

FINAL PLAT
Napa Valley -5th Plat
Lots 166 Thru 196
Lee's Summit, Jackson County, Missouri

NAPA VALLEY- 4TH PLAT BOUNDARY DESCRIPTION

ALL THAT PART OF THE NORTHWEST ¼ OF SECTION 36, TOWNSHIP 47 NORTH, RANGE 32 WEST, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 36; THENCE NORTH 87°54'30" WEST ALONG THE NORTH LINE OF PARKWOOD AT STONEY CREEK-6TH PLAT, A SUBDIVISION AS RECORDED IN THE OFFICE OF THE RECORDER, A DISTANCE OF 1135.82 FEET; THENCE NORTH 2°13'02" EAST ALONG THE EAST LINE OF NAPA VALLEY-2ND PLAT, A SUBDIVISION AS RECORDED IN THE OFFICE OF THE RECORDER, A DISTANCE OF 60.18 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 230.00 FEET, AN ARC DISTANCE OF 151.69 FEET; THENCE NORTH 52°25'41" EAST, A DISTANCE OF 151.13 FEET; THENCE SOUTH 87°54'09" EAST, A DISTANCE OF 712.32 FEET; THENCE NORTH 6°54'25" EAST, A DISTANCE OF 119.28 FEET; THENCE NORTH 23°10'13" EAST, A DISTANCE OF 83.19 FEET; THENCE NORTH 53°47'02" EAST, A DISTANCE OF 101.53 FEET; THENCE NORTH 82°38'16" EAST, A DISTANCE OF 72.72 FEET; THENCE SOUTH 68°26'25" EAST, A DISTANCE OF 101.93 FEET; THENCE SOUTH 39°35'11" EAST, A DISTANCE OF 104.20 FEET; THENCE SOUTH 2°18'46" WEST, A DISTANCE OF 457.18 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS 420,137.85 SQUARE FEET (9.65 ACRES) MORE OR LESS AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, CONDITIONS AND RIGHT OF WAYS, RECORDED OR UNRECORDED IF ANY.

LEGEND

These standard symbols will be found in the drawing.

● Set 1/2" Rebar & Cap (LS-2005008319-D)

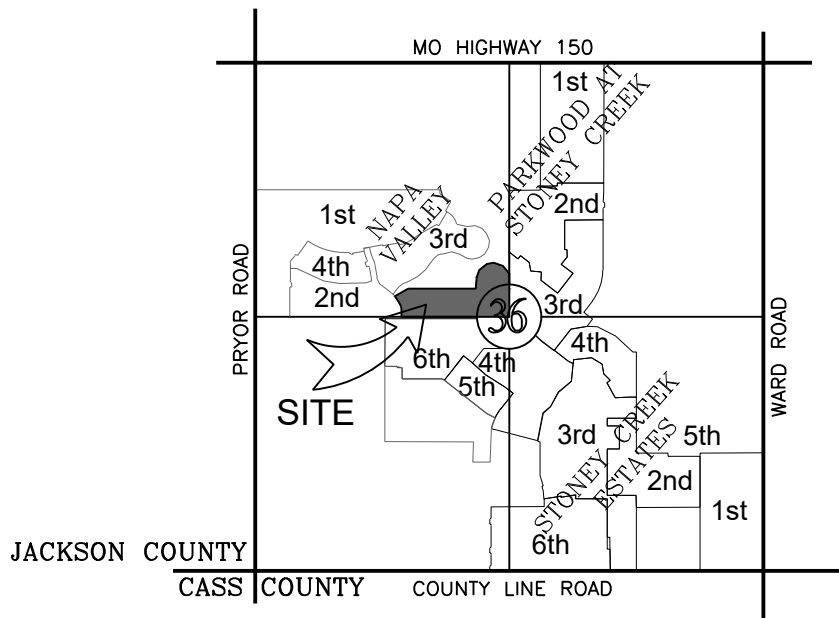
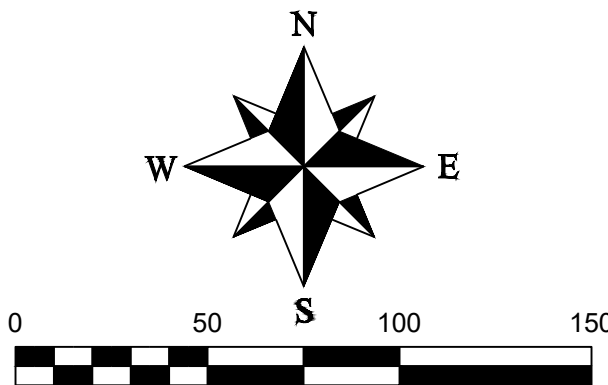
⊙ Found Survey Monument (As Noted)

U/E Utility Easement

D/E Drainage Easement

B/L Building Setback Line

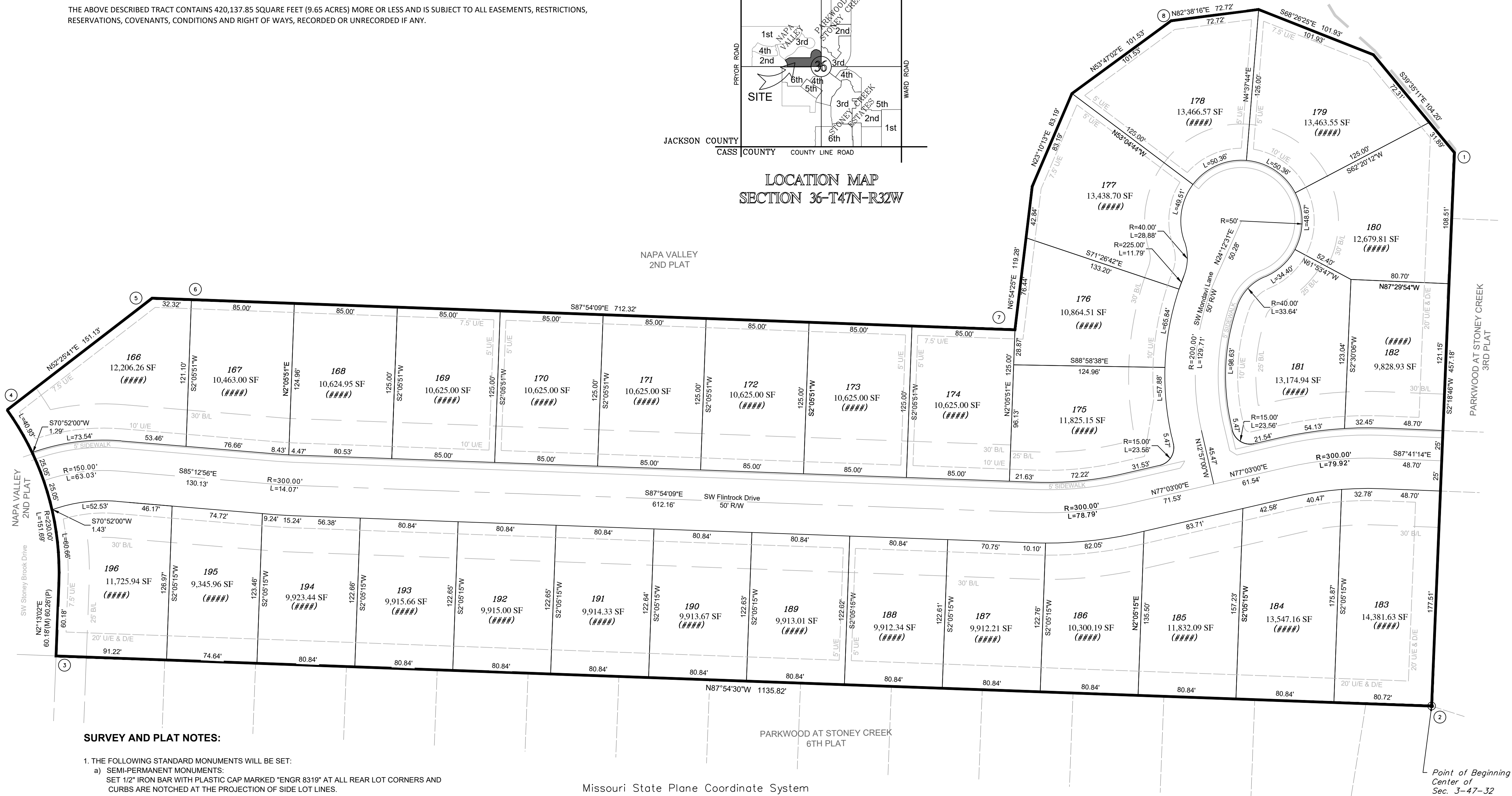
Street Address



LOCATION MAP
SECTION 36-T47N-R32W

OWNER/DEVELOPER:

CHOYCE, LLC
PO BOX 847
LEES SUMMIT, MO 64063PH.
816-985-6108



SURVEY AND PLAT NOTES:

- THE FOLLOWING STANDARD MONUMENTS WILL BE SET:
 - SEMI-PERMANENT MONUMENTS:
SET 1/2" IRON BAR WITH PLASTIC CAP MARKED "ENGR 8319" AT ALL REAR LOT CORNERS AND CURBS ARE NOTCHED AT THE PROJECTION OF SIDE LOT LINES.
 - PERMANENT MONUMENTS:
SET 5/8" IRON BAR WITH ALUMINUM CAP MARKED "ENGR 8319" AT PLAT BOUNDARY CORNERS.
- THIS PROPERTY IS CLASSIFIED SUBURBAN PROPERTY (4 CSR 30-17.0020)
- BEARINGS AND COORDINATES ARE BASED ON KANSAS CITY METRO MONUMENT CA-08 OF THE MISSOURI STATE COORDINATE SYSTEM OF 1983 MISSOURI WEST ZONE, 2003 ADJUSTMENT USING A GRID FACTOR OF 0.9998997. COORDINATES DETERMINED BY GPS METHODS.
- NO OIL OR GAS WELLS ARE KNOWN TO EXIST ON THIS PROPERTY, PER THE "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI". BY EDWARD ALTON MAY, JR., P.E., 1995.
- THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. COMMUNITY PANEL NO. 29085C0531 G EFFECTIVE DATE: JANUARY 20, 2017.
- INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW PATHS ON THE LOTS AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

Missouri State Plane Coordinate System
1983, Missouri West Zone
(2003 Adjustment)
Reference Monument: CA-08
Combined Scale Factor: 0.9998997

POINT	NORTHING	EASTING
1	297531.022	857967.616
2	297392.551	857945.475
3	297406.545	857559.722
4	297466.245	857603.705
5	297494.332	857640.217
6	297493.972	857650.060
7	297486.387	857857.185
8	297564.076	857896.502
CA08	295023.772	857606.886
CA08AZ	295008.486	857868.230

Coordinates Shown in Meters

DEDICATION:

THE UNDERSIGNED OWNERS OF THE TRACT OF LAND DESCRIBED HEREIN HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT. SAID SUBDIVISION AND PLAT SHALL HEREAFTER BE KNOWN AS

"NAPA VALLEY - 5TH PLAT - LOTS 166-196"

EASEMENTS:

AN EASEMENT OR LICENSE IS HEREBY GRANTED TO CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT, AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATION, SECTION 527.1888 RSMo. (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENT HEREIN GRANTED.

BUILDING LINES:

BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE.

STREETS:

THE STREETS AND/OR THOROUGHFARES SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE ARE HEREBY SO DEDICATED.

MASTER DRAINAGE PLAN

INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW PATHS ON THE LOTS AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

IN TESTIMONY WHEREOF:

CHOYCE, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MEMBER THIS _____ DAY OF _____, 20__.

CHOYCE, LLC.

KEVIN HIGDON, MANAGING MEMBER

NOTARY CERTIFICATION:

STATE OF _____ JSS
COUNTY OF _____

ON THIS _____ DAY OF _____, 20__, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED KEVIN HIGDON OF CHOYCE, LLC, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID COMPANY AND AS THE FREE ACT AND DEED OF SAID COMPANY.

IN WITNESS THEREOF:

I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL THE DATE LAST WRITTEN ABOVE.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

CITY OF LEE'S SUMMIT:

THIS IS TO CERTIFY THAT THE FINAL PLAT OF NAPA VALLEY - 5TH PLAT LOTS 166 THRU 196, WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33 OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES, THE UNIFIED DEVELOPMENT ORDINANCE.

By _____
Ryan A. Elam, P.E., Director of Development Services Date _____

By _____
Kim Drury, City Clerk Date _____

By _____
George M Binger, III P.E., City Engineer Date _____

JACKSON COUNTY:

APPROVED: ASSESSOR'S OFFICE

JACKSON COUNTY ASSESSOR DATE _____

DATE: _____
MATTHEW J. SCHLICHT, MOPLS 2012000102
ENGINEERING SOLUTIONS, LLC., MO CORP LS 2005008319-D

REVISIONS

DATE	REVISION

Final Plat
Napa Valley 4th Plat
Section 36, Township 47 N, Range 32 West
Lee's Summit, Jackson County, Missouri

Final Plat

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1	36	47N	32W	Jackson	Napa
DRAWN BY					DATE OF PREPARATION
M. Schlicht, PLS, PE					June, 15, 2016

PROFESSIONAL SEAL

ENGINEERING & SURVEYING
SOLUTIONS
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P(816) 623-9888 F(816) 623-9849