

AN UNPLATTED PARCEL IN THE WEST HALF OF SECTION 31, TOWNSHIP 48
NORTH, RANGE 31 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY,
MISSOURI

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L104		LANDSCAPE PLAN
L105		LANDSCAPE PLAN



NOT TO SCALE

DEVELOPMENT TEAM CONTACT INFORMATION	
OWNER/DEVELOPER	
SCANNELL PROPERTIES	8801 RIVER CROSSING BOULEVARD, SUITE 300 INDIANAPOLIS, INDIANA 46240
CIVIL ENGINEER	
TERRY PARSONS OLSSON	7301 W 133RD STREET SUITE 200 OVERLAND PARK, KS 66213 PH: 913-381-1170 tparsons@olsson.com

PROPERTY DESCRIPTION

ALL THAT PART OF AN UNPLATTED TRACT OF LAND, TOGETHER WITH ALL THAT PART OF NORTH MAIN STREET RIGHT OF WAY, ALL LYING IN THE WEST HALF OF SECTION 31, TOWNSHIP 48 NORTH, RANGE 31 WEST, LYING IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED BY PATRICK ETHAN WARD, MO PLS-20050071, OF OLSSON MOLC-366, AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE SOUTH 01 DEGREE 59 MINUTES 47 SECONDS WEST, ON THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 65.98 FEET TO A POINT ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN DOCUMENT 2013E0075031; THENCE SOUTH 88 DEGREES 34 MINUTES 30 SECONDS WEST, ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, A DISTANCE OF 117.22 FEET TO A POINT ON THE WEST LINE AND ON A CURVE TO THE RIGHT WHOSE INITIAL TANGENT BEARS SOUTH 02 DEGREES 47 MINUTES 37 SECONDS WEST, HAVING A RADIUS OF 970.00 FEET, THROUGH A CENTRAL ANGLE OF 6 DEGREES 27 MINUTES 07 SECONDS, AN ARC DISTANCE OF 10.23 FEET TO A POINT ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN DOCUMENT 2013E0075031; THENCE SOUTH 88 DEGREES 34 MINUTES 30 SECONDS WEST, ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN SAID DOCUMENT 2013E0075031; THENCE SOUTH 46 DEGREES 15 MINUTES 48 SECONDS WEST, DEPARTING SAID WEST LINE, ON SAID NORTH LINE, A DISTANCE OF 46.09 FEET TO A POINT; THENCE NORTH 89 DEGREES 24 MINUTES 16 SECONDS WEST, CONTINUING ON SAID NORTH LINE, AND ON THE NORTH LINE OF NW TUDOR ROAD RIGHT OF WAY, A DISTANCE OF 16.00 FEET TO A POINT; THENCE NORTH 89 DEGREES 24 MINUTES 16 SECONDS WEST, ON THE NORTH LINE OF NW TUDOR ROAD RIGHT OF WAY, AS NOW ESTABLISHED, SAID POINT ALSO LYING ON A NON-TANGENT CURVE; THENCE IN A NORTHERLY AND NORTHWESTERLY DIRECTION, DEPARTING SAID NORTH LINE, ON SAID EAST LINE AND ON A CURVE TO THE LEFT WHOSE INITIAL TANGENT BEARS NORTH 15 DEGREES 48 MINUTES 27 SECONDS WEST, HAVING A RADIUS OF 3203.90 FEET, THROUGH A CENTRAL ANGLE OF 23 DEGREES 34 MINUTES 39 SECONDS WEST, CONTINUING ON SAID EAST LINE, A DISTANCE OF 738.40 FEET TO A POINT OF CURVATURE; THENCE IN A NORTHWESTERLY DIRECTION, CONTINUING ON SAID EAST LINE AND ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET, THROUGH A CENTRAL ANGLE OF 10 DEGREES 00 MINUTES 00 SECONDS, AN ARC DISTANCE OF 16.72 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER, SAID POINT ALSO LYING ON A NON-TANGENT LINE; THENCE SOUTH 87 DEGREES 40 MINUTES 30 SECONDS EAST, DEPARTING SAID EAST LINE, ON SAID NORTH LINE, A DISTANCE OF 2581.78 FEET TO THE NORTHEAST CORNER OF SAID SOUTH HALF; THENCE SOUTH 01 DEGREE 53 MINUTES 30 SECONDS WEST, ON THE NORTH LINE OF THE SOUTH HALF OF SAID NORTHWEST QUARTER, A DISTANCE OF 1318.02 FEET TO THE POINT OF BEGINNING, CONTAINING 3,439.83 SQUARE FEET OR 78.9678 ACRES, MORE OR LESS.

UTILITY COMPANIES AND GOVERNING AGENCIES:

AT&T
RON GIPPERT
500 E. 8TH STREET, ROOM 1146
KANSAS CITY, MISSOURI 64106
(816) 275-1550
EMAIL: RG7910@ATT.COM

LEE'S SUMMIT R-7 SCHOOL DISTRICT
KINZIE WOODERSON
301 NE TUDOR ROAD
LEE'S SUMMIT, MO 64086
(816) 986-1050
KINZIE.WOODERSON@LRS7.NET

EVERGY
JEFF R. WILLIAMS— ENGINEER—CENTRAL DESIGN
401 SE BAILEY ROAD
LEE'S SUMMIT, MO 64081
(816) 347-4310
EMAIL: JEFF.WILLIAMS@KCPL.COM

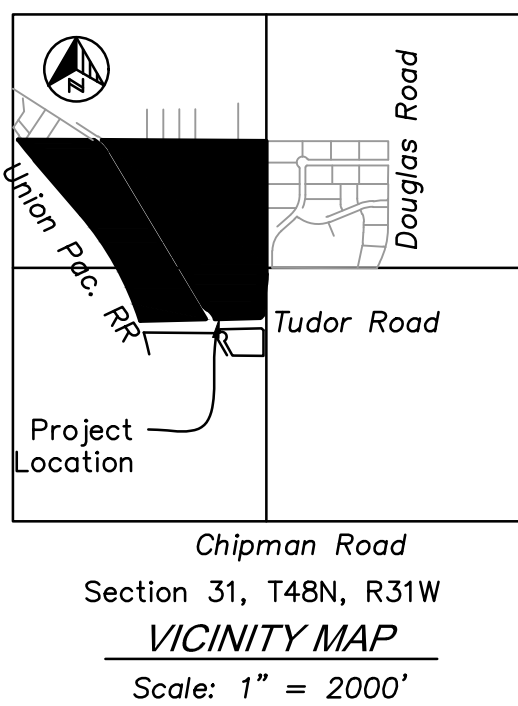
LEE'S SUMMIT WATER UTILITIES
1200 SE HAMBLIN ROAD
LEE'S SUMMIT, MO 64081
(816) 969-1900

CONSOLIDATED COMMUNICATIONS
JOHN CASTILOW
14859 W. 95TH STREET
LENEXA, KS 66215
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SPiRE GAS
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3025 SE CLOVER DRIVE
LEE'S SUMMIT, MO 64082
(816) 472-3489
RICHARD.FROCK@SPIREENERGY.COM

GOOGLE FIBER
LAUREN MARCUCCI
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LMARCUCCI@GOOGLE.COM

CHARTER/SPECTRUM
TROY PREWITT
8221 W. 119TH STREET
OVERLAND PARK, KS 66213
(816) 401-3573
TROY.PREWITT@CHARTER.COM



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

TITLE SHEET PRELIMINARY PLAT				REV. NO.	DATE	REVISIONS DESCRIPTION	BY
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET				1	08/10/2021	CITY STAFF COMMENTS	
LEE'S SUMMIT, MISSOURI				2021	REVISIONS		

SHEET
C100

drawn by: QILSSON
checked by: ENG
approved by: ENG
QA/QC by: ENG
project no.: 021-04157
drawing no.: TTL01 02104157.dwg
date: 07/08/2021



SCANNELL
PROPERTIES

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213-4750
TEL 913.381.1170 www.olsson.com

DWG: F:\2021\04001-04500\021-04157\40-Design\AutoCAD\ Preliminary Plans\ Sheets\GNC\V_V_LAL_02104157.dwg
DATE: Aug 10, 2021 11:45am
USER: Incore
XREFS: C:\BTLK-02104157

ALTA/NSPS Land Title Survey Tudor Road

An Unplatted parcel in the West Half of Section
31, Township 48 North, Range 31 West, in the
City of Lee's Summit, Jackson County, Missouri

TITLE AND EASEMENT INFORMATION FURNISHED BY:

First American Title Insurance Company
National Commercial Services
30 North LaSalle Street, Suite 2220
Chicago, IL 60602
Phone: (312) 750-6780
Commitment/File No: NCS-1060375-CH12
Effective Date: April 06, 2021, at 8:00 AM

PROPERTY DESCRIPTION AS FURNISHED

TRACT 1:

THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 LYING EAST OF MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY IN SECTION 31, TOWNSHIP 48, RANGE 31, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT A TRACT DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4, LYING EAST OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY IN SECTION 31, TOWNSHIP 48, RANGE 31 DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 48, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE SOUTH ALONG THE EAST LINE OF SAID 1/4 1/4 SECTION, A DISTANCE OF 914.5 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID 1/4 1/4 SECTION, 411.0 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED, SAID TRUE POINT OF BEGINNING BEING IN THE WESTERLY LINE OF PUBLIC ROAD; THENCE NORTH 31 DEGREES 00 MINUTES WEST ALONG AND WITH THE WESTERLY LINE OF PUBLIC ROAD, A DISTANCE OF 267.0 FEET TO A POINT 688.79 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE WEST PARALLEL TO SAID NORTH LINE OF 1/4 1/4 SECTION, 731.4 FEET TO A POINT IN THE EASTERLY LINE OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTHEASTERLY WITH SAID RAILROAD RIGHT OF WAY, ALONG A CURVE TO THE RIGHT (HAVING A RADIUS OF 3175.4 FEET), A DISTANCE OF 234.0 FEET TO A POINT 914.5 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE EAST ALONG THE SOUTH LINE OF 25.5 ACRES TRACT, 812.7 FEET TO THE TRUE POINT OF BEGINNING, AND EXCEPT THAT PART IN STREETS AND ROADS.

TRACT 2:

ALL THAT PART OF LOT 2 OF THE SOUTHEAST QUARTER (SW 1/4) (AS SHOWN ON THE GOVERNMENT SURVEY) OF SECTION 31, TOWNSHIP 48, RANGE 31 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING EAST OF THE MISSOURI PACIFIC RAILROAD COMPANY RIGHT-OF-WAY, EXCEPT THAT PART IN STREETS AND ROADS.

TRACT 3:

ALL OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 LYING EAST OF RAILROAD RIGHT-OF-WAY IN SECTION 31, TOWNSHIP 48, RANGE 31, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART IN STREETS AND ROADS.

SURVEYOR'S RECOMMENDED PROPERTY DESCRIPTION

All that part of an unplatted tract of land, lying in the West Half of Section 31, Township 48 North, Range 31 West, lying in the City of Lee's Summit, Jackson County, Missouri, described by Patrick Ethan Ward, MO PLS-200500071, of Olsson MLC-366, as follows:

Tract A:

BEGINNING at the Northeast corner of the Southwest Quarter of Section 31, Township 48 North, Range 31 West; thence South 01 degree 59 minutes 47 seconds West, on the East line of said Southwest Quarter, a distance of 65.98 feet to a point on the West line of NW Sloan Street right of way, as established in Document 2013E0075031, said point also lying on a non-tangent curve, thence in a Southerly direction, departing said East line and on a curve to the right whose initial tangent bears South 22 degrees 47 minutes 37 seconds West, having a radius of 970.00 feet, through a central angle of 6 degrees 27 minutes 07 seconds, an arc distance of 109.23 feet to a point of tangency; thence South 09 degrees 14 minutes 44 seconds West, continuing on said West line, a distance of 111.80 feet to a point of curvature; thence in a Southerly direction, continuing on said West line, having a radius of 1030.00 feet, through a central angle of 7 degrees 14 minutes 57 seconds, an arc distance of 130.32 feet to a point of tangency; thence South 01 degree 59 minutes 47 seconds West, continuing on said West line, a distance of 69.49 feet to a point on the North line of NE Tudor Road right of way, as established in said Document 2013E0075031; thence South 48 degrees 15 minutes 48 seconds West, departing said West line, on said North line, a distance of 46.09 feet to a point; thence North 89 degrees 24 minutes 16 seconds West, continuing on said North line, a distance of 475.99 feet to a point on the East line of Main Street right of way, as established in said Document 2013E0075031, said point also lying on a non-tangent curve; thence in a Northerly and Northwesterly direction, departing said North line, on said East line and on a curve to the left whose initial tangent bears North 20 degrees 13 minutes 43 seconds West, having a radius of 223.00 feet, through a central angle of 32 degrees 34 minutes 30 seconds, an arc distance of 126.78 feet to a point of reverse curvature; thence in a Northwesterly direction, continuing on said East line and on a curve to the right, having a radius of 177.00 feet, through a central angle of 15 degrees 19 minutes 33 seconds, an arc distance of 47.34 feet to a point on the East line of Main Street right of way, as now established, said point also lying on a non-tangent line; thence North 28 degrees 47 minutes 52 seconds West, departing said East line, on said East line, a distance of 306.60 feet to a point; thence North 28 degrees 55 minutes 51 seconds East, continuing on said East line, a distance of 1383.70 feet to a point of tangency; thence in a Northwesterly direction, continuing on said East line and on a curve to the left, having a radius of 435.00 feet, through a central angle of 18 degrees 14 minutes 38 seconds, an arc distance of 138.51 feet to a point on the North line of the South Half of said Northwest Quarter, said point also lying on a non-tangent line; thence South 87 degrees 40 minutes 30 seconds East, on said North line, a distance of 1707.38 feet to the Northeast corner of said South Half; thence South 01 degree 53 minutes 30 seconds West, on said East line of said Northwest Quarter, a distance of 1318.02 feet to the POINT OF BEGINNING, containing 2,070,432 Square Feet or 47.5306 Acres, more or less.

Also,

Tract B: COMMENCING at the Northeast corner of the Southwest Quarter of Section 31, Township 48 North, Range 31 West; thence North 87 degrees 25 minutes 32 seconds West, on the North line of said Southwest Quarter, a distance of 952.84 feet to a point on the West line of Main Street right of way, as now established, the POINT OF BEGINNING; thence South 28 degrees 47 minutes 52 seconds East, departing said North line, on said West line, a distance of 630.67 feet to a point on the North line of NW Tudor Road right of way, as established in Document 2013E0075030; thence North 89 degrees 24 minutes 16 seconds West, departing said West line, on said North line, a distance of 111.80 feet to a point on the East line of Main Street right of way, as now established, said point also lying on a non-tangent curve; thence in a Northerly and Northwesterly direction, departing said North line, on said East line and on a curve to the left whose initial tangent bears North 15 degrees 19 minutes 33 seconds West, having a radius of 3203.90 feet, through a central angle of 22 degrees 48 minutes 11 seconds, an arc distance of 1275.12 feet to a point of tangency; thence North 38 degrees 34 minutes 39 seconds West, continuing on said East line, a distance of 738.40 feet to a point of curvature; thence in a Northwesterly direction, continuing on said East line and on a curve to the right, having a radius of 5981.13 feet, through a central angle of 2 degrees 39 minutes 22 seconds, an arc distance of 272.27 feet to a point on the South Half of said Northwest Quarter, said point also lying on a non-tangent line; thence South 87 degrees 40 minutes 30 seconds East, departing said East line, on said North line, a distance of 788.90 feet to a point on said West line of Main Street right of way, said point also lying on a non-tangent curve; thence in a Southeasterly direction, departing said North line, on said West line and on a curve to the left whose initial tangent bears South 56 degrees 53 minutes 49 seconds East, having a radius of 385.00 feet, through a central angle of 27 degrees 57 minutes 57 seconds, an arc distance of 187.92 feet to a point of tangency; thence South 28 degrees 55 minutes 51 seconds East, continuing on said West line, a distance of 1383.64 feet to the POINT OF BEGINNING, containing 1,256,457 Square Feet or 28.8443 Acres, more or less.

The above-described tracts contain an aggregate total of 3,326,889 Square Feet or 76.3749 Acres, more or less.

NOTE: This Description was prepared to consolidate and confine a larger parcel's description to the limits of the Subject Property.

SCHEDULE B, PART II - EXCEPTIONS

- Terms and Provisions as set forth in Easement and Right-of-Way Agreement, by and between Minnie Kuckolman and The City of Lee's Summit, Missouri, recorded May 23, 1962 as Document No. 790128. (Applies, Plotted)
- Easement and Right of Way to Missouri Public Service Company as set out in Circuit Court Case No. 128423, notice of which is given by Report of Commissioners recorded July 20, 1962 as Document No. 793980 in Book 1580, Page 145. (Applies, Plotted)
- An Easement to the City of Lee's Summit, Missouri recorded December 30, 1964 in Document No. 851383 in Book 1732, Page 692. (Applies, Plotted)
- The terms and provisions contained in the document entitled "Permit for Sewer" recorded January 22, 1965 as Document No. 852760 in Book 1736, Page 599 of Official Records. (Ambiguous in Nature, Not Plotted)
- An Easement to Missouri Public Service Company recorded October 1, 1975 in Document No. 11223549 in Book 1625, Page 1278. (Does Not Apply, Plotted)
- An Easement to the City of Lee's Summit recorded January 11, 1979 in Document No. 1364968 in Book 1903, Page 399. (Applies, Plotted)
- An Easement to the City of Lee's Summit recorded January 11, 1979 in Document No. 1364969 in Book 1903, Page 401. (Applies, Plotted)
- An Easement to UtiliCorp United Inc. recorded February 27, 1990 in Document No. 1962910 in Book 1999, Page 1595. (Applies, Plotted)
- An Easement to UtiliCorp United Inc. recorded February 27, 1990 in Document No. 1962911 in Book 1999, Page 1598. (Applies, Plotted)
- An Easement to UtiliCorp United Inc. recorded February 27, 1990 in Document No. 1962912 in Book 1999, Page 1601. (Applies, Plotted)
- Water Line Easement to the City of Lee's Summit recorded September 17, 1996 in Document No. 10058573 in Book 12897, Page 2185. (Applies, Plotted)
- Sanitary Sewer Easement to the City of Lee's Summit recorded September 17, 1999 in Document No. 19990076164. (Applies, Plotted)
- Temporary Construction Easement to the City of Lee's Summit recorded September 17, 1999 in Document No. 19990076165. (No Longer Applies, Improvements Constructed, Not Plotted)
- An Easement for Electric & Communications Lines to UtiliCorp United Inc. recorded December 20, 2000 in Document No. 200010084247. (Applies, Plotted)
- An Easement for Electric & Communications Lines to Aquila, Inc., formerly UtiliCorp United Inc. recorded July 6, 2004 in Document No. 2004010064967. (Applies, Plotted)
- Easements as set out by the document recorded November 9, 2006 as Document No. 2006E0120455. (Applies, Plotted)
- A right-of-way to the City of Lee's Summit, Missouri in the document recorded July 18, 2013 as Document No. 2013E0075030 of Official Records. (Applies, Plotted)
- A right-of-way to the City of Lee's Summit, Missouri in the document recorded July 18, 2013 as Document No. 2013E0075031 of Official Records. (Applies, Plotted)
- Storm Drainage Easement to the City of Lee's Summit, Missouri recorded July 18, 2013 in Document No. 2013E0075033. (Applies, Plotted)
- Permanent telecommunications easement as created in an Easement Deed by Court Order in Settlement of Landowner Action filed January 25, 2013 in The United States District Court for the Western District of Missouri Western Division Civil Action No. 4: 00-cv-00042-HFS and recorded September 12, 2013 as Document No. 2013E0096532, together with the terms, provisions and conditions as set forth therein. (Applies, Not an Easement, Not Plotted)
- An Easement to Kansas City Power & Light Company recorded September 2, 2014 in Document No. 2014E0071853. (Applies, Plotted)
- A right-of-way to the City of Lee's Summit, Missouri in the document recorded July 3, 2018 as Document No. 2018E0058211 of Official Records. (Does Not Apply, Plotted)
- Temporary Construction Easement to the City of Lee's Summit, Missouri recorded July 3, 2018 in Document No. 2018E0058212. (No Longer Applies, Improvements Constructed, Not Plotted)

SURVEYOR'S NOTES

1. Basis of Bearings - Held the East line of the Northeast Quarter of Section 31, Township 48 North, Range 31 West @ S01°53'30"W, Missouri Coordinate System 1983, West Zone. Rotate Plat Bearings for Douglas Station Commercial Park, Lots 1 Through 10 and Tract "A" 00°00'15" Clockwise to match measured bearings. Rotate Plat Bearings for Summit North Business Park 00°00'20" Counterclockwise to match measured bearings. Distances shown hereon are ground distances in US Survey Feet.
2. Subject Property lies within "Zone AE - Base Flood Elevations determined," "Zone X - Other Flood Areas," and "Zone X - Areas determined to be outside the 0.2% annual chance floodplain," according to the FEMA Flood Insurance Rate Map Number 29095C0417G, Revised January 20, 2017.
3. Subject Property contains 3,326,889 Square Feet or 76.3749 Acres, more or less.
4. No zoning or setback information was furnished to the Surveyor.
5. Contours shown hereon are 1-foot contours based on NAVD 88 Datum, originating from Jackson County Bench Mark K39. Elevation=926.23'
6. Subject Property contains no striped parking stalls.
7. Utilities shown have been located from field survey information, together with obtained records. The Surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in-service or abandoned. The Surveyor further does not warrant that the utilities shown are in the exact location indicated. Locates are in compliance with Subsurface Utility Engineering Quality Level "B", and were through the Missouri One-Call System, Ticket Numbers: 211321877, 211321901, 211322521 and 11322532. Companies listed on said Tickets are: ATT Distribution; Evergy; Spire MO West; CenturyLink; City of Lee's Summit Water; City of Lee's Summit School District; Lee's Summit Stormwater; Lee's Summit School District; MNA-Bluebird; Saint Luke's Health System; Spectrum; Sprint Nextel. Private utilities were not located.
8. Subject Property contains no observable evidence of recent earth moving work, building construction or building additions.
9. To the best of the Surveyor's knowledge and information available, there are no proposed changes in street right of way lines. Subject Property contains no observable evidence of recent street or sidewalk construction or repairs.
10. This survey meets or exceeds the Urban Property Accuracy Standard of Closure of 1:20,000 as defined by the Department of Insurance, Financial Institutions and Professional Registration, Division 2030, Chapter 16, Title 20 CSR 203.016-040 - Accuracy Standards for Property Boundary Surveys, Effective June 30, 2017.
11. Subject Property was lost conveyed in Document 2013E0058551.
12. Tract A has direct access to Sloan Road, NE Tudor Street right of way lines. Subject Property contains B has direct access to NW Tudor Road and N. Main Street public rights of way.

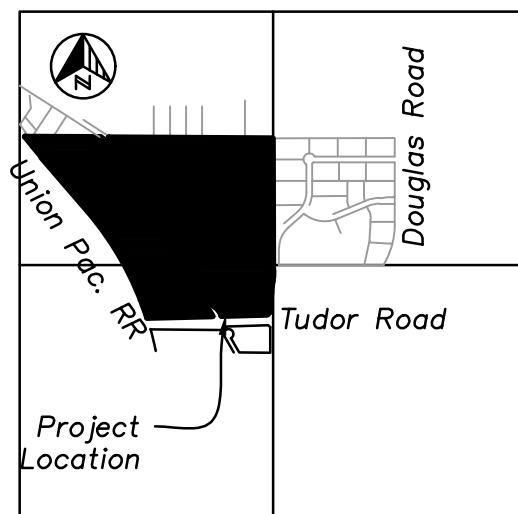
CERTIFICATION

To: Scannell Properties LLC, an Indiana limited liability company; Lowkap LLC, a Missouri limited liability company; and First American Title Insurance Company, National Commercial Services:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(a), 13, 16, 17 and 18 of Table A thereof. The field work was completed on June 8, 2021.

Date of Plat or Map: 2021-06-08

Patrick Ethan Ward, MO PLS-2005000071
Olsson, LC-366
pward@olsson.com



CERTIFICATION

To: Scannell Properties LLC, an Indiana limited liability company; Lowkap LLC, a Missouri limited liability company; and First American Title Insurance Company, National Commercial Services:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(a), 13, 16, 17 and 18 of Table A thereof. The field work was completed on June 8, 2021.

Date of Plat or Map: 2021-06-08

Patrick Ethan Ward, MO PLS-2005000071
Olsson, LC-366
pward@olsson.com

- | | | | | | | | |
|--|---|---|---|--|---|---|--|
| SECTION CORNER
● SET 5/8"x24" REBAR W/LC 366 CAP
○ FOUND MONUMENT AS DESCRIBED
(M) MEASURED DIMENSION - THIS SURVEY
(P) PREVIOUSLY PLATTED DIMENSION
(C) CALCULATED DIMENSION FROM RECORD
(D) PREVIOUSLY DEEDED DIMENSION
(B) BUILDING LINE SETBACK
/E UTILITY EASEMENT
/S STORM SEWER MANHOLE
/C SANITARY SEWER MANHOLE | P-OH
P-UH
P-UH
TEL
CATV
SS
SS
W
W
W
W
W
W | SANITARY SEWER CLEANOUT
OVERHEAD POWER LINE
UNDERGROUND POWER LINE
CABLE TV
SANITARY SEWER LINE
STORM LINE
WATER LINE
TELEPHONE MANHOLE
TELEPHONE PEDestal
TELEPHONE CABINET | P-OH
P-UH
P-UH
TEL
CATV
SS
SS
W
W
W
W
W
W | ELECTRIC CABINET
FIRE DEPARTMENT CONNECTION
TRAFFIC SIGNAL POLE
FIBER OPTIC BOX
TELEVISION PEDestal
TELEVISION BOOTH
GRATE INLET
4"x4" WOOD POST
BOLLARD | P-OH
P-UH
P-UH
TEL
CATV
SS
SS
W
W
W
W
W
W | STEEL POST
SIGN
SPRINKLER VALVE
WATER VALVE
WATER METER
ELECTRIC BOX
BREAKER BOX
ELECTRIC METER
ELECTRIC RISER
TRANSFORMER
POWER POLE | POWER POLE/W LIGHT
GUY WIRE
LIGHT POLE
TREE
TREE LINE
BUSH
GAS VALVE
GAS METER
SPRINKLER BOX |
|--|---|---|---|--|---|---|--|

Property Owner:
Lowkap, LLC
12709 Woodward Street
Overland Park, Kansas 66213

Prepared For:
Scannell Properties
8801 River Crossing Boulevard, Suite 300
Indianapolis, Indiana 46240

Prepared By:
Olsson
7301 W. 133rd Street, Suite 200
Overland Park, Kansas 66213
Telephone (913) 381-1170

drawn by: OLSSON
checked by: ENG
approved by: ENG
QA/QC by: ENG
project no.: 021-04157
drawing no.: V_LAL_02104157.dwg
date: 07/08/2021

SHEET
C102

ALTA NSPS LAND TITLE SURVEY
PRELIMINARY PLAT
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

REV		DATE	REVISIONS DESCRIPTION
1	1	08/12/2021	CITY STAFF COMMENTS

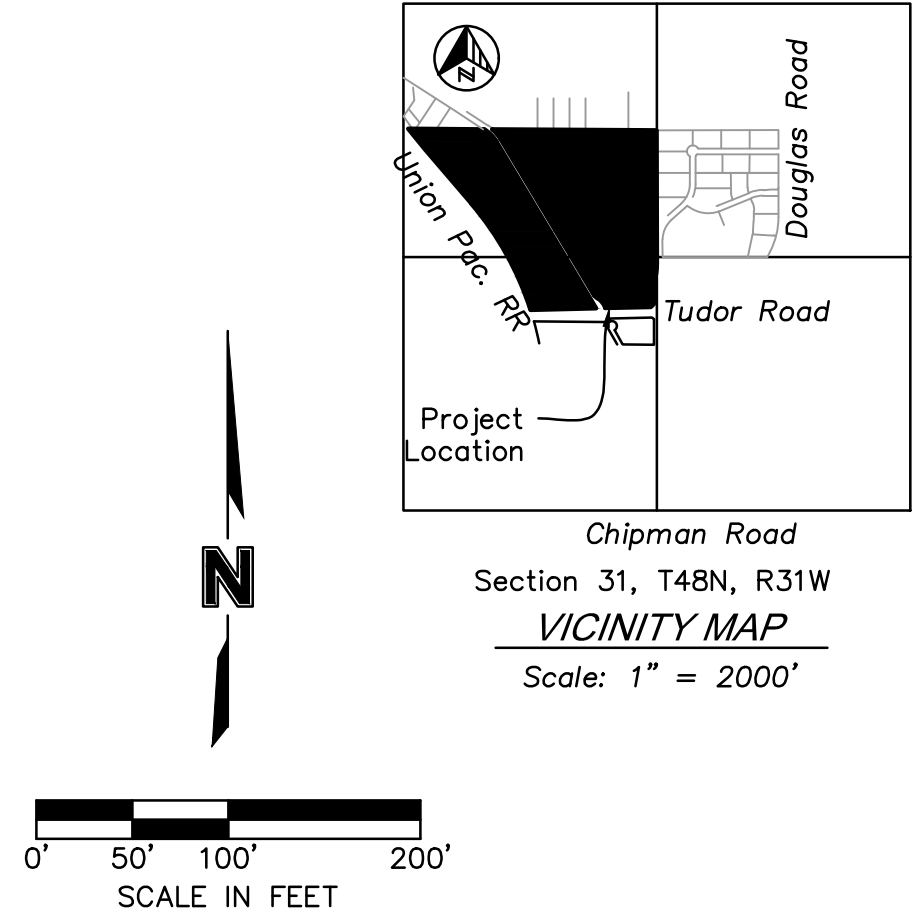
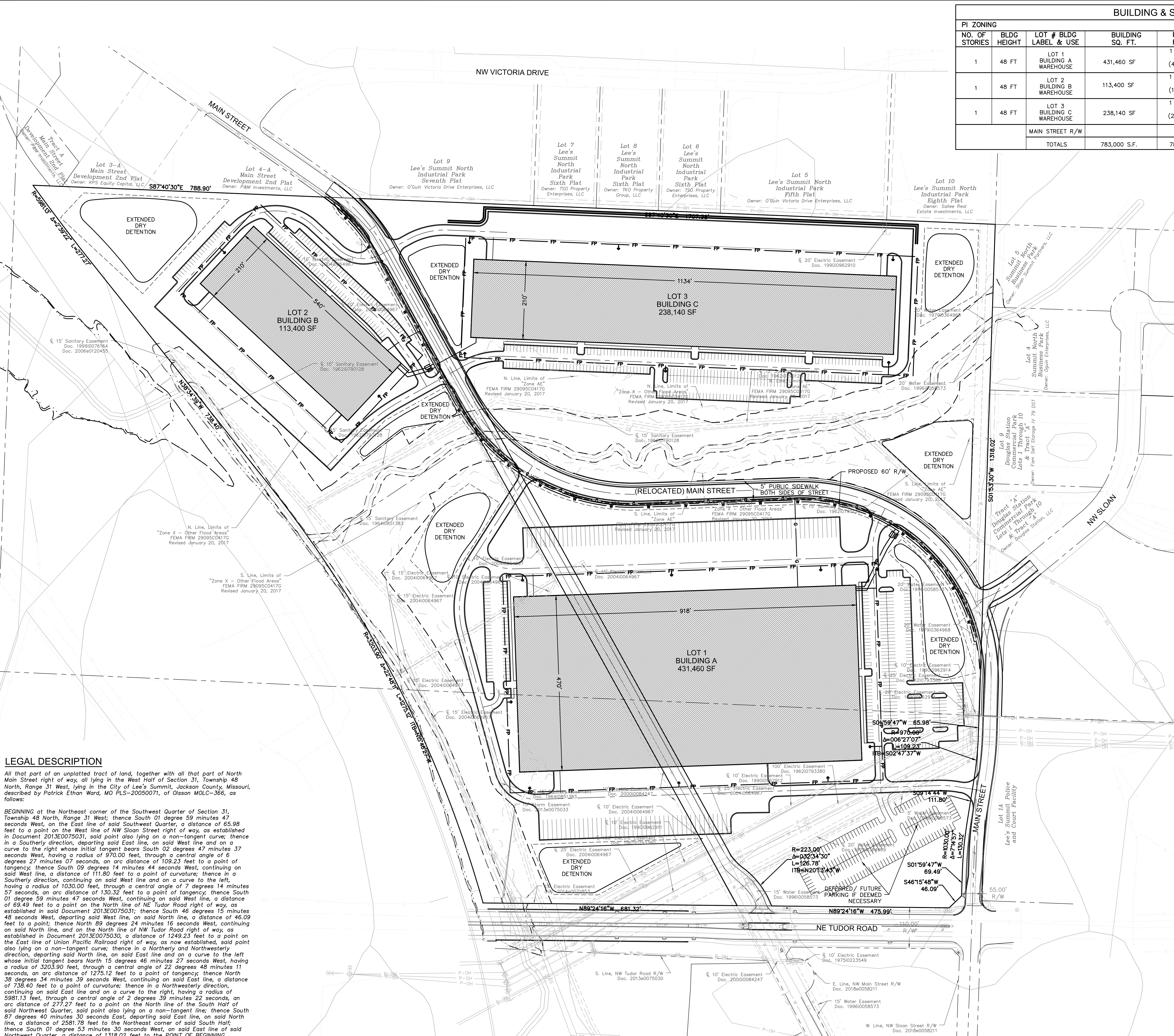
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Overland Park, KS 66213-4750
TEL 913.381.1170
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LEGAL DESCRIPTION

All that part of an unplatted tract of land, together with all that part of North Main Street right of way, all lying in the West Half of Section 31, Township 48 North, Range 31 West, lying in the City of Lee's Summit, Jackson County, Missouri, described by Patrick Ethon Ward, MO PLS-20050071, of Olsson MLC-366, as follows:

BEGINNING at the Northeast corner of the Southwest Quarter of Section 31, Township 48 North, Range 31 West; thence South 01 degree 59 minutes 47 seconds West, on the East line of said Southwest Quarter, a distance of 65.98 feet to a point on the West line of NW Sloan Street right of way, as established in Document 2013E0075031, said point also lying on a non-tangent curve; thence in a Southerly direction, departing said East line, on said West line and on a curve to the right whose initial tangent bears South 02 degrees 47 minutes 37 seconds West, having a radius of 970.00 feet, through a central angle of 6 degrees 27 minutes 07 seconds, an arc distance of 109.23 feet to a point of tangency; thence South 09 degrees 14 minutes 44 seconds West, continuing on said West line, a distance of 111.80 feet to a point of curvature; thence in a Southerly direction, continuing on said West line and on a curve to the left, having a radius of 1030.00 feet, through a central angle of 7 degrees 14 minutes 57 seconds, an arc distance of 130.32 feet to a point of tangency; thence South 01 degree 59 minutes 47 seconds West, continuing on said West line, a distance of 69.49 feet to a point on the North line of NE Tudor Road right of way, as established in said Document 2013E0075031; thence South 46 degrees 15 minutes 48 seconds West, departing said West line, on said North line, a distance of 46.09 feet to a point; thence North 89 degrees 24 minutes 16 seconds West, continuing on said North line, and on the North line of NW Tudor Road right of way, as established in Document 2013E0075030, a distance of 1249.23 feet to a point on the East line of Union Pacific Railroad right of way, as now established, said point also lying on a non-tangent curve; thence in a Northerly and Northwesterly direction, departing said North line, on said East line and on a curve to the left whose initial tangent bears North 15 degrees 46 minutes 27 seconds West, having a radius of 3203.90 feet, through a central angle of 22 degrees 48 minutes 11 seconds, an arc distance of 1275.12 feet to a point of tangency; thence North 38 degrees 34 minutes 39 seconds West, continuing on said East line, a distance of 738.40 feet to a point of curvature; thence in a Northwesterly direction, continuing on said East line and on a curve to the right, having a radius of 5981.13 feet, through a central angle of 2 degrees 39 minutes 22 seconds, an arc distance of 277.27 feet to a point on the North line of the South Half of said Northwest Quarter, said point also lying on a non-tangent line; thence South 87 degrees 40 minutes 30 seconds East, departing said East line, on said North line, a distance of 2581.78 feet to the Northeast corner of said South Half; thence South 01 degree 53 minutes 30 seconds West, on said East line of said Northwest Quarter, a distance of 1318.02 feet to the POINT OF BEGINNING, containing 3,439,837 Square Feet or 78.9678 Acres, more or less.



PROPERTY OWNER/ DEVELOPER

SCANNELL PROPERTIES, LLC
8801 RIVER CROSSING BLVD, SUITE 300
INDIANAPOLIS, IN 46240
PH: 317-218-1648

ENGINEER/ LANDSCAPE ARCHITECT

OLSSON
7301 W. 133RD STREET, SUITE 200
OVERLAND PARK, KS 66213
PH: 913-381-1170
F: 913-381-1174

PROPOSED SITE USE

INDUSTRIAL

EXISTING & PROPOSED ZONING

PI

SITE AREA

NET SITE AREA= 3,439,837 SQ. FT., (78.9678 AC±)

BUILDING & SITE DATA						
PI ZONING						
NO. OF STORIES	BLDG HEIGHT	LOT # BLDG LABEL & USE	BUILDING SQ. FT.	PARKING REQUIRED	PARKING PROVIDED	FLOOR AREA RATIO
1	48 FT	LOT 1 BUILDING A WAREHOUSE	431,460 SF	1 STALL PER 1000 SF (432 STALLS)	285 STALLS (159 FUTURE STALLS)	0.26
1	48 FT	LOT 2 BUILDING B WAREHOUSE	113,400 SF	1 STALL PER 1000 SF (114 STALLS)	115 STALLS	0.20
1	48 FT	LOT 3 BUILDING C WAREHOUSE	238,140 SF	1 STALL PER 1000 SF (239 STALLS)	282 STALLS	0.22
MAIN STREET R/W						3.14 ACRES
TOTALS			783,000 S.F.	785 STALLS	841 STALLS	78.96 ACRES

LEGEND

- PROPERTY LINE
- SECTION LINE
- FEMA FLOOD PLAIN LIMITS
- PROPERTY LOT LINE

GENERAL LAYOUT PLAN
PRELIMINARY PLAN

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	08/10/2021	CITY STAFF COMMENTS	

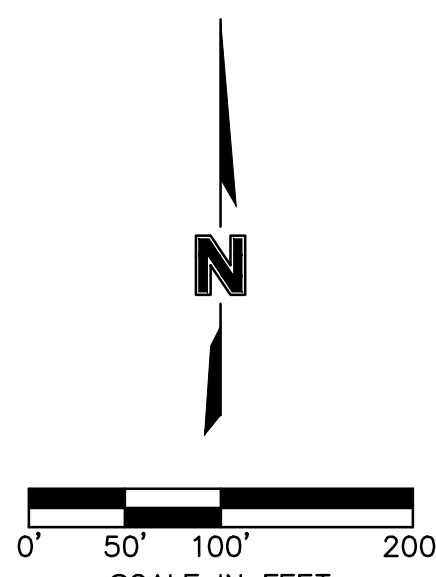
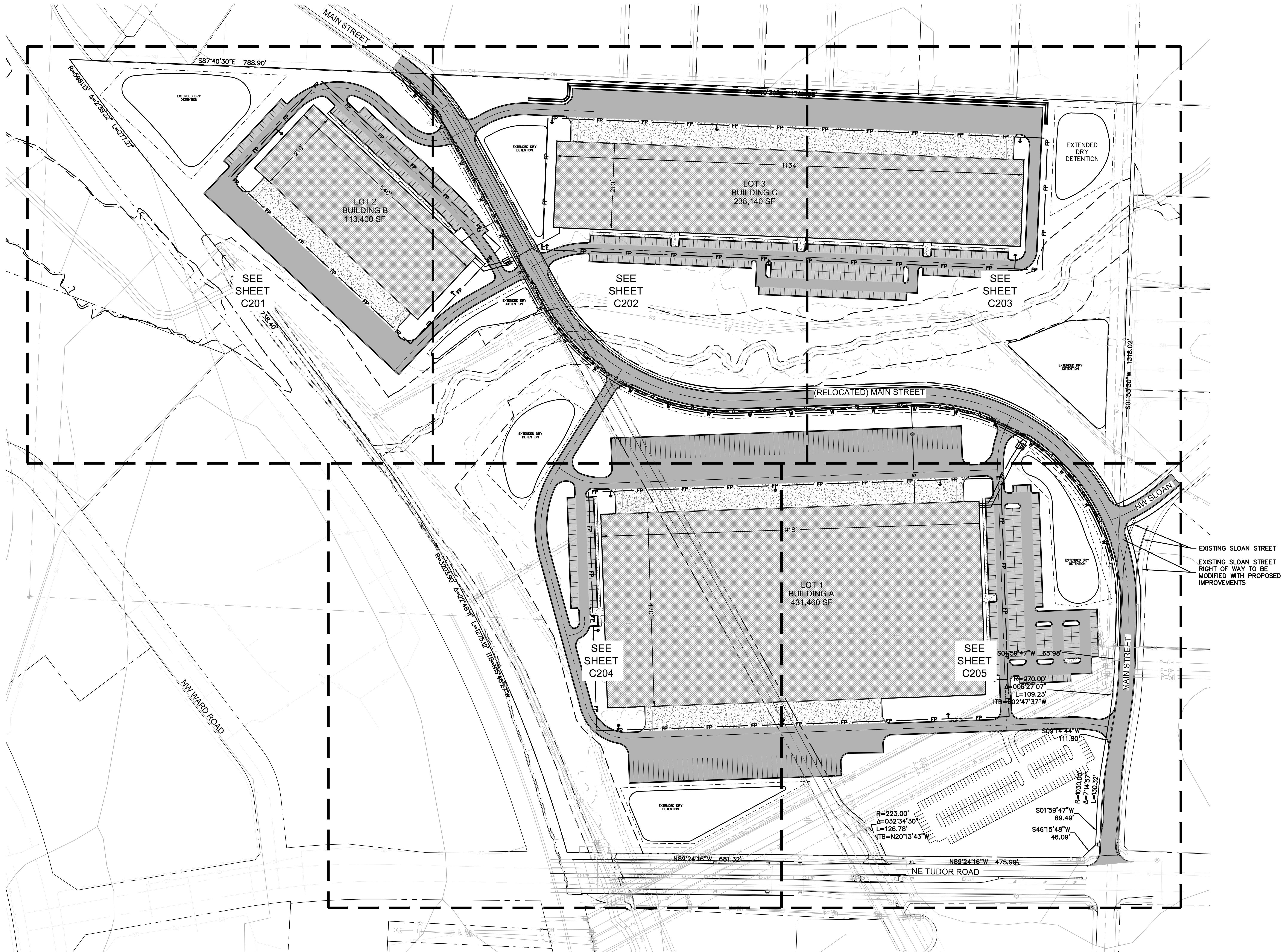
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OVERALL SITE PLAN
PRELIMINARY PLAN

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

REV. NO.	DATE	REVISIONS DESCRIPTION CITY STAFF COMMENTS	BY
1	08/10/2021		

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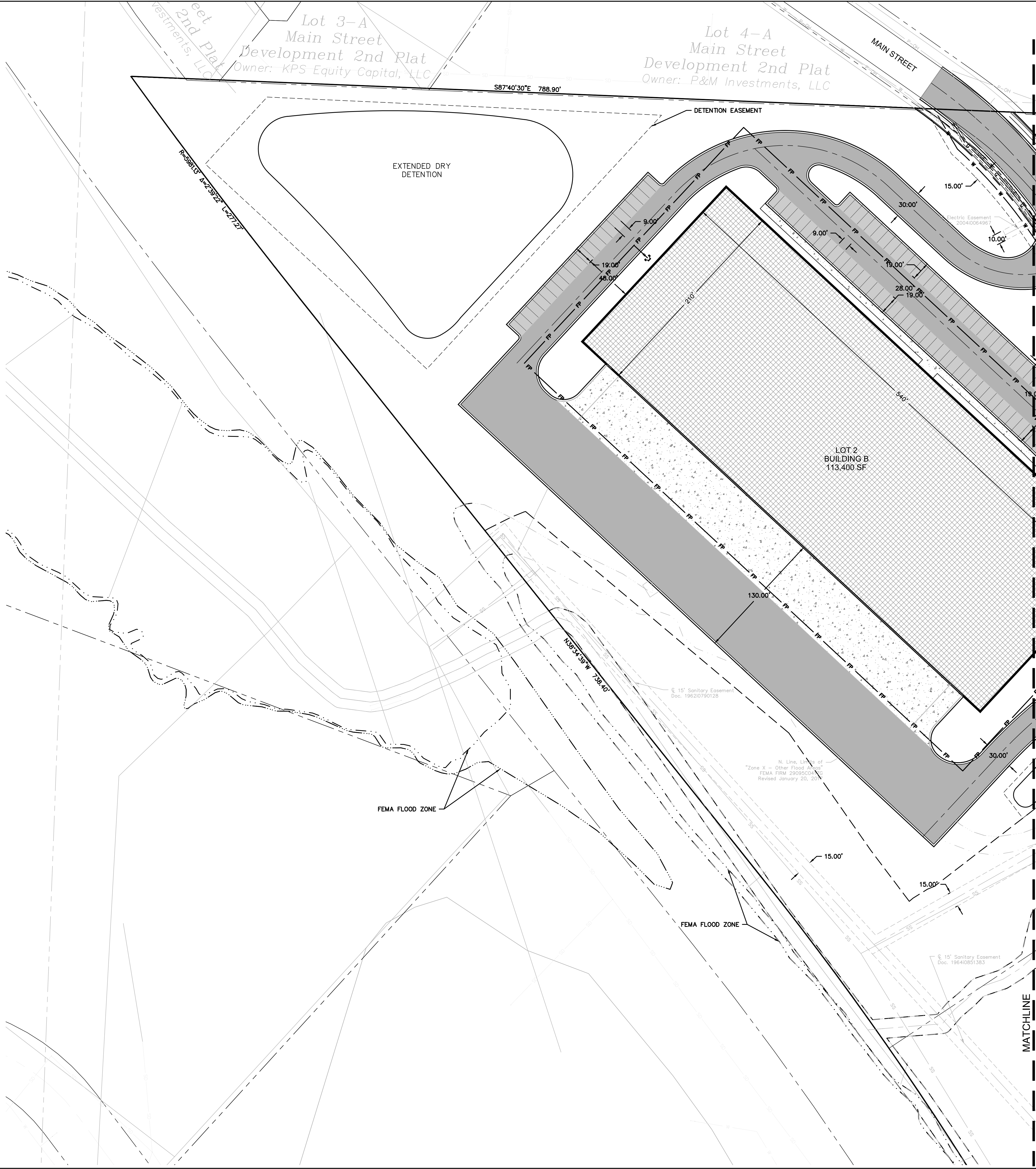


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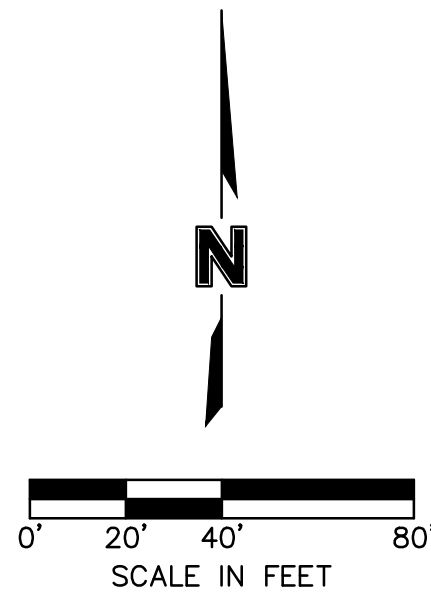
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LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- PROPOSED CONCRETE CURB & GUTTER
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING ELECTRICAL LINE
- EXISTING DOMESTIC WATER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED ELECTRICAL LINE
- PROPOSED DOMESTIC WATER
- PROPOSED GAS SERVICE
- PROPOSED FIRE PROTECTION
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED CONCRETE PAVEMENT



SITE PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

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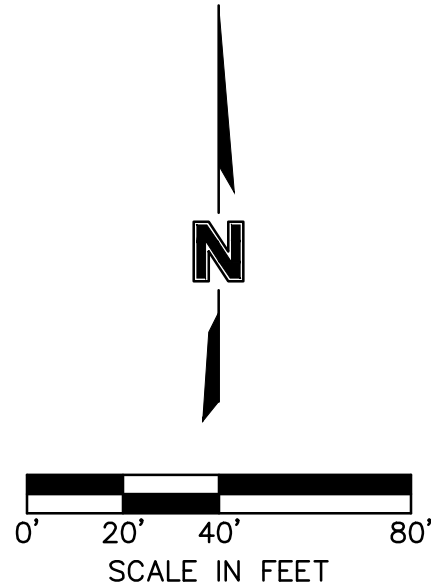
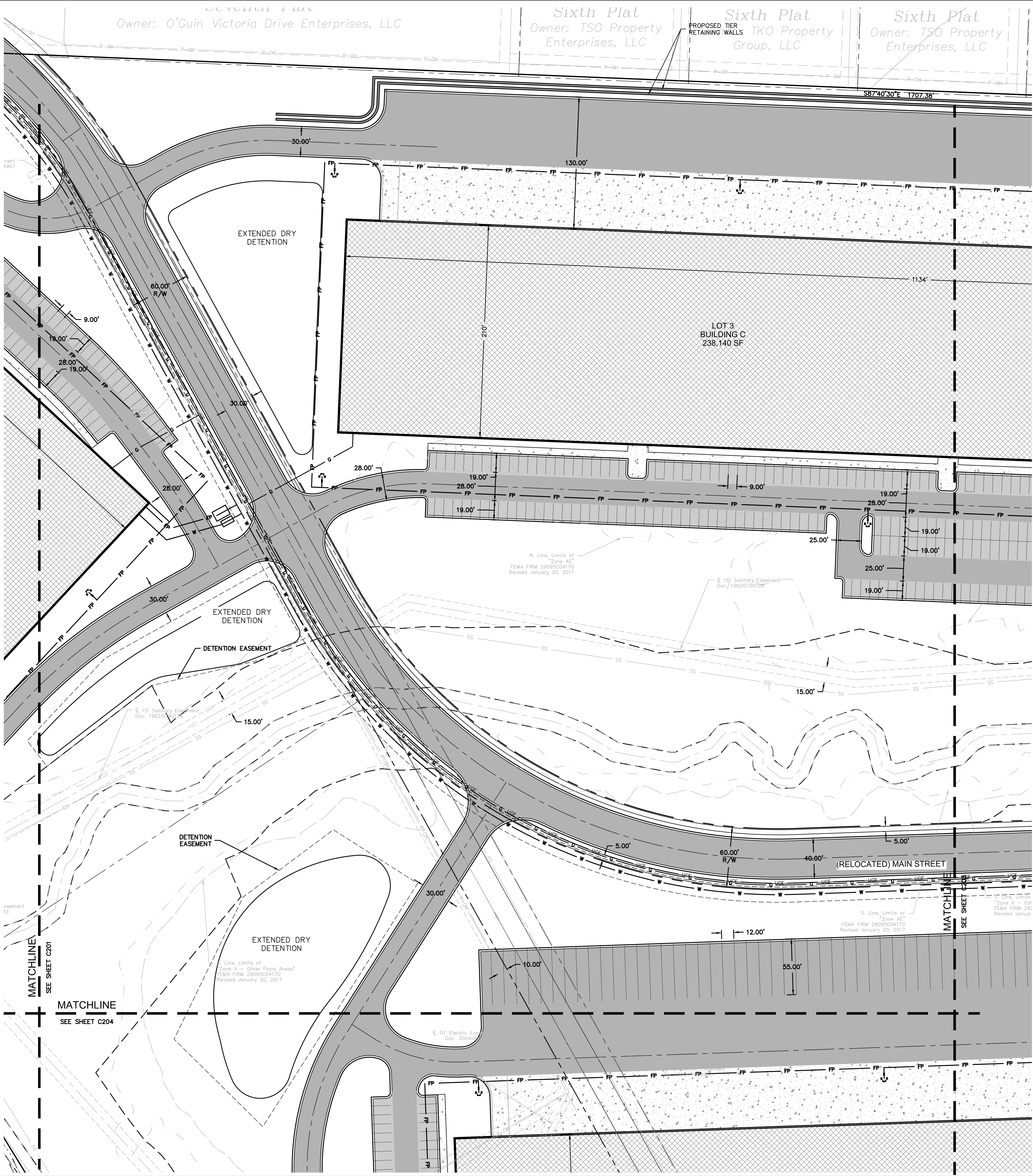
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checked by: ENG
approved by: ENG
GNC by: ENG
project no: 021-04157
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LEGEND	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED CONCRETE CURB & GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING ELECTRICAL LINE
	EXISTING DOMESTIC WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED ELECTRICAL LINE
	PROPOSED DOMESTIC WATER
	PROPOSED GAS SERVICE
	PROPOSED FIRE PROTECTION
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT

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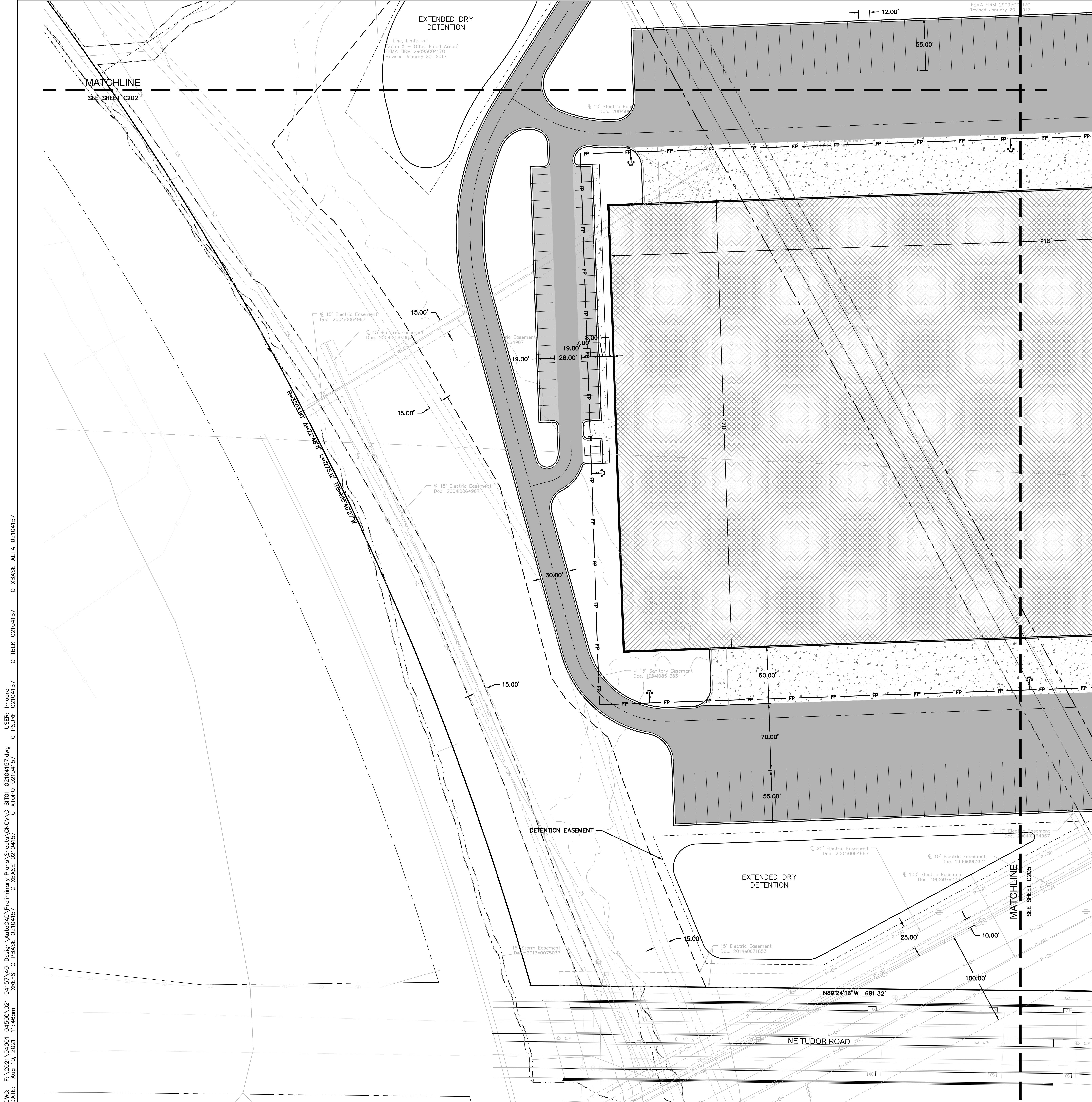
SITE PLAN
PRELIMINARY PLAT
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

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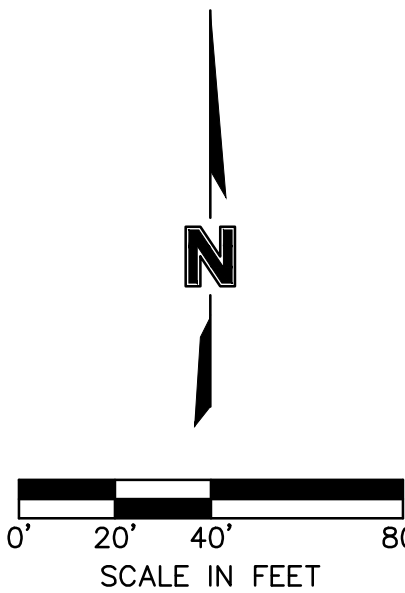


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- LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY LINE
 - PROPOSED CONCRETE CURB & GUTTER
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING ELECTRICAL LINE
 - EXISTING DOMESTIC WATER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED ELECTRICAL LINE
 - PROPOSED DOMESTIC WATER
 - PROPOSED GAS SERVICE
 - PROPOSED FIRE PROTECTION
 - PROPOSED HEAVY DUTY ASPHALT
 - PROPOSED LIGHT DUTY ASPHALT
 - PROPOSED CONCRETE PAVEMENT



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drawn by: OLSSON

checked by: ENG

approved by: ENG

QA/QC by: ENG

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drawing no: SIT01_02104157.dwg

date: 07/08/2021

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SITE PLAN

PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS

NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

2021

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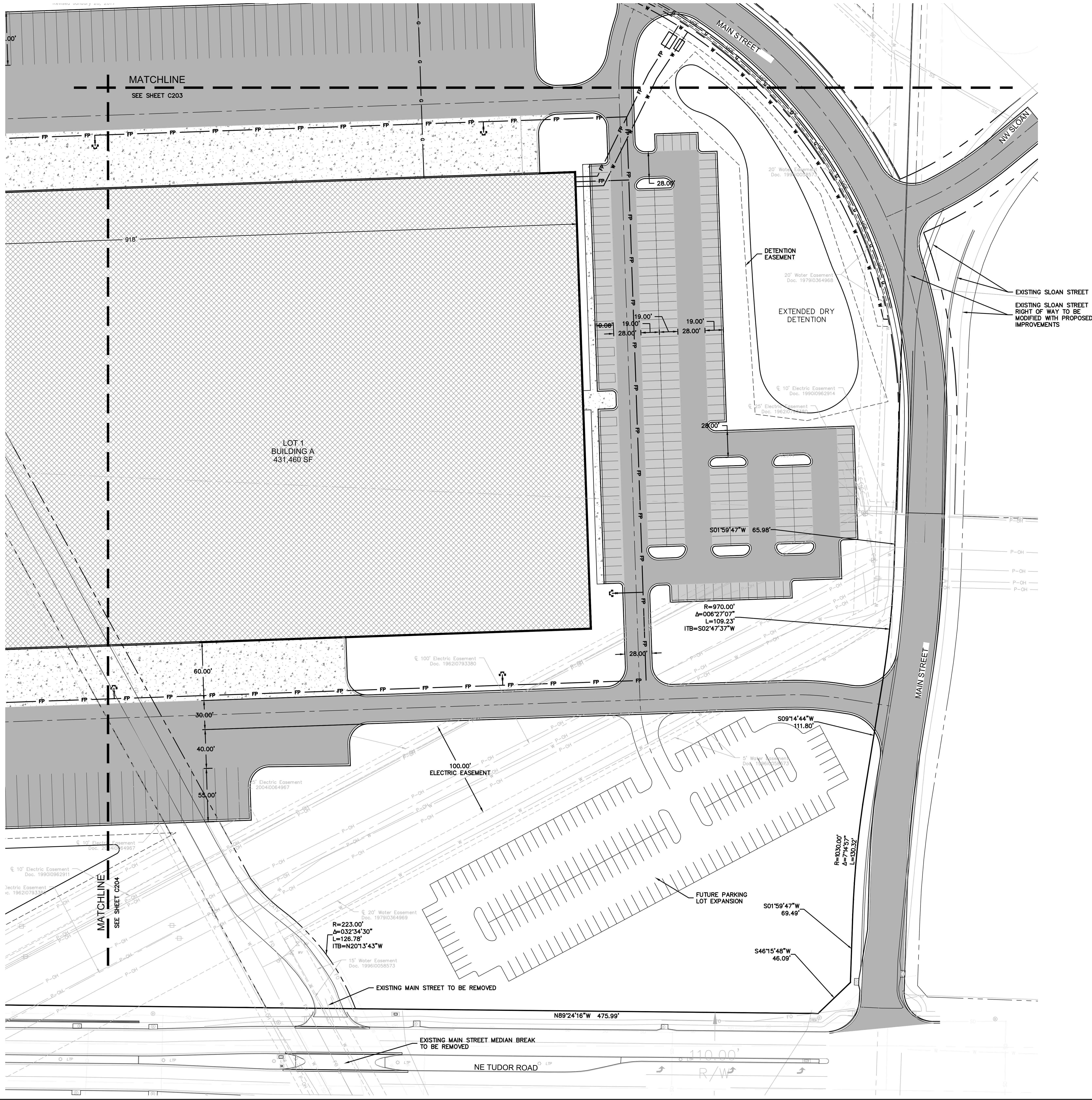
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LEGEND	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED CONCRETE CURB & GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING ELECTRICAL LINE
	EXISTING DOMESTIC WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED ELECTRICAL LINE
	PROPOSED DOMESTIC WATER
	PROPOSED GAS SERVICE
	PROPOSED FIRE PROTECTION
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT

SITE PLAN PRELIMINARY PLAT	REV	DATE	REVISIONS DESCRIPTION	BY
	1	08/10/2021	CITY STAFF COMMENTS	
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET				2021
LEE'S SUMMIT, MISSOURI				

drawn by: OLSSON

checked by: ENG

approved by: ENG

GN/C by: ENG

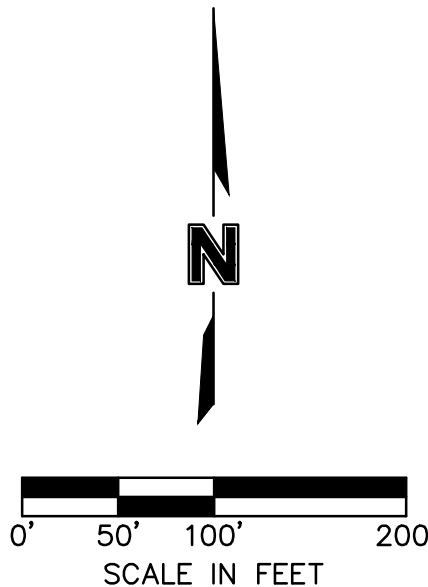
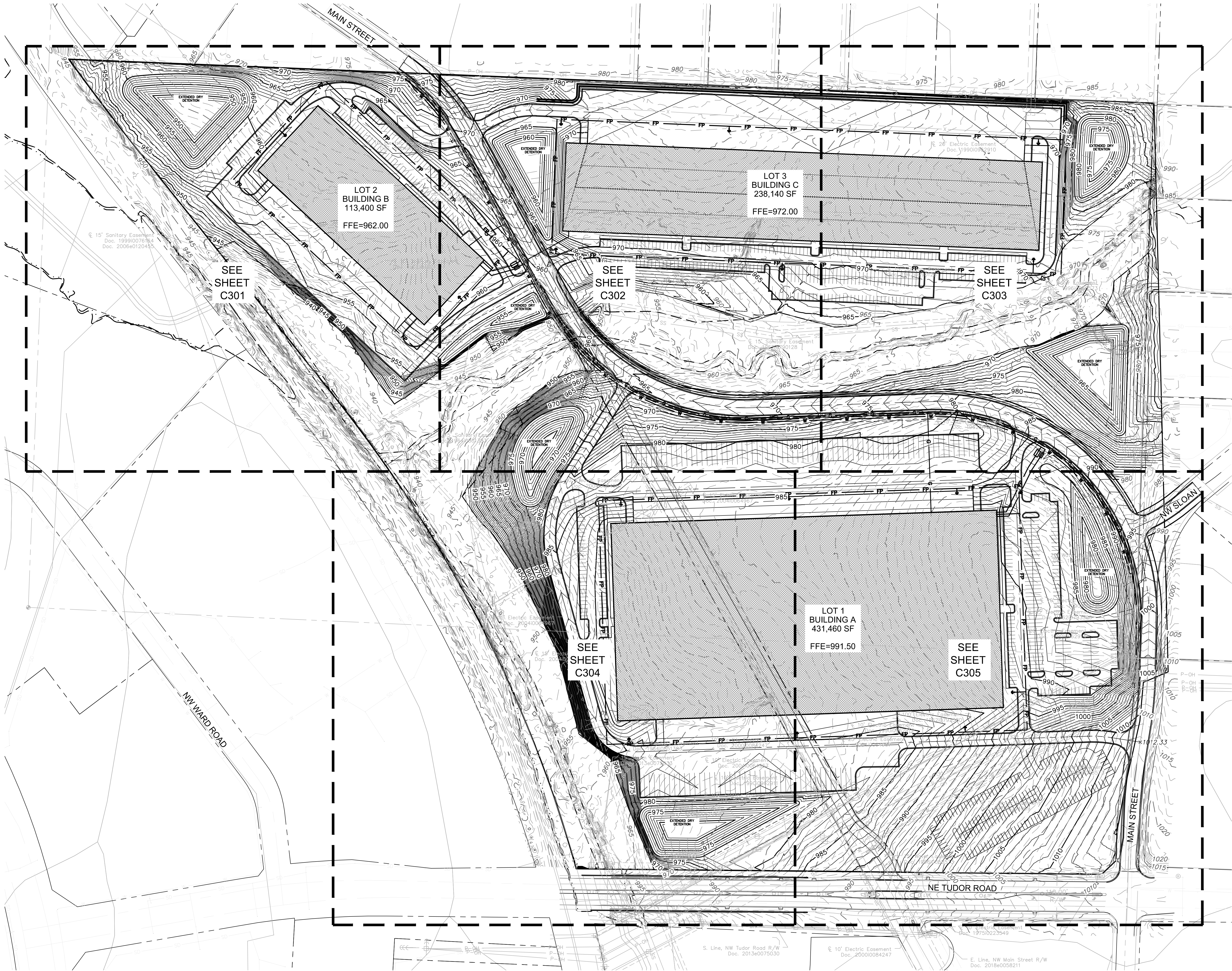
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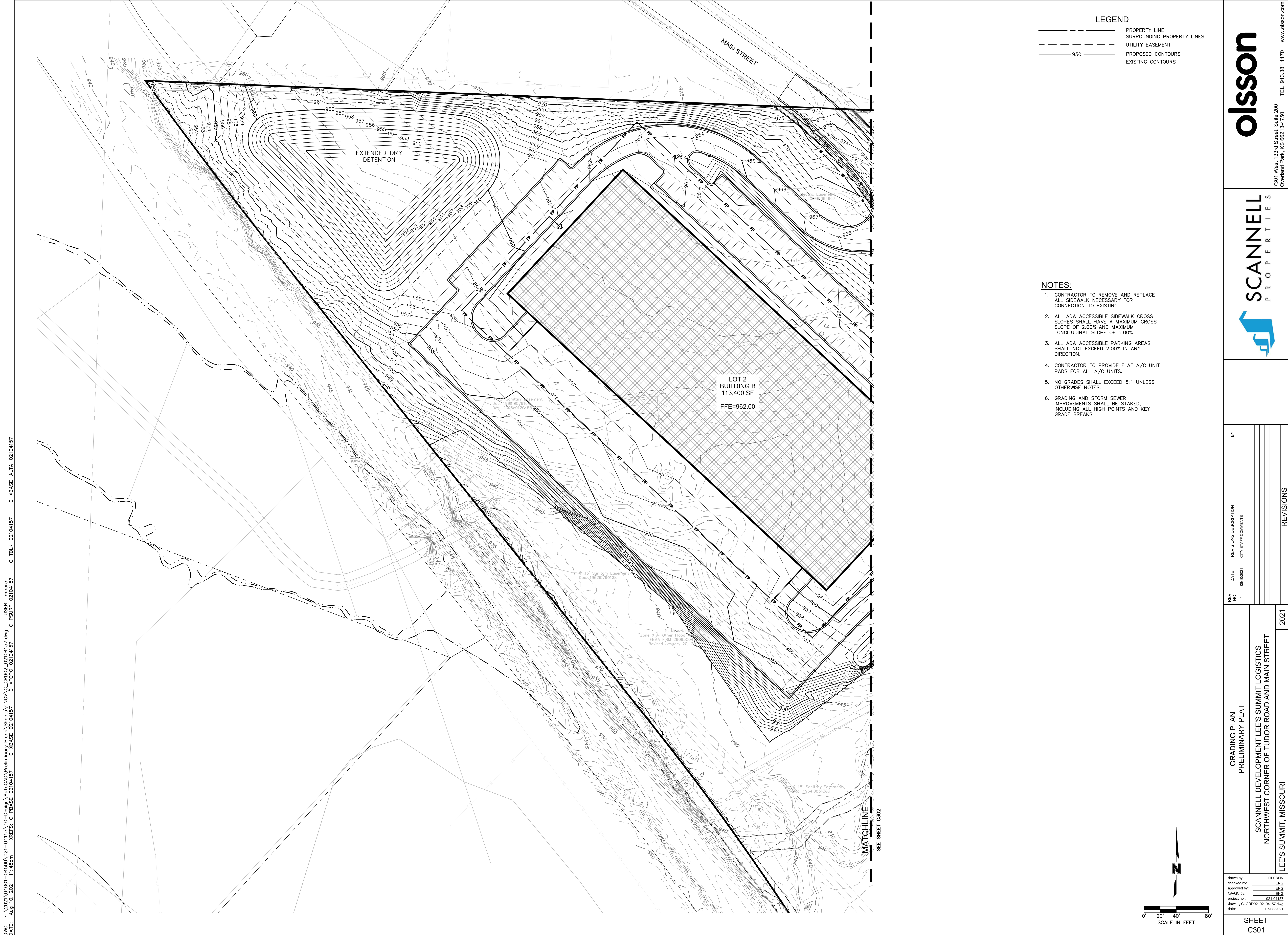
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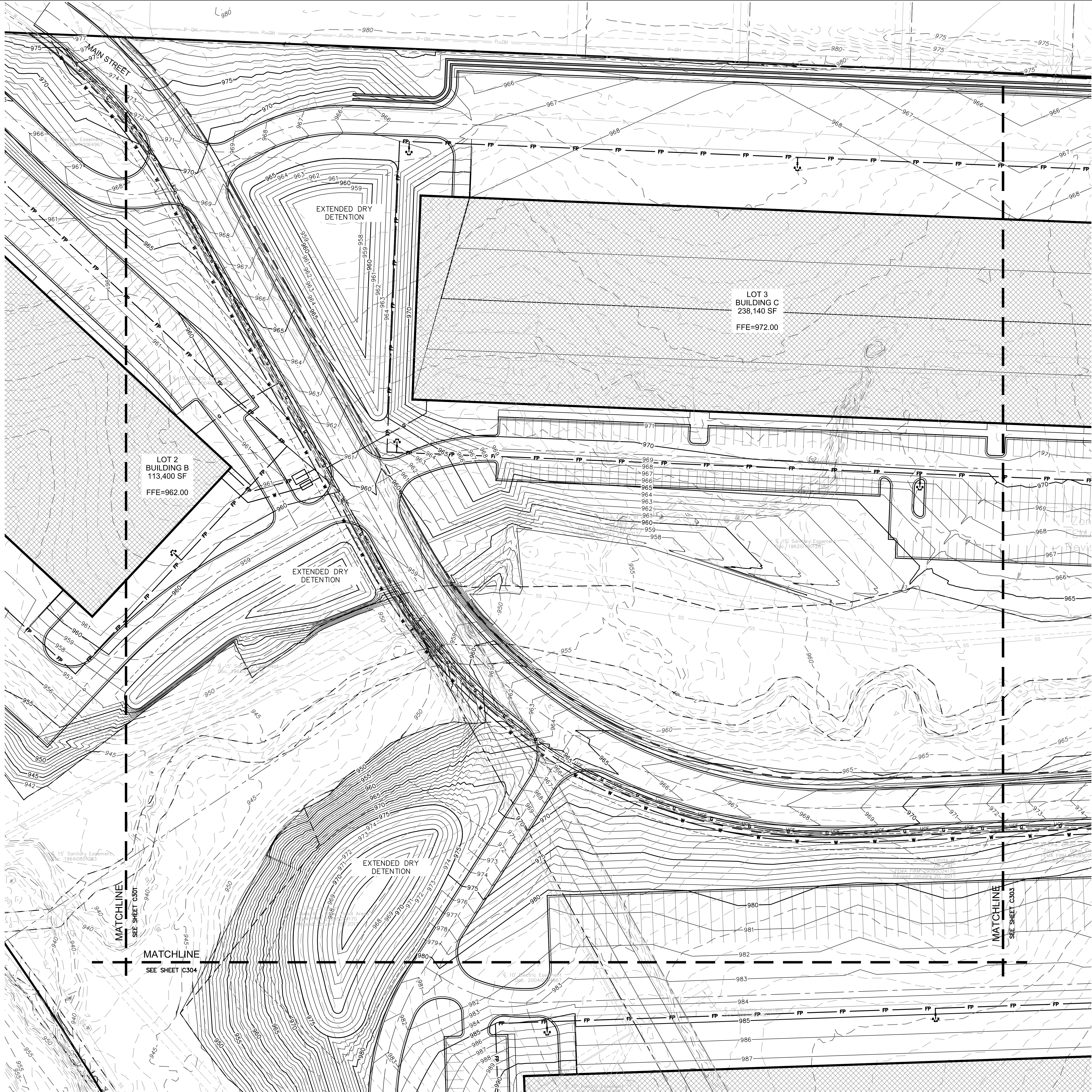
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OVERALL GRADING PLAN PRELIMINARY PLAT		REV	DATE	REVISIONS DESCRIPTION CITY STAFF COMMENTS	BY
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET LEE'S SUMMIT, MISSOURI		1	08/10/2021		
		REVISIONS			
					2021





LEGEND	
	PROPERTY LINE
	SURROUNDING PROPERTY LINES
	UTILITY EASEMENT
	PROPOSED CONTOURS
	EXISTING CONTOURS

NOTES:

- CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
- ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
- ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
- CONTRACTOR TO PROVIDE FLAT A/C UNIT PADS FOR ALL A/C UNITS.
- NO GRADES SHALL EXCEED 5:1 UNLESS OTHERWISE NOTES.
- GRADING AND STORM SEWER IMPROVEMENTS SHALL BE STAKED, INCLUDING ALL HIGH POINTS AND KEY GRADE BREAKS.

GRADING PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	08/10/2021	CITY STAFF COMMENTS	

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checked by: ENG
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drawing no: GRD02_02104157.dwg
date: 07/08/2021

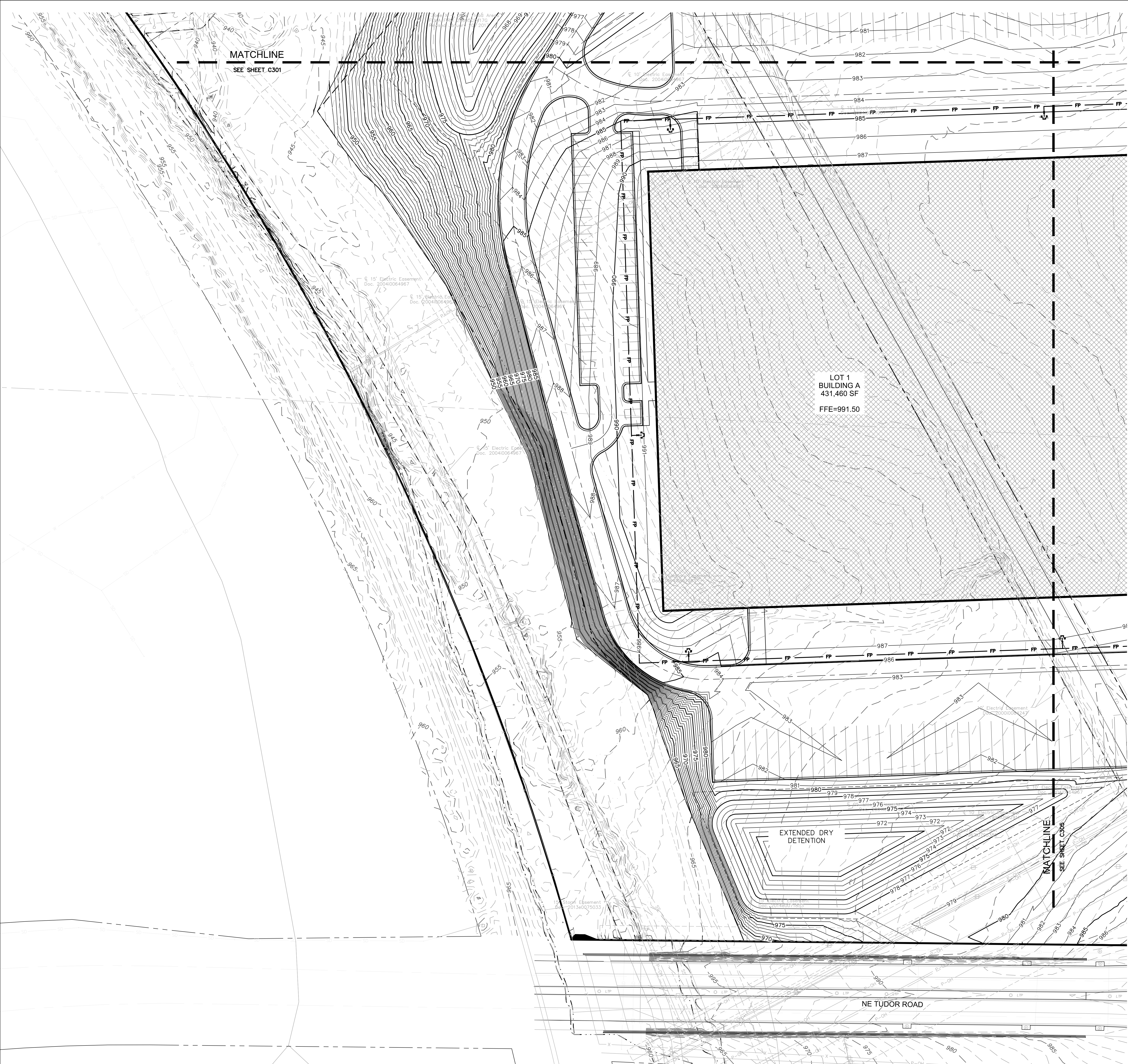
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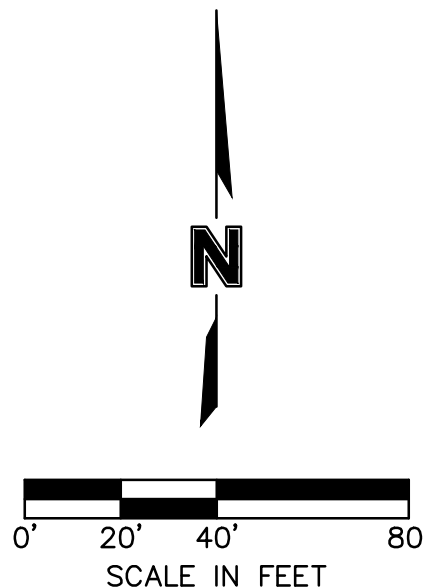
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LEGEND	
	PROPERTY LINE
	SURROUNDING PROPERTY LINES
	UTILITY EASEMENT
	PROPOSED CONTOURS
	EXISTING CONTOURS

NOTES:

1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
2. ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
3. ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
4. CONTRACTOR TO PROVIDE FLAT A/C UNIT PADS FOR ALL A/C UNITS.
5. NO GRADES SHALL EXCEED 5:1 UNLESS OTHERWISE NOTES.
6. GRADING AND STORM SEWER IMPROVEMENTS SHALL BE STAKED, INCLUDING ALL HIGH POINTS AND KEY GRADE BREAKS.



GRADING PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

REV	DATE	REVISIONS DESCRIPTION	BY
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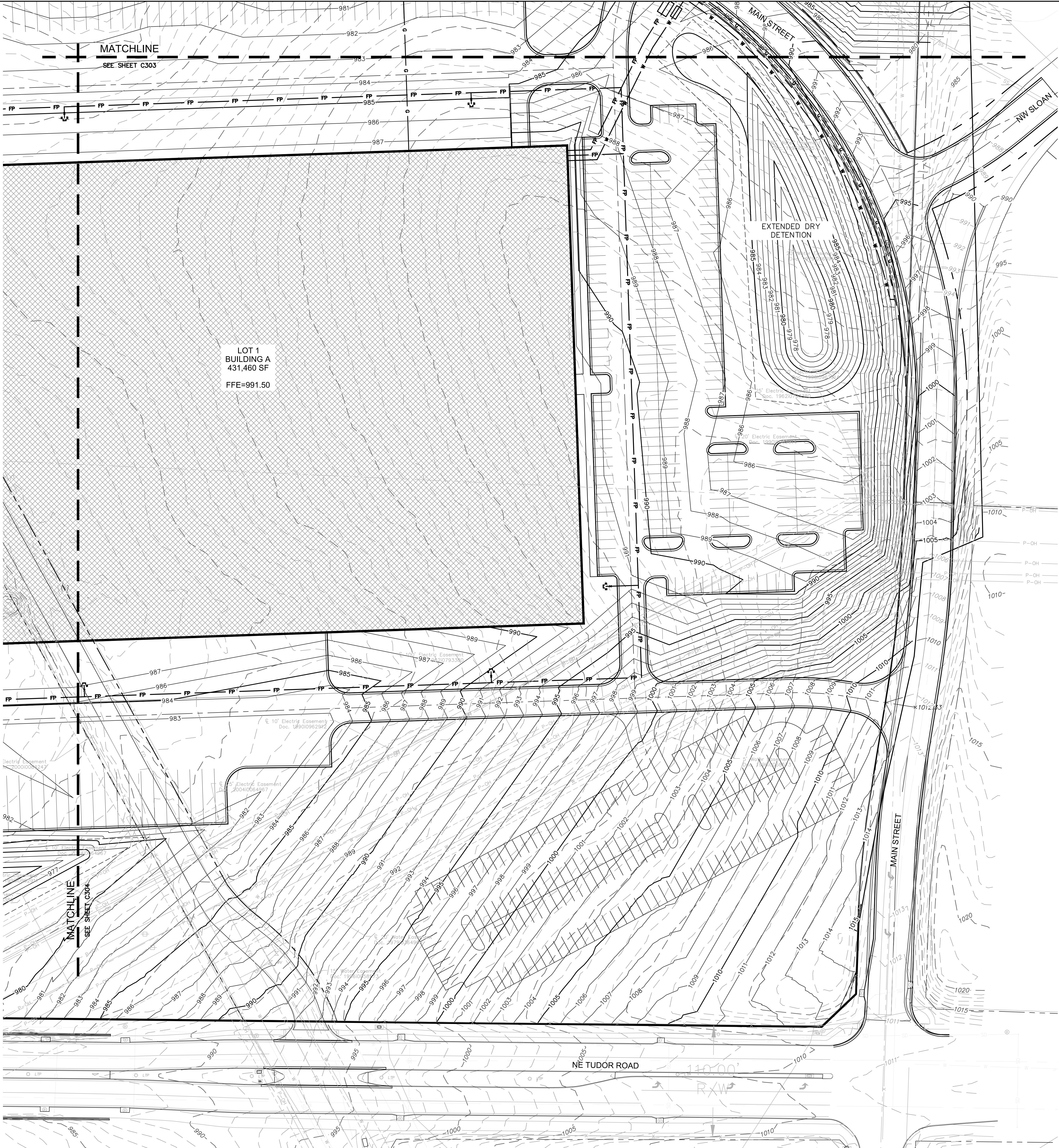
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approved by: ENG
QA/QC by: ENG
project no: 021-04157
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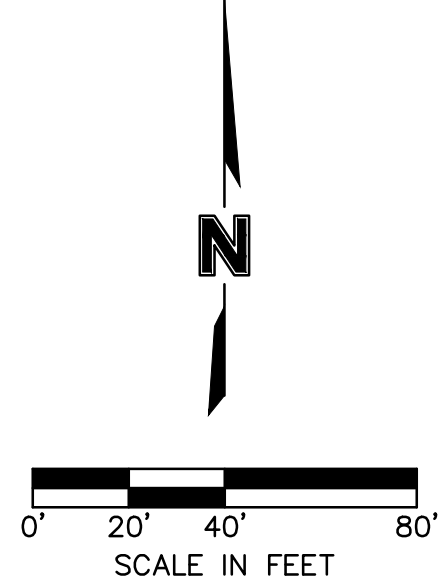
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LEGEND

---	PROPERTY LINE
---	SURROUNDING PROPERTY LINES
---	UTILITY EASEMENT
---	PROPOSED CONTOURS
---	EXISTING CONTOURS

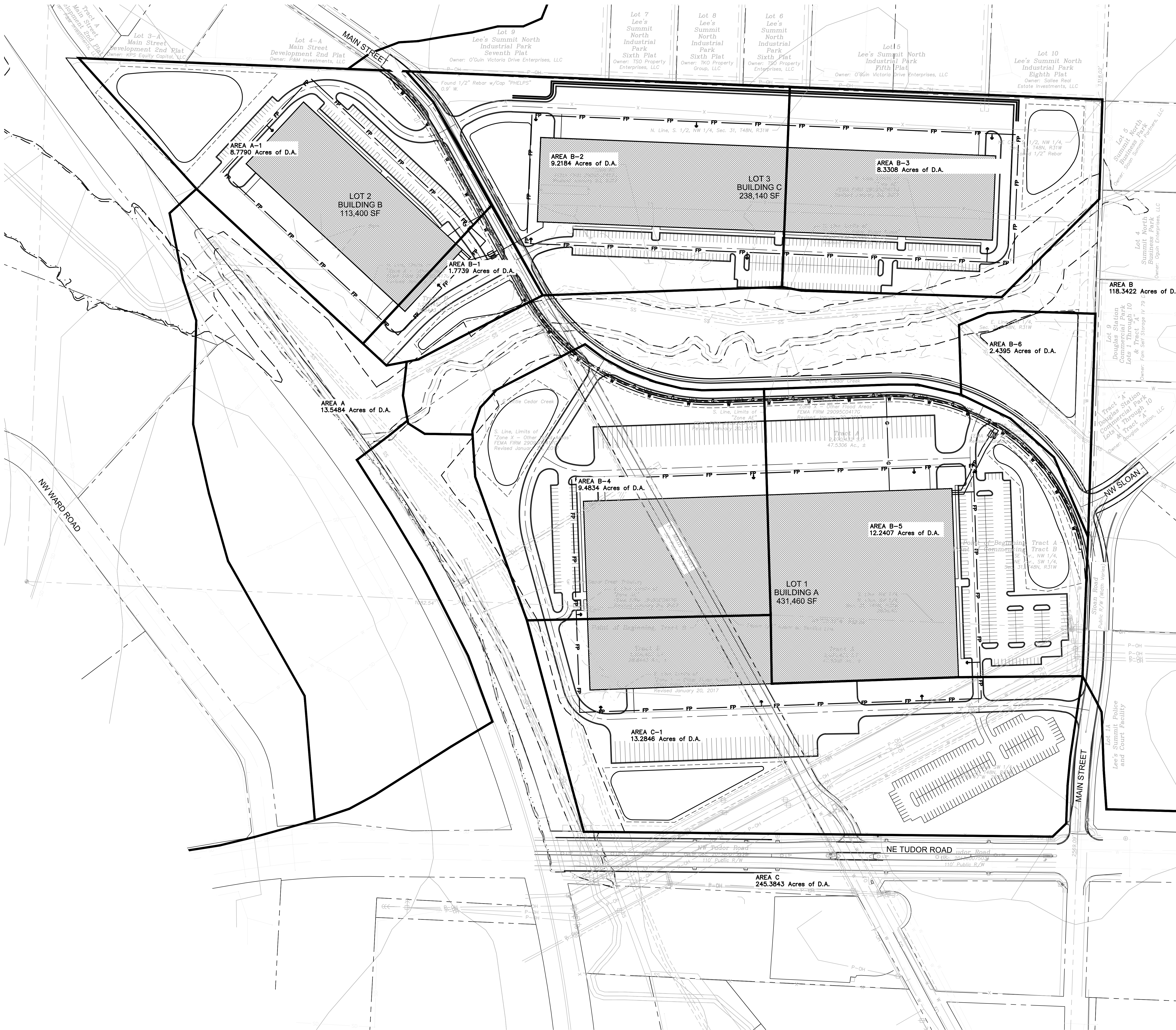
- NOTES:**
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 - GRADING AND STORM SEWER IMPROVEMENTS SHALL BE STAKED, INCLUDING ALL HIGH POINTS AND KEY GRADE BREAKS.



GRADING PLAN PRELIMINARY PLAT		BY	
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET		REV. NO. DATE REVISIONS DESCRIPTION CITY STAFF COMMENTS	
LEE'S SUMMIT, MISSOURI		2021	
SHEET C305		REVISIONS	

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GNC by: ENG
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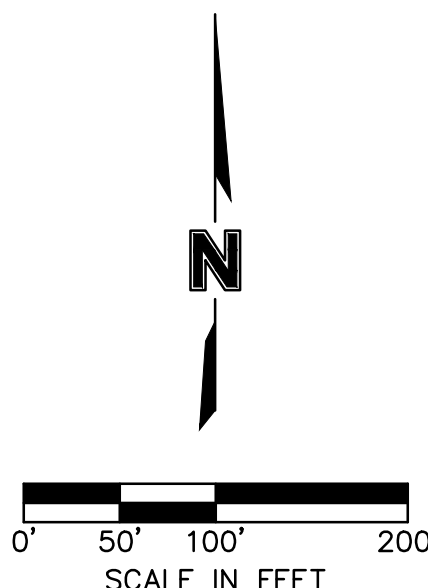


LEGEND

--- PROPERTY LINE
--- RIGHT OF WAY LINE

NOTES

REFERENCE PRELIMINARY FLOOD STUDY AND
PRELIMINARY STORMWATER DRAINAGE STUDY FOR
MORE INFORMATION REGARDING DRAINAGE
BOUNDARIES.



STORM MANAGEMENT PLAN PRELIMINARY PLAT		BY	
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET		REV. NO. DATE REVISIONS DESCRIPTION CITY STAFF COMMENTS	
LEE'S SUMMIT, MISSOURI		1 08/10/2021	
SHEET C400		2021 REVISIONS	

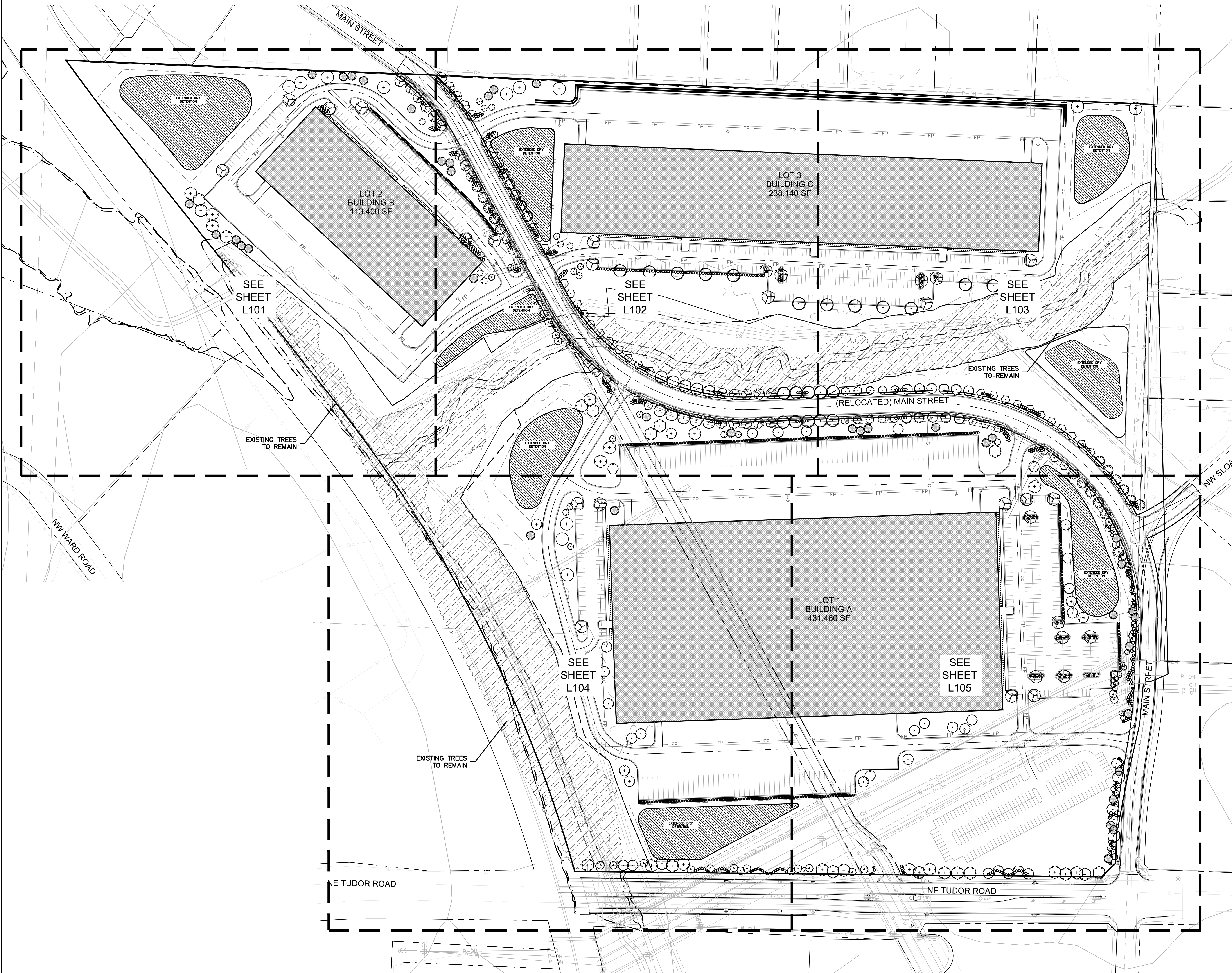
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approved by: ENG
GNC by: ENG
project no: 021-04157
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LANDSCAPE CALCULATIONS - LOT 1

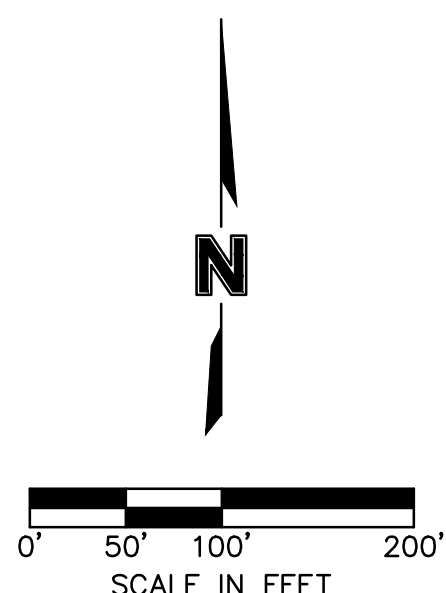
- OPEN YARD AREAS**
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT AREA AND TRACTS.
1,008,818 SF / 5,000 SF
201.76 TREES REQUIRED
77 TREES PROVIDED
**SEE PLAN FOR EXISTING TREE MASSES TO REMAIN
403.5 SHRUBS REQUIRED
469 SHRUBS PROVIDED
- STREET FRONTAGE REQUIREMENT**
MAIN STREET (SOUTH SIDE)
1,334 LF
1 TREE / 30' OF STREET FRONTAGE
44.46 TREES REQUIRED
44 TREES PROVIDED
1 SHRUB PER 20' OF STREET FRONTAGE
67 SHRUBS REQUIRED
67 SHRUBS PROVIDED
- TUDOR ROAD**
1,215 LF
1 TREE / 30' OF STREET FRONTAGE
40 TREES REQUIRED
40 TREES PROVIDED
1 SHRUB PER 20' OF STREET FRONTAGE
60 SHRUBS REQUIRED
60 SHRUBS PROVIDED
- BUFFER-EAST SIDE**
ALONG ABUTTING LAND USES REQUIRES MEDIUM IMPACT SCREENING.
1 SHADE TREE / 1,000 SF
12 SHADE TREES REQUIRED
6 SHADE TREES PROVIDED
1 ORNAMENTAL TREE / 500 SF
24 ORNAMENTAL TREES REQUIRED
37 ORNAMENTAL TREES PROVIDED
1 EVERGREEN TREE / 300 SF
40 EVERGREEN TREES REQUIRED
43 EVERGREEN TREES PROVIDED
1 SHRUB / 200 SF
60 SHRUBS REQUIRED
67 SHRUBS PROVIDED
** ADJUSTMENTS MADE DUE TO OVERHEAD POWERLINES

LANDSCAPE CALCULATIONS - LOT 2

- OPEN YARD AREAS**
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT AREA AND TRACTS.
724,992 SF / 5,000 SF
145 TREES REQUIRED
35 TREES PROVIDED
**SEE PLAN FOR EXISTING TREE MASSES TO REMAIN
290 SHRUBS REQUIRED
294 SHRUBS PROVIDED
- STREET FRONTAGE REQUIREMENT**
MAIN STREET (SOUTH SIDE)
766 LF
1 TREE / 30' OF STREET FRONTAGE
23.5 TREES REQUIRED
24 TREES PROVIDED
1 SHRUB PER 20' OF STREET FRONTAGE
51 SHRUBS REQUIRED
51 SHRUBS PROVIDED

LANDSCAPE CALCULATIONS - LOT 3

- OPEN YARD AREAS**
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT AREA AND TRACTS.
612,066 SF / 5,000 SF
122 TREES REQUIRED
38 TREES PROVIDED
**SEE PLAN FOR EXISTING TREE MASSES TO REMAIN
244.8 SHRUBS REQUIRED
258 SHRUBS PROVIDED
- STREET FRONTAGE REQUIREMENT**
MAIN STREET (NORTH SIDE)
2,100 LF
1 TREE / 30' OF STREET FRONTAGE
70 TREES REQUIRED
70 TREES PROVIDED
1 SHRUB PER 20' OF STREET FRONTAGE
105 SHRUBS REQUIRED
104 SHRUBS PROVIDED



drawn by: OLSSON
checked by: ENG
approved by: ENG
GNC by: ENG
project no: 021-04157
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OVERALL LANDSCAPE PLAN
PRELIMINARY PLAT
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

2021

BY

REVISIONS DESCRIPTION
CITY STAFF COMMENTS

DATE

REV. NO.

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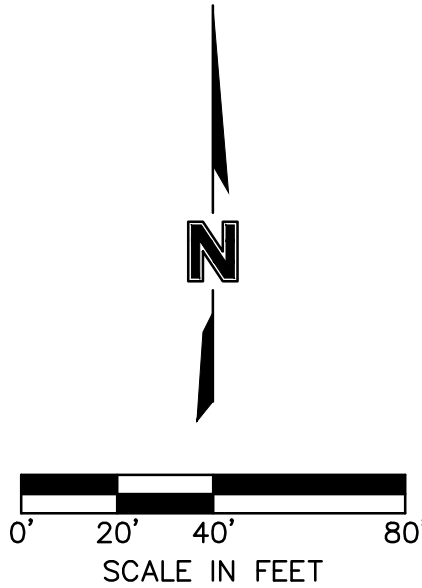
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DATE: Aug 10, 2021 11:50am XREFS: C:\PBASE_02104157 C_XBASE_02104157 C_TBLK_02104157 C_PSURF_02104157 C_XAERIAL_02104157



PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- ** SOD ALL DISTURBED AREAS
- ** ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C



drawn by: OLSSON
checked by: ENG
approved by: ENG
QA/QC by: ENG
project no: 021-04157
drawing no: 021-SC01_02104157.dwg
date: 07/08/2021

LANDSCAPE PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

2021

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	08/10/2021	CITY STAFF COMMENTS	

REVISIONS	

SCANNELL
PROPERTIES

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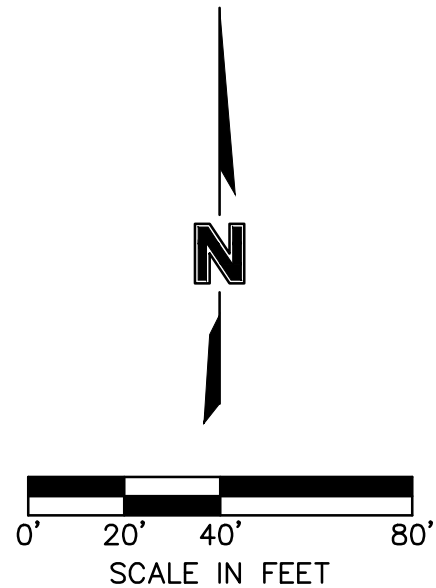
7301 West 133rd Street, Suite 200
Overland Park, KS 66213-7456
TEL 913.381.1170 www.olsson.com



PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
6" HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- ** SOD ALL DISTURBED AREAS
- ** ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C

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LANDSCAPE PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

REV. NO. 1
DATE 08/10/2021
REVISIONS DESCRIPTION
CITY STAFF COMMENTS

BY

2021

REVISIONS

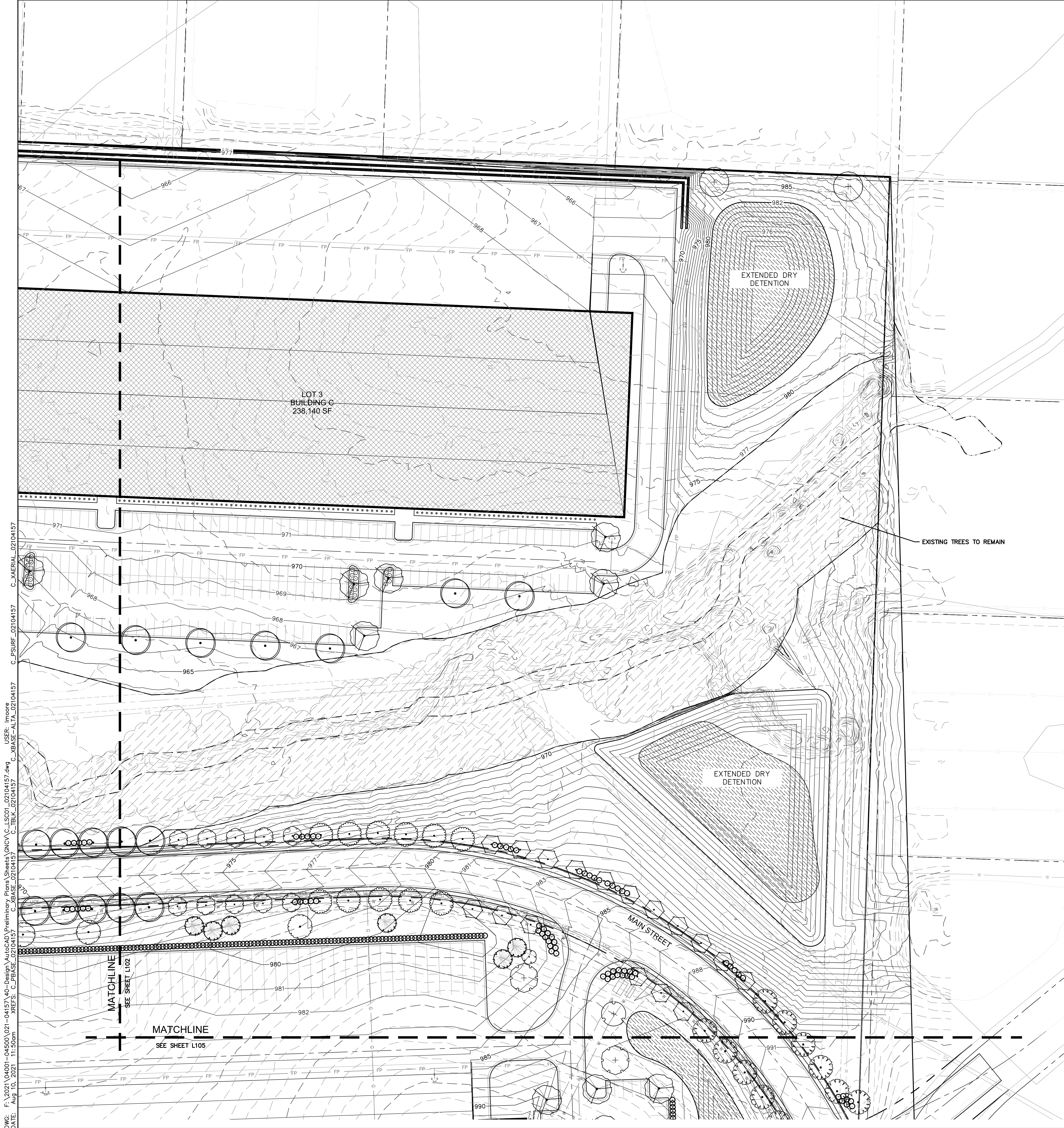
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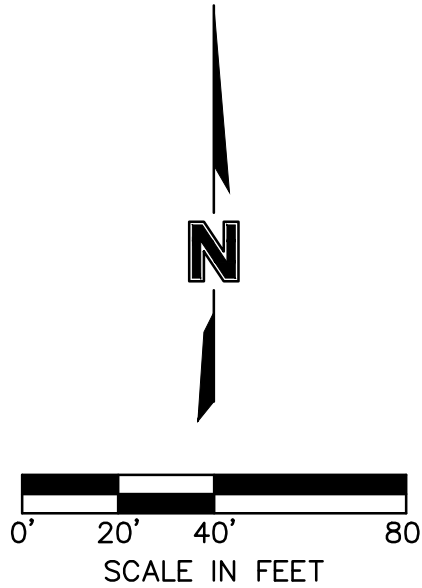
SCANNELL PROPERTIES

SHEET
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PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- ** SOD ALL DISTURBED AREAS
- ** ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C



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LANDSCAPE PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
LEE'S SUMMIT, MISSOURI

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SCANNELL PROPERTIES

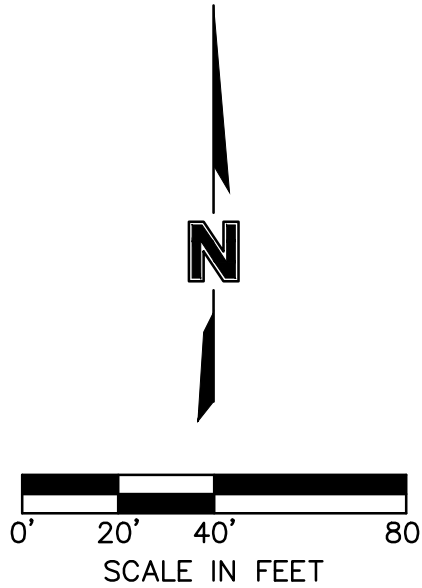
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TEL 913.381.1170 www.olsson.com

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PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- ** SOD ALL DISTURBED AREAS
- ** ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C



LANDSCAPE PLAN
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

2021

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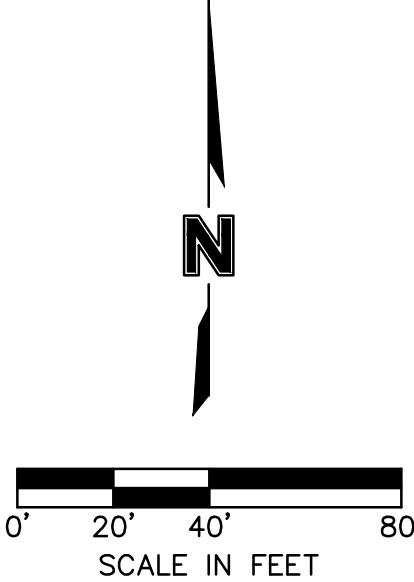
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SHEET
L104



PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- ** SOD ALL DISTURBED AREAS
- ** ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C



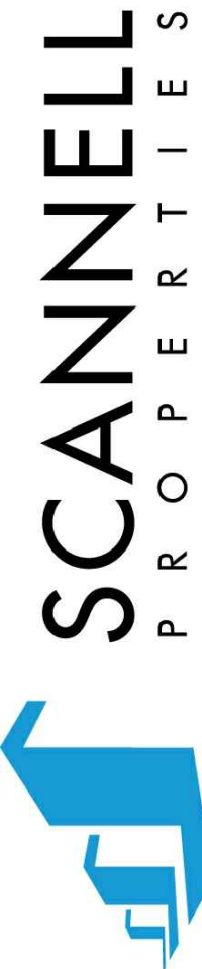
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PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

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