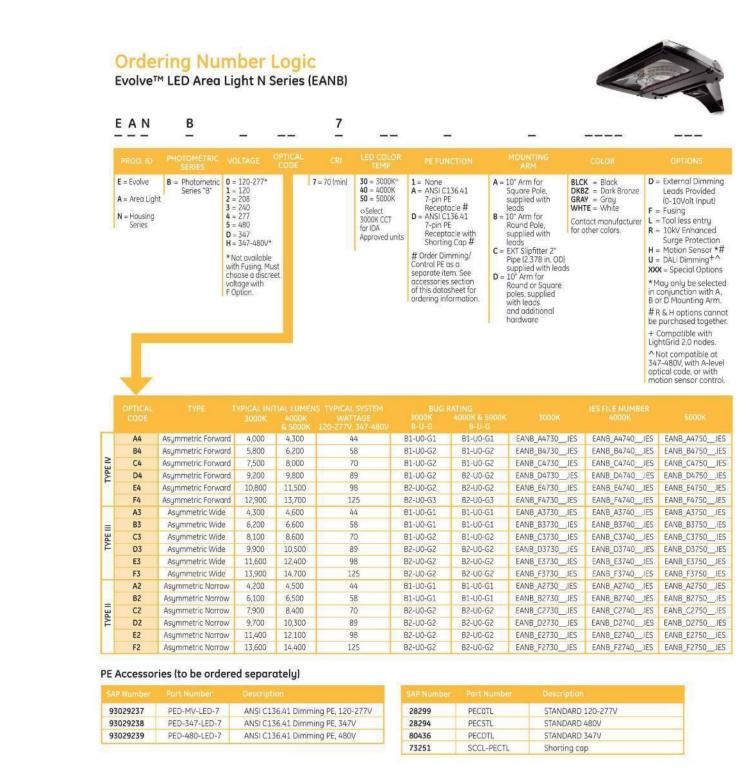






User: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:25:45 Drawing: C:\Users\cfairbanks\appdata\loca\\temp\AcPublish\_3348\JPM-27135-001-P-DETL.dwg ;C16 PHOTOMETRIC DETAILS

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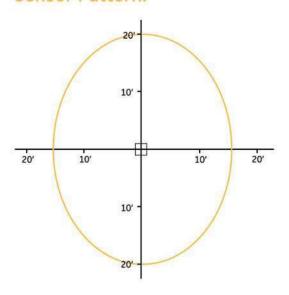
# H-Motion Sensing Option:

- Intended for high mounting applications, between 15-30ft
- (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted
- sensors are recommended.
- Provides a coverage area radius for walking motion of 15-20ft
- (4.57-6.10m).
- Provides 270° of coverage (~90° is blocked by the pole). Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy.
- Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control.
- Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.

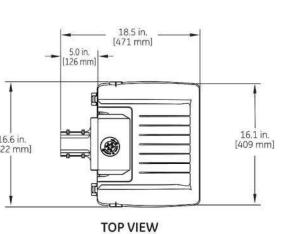
Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.

• Must order with decorative mounting arm options "A" or "B". Fixture power increase of 1W expected with sensor use.

# Sensor Pattern:



Sensing Pattern Area Fixture Up to 30 ft.

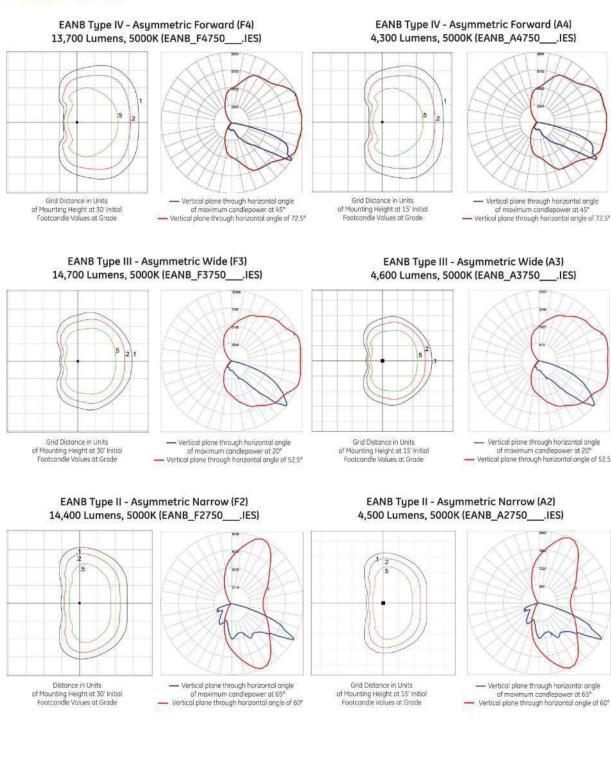


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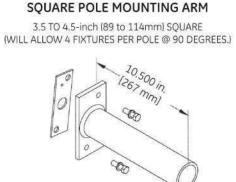
13





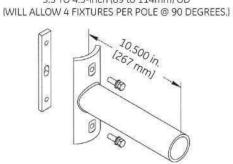
# Mounting Information

Mounting Arms for Slipfitter Order separately with Mounting Option C (External Slipfitter)



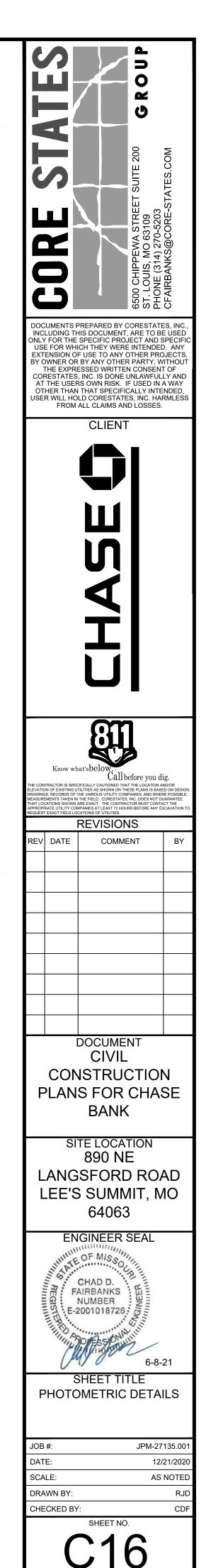
ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER SPA-EAMT10BLCK "Black" SPA-EAMT10DKBZ "Dark Bronze"

# ROUND POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) OD



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER RPA-EAMT10BLCK "Black" RPA-EAMT10DKBZ "Dark Bronze"

> Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.



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RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 08/13/2021

Drilling Templates for

SQUARE POLE MOUNTING

– .438 in. DIA.

[11 mm DIA.]

.656 in. [17 mm]

— 1.312 in. [33 mm]

.438 in. DIA.

[11 mm DIA.]

(2 Places)

2.719 in. [69 mm] 5.438 in

138 mm

ROUND POLE MOUNTING

3.5 TO 4.5-inch (89 to 114mm) OD

round pole mounting arm

312 in. DIA. [8 mm DIA.]

[133 mm

.750 in. DIA.

[19 mm DIA.]

Hole

(2 Places)

4.392 ir

312 in. DIA.

[8 mm DIA.]

5.250 in

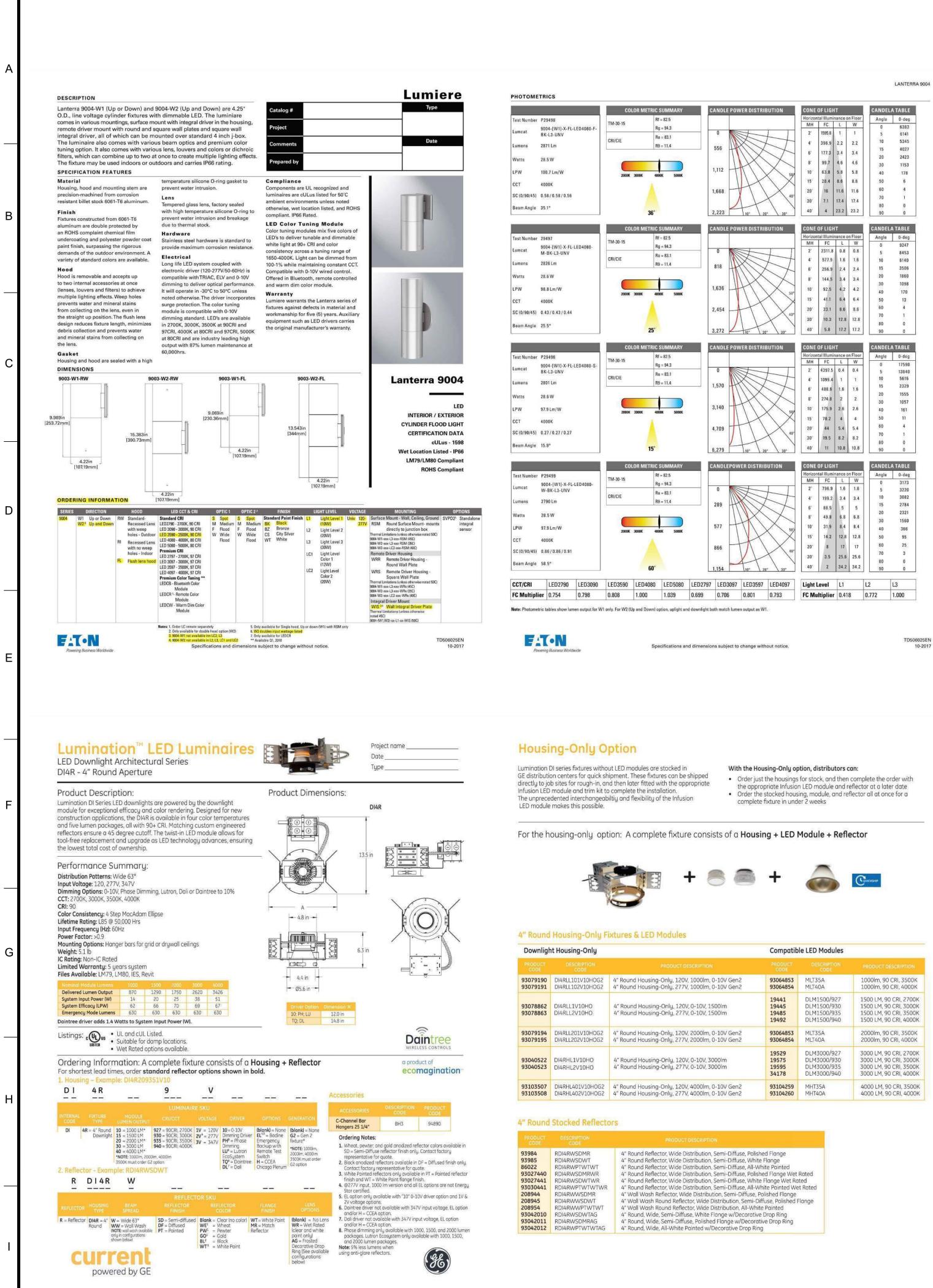
[133 mm

1.250 in. DIA. --

[32 mm DIA.]

Hole

lipfitter Arms & Arm Mount



User: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:26:02 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish\_3348\JPM-27135-001-P-DETL.dwg ;C17 PHOTOMETRIC DETAILS

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		COLOR METRIC SUMMARY	CANDLE POWER DISTRIBUTION	CONE OF LIGHT	CANDELA TABLE
est Number	P29573	TM-30-15		Horizontal Illuminance on Floor	Angle 0-deg
umcat	9004-[W1]-X-FL-[LEDCB,	Rg = 100.4		MH FC L W	0 1469
incat	LEDCR]-F-BK-LC-UNV	CRI/CIE Ra = 92.7		2' 367.2 1.4 1.4	5 1435 10 1324
umens	834 Lm	R9 = 67.5	440	4' 91.8 2.8 2.8 6' 40.8 4.2 4.2	15 1135
Vatts	24 W			6' 40.8 4.2 4.2 8' 23 5.6 5.6	20 865
		2700K 3000K 3500K 4000K	880		30 368
.PW	34.8 Lm/W			10' 14.7 7 7	40 36
CT	3500K	A		15' 6.5 10.6 10.6	50 3
SC (0/90/45)	0.72/0.72/0.71		1,320		60 3 70 0
			1 I I I I	30' 1.6 21.4 21.4	80 0
Beam Angle	44,7°	42°	1,761 10° 20° 30°	40' 0.9 28.6 28.6	90 0
		COLOD METRIC CUMMARY			
	000530	COLOR METRIC SUMMARY	CANDLEPOWER DISTRIBUTION	CONE OF LIGHT Horizontal Illuminance on Floor	CANDELA TABLE Angle 0-deg
est Number	9004-[W1]-X-FL-[LEDCB,	TM-30-15 Rf = 90.6 Rg = 100.4		MH FC L W	Angle 0-deg 0 2213
umcat	LEDCR]-M-BK-LC-UNV	Ba = 92.7	0	2' 553.2 1 1	5 2126
umens	853 Lm	CRI/CIE R9 = 67.5	649	4' 138.3 2.2 2.2	10 1754
				6' 61.5 3.2 3.2	15 1279 20 845
Vatts	24 W			8' 34.6 4.4 4.4	20 845 30 288
.PW	35.5 Lm/W	2700K 3000K 3500K 4000K	1,298	10' 22.1 5.4 5.4	40 3
ст	3500K	A	I HAX	15 9.8 8.2 8.2	50 1
			1,947	20' 5.5 11 11	60 1
C (0/90/45)	0.55/0.55/0.58			30' 2.5 16.4 16.4	70 0 80 0
leam Angle	33.7°	<b>32°</b>	2,595	40' 1.4 22 22	90 0
est Number		TM-30-15 Rf = 90.6 Rg = 100.4		Horizontal Illuminance on Floor MH FC L W	Angle 0-deg 0 3271
.umcat	9004-[W1]-X-FL-[LEDCB, LEDCR]-S-BK-LC-UNV	Rg = 100.4	- 0	2' 817.8 0.8 0.8	5 2929
umens	853 Lm	CRI/CIE R9 = 67.5		4' 204.4 1.6 1.6	10 2021
			959	6' 90.9 2.4 2.4	15 1231 20 747
Natts	24 W			8' 51.1 3.2 3.2	30 227
.PW	35.5 Lm/W	2700K 3000K 3500K 4000K	1918	10' 32.7 4 4	40 5
СТ	3500K		I HTYX	15 14.5 6 6	50 1
C (0/90/45)	0.41/0.41/0.45		2,877	20 8.2 8 8	60 0 70 0
				30 3.6 12 12	80 0
leam Angle	24.1*	20°	3,837	40' 2 16.2 16.2	90 0
		W W		CONF OF LIQUE	
	820524	COLOR METRIC SUMMARY Rf = 90.6	CANDLEPOWER DISTRIBUTION	CONE OF LIGHT Horizontal Illuminance on Floor	CANDELA TABLE Angle 0-deg
est Number	P29574 9004-[W1]-X-FL-[LEDCB,	TM-30-15 Rg = 100.4		MH FC L W	0 974
umcat	LEDCR]-W-BK-LC-UNV	Ba = 92.7	0	2' 243.5 1.6 1.6	5 960
umens	806 Lm	CRI/CIE R9 = 67.5	302	4' 60.9 3.4 3.4	10 910
	24.187			6' 27.1 5 5	15 835 20 715
latta	24 W	2700K 3000K 3500K 4000K	Ena HKV	8 15.2 6.8 6.8	30 424
/atts		LIGHT DOOR JUDIN WOON	604 T 507	10' 9.7 8.4 8.4	40 157
	33.6 Lm/W				
PW	33.6 Lm/W 3500K		LHXX	15' 4.3 12.8 12.8	50 6
Vatts PW :CT :C (0/90/45)	3500K		906	20' 2.4 17 17	60 4
PW	3500K 0.85/0.85/0.86	56*	906	0.32 0.98 9.048 0.0788	

FAT-N

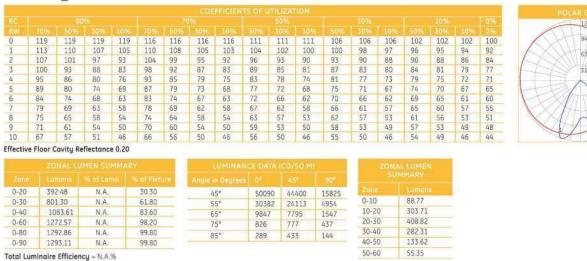
Specifications and dimensions subject to change without notice.

TD506025EN 10-2017

# Photometric Data: Lumination<sup>™</sup> DI4R Wall Wash

																			90
																		0.96	
																		0%	
	119	119	119	119	116	116	116	116	111	111	111	106	106	106	102	102	102	100	
	113	110	107	105	110	108	105	103	103	102	100	100	98	97	96	95	94	92	1AXA
	106	101	97	93	104	99	95	92	96	93	90	93	90	88	90	88	86	84 77	AN
	100	93	88	83	98	92	87	83	89	85	81	87	83	80	84	81	79	77	1-AA
	94	86	80	75	93	85	79	75	83	78	74	81	76	73	79	75	72	70 65	
	89	80	73	69	87	79	73	68	77	72	68	75	71	67	74	70	66	65	H+++>
	84	74	68	63	82	73	67	63	72	66	62	70	65	62	69	65	61	60	1 tx
	79	69	62	58	78	68	62	58	67	61	57	66	61	57	65	60	57	55	XXI
-	75	65	58	53	74	64	58	53	63	57	53	62	57	53	61	56	53	51	XX
	71	60	54	50	70	60	54	50	59	53	49	58	53	49	57	52	49	47	
	67	57	50	46	66	56	50	46	55	50	46	55	49	46	54	49	46	44	
	ZO	NALLU	eflectanc	MMAR				LUMINAN							LUME	4			
						ure						90*							
0-20	26	3.52	N.A.		30.00		4	5°	27051	26	6073	9413	Zone			5)			
)-30	54	1.63	N.A.		61.70		5	5°	17234	16	5252	4493	0-10		58.58				
0-40	73	1.26	N.A.	-	83.30		6	5*	6052	63	356	1612	10-2	0	204.93				
)-60	86	0.41	N.A.		98.00			5°	458	53		229	20-3	0	278.12				
08-0	87	5.79	N.A.		99.80		8	5°	113	11	13	0	30-4	0	189.63				
-90	and the second	5.92	N.A.		99.80								40-5	0	89.95				
1.110	1.001	(MO)51	1102.01		515000ER	_							50-6	0	39.20				

I4R15XXX	<b>RDIRWWSDXX.IES</b>
1.1117201001	



# DI4R20XXX\_RDIRWWSDXX.IES

0	119	119	119	119	116	116	116	116	111	111	111	106	106	106	102	102	102	100
1	113	110	107	105	110	108	105	103	104	102	100	100	98	97	96	95	94	92
2	107	101	97	93	104	99	95	92	96	93	90	93	90	88	90	88	86	84
3 4 5	100	93	88	83	98	92	87	83	89	85	81	87	83	80	84	81	79	77
4	95	86	80	76	93	85	79	75	83	78	74	81	77	73	79	75	72	71
5	89	80	74	69	87	79	73	68	77	72	68	75	71	67	74	70	67	65
6	84	74	68	63	83	74	67	63	72	66	62	70	66	62	69	65	61	60
7	79	69	63	58	78	69	62	58	67	62	58	66	61	57	65	60	57	55
8	75	65	58	54	74	64	58	54	63	57	53	62	57	53	61	56	53	51
9	71	61	54	50	70	60	54	50	59	53	50	58	53	49	57	53	49	48
10	67	57	-51	46	66	56	50	46	56	50	46	55	50	46	54	49	46	44
	ZC	DNAL LI	eflectanc IMEN SU	MMAR				UMINAN						ZONAL	LUME	4		
						ure	Angle i					90						
0-20	52	0.52	N.A.		30.30		4	5°	66430	-58	891	20982	Zoni		Lumen			
0-30	10	62.72	N.A.		61.80		5	5°	40290	31	982	6576	0-10		117.73			
0-40	14	37.13	N.A.		83.60		6	5°	13061	10	353	2053	10-2	0	402.79			
0-60	16	87.75	N.A.		98.20			5°	1069	1/1/0	20	583	20-3	0	542.19			
0-80	17	14.65	N.A.		99.80			5°	433	57	-	144	30-4	0	374.42			
	17	14.96	N.A.		99.80			4 ····	433			744	40-5	0	177.21			
0-90																		

Compatible LED Modules								
, 1000lm, 0-10V Gen2 , 1000lm, 0-10V Gen2	93064853 93064854	MLT35A MLT40A	1000lm, 90 CRI, 3500K 1000lm, 90 CRI, 4000K					
, 0-10V, 1500lm , 0-10V, 1500lm	19441 19445 19485 19492	DLM1500/927 DLM1500/930 DLM1500/935 DLM1500/940	1500 LM, 90 CRI, 2700k 1500 LM, 90 CRI, 3000k 1500 LM, 90 CRI, 3500k 1500 LM, 90 CRI, 4000k					
2000lm, 0-10V Gen2 2000lm, 0-10V Gen2	93064853 93064854	MLT35A MLT40A	2000lm, 90 CRI, 3500K 2000lm, 90 CRI, 4000K					
. 0-10V, 3000lm . 0-10V, 3000lm	19529 19575 19595 34178	DLM3000/927 DLM3000/930 DLM3000/935 DLM3000/940	3000 LM, 90 CRI, 2700K 3000 LM, 90 CRI, 3000K 3000 LM, 90 CRI, 3500K 3000 LM, 90 CRI, 4000K					
, 4000lm, 0-10V Gen2 , 4000lm, 0-10V Gen2	93104259 93104260	MHT35A MHT40A	4000 LM, 90 CRI, 3500k 4000 LM, 90 CRI, 4000k					

11

LUMEN TABLE

TM30 DATA

12

LANTERRA 9004	
	<b>N</b>

S

0 2

					F	9004-[W1] Regressed Hood - Black				
			L1 - 10 W			L2 - 20 W			L3 - 30W	
		CBCP	Lumens	LPW	CBCP	Lumens	LPW	CBCP	Lumens	LPW
	LED2790	5584	783	79.5	10310	1445	71.9	13357	1872	65.7
	LED3090	5907	828	84.1	10906	1529	76.1	14130	1981	69.5
	LED3590	5983	839	85.1	11047	1549	77.0	14311	2006	70.4
825 77	LED4080	7401	1038	105.3	13666	1916	95.3	17705	2482	87.1
Spot 15°	LED5080	7689	1078	109.4	14197	1990	99.0	18393	2578	90.5
10	LED2797	5175	726	73.7	9556	1340	66.6	12380	1736	60.9
	LED3097	5224	732	74.4	9646	1352	67.3	12497	1752	61.5
	LED3597	5926	831	84.3	10941	1534	76.3	14175	1987	69.7
	LED4097	5869	823	83.5	10836	1519	75.6	14038	1968	69.1
	LED2790	2907	781	79.2	5368	1441	71.7	6954	1867	65.5
	LED3090	3075	826	83.8	5678	1525	75.8	7357	1975	69.3
	LED3590	3115	836	84.9	5751	1544	76.8	7451	2001	70.2
Medium	LED4080	3853	1035	105.0	7115	1910	95.0	9218	2475	86.8
Flood	LED5080	4003	1075	109.1	7391	1984	98.7	9576	2571	90.2
25°	LED2797	2695	723	73.4	4975	1336	66.5	6446	1731	60.7
	LED3097	2720	730	74.1	5022	1348	67.1	6505	1747	61.3
	LED3597	3085	828	84.1	5696	1529	76.1	7380	1981	69.5
	LED4097	3055	820	83.3	5642	1515	75.4	7309	1962	68.9
	LED2790	2006	792	80.4	3704	1463	72.8	4799	1895	66.3
	LED3090	2122	838	85.1	3918	1547	77.0	5076	2004	70.1
	LED3590	2149	849	86.2	3969	1567	78.0	5142	2030	71.0
	LED4080	2659	1050	106.6	4910	1939	96.4	6361	2512	87.8
Flood 36°	LED5080	2762	1091	110.7	5101	2014	100.2	6608	2609	91.2
30	LED2797	1859	734	74.5	3233	1356	67.4	4448	1756	61.4
	LED3097	1877	741	75.2	3466	1368	68.1	4490	1773	62.0
	LED3597	2129	841	85.3	3931	1552	77.2	5093	2011	70.3
	LED4097	2108	832	84.5	3893	1537	76.5	5044	1991	69.6
	LED2790	1012	753	76.4	1869	1390	69.2	2422	1801	63.0
	LED3090	1071	796	80.8	1977	1470	73.2	2562	1905	66.6
	LED3590	1085	807	81.9	2003	1489	74.1	2595	1929	67.5
	LED4080	1342	998	101.3	2478	1842	91.7	3210	2387	83.5
Vide Flood 60°	LED5080	1394	1037	105.2	2574	1914	95.2	3335	2480	86.7
00	LED2797	938	698	70.8	1733	1288	64.1	2245	1669	58.4
	LED3097	947	704	71.5	1749	1300	64.7	2266	1685	58.9
	LED3597	1074	799	81.1	1984	1475	73.4	2570	1911	66.8
	LED4097	1064	791	80.3	1965	1461	72.7	2545	1893	66.2

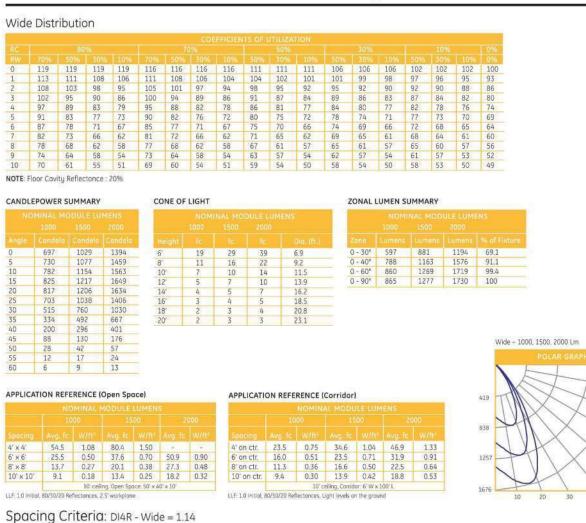
		Rg	Ra	R9
2790	90.9	98.9	91.7	58.3
3090	90.8	99.1	92.5	62.6
3590	90.6	100.4	92.7	67.5
4080	82.5	94.3	83.1	11.4
5080	81.6	94.1	82	6
2797	94.9	100	98.1	86.9
3097	94	100.3	97.8	88.9
3597	92.9	99.3	97.2	89.1
4097	91.5	98.7	95.4	84

Rounsing Resinant Markdunda

TD506025EN 10-2017



Photometric Data: Lumination<sup>™</sup> DI4R Series Downlights



Specifications and dimensions subject to change without notice

## Product Specifications: Construction:

- 16 gauge galvanized steel housing 16 gauge reflectors resist dents during transporation and installation
   Custom engineered heat sinks for passive cooling at all lumen options
- Galvanized steel junction box with multiple knockouts
- Installation: Universal mounting brackets with over 3" of vertical adjustment accommodate
- several types of hanger bars
  Accommodates ceilings up to 1.5" thick
- Mount in T-bar grid or drywall ceilings
   LED module twists in at time of trim installation, preventing damage to module during ceiling installation
- Optical System: Custom engineered reflectors for precise beam distributions and 45° cutoff to light source and source image Self-flanged design with white painted or reflector-matching trim Standard semi-diffuse finish for ideal combination of optical efficiency and low glare
- Electrical System: LED module provides exceptional performance and tool-free upgradeability Standard 0-10V dimming, high efficiency drivers
   Thermal protection feature in module protects LEDs from overheating in abnormal conditions
- For more information and access to all of our resources, including our design tool visit: www.gelighting.com



**RELEASE FOR** 

CONSTRUCTION

**AS NOTED ON PLANS REVIEW** 

DEVELOPMENT SERVICES

LEE'S SUMMIT, MISSOURI

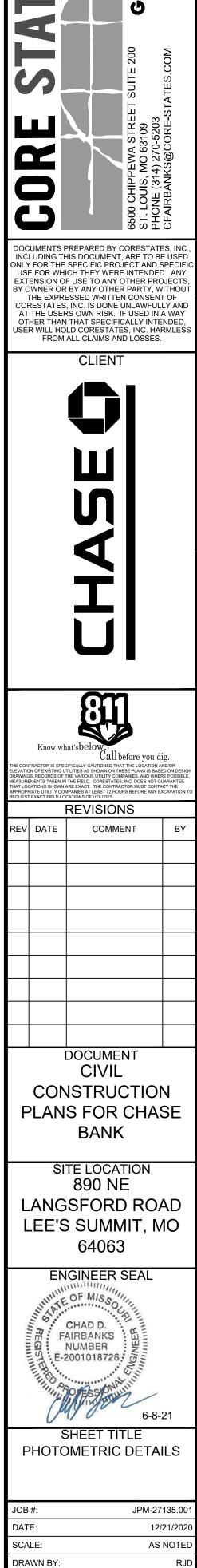
08/13/2021

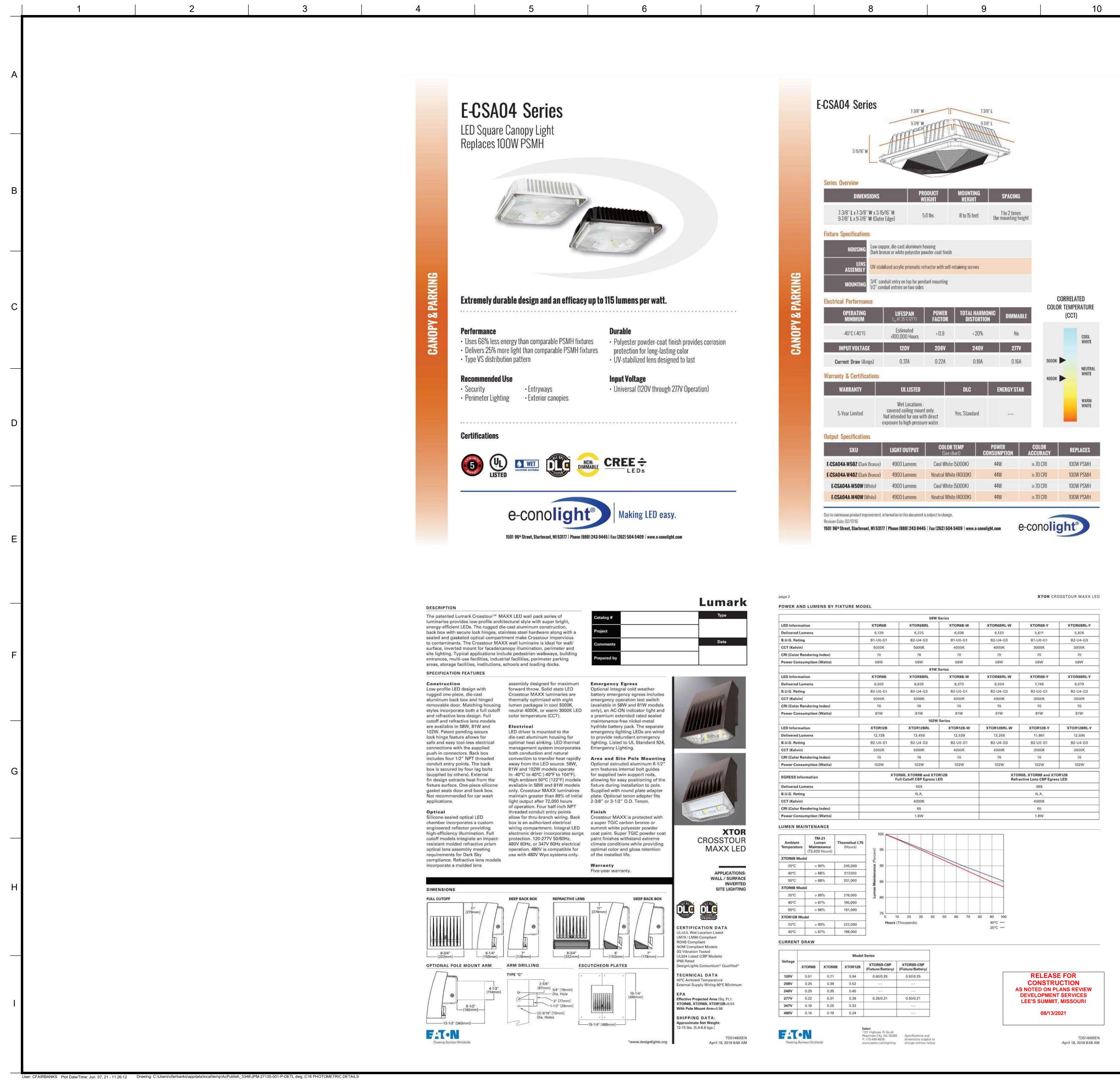
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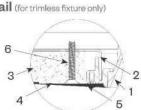


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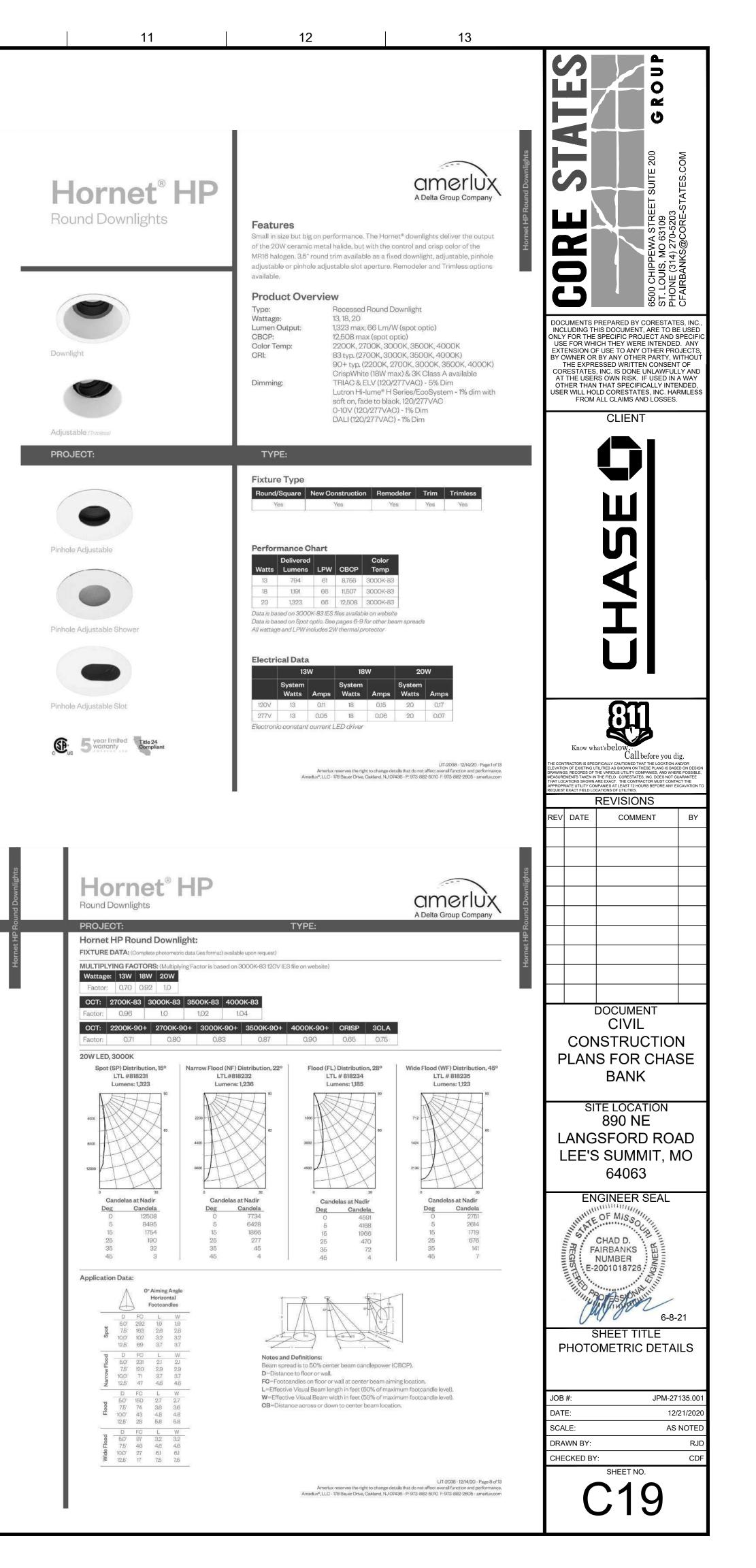
r oo nateu
DesignLights Consortium <sup>®</sup> Qualified*
ECHNICAL DATA
0°C Ambient Temperature
xternal Supply Wiring 90°C Minimum
EPA .
Effective Projected Area (Sq. Ft.):
(TOR6B, XTOR8B, XTOR12B=0.54
Vith Pole Mount Arm=0.98
SHIPPING DATA:
Approximate Net Weight:
2-15 lbs. [5.4-6.8 kgs.]

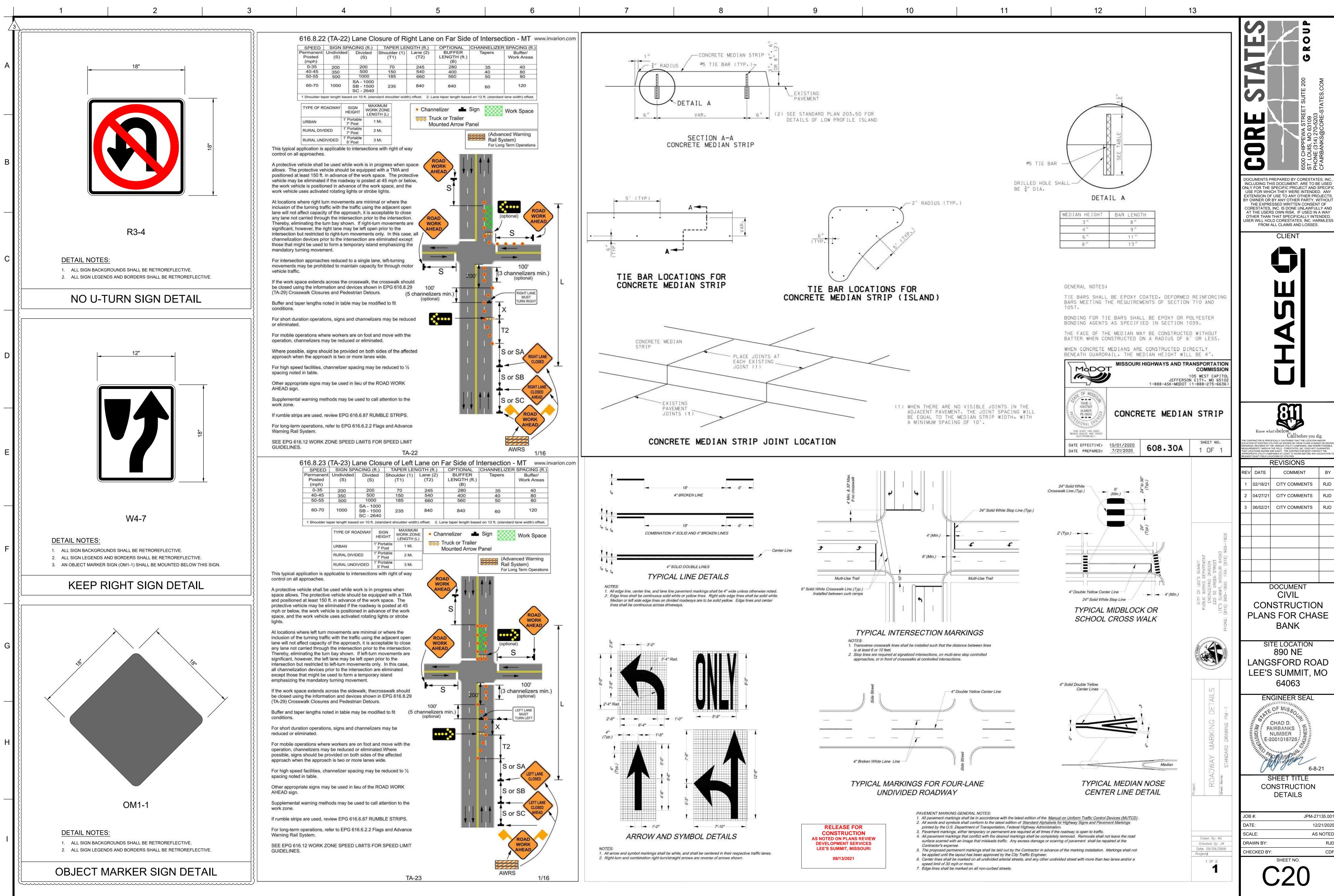
	11	12	2		13	
						S A
F	DCAOA Carias					COM 200
	CSAO4 Series Photometric Diagrams					S1 S1 F SUITE 200
	Mounted	T				<b>GOBRESSI</b> <b>COBRESSI ST LOUIS, MO 63109</b> PHONE (314) 270-5203 CFAIRBANKS@CORE-STATES.COM
	at 10 ft. at 0° tilt	60ft				NO 63 MO 63 MO 63 KS@CC
	60ft					
						CFA CFA
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				WARNING: Cancer a www.p65warnings.c	and Reproductive Harm - a.gov	
R	Revision Date: 02/17/16	rmation in this document is subject to change.		e-conoligh	t <sup>®</sup>	Know what's below Call before you dig.
	1501 96° Street, Sturtevant, WI 531/7	Phone (888) 243-9445   Fax (262) 504-5409	www.e-conolignt			ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
						REVISIONS           REV         DATE         COMMENT         BY
age 3 DRDERING INFORMA Sample Number: XTOR6B	WARAN CONTRACTOR	É en com	20	XTOR CROSST	OUR MAXX LED	
Series <sup>1</sup> Full Cutoff XTOR6B=58W XTOR8B=81W	LED Kelvin Color [Blank]=Bright White (Standard) 5000K W=Neutral, 4000K	Housing Color [Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black	Options (Add 347V=347V <sup>2,3</sup> 480V=480V <sup>2,3</sup> PC1=Photoco	r, 4, 5 3, 4, 5, 6		
XTOR12B=102W Refractive Lens XTOR6BRL=58W XTOR8BRL=81W	Y=Warm, 3000K	BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	PMA=Pole Mo MS-L20=Moti MS/DIM-L20=	ntrol 208-277V <sup>7,8</sup> ount Arm (C Drilling) with Round Adapter <sup>3,1</sup> ion Sensor for ON/OFF Operation <sup>2,3,16,11</sup> =Motion Sensor for Dimming Operation <sup>2,3,13</sup> ather Battery Pack <sup>2,2,15,16,17</sup>		
XTOR12BRL=102W Accessories (Order Separ WG-XTORMX=Crosstour		VA1033-XX=Single Tenon Adapter	HA=50°C High	h Ambient 17		
VA1040-XX=Single Tenor VA1041-XX=2@180° Teno	Id Installed 208-277V Photocontrol <sup>8</sup> n Adapter for 3-1/2" O.D. Tenon <sup>18</sup> on Adapter for 3-1/2" O.D. Tenon <sup>18</sup>	VA1036-XX=4@90° Tenon Adapter VA1037-XX=2@90° Tenon Adapter	for 2-3/8" O.D. Te for 2-3/8" O.D. Te for 2-3/8" O.D. Ter	enon <sup>18</sup> non <sup>18</sup> non <sup>18</sup>		
VA1043-XX=4@90° Tenor VA1044-XX=2@90° Tenor VA1045-XX=3@90° Tenor	on Adapter for 3-1/2" O.D. Tenon <sup>18</sup> n Adapter for 3-1/2" O.D. Tenon <sup>18</sup> n Adapter for 3-1/2" O.D. Tenon <sup>18</sup> n Adapter for 3-1/2" O.D. Tenon <sup>18</sup> on Adapter for 3-1/2" O.D. Tenon <sup>18</sup>	VA1038-XX=3@90° Tenon Adapter VA1039-XX=2@120° Tenon Adapter EWP/XTORMX=Escutcheon Wall PI EWP/XTORMX-WT=Escutcheon Wa FSIR-100=Wireless Configuration T	for 2-3/8" O.D. Te late, Carbon Bron all Plate, Summit	enon <sup>18</sup> Ize White		
OTES: DesignLights Consortium® Ω Not available with HA option Deep back box is standard for	Rualified and classified for both DLC Standa h. r 347V, 480V, CBP, PMA, MS-L20 and MS/DI	rd and DLC Premium, refer to www.designlights.org				CONSTRUCTION PLANS FOR CHASE
Only for use with 480V Wye s High Leg Delta and Three Pha Not available with MS-L20 and	able with HA option or with 347V. systems. Per NEC, not for use with ungroun ase Corner Grounded Delta systems). Id MS/DIM-L20 options.		er grounded systems	s (commonly known as Three Phase Three Wire Del	ta, Three Phase	BANK
. Customer is responsible for e 0. For use in downlight orienta 1. 120V thru 277V only. 2. Factory set to 50% power rea	ition only. Optimal coverage at mounting h duction after 15-minutes of inactivity. Dimr	ture compatibility for all applications. Refer to our v sights of 9'-20'.	vhite paper WP51300	DIEN for additional support information.		SITE LOCATION 890 NE
<ol> <li>120V or 277V operation only.</li> <li>Operating temperatures -20°</li> <li>Not available in XTOR12B or</li> </ol>	tool is required to adjust parameters includ n °C to 25°C. ∙XTOR12BRL models.	ing high and low modes, sensitivity, time delay, cut	off, and more. Consu	If your lighting representative at Eaton for more inf	ormation,	LANGSFORD ROAD LEE'S SUMMIT, MO
8. Replace XX with housing co TOCK ORDERING IN 58W Series	FORMATION	31W Series		102W Series		64063
Full Cutoff XTOR6B=58W, 5000K, Ca XTOR6B-PC1=58W, 5000		KTOR8B=81W, 5000K, Carbon Bronze KTOR8B-PC1=81W, 5000K, 120V PC, Carbon	e tata mangana m	XTOR12B=102W, 5000K, Carbon Bronze XTOR12B-PC1=102W, 5000K, 120V PC, Car	bon Bronze	
	, Carbon Bronze	KTOR8B-WT=81W, 5000K, Summit White KTOR8B-PC2=81W, 5000K, 208-277V PC, Ca KTOR8B-PMA=81W, 5000K, Pole Mount Arn	rbon Bronze	XTOR12B-WT=102W, 5000K, Summit White XTOR12B-PC2=102W, 5000K, 208-277V PC XTOR12B-PMA=102W, 5000K, Pole Mount	e , Carbon Bronze	ENGINEER SEAL
Bronze XTOR6B-W-PMA=58W, 4 Bronze	1000K, Pole Mount Arm, Carbon	Carbon Bronze KTOR8B-W=81W, 4000K, Carbon Bronze		Carbon Bronze XTOR12B-W=102W, 4000K, Carbon Bronze		CHAD D. FAIRBANKS NUMBER E-2001018726
XTOR6B-W-PC2=58W, 40 Bronze	000K, 208-277V PC, Carbon	KTOR8B-W-PC1=81W, 4000K, 120V PC, Carb KTOR8B-W-PC2=81W, 4000K, 208-277V PC, Bronze KTOR8B-W-PMA=81W,4000K, Pole Mount A	Carbon	XTOR12B-W-PC1=102W, 4000K, 120V PC, C XTOR12B-W-PC2=102W, 4000K, 208-277V Bronze XTOR12B-W-PMA=102W,4000K, Pole Mou	PC, Carbon	A DESCONATION
Refractive Lens	JUUK, 120V PC, Carbon Bronze	KTOR8BRL=81W, 5000K, Refractive Lens, C		XTOR12B-W-PMA=102W,4000K, Pole Mou Bronze XTOR12BRL=102W, 5000K, Refractive Lens		6-8-21
XTOR6BRL-PC1=58W, 50 Carbon XTOR6BRL-WT=58W, 500	000K, Refractive Lens, 120V PC, Bronze 00K, Refractive Lens, 20	KTOR8BRL-PC1=81W, 5000K, Refractive Ler Carbon Bronze KTOR8BRL-WT=81W, 5000K, Refractive Len	ns, 120V PC,	XTOR12BRL-PC1=102W, 5000K, Refractive Carbon Bronze XTOR2BRL-WT=102W, 5000K, Refractive L	Lens, 120V PC,	SHEET TITLE PHOTOMETRIC DETAILS
Summit XTOR6BRL-W=58W, 4000 Carbon Br	White OK, Refractive Lens, ronze	Summit White KTOR8BRL-PC2=81W, 5000K, Refractive Ler PC, Carbon Bronze KTOR8BRL-PMA=81W, 5000K, Refractive Le		Summit White XTOR12BRL-PC2=102W, 5000K, Refractive PC, Carbon Bronze XTOR12BRL-PMA=102W, 5000K, Refractive		
Mount XTOR6BRL-W-PMA=58W	Arm, Carbon Bronze	KTOR8BRL-PMA=81W, 5000K, Refractive Le Pole Mount Arm, Carbon I KTOR8BRL-W=81W, 4000K, Refractive Lens Bronze	Bronze	XTOR12BRL-PMA=102W, 5000K, Refractive Pole Mount Arm, Carbo XTOR12BRL-W=102W, 4000K, Refractive L Bronze	n Bronze	JOB #: JPM-27135.001 DATE: 12/21/2020
PC, Carb XTOR6BRL-W-PC2=58W,	bon Bronze	KTOR8BRL-W-PC1=81W, 4000K, Refractive Carbon Bronze KTOR8BRL-W-PC2=81W, 4000K, Refractive 277V PC, Carbon Bronze	Lens, 208-	XTOR12BRL-W-PC1=102W, 4000K, Refracti PC, Carbon Bronze XTOR12BRL-W-PC2=102W, 4000K, Refract 277V PC, Carbon Bror	ive Lens, 208-	SCALE: AS NOTED DRAWN BY: RJD
XTOR6BRL-W-PC1=58W,	4000K, Refractive Lens, 120V	<b>KTOR8BRL-W-PMA=</b> 81W,4000K, Refractive Mount Arm, Carbon Br	Lens, Pole	ZT/V PC, Carbon Bron XTOR12BRL-W-PMA=102W,4000K, Refract Mount Arm, Carbon	ive Lens, Pole	CHECKED BY: CDF SHEET NO.
Powering Business Worldwide	1121 Highway 74 S Peachtree City, GA P. 770-485-4800 www.eston.com/li	30269 Specifications and dimensions subject to		Apr	TD514005EN il 18, 2018 8:58 AM	

	1 2 3 4	5 6 7	8 9 10
А			
		C-CP-B-SQ-3L/4L/7L Series	C-CP-B-SQ-3L/4L/7L Series
		Replaces 100W-150W PSMH /175W MH EXTREMELY DURABLE DESIGN WITH AN EFFICACY UP TO 136 LUMENS PER WATT!	8-3/4° W 8-3/4° H 3-3/4° H
В			SERIES OVERVIEWDIMENSIONSPRODUCT WEIGHTMOUNTING HEIGHTSPACING8-3/4" L x 8-3/4" W x 3-3/4" H 10" L x 10" W (Outer Edge)4.03 lbs. (3L) 4.14 lbs. (4L) 4.14 lbs. (7L)8 to 15 feet3 to 4 times the mounting height
		PRODUCT SPECIFICATIONS         OVERVIEW         • Initial Delivered Lumens: 3,600 (3L); 4,900 (4L); 7,200 (7L)         • Estimated L <sub>10</sub> Lifetime @ 25°C: > 100,000 hours	FIXTURE SPECIFICATIONS         HOUSING       Low-copper, die-cast aluminum housing Dark bronze or white polyester powder-coat finish
С		<ul> <li>CRI: ≥ 70</li> <li>CCT: Neutral White 4000K, Cool White 5000K</li> <li>Input Power: 27 W (3L); 36W (4L); 53W (7L)</li> <li>Dimmable: No</li> <li>Operating Temperature Range: -30°C (-22°F) to 40°C (104°F)</li> <li>CCT: Neutral White 4000K, Cool White 5000K</li> <li>Input Power: 27 W (3L); 36W (4L); 53W (7L)</li> <li>Dimmable: No</li> <li>Replaces 100W -150W PSMH/175W MH</li> <li>BUG Rating per TM-15-11: B1-U3-G1 (3L); B2-U3-G2 (4L &amp; 7L)</li> </ul>	LENS ASSEMBLY       UV-stabilized acrylic prismatic refractor with self-retaining screws         MOUNTING       3/4" conduit entry on top for pendant mounting (pendant by others) 1/2" conduit entries on two sides
		For use under covered ceilings only     For use under covered ceilings only     INPUT VOLTAGE     Vuses up to 80% less energy than     comparable PSMH fixtures     Polyester powder-coat finish provides     corrosion protection for long-lasting color     Fntryways     Fntryways	ELECTRICAL PERFORMANCE       ESTIMATED L <sub>70</sub> LIFETIME @ 25°C (77°F)       POWER FACTOR       TOTAL HARMONIC DISTORTION       DIMMABLE         -30°C (-22°F) to 40°C (104°F)       > 100,000 hours       > 0.9       < 20%       No
		comparable PSMH fixtures       corrosion protection for long-lasting color       • Entryways       277V Operation)         • Type VS distribution pattern       • UV-stabilized lens designed to last       • Perimeter Lighting       • Exterior canopies         • ORDERING INFORMATION       Example: C-CP-B-SQ-3L-40K-WH       • Perimeter Lighting       • Exterior canopies	LUMEN PACKAGE         SYSTEM WATTS (120-277V)         INPUT VOLTAGE         120V         208V         240V         277V           3L         27         0.23A         0.13A         0.11A         0.10A
D		C-CP-B     SQ     LUMEN PACKAGE     CCT     COLOR       PRODUCT     STYLE     LUMEN PACKAGE     CCT     COLOR       C-CP-B     SQ Square Canopy     3L 3,600 Lumens     40K Neutral White (4000K)     DB Dark Bronze	4L         36         CURRENT DRAW (Amps)         0.30A         0.17A         0.15A         0.13A           7L         53         0.44A         0.25A         0.22A         0.19A
		27W     50K     WH       4L     Cool White (5000K)     White       4,900 Lumens     36W     7L       7L     7,200 Lumens     53W	WARRANTY         cULus LISTED         DLC           5 Year Limited*         Wet Locations - Not intended for use with direct exposure to high-pressure water         DLC Premium Qualified. Please refer to www.designlights.org/QPL for most current information
E		US: c-lite.com T (800) 236-6800 F (262) 504-5415 Canada: creelighting-canada.com T (800) 473-1234 F (800) 890-7507 Rev. Date: 06/05/2020 For informational purposes only. Content is subject to change. *See creelighting.com/warranty for details	© 2020 Cree Lighting, A company of IDEAL INDUSTRIES. All rights reserved. For informational purposes only. Content is subject to change. Patent www.creelighting.com/patents. C-LITE® and the C-LITE logo are registered trademarks of Cree Lighting. A company of IDEAL INDUSTRIES. The UL logo is a registered trademark of UL LLC. The DLC QPL Premium logo is a registered trademark of Efficiency Forward, Inc. US: c-lite.com T (800) 236-6800 F (262) 504-5415 Canada: creelighting-canada.com T (800) 473-1234 F (800) 890-7507 Rev. Date: 06/05/2020 For informational purposes only. Content is subject to change. *See creelighting.com/warranty for details
		Hornet <sup>®</sup> HP Bound Downlights	Hornet <sup>®</sup> HP Round Downlights
F		PROJECT:     TYPE:       Housing/Frame Ordering Information     Image: Company of the second	PROJECT:       TYPE:         Specifications       Drivers         Application       Drivers         Retail and commercial ambient, accent & display lighting       LE/TE - Leading Edge, TRIAC, forward phase/Trailing Edge,
		<ul> <li>Model For New Construction HDL-HP-R-NC-A17* (New Construction) HDL-HP-R-CP-A17* (Chicago Plenum (CCEA) housing) HDL-HP-R-IC-A17** (Insulated Ceiling/air tight, 13W &amp; 18W only)</li> <li>For Existing Ceilings HDL-HP-R-REM-A17* (Remodeler)</li> <li>Driver (for non-dimming, select LE/TE option) LE/TE* - TRIAC/ELV dimming HILUME-H-ECO - Lutron Hi-lume* H Series, EcoSystem, 1% dim with soft on, fade to black 0-10V* - 0-10V dimming, 1% dim DALI - DALI dimming, 1% dim</li> <li>Mattage 13*</li> </ul>	Construction       20 ga. galvanized steel frame         18 ga. galvanized steel splice housing and hanger brackets       0-10V, Lutron and DALI systems also available         18 ga. galvanized steel splice housing and hanger brackets       See pages 10-11 for more dimming information         10 ga. galvanized steel splice housing and hanger brackets       Finish         10 cast aluminum plaster frame with perforated face (for trimless version only)       Poie-cast optical housing and trim         Die-cast optical housing and trim       Die-cast heat sink         Optical       Tilt: 0-30° (RA/RPAS trims), 0-20° (RPA/RPASHW trims)         Beam spreads: Spot, 15°; Narrow Flood, 22°;       Timed Fixture:
G		18*       HB49 - hanger bars from min 29" to max 49" (not available for use with IC housing)         Trim Ordering Information	LED       Color Temp Options:       2200K, 2700K, 3000K, 3500K, 4000K         CRI: 83 typ. (2700K, 3000K, 3500K, 4000K)       Color Tamp Options:
		1     2     3     4     5     6       1     Model HDL-HP-RD-A17 <sup>+</sup> (downlight) HDL-HP-RPA-A17 <sup>+</sup> (adjustable) HDL-HP-RPA-A17 <sup>+</sup> (pinhole) HDL-HP-RPAS-A17 <sup>+</sup> (pinhole adjustable slot) HDL-HP-RPAS-HW-A17 <sup>+</sup> (shower, not available in trimless)     4     Beam.Spreads RD/RA     RD/RA     RPA/RPAS/RPASHW       SP*     SP*     SP*     SP*     SP*       MFL*     MFL*     MFL*     MFL*       WF*     WF*     WF*	CrispWhite* LED available, 18W max       Damp location         Class A** 3000K (high CRI, high gamut)       Wet location (RPASHW trim only)         R9 Values: 11 (83 CRI), 55 (92 CRI)       Warranty         Binning: 3 MaoAdam (SDCM)       5 year limited warranty         Life: 50,000+ hrs, > 70% of initial lumens at 50,000 hrs       5 year limited warranty         *CrispWhite: CrispWhite: Technology delivers the warmth of colors expected from a high 90 CRI solution but also creates the natural crisp white color       Emergency Battery Pack (EM)
н		<ul> <li>Style T - trimmed TL - trimless (not for use with RPASHW trim)</li> <li>Finish - RD/RA Trims: Trimmed Trimmed Trimmed MBW - matte black, white flange MB - matte black MWW - matte white, white flange SLVW - matte silver, white flange SLVS - matte silver, silver flange Finish - RPA/RPAS/RPASHW Trims (Trimmed or Trimless): MB - matte black MWW - matte white SLWW - matte white SLWS - matte silver, silver flange Finish - RPA/RPAS/RPASHW Trims (Trimmed or Trimless): MB - matte black MWW - matte white SLWS - matte white SLWS - matte silver, silver flange Finish - RPA/RPAS/RPASHW Trims (Trimmed or Trimless): MB - matte black MWW - matte white SLWS - matte white SLWS - matte white SLWS - matte white SLWS - matte silver, silver flange Finish - RPA/RPAS/RPASHW Trims (Trimmed or Trimless): MB - matte black MWW - matte white SLWS - matte white SLWS - matte white SLWS - matte silver, silver flange Finish - RPA/RPAS/RPASHW Trims (Trimmed or Trimless): MB - matte white SLWS - matte white SLWS</li></ul>	<ul> <li>that is pleasing to the eye. It creates the most impactful lighting ever available, by revealing the richest whites and vibrant colors that pop.</li> <li>**Class A LED: Class A LED's have a CRI &gt; 80 and a GAI &gt; 80. CRI defines color "Naturalness" and GAI defines color "Saturation." Both being high delivers rich colors and pure whites.</li> <li>Electrical</li> <li>Wattage: 13, 18, 20</li> <li>Electronic constant current LED driver, 120/277VAC input This product complies with IEEE C62.41 for surge endurance up to 2.5KV. Amerlux® recommends using additional surge protection with this unit (supplied by others), surge and over voltage damage is not covered under warranty.</li> <li>Note: Drivers are universal but thermal protector is voltage specific</li> </ul>
I	RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI	SLV - matte silver PC - polished chrome BN - brushed nickel	<ul> <li>Plaster Frame Installation Detail (for trimless fixture only)</li> <li>1. Reflector Trim</li> <li>2. Aperture plate</li> <li>3. Ceiling 5%"</li> <li>4. Cast Aluminum Plaster Frame</li> <li>5. Plaster Skim Coat (by others)</li> </ul>
	08/13/2021	* The "A" refers to the sequential revision in a year and "XX" refers to the year of update. Updates coincide with improved performance while not changing the overall fixture aesthetic and are reflected in the published performance data. Please contact your Amerlux representative for explanations of changes. UT-2038 · 12/14/20 · Page 2 of 13 Amerlux reserves the right to change details that do not affect overall function and performance. Amerlux <sup>4</sup> , LLC · 178 Bauer Drive, Cakland, NJ 07438 · P:973-882-26010 F: 973-882-2605 · amerluxcom	6. 6-32 Type F Thread Outting Screw 4 5 6. 6-32 Type F Thread Outting Screw 4 5 6 6 6 6 6 6 6 6 6 6 6 6 6

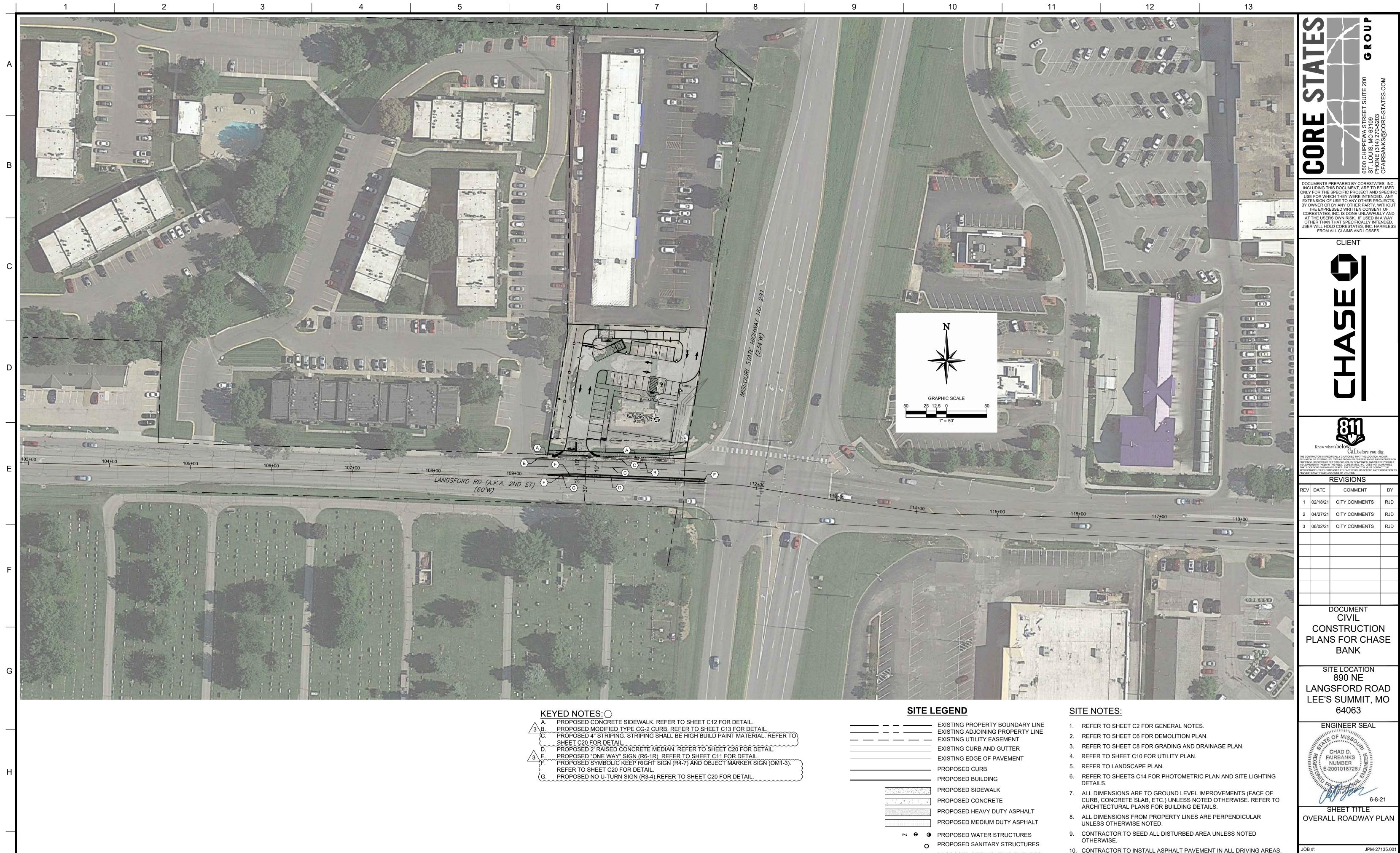


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Iser: CFAIRBANKS Plot Date/Time: Jun. 08, 21 - 09:35:49 np\AcPublish 22436\JPM-27135-001-P-DETL.dwg ;C20 CONSTRUCTION DETAIL



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local\temp\AcPublish\_3348\JPM-27135-001-P-SITE-ROAD.dwg ;C21 OVERALL ROADWAY PLAN

- PROPOSED SITE LIGHTING FIXTURES (S) EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE ■ → B EXISTING ELECTRIC STRUCTURE
  - (2) PROPOSED PARKING COUNT

- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

- © EXISTING COMMUNICATIONS STRUCTURE

**RELEASE FOR** CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI

DATE:

SCALE:

DRAWN BY:

CHECKED BY:

SHEET NO.

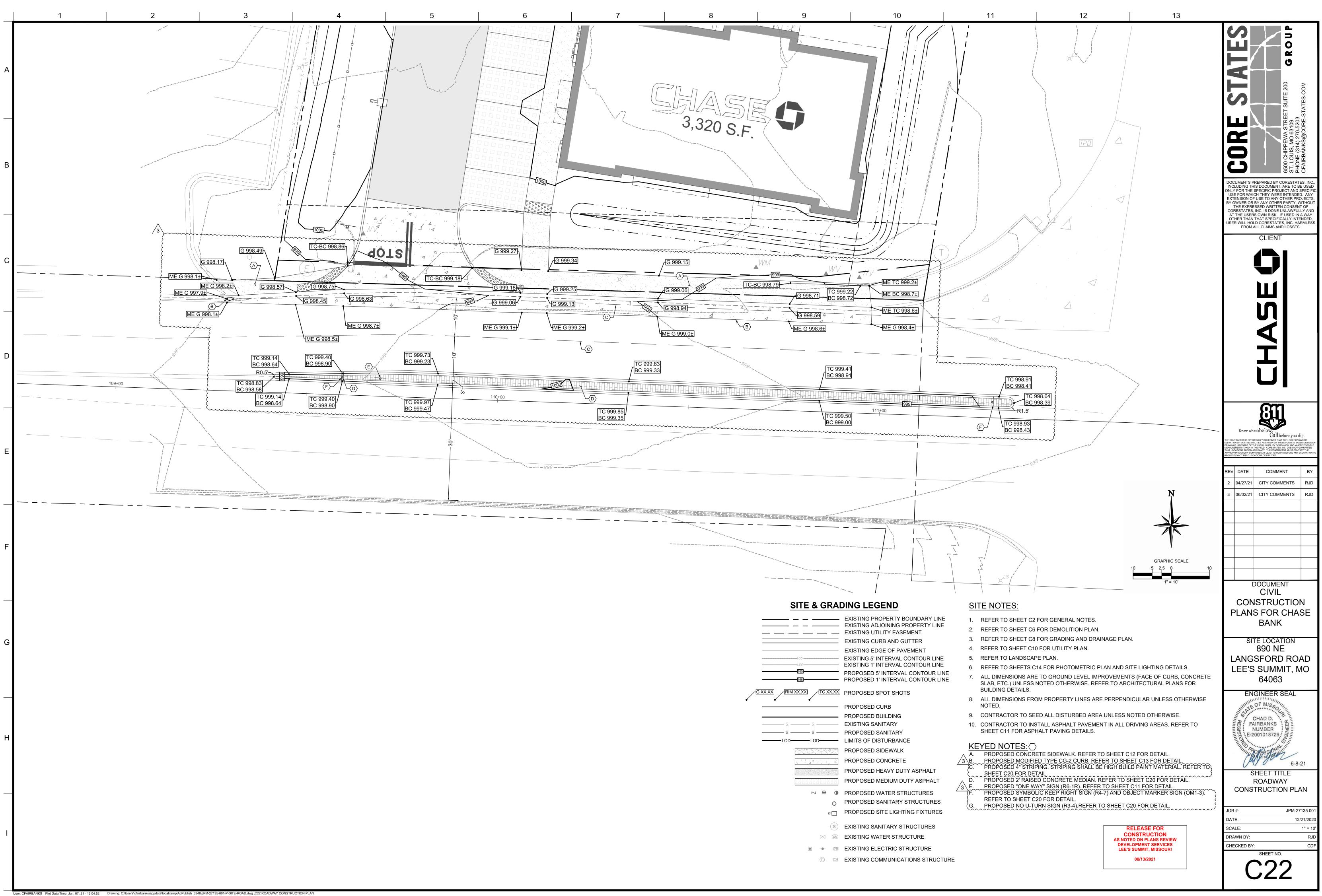
C21

12/21/2020

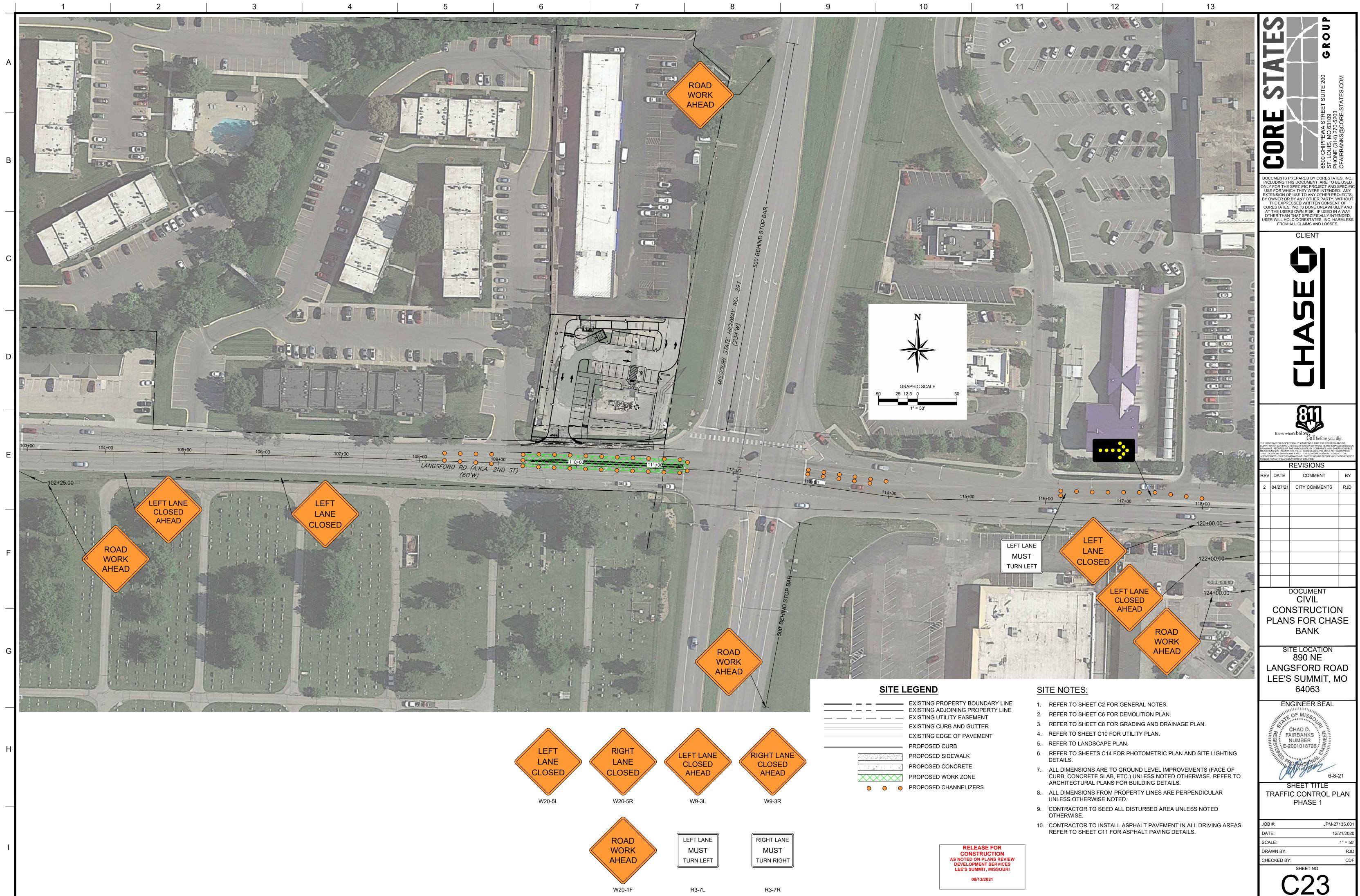
1" = 50

RJI

08/13/2021

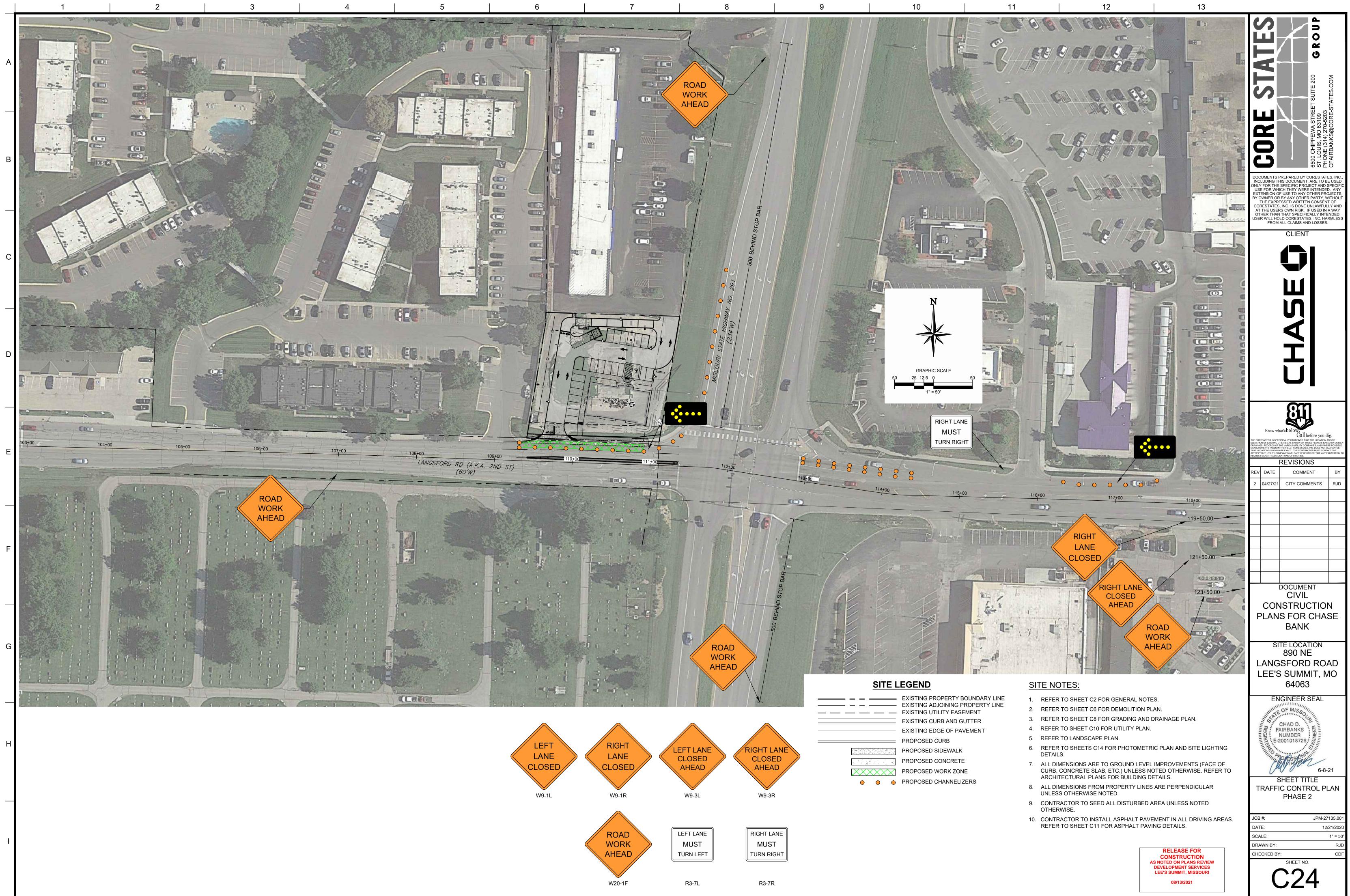


	EXISTING PROPERTY BOUND EXISTING ADJOINING PROPE EXISTING UTILITY EASEMENT
	EXISTING CURB AND GUTTER
	EXISTING EDGE OF PAVEMEN
165	EXISTING 5' INTERVAL CONTO EXISTING 1' INTERVAL CONTO
165	PROPOSED 5' INTERVAL CON
168	PROPOSED 1' INTERVAL CON
	PROPOSED SPOT SHOTS
	PROPOSED CURB
	PROPOSED BUILDING
S S	EXISTING SANITARY
S S	PROPOSED SANITARY
LOD-LOD-LOD-	LIMITS OF DISTURBANCE
	PROPOSED SIDEWALK
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY ASP
	PROPOSED MEDIUM DUTY AS
0 9 14	PROPOSED WATER STRUCTU
0	PROPOSED SANITARY STRUC
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S	EXISTING SANITARY STRUCT
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	EXISTING ELECTRIC STRUCT
C CM	EXISTING COMMUNICATIONS



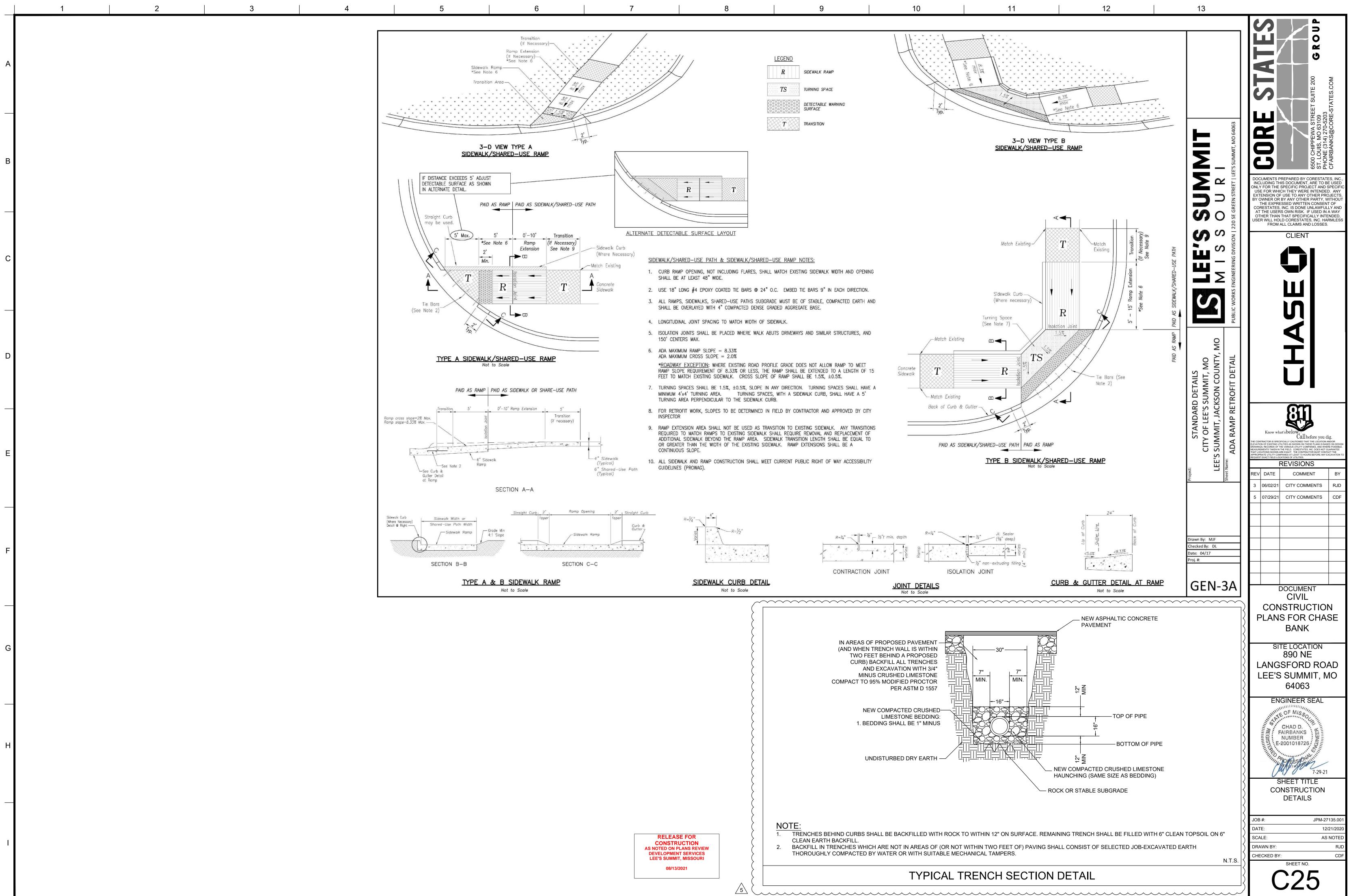
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pdata\local\temp\AcPublish\_22436\JPM-27135-001-P-SITE-ROAD.dwg ;C23 TRAFFIC CONTROL PLAN - PHASE

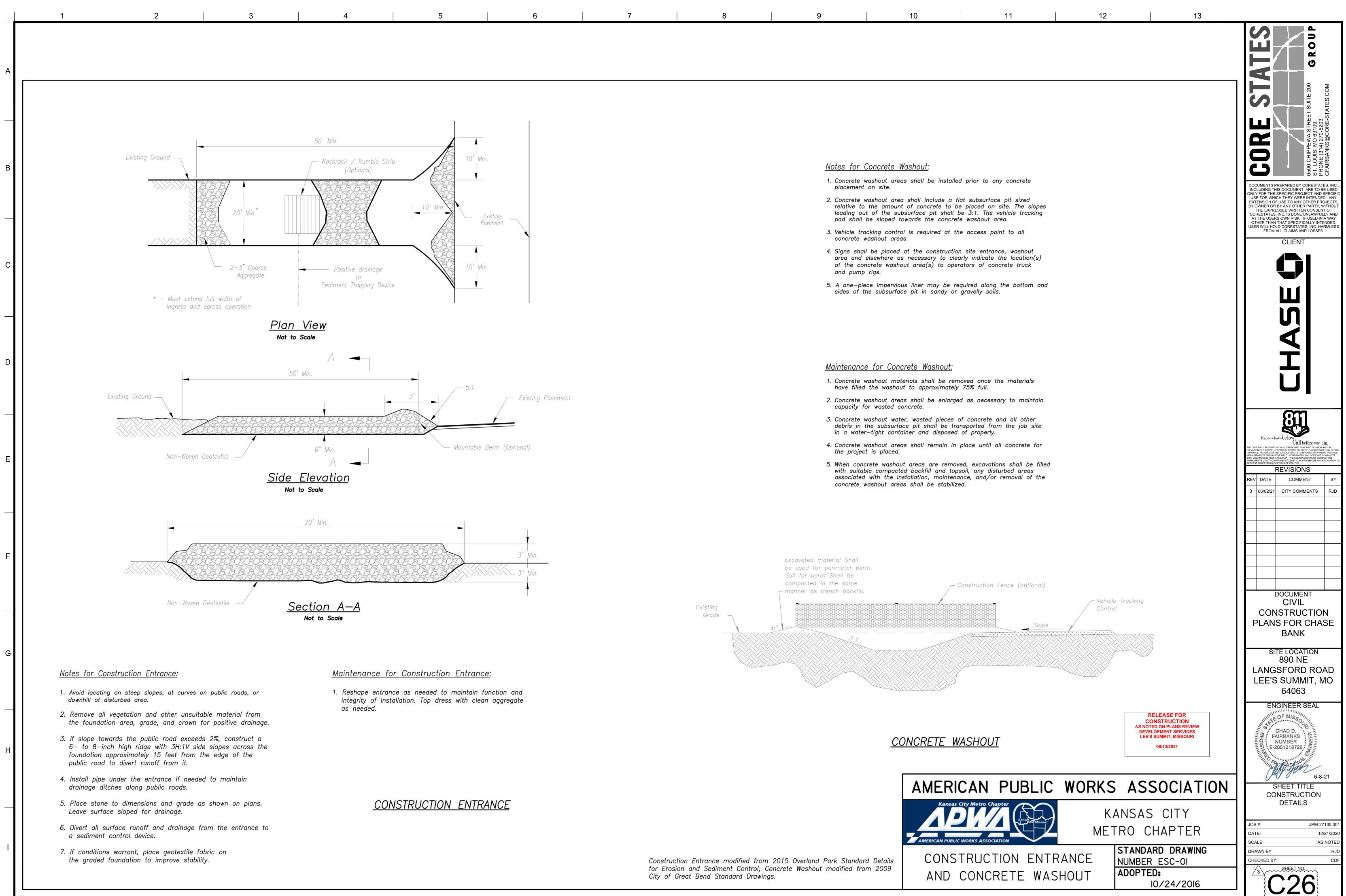


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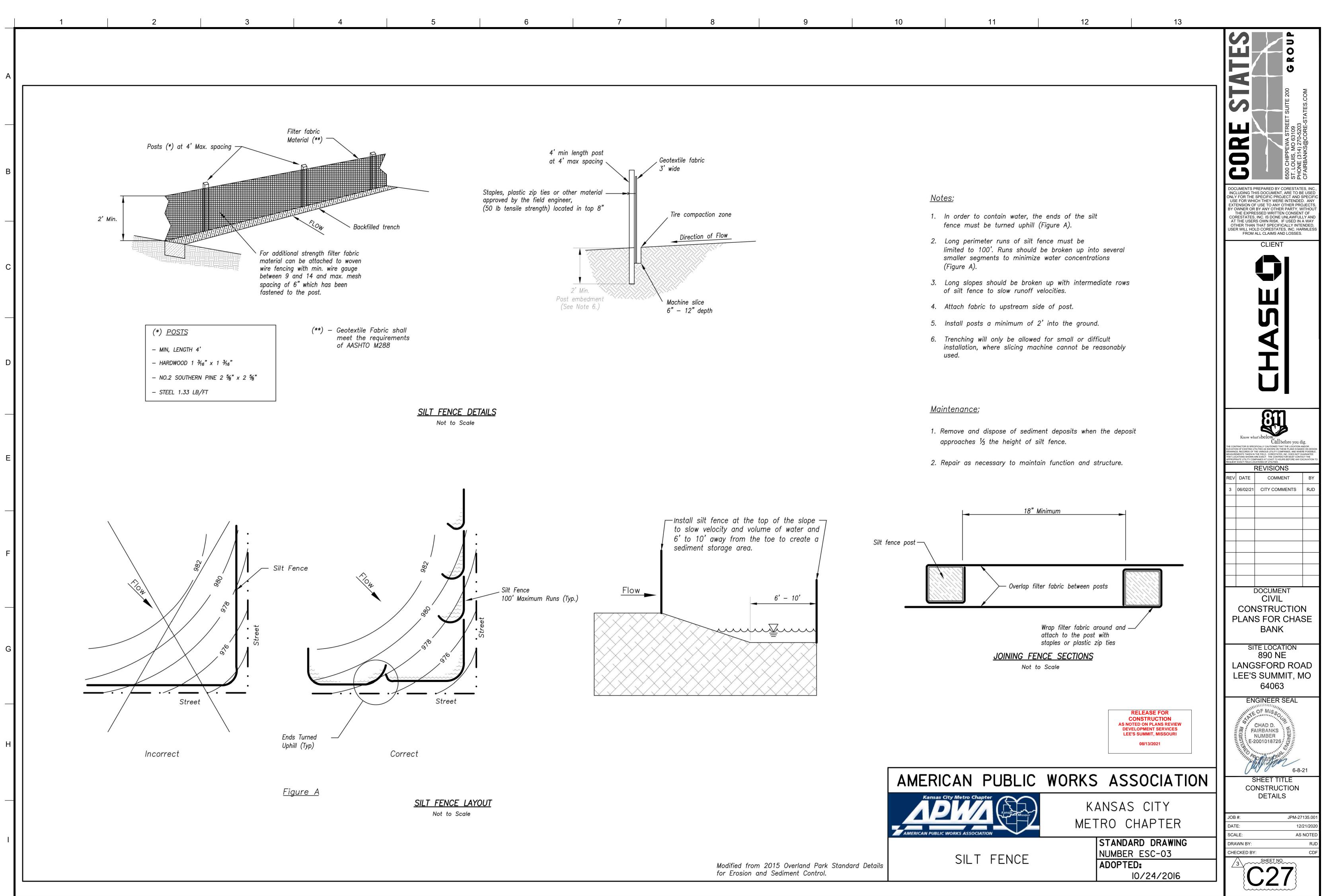
pdata\local\temp\AcPublish\_22436\JPM-27135-001-P-SITE-ROAD.dwg ;C24 TRAFFIC CONTROL PLAN - PHASE 2



User: CFAIRBANKS Plot Date/Time: Jul. 29, 21 - 09:56:00 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg ;C25 CONSTRUCTION DETAILS



Iser: CFAIRBANKS Plot Date/Time: Jun. 08, 21 - 09:35:57 Drawing: C:\Users\cfairbanks local/temp/AcPublish 22436/JPM-27135-001-P-DETL.dwg ;C26 CONSTRUCTION DETAIL



Jser: CFAIRBANKS Plot Date/Time: Jun. 08, 21 - 09:35:57 Drawing: C:\Users\cfairbanks\ap

ta\local\temp\AcPublish\_22436\JPM-27135-001-P-DETL.dwg ;C27 CONSTRUCTION DETAIL



LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY,

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT

MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M

FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 991101701.

10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975

AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI

CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3,

11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT

DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING

FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE

FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE

AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE

UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI

12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT

DEED DESCRIPTION:

DOCUMENT NO. 200010020477.

SCHEDULE B SECTION II COMMENTS:

NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

ZONING: CP-2 - PLANNED COMMUNITY COMERCIAL

MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

BY **Journ J. Kayen h** (AGANT) JAMES L. DEGENHARDT

MIN FRONT YARD SETBACK = 15FT MIN SIDE YARD SETBACK = 10FT MIN REAR YARD SETBACK = 20FT

SURVEYORS CERTIFICATE

MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

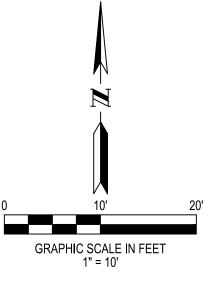
2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)

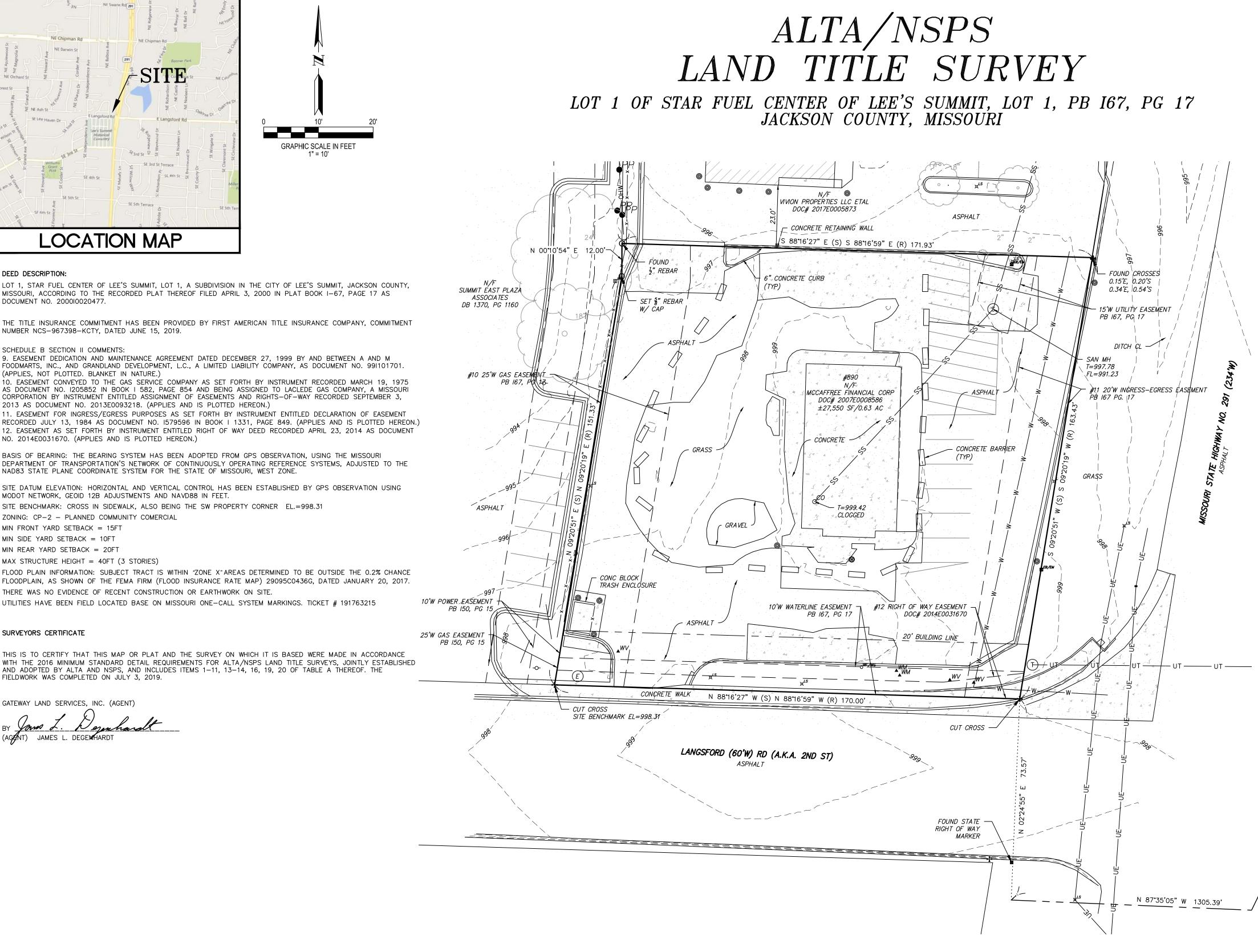
NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

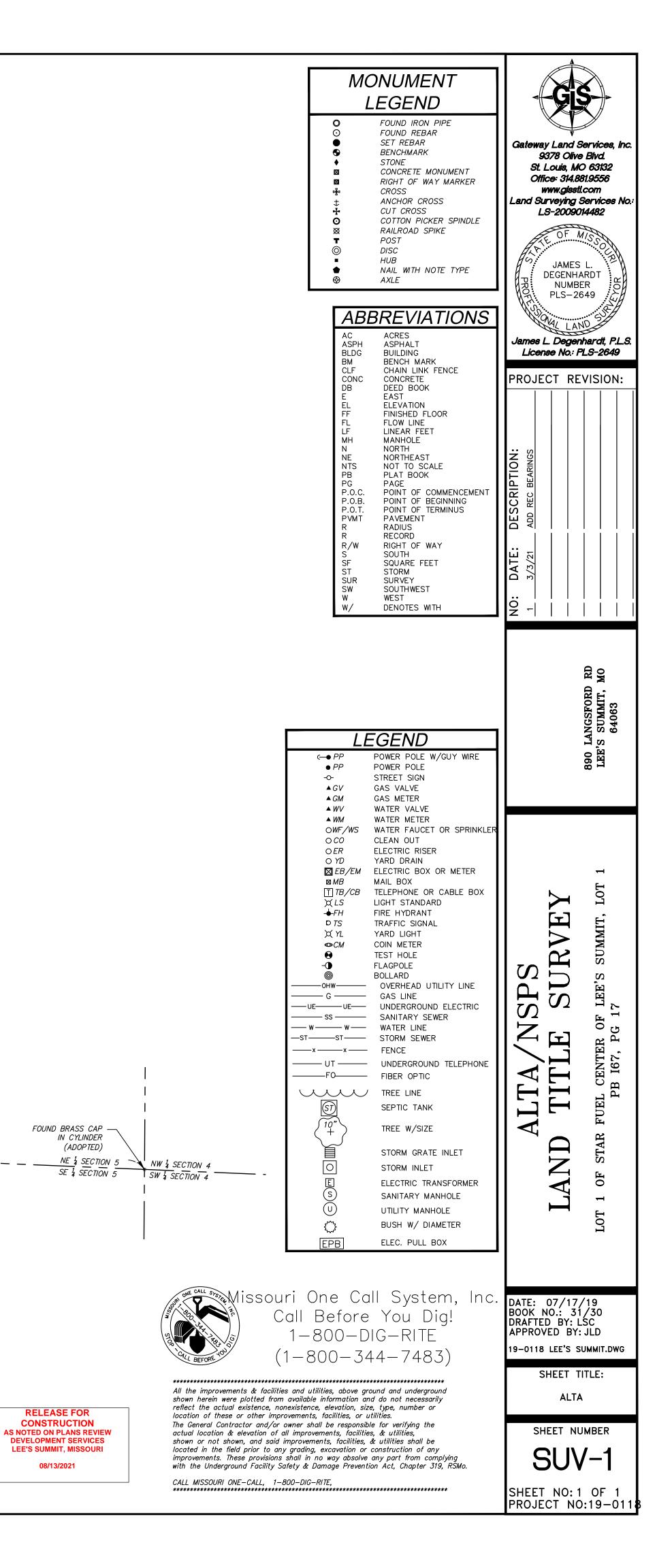
THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE.

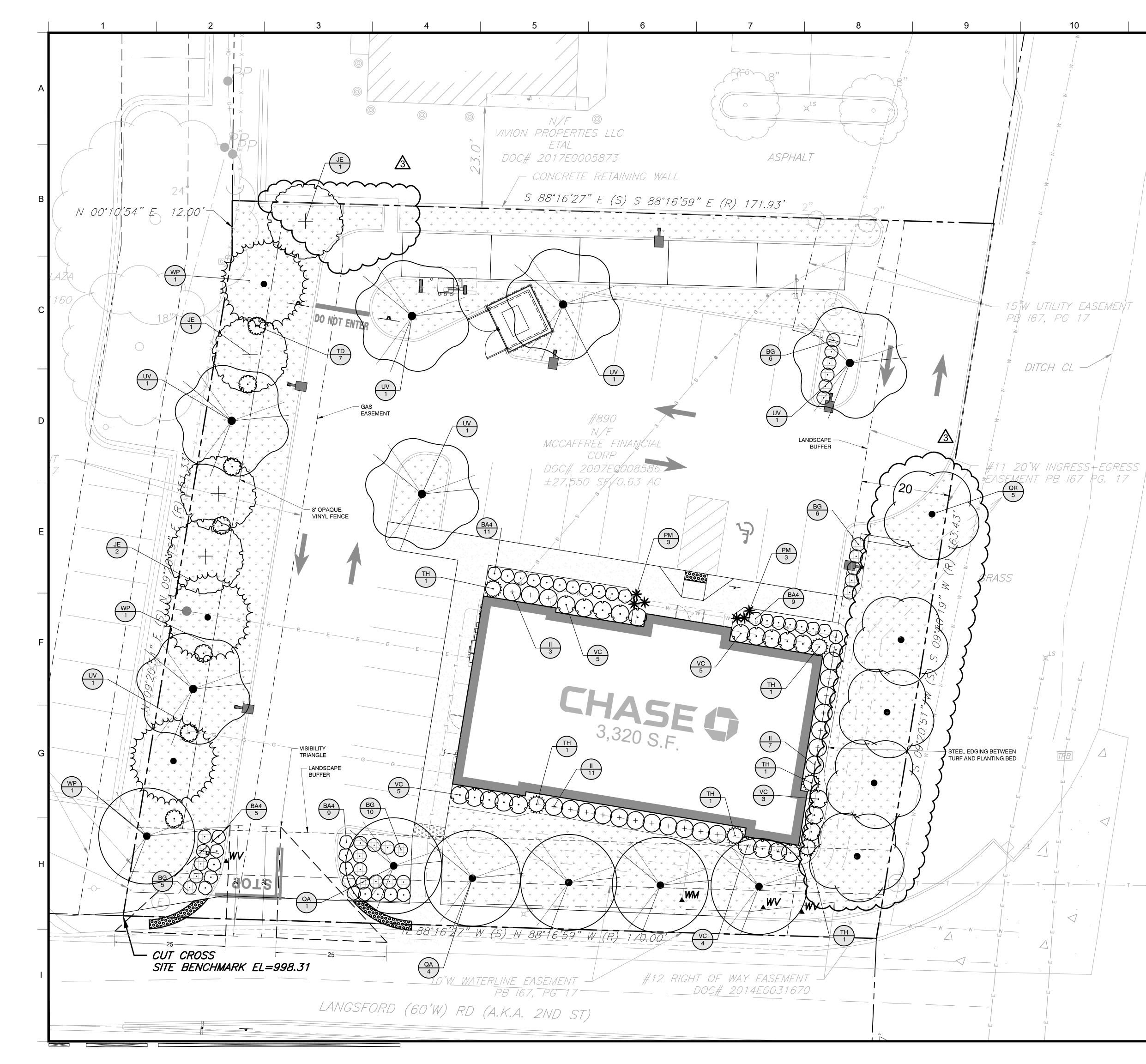
SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

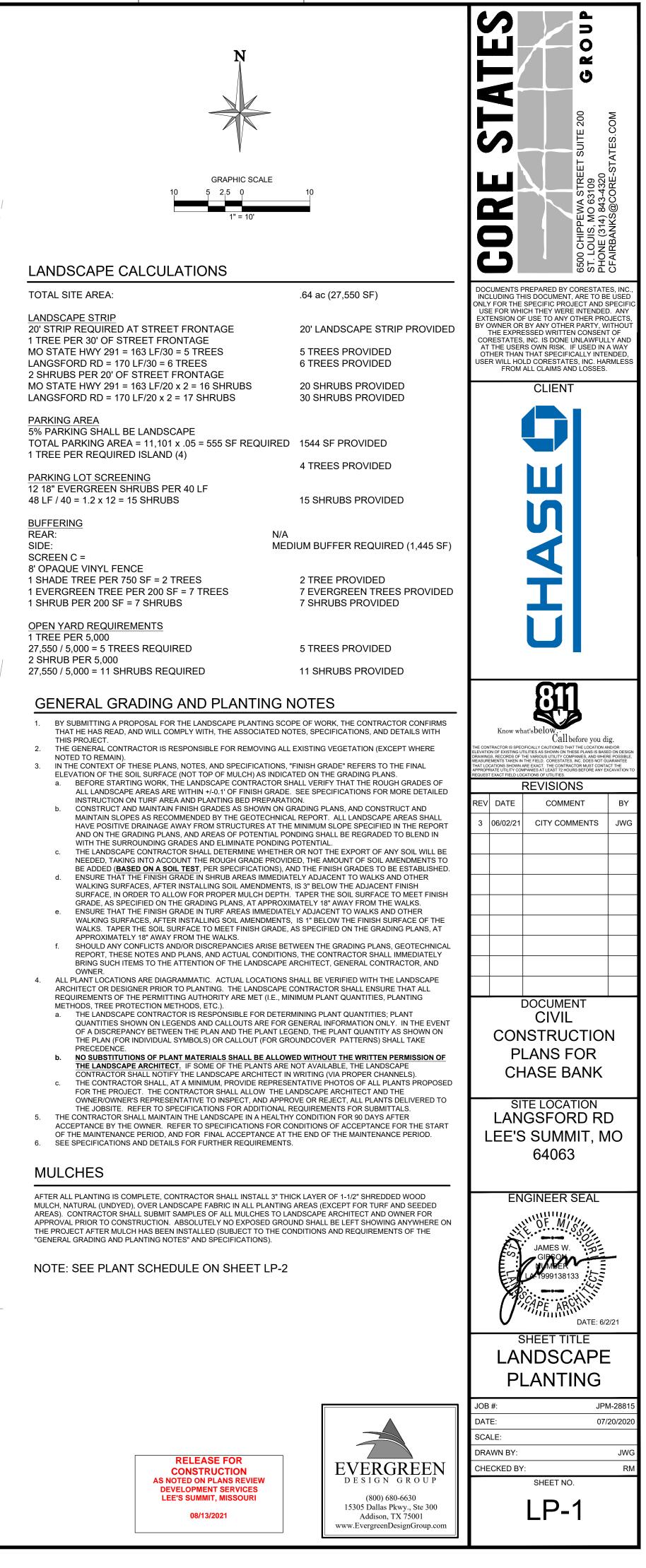
(APPLIES, NOT PLOTTED. BLANKET IN NATURE.)











PLANTING SPECIFICATIONS	
ENERAL QUALIFICATIONS OF LANDSCAPE CONTRACTOR	<ul> <li>B. SUBMITTALS</li> <li>1. THE CONTRACTOR SHALL PROVIDE SUBMITTA ARCHITECT, AND RECEIVE APPROVAL IN WRIT</li> </ul>
ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM     SPECIALIZING IN LANDSCAPE PLANTING.	2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLA PHOTOS OR SAMPLES OF ANY REQUIRED MU
<ol> <li>A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.</li> </ol>	RECOMMENDATIONS FROM THE TESTING LAB TYPES, AND OTHER AMENDMENTS FOR TREE
<ol> <li>THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.</li> </ol>	APPROPRIATE). 3. SUBMITTALS SHALL ALSO INCLUDE MANUFAC AS TREE STAKES AND TIES EDGING, AND LAN
<ul> <li>SCOPE OF WORK</li> <li>1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR</li> </ul>	AS TREE STAKES AND TIES, EDGING, AND LAN 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PA ITEM BEING CONSIDERED.
THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOW ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.	
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL	2. EXCEPT IN AREAS TO BE PLANTED WITH ORN. AT THE MANUFACTURER'S RECOMMENDED R
INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.	TRENCHING NEAR EXISTING TREES:     a. CONTRACTOR SHALL NOT DISTURB ROO     DOOT SUPERIOR SHALL NOT DISTURB TO THE PROPERTY OF THE PROPERT
<ol> <li>THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.</li> </ol>	ROOT ZONE (CRZ) OF EXISTING TREES, PRECAUTIONS TO AVOID INJURY TO TRE DEFINED AS A CIRCULAR AREA EXTEND
ANT WORK.	EQUAL TO 1' FOR EVERY 1" OF TRUNK D GRADE AT THE TRUNK).
RODUCTS	b. ALL EXCAVATION WITHIN THE CRZ SHAL EXCAVATION OR TRENCHING OF ANY KI
ALL MANUFACTURED PRODUCTS SHALL BE NEW.     CONTAINER AND BALLED-AND-BURLAPPED PLANTS:	c. ALTER ALIGNMENT OF PIPE TO AVOID T TREE ROOTS 1-1/2" AND LARGER IN DIAI
<ol> <li>FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FUL BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS OLIGIA OF AND DEFECTS AND DEFECTIVE ADDRAGON AND DEFECTIVE ADDRAGON AND DEFECTS</li> </ol>	CLOSE ALL TRENCHES WITHIN THE CAN
SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREE SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR	
CLIMACTIC CONDITIONS. 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE	C. TREE PLANTING 1. TREE PLANTING HOLES SHALL BE EXCAVATEI ROOTBALL, AND TO A DEPTH EQUAL TO THE D
FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).	2. SCARIFY THE SIDES AND BOTTOM OF THE PL/ REMOVE ANY GLAZING THAT MAY HAVE BEEN
<ol> <li>TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&amp;B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.</li> </ol>	3. FOR CONTAINER AND BOX TREES, TO REMOV DEFECTS, THE CONTRACTOR SHALL SHAVE A
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF	ROOTBALL OF ALL TREES JUST BEFORE PLAC OUT FROM THE ROOTBALL.
LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE	4. INSTALL THE TREE ON UNDISTURBED SUBGR/ FOUR INCHES ABOVE THE SURROUNDING GR
ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIA 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL	DIA. AND ALL OTHER DEBRIS SHALL BE REMO
LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWI AFTER PLANTING.	IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE
<ol> <li>CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCH ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.</li> </ol>	<ol><li>TREES SHALL NOT BE STAKED UNLESS LOCAL</li></ol>
<ul> <li>INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.</li> <li>MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP C THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED</li> </ul>	REQUIRE STAKES TO KEEP TREES UPRIGHT. TREE STAKES (BEYOND THE MINIMUMS LISTE CONTRACTOR'S DISCRETION. SHOULD ANY T
AS ONE-HALF OF THE SUM OF THE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT	CONTRACTOR'S DISCRETION. SHOULD ANY T SHALL STRAIGHTEN THE TREE, OR REPLACE ADHERE TO THE FOLLOWING GUIDELINES:
THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM	a. 1"-2" TREES TWO STAK b. 2-1/2"-4" TREES THREE STA
HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.	c. TREES OVER 4" CALIPER GUY AS NE d. MULTI-TRUNK TREES THREE STA
. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON	NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CONSTRUC
PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.	COVER THE INTERIOR OF THE TREE RING WIT MULCH (TYPE AND DEPTH PER PLANS).
. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.	D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING 1. DIG THE PLANTING HOLES TWICE AS WIDE AN
. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE;	THE PLANT IN THE HOLE. BACKFILL AROUND RECOMMENDATIONS.
SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANT AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE	THE WEED BARRIER CLOTH IN PLACE.
USED. 5. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER	3. WHEN PLANTING IS COMPLETE, INSTALL MUL BEDS, COVERING THE ENTIRE PLANTING ARE
NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).	E. SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON THE LA
MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.	3. LAY THE SOD TO FORM A SOLID MASS WITH T
TREE STAKING AND GUYING 1. STAKES: 6' LONG GREEN METAL T-POSTS. CLIV AND TIE WIDE: ASTA A 6/4 CLASS 4 CALVANIZED STEEL WIDE: 2 STRAND, TWISTED, 2 406 INCL	STRIPS - DO NOT OVERLAP. STAGGER STRIPS 4. ROLL THE SOD TO ENSURE GOOD CONTACT O
<ol> <li>GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.</li> <li>STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH</li> </ol>	UNDERNEATH. 5. WATER THE SOD THOROUGHLY WITH A FINE S LEAST SIX INCHES OF PENETRATION INTO TH
<ol> <li>STRAP CHAFING GUARD: REINFORCED INFLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.</li> <li>STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DAI</li> </ol>	F. HYDROMULCHING
GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELE	a. WINTER MIX (OCTOBER 1 - MARCH 31)
FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.	2# UNHULLED FESCUE SEED 2# ANNUAL RYE SEED
	15# 15-15-15 WATER SOLUBLE FERTILI b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
IETHODS	50# CELLULOSE FIBER MULCH 2# HULLED FESCUE SEED 15# 15-15-15 WATER SOLUBLE FERTILI
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE	2. SEED HYDROMULCH MIX (PER 1,000 SF) SHAL a. GENERAL
OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. 2. SOIL TESTING:	50# CELLULOSE FIBER MULCH 15# 15-15-15 WATER SOLUBLE FERTILI.
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING	SEED RATE PER LEGEND G. MULCH
LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE	<ol> <li>INSTALL MULCH TOPDRESSING, TYPE AND DE TREE RINGS.</li> </ol>
LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THR SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.	EXCEPT AS MAY BE NOTED ON THESE PLANS.
b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTEN SALT (CEC), LIME, SODIUM ADSORPTION DATIO (SAD) AND RODOM CONTENT.	
SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALO	
WITH THE SOIL SAMPLES. d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKELL MIX	IN A NEAT, ORDERLY CONDITION. 2. LEGALLY DISPOSE ALL EXCAVATED MATERIAL INSPECTION AND ACCEPTANCE
THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY	J. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE LAND FREE OF DEBRIS AND TRASH, AND SUITABLE
OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FO THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.	
<ol> <li>THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER</li> </ol>	LANDSCAPE CONTRACTOR SHALL REPLACE A SATISFACTION WITHIN 24 HOURS.
INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT. 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:	3. THE LANDSCAPE MAINTENANCE PERIOD WILL BEEN RE-INSPECTED BY THE OWNER AND FO
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:	NOTICE OF FINAL ACCEPTANCE WILL BE ISSU GUARANTEE PERIODS WILL COMMENCE.
<ul> <li>NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.</li> <li>PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,00</li> </ul>	K. LANDSCAPE MAINTENANCE 1. THE LANDSCAPE CONTRACTOR SHALL BE RE
S.F. iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE TREES ON PROPERTY OF EQUAL - INCORPORTATE THE FOLLOWING AMELIDMENTO INTO THE F	ON THESE PLANS FOR 90 DAYS BEYOND FINA OWNER. LANDSCAPE MAINTENANCE SHALL II
<ul> <li>TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE T 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:</li> <li>INTROCEN STABILIZED OPCOMIC AMENDMENT. 4 OL YES: DED 4 000 S E</li> </ul>	HAVE SETTLED, MOWING AND AERATION OF L
<ul> <li>NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.</li> <li>12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.</li> <li>"CLAX BUSTER" OR FOUND LISE MANUFACTUREP'S RECOMMENDED RATE</li> </ul>	GERMINATED WELL, TREATING FOR INSECTS LITTER, REPAIRS TO THE IRRIGATION SYSTEM
<ul> <li>iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE</li> <li>iv. IRON SULPHATE - 2 LBS. PER CU. YD.</li> <li>5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE</li> </ul>	THE APPROPRIATE WATERING OF ALL PLANTI THE IRRIGATION SYSTEM IN PROPER WORKIN TO MAXIMIZE WATER CONSERVATION
<ol> <li>IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLAN</li> <li>a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH</li> </ol>	TO MAXIMIZE WATER CONSERVATION. 2. SHOULD SEEDED AND/OR SODDED AREAS NO THE LANDSCAPE CONTRACTOR SHALL BE RE
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.	A FULL, HEALTHY STAND OF PLANTS AT NO AI 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END
<ul> <li>b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE</li> </ul>	<ol> <li>TO ACHIEVE FINAL ACCEPTANCE AT THE END CONDITIONS MUST OCCUR:</li> <li>a. THE LANDSCAPE SHALL SHOW ACTIVE,</li> </ol>
AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING	a. THE LANDSCAPE SHALL SHOW ACTIVE, SEASONAL DORMANCY). ALL PLANTS N REPLACED BY HEALTHY PLANT MATERI/
SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.	b. ALL HARDSCAPE SHALL BE CLEANED PF c. SODDED AREAS MUST BE ACTIVELY GR
<ul> <li>c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SO</li> <li>WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL</li> </ul>	
AMENDMENTS TO BE ADDED ( <b>BASED ON A SOIL TEST</b> , PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.	RESEEDED (AS APPROPRIATE) PRIOR TO NEATLY MOWED.
<ul> <li>d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACEI</li> </ul>	L. WARRANTY PERIOD, PLANT GUARANTEE AND REPL
FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY	SEEDED/HYDROMULCHED AREAS, AND IRRIG DATE OF THE OWNER'S FINAL ACCEPTANCE (
FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND	REPLACE, AT HIS OWN EXPENSE AND TO THE IN THAT TIME, OR REPAIR ANY PORTIONS OF
OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH	2. AFTER THE INITIAL MAINTENANCE PERIOD AN CONTRACTOR SHALL ONLY BE RESPONSIBLE
SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED O	CANNOT BE ATTRIBUTED DIRECTLY TO OVER
SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED O THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS,	M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DR
THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.	M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DR RECORD DRAWING IS A RECORD OF ALL CHANGES DOCUMENTED THROUGH CHANGE ORDERS, ADDEN

TALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. LANTS WITH A RULER OR MEASURING STICK FOR SCALE, IULCHES, AND SOIL TEST RESULTS AND PREPARATION B (INCLUDING COMPOST AND FERTILIZER RATES AND E/SHRUB, TURF, AND SEED AREAS AS MAY BE

CTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH ANDSCAPE FABRICS (IF ANY). PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE

FROM PLANTS. NAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES RATE.

OOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL AND SHALL EXERCISE ALL POSSIBLE CARE AND REE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE

ALL BE PERFORMED USING HAND TOOLS. NO MACHINE KIND SHALL BE ALLOWED WITHIN THE CRZ. TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE AMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. NOPY DRIP LINES WITHIN 24 HOURS. PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY.

TED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. LANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. EN CAUSED DURING THE EXCAVATION OF THE HOLE. IVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE CING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS RADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO

RADE. ISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" OVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD LISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR E AT NO ADDITIONAL COST TO THE OWNER. IMPORTED LASS AND COMPOSITION IN THE ON-SITE SOIL. AL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF ED BELOW) WILL BE LEFT TO THE LANDSCAPE TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR

E IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL AKES PER TREE TAKES PER TREE IEEDED

TAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS UCT AN EARTH WATERING BASIN AROUND THE TREE. ITH THE WEED BARRIER CLOTH AND TOPDRESS WITH

AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT WITH SOIL AMENDED PER SOIL TEST

APPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP ILCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING

ANDSCAPE PLAN. OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD IPS TO OFFSET JOINTS IN ADJACENT COURSES. OF THE SOD'S ROOT SYSTEM WITH THE SOIL

E SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT THE SOIL BELOW THE SOD.

DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND E ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, MULCH COVER WITHIN 6" OF CONCRETE WALKS AND FINISH SURFACE OF THE WALKS AND CURBS. MULCH EAST 3" LOWER THAN THE TOP OF WALL.

ANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS ALS OFF THE PROJECT SITE.

IDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, E FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR HE OWNER TO DETERMINE FINAL ACCEPTABILITY. ES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S

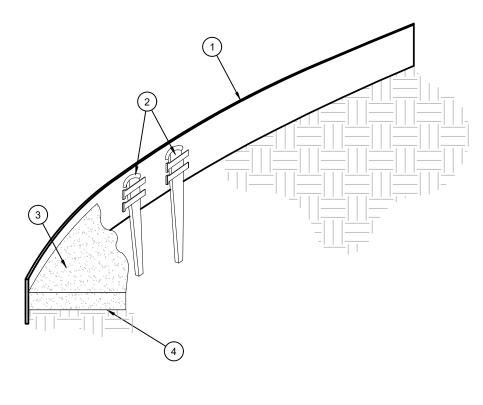
L NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS OUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN UED BY THE OWNER, AND THE MAINTENANCE AND

ESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN IAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING NING, RESTAKING OF TREES, RESETTING OF PLANTS THAT LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT S AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF EM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND TINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN KING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM.

ESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING ADDITIONAL COST TO THE OWNER. ID OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING , HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR NOT MEETING THIS CONDITION SHALL BE REJECTED AND

RIAL PRIOR TO FINAL ACCEPTANCE. PRIOR TO FINAL ACCEPTANCE. ROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 DROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY N TWELVE SQUARE INCHES MUST BE RESODDED OR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE

LACEMENTS RANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, GATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. ND DURING THE GUARANTEE PERIOD, THE LANDSCAPE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH RWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. RAWINGS TO THE OWNER UPON COMPLETION OF WORK. A THAT OCCURRED IN THE FIELD AND THAT ARE ENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.

3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.

(1) ROLLED-TOP STEEL EDGING PER PLANS.

(3) MULCH, TYPE AND DEPTH PER PLANS.

STEEL EDGING

SCALE: NOT TO SCALE

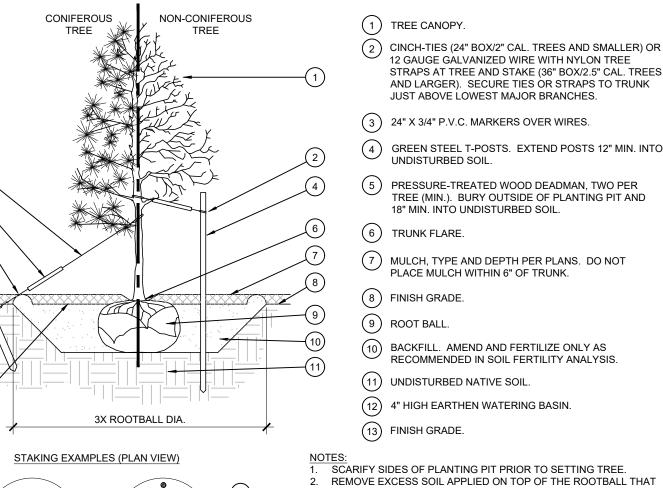
(2) TAPERED STEEL STAKES.

(4) FINISH GRADE.

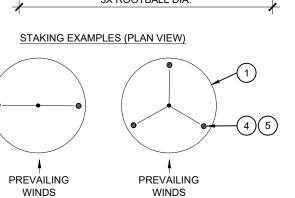
NOTES:

PLANT SCHEDULE

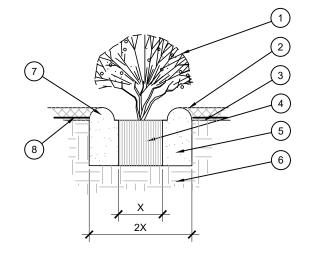
	TREES	CODE	BOTANICAL NAME	COMMON NAME
يسب	(+)	JE	Juniperus virginiana	Eastern Red Cedar
	And a start of the	WP	Pinus strobus	White Pine
		QA	Quercus acutissima	Sawtooth Oak
{.		QR	Quercus rubra	Red Oak
	$\langle \rangle$	UV	Ulmus americana `Valley Forge`	American Elm
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	$\overline{\mathbf{\cdot}}$	BA4	Berberis thunbergii `Aurea Nana`	Japanese Barberry
	·	BG	Buxus x `Green Gem`	Green Gem Boxwood
	+	II	llex glabra `Compacta`	Compact Inkberry
	*	PM	Pennisetum alopecuroides `Moudry`	Oriental Fountain Grass
		TD	Taxus x media `Densiformis`	Dense Yew
		TH	Taxus x media `Hicksii`	Hicks Yew
		VC	Viburnum carlesii `Compactum`	Korean Spice Viburnum
	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
		FK	Festuca arundinacea `Kentucky 31`	Kentucky Tall Fescue



11







В

SCALE: NTS

ROOT

B & B

B & B 3" Cal

B&B 3" Cal

B&B 3" Cal

B & B 3" Cal

ROOT

2 gal.

2 gal.

5 gal

1 gal

5 gal

5 gal

5 gal

<u>QTY</u>

8,063 sf

CONTAINER

CONT.

CONT.

CONT.

CONT.

CONT.

CONT.

CONT.

SHRUB AND PERENNIAL PLANTING

CALIPER

HEIGHT

8` minimum 4

8` minimum 3

8` minimum 6

8` minimum 5

8` minimum 6

<u>QTY</u>

<u>QTY</u>

34

27

21

6

7

6

22

**RELEASE FOR** 

CONSTRUCTION

AS NOTED ON PLANS REVIEW

DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI

08/13/2021

# (1) TREE CANOPY.

(6) TRUNK FLARE.

(8) FINISH GRADE.

(13) FINISH GRADE.

IN WIND

CENTER.

(3) FINISH GRADE

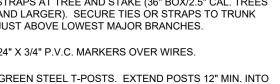
(4) ROOT BALL.

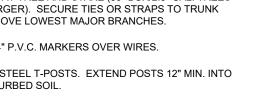
(9) ROOT BALL.

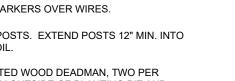
12

- (2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE
- JUST ABOVE LOWEST MAJOR BRANCHES.
- AND LARGER). SECURE TIES OR STRAPS TO TRUNK 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.

- STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES







13

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0 2 Ð

S S C C C

DOCUMENTS PREPARED BY CORESTATES IN

NLY FOR THE SPECIFIC PROJECT AND SPEC

USE FOR WHICH THEY WERE INTENDED. AN

EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU

THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN

AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED

USER WILL HOLD CORESTATES, INC. HARMLES

FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what'sbe

DATE

Call before you dig.

FICALLY CAUTIONED THAT THE LOCATION

N ARE EXACT. THE CONTRACTOR MUST CONTAC OMPANIES AT LEAST 72 HOURS BEFORE ANY EXC

COMMENT

REVISIONS

DOCUMENT

CIVIL

CONSTRUCTION

PLANS FOR

CHASE BANK

SITE LOCATION

LANGSFORD RD

LEE'S SUMMIT, MO

64063

ENGINEER SEAL

JAMES W

SHEET TITLE

LANDSCAPE

DETAILS AND

SPECIFICATION

SHEET NO.

**LP-2** 

JOB #:

CHECKED BY:

DATE SCALE: DRAWN BY:

EVERGREEN

DESIGN GROUP

(800) 680-6630

15305 Dallas Pkwy., Ste 300

Addison, TX 75001 www.EvergreenDesignGroup.com DATE: 6/2/21

JPM-2881

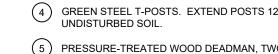
07/20/202

3 06/02/21 CITY COMMENTS

INCLUDING THIS DOCUMENT, ARE TO BE USE

- UNDISTURBED SOIL.
- (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER

(7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT



(4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO

18" MIN. INTO UNDISTURBED SOIL.

PLACE MULCH WITHIN 6" OF TRUNK.

(10) BACKFILL. AMEND AND FERTILIZE ONLY AS

(11) UNDISTURBED NATIVE SOIL.

ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.

(12) 4" HIGH EARTHEN WATERING BASIN.

RECOMMENDED IN SOIL FERTILITY ANALYSIS.

COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE

3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE

BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.

(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.

(5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.

6 UNDISTURBED NATIVE SOIL.

(8) WEED FABRIC UNDER MULCH.

(7) 3" HIGH EARTHEN WATERING BASIN.

2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

4. REMOVE ALL NURSERY STAKES AFTER PLANTING.

PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF

5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM

DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES,

TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH

BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE

