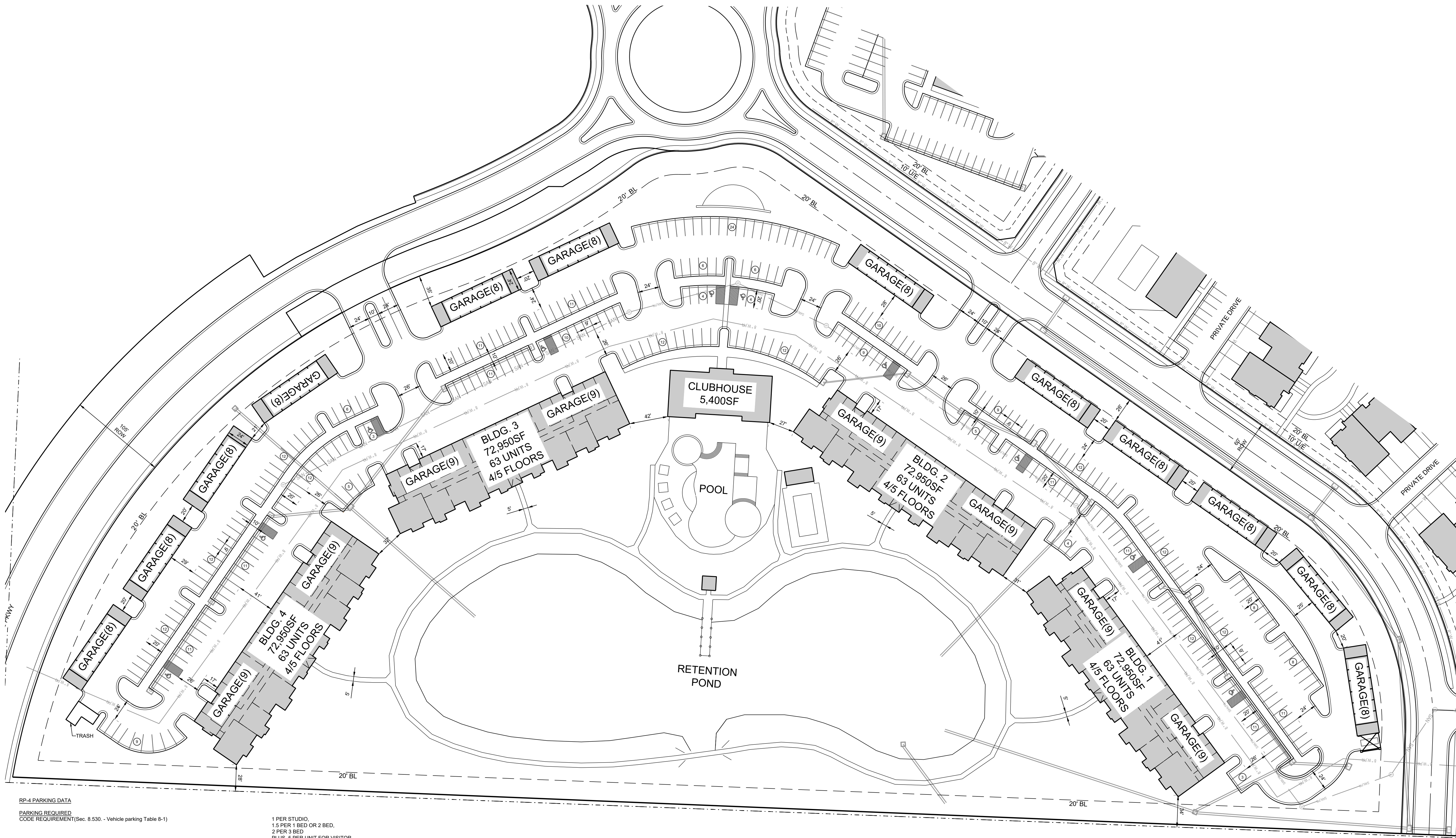


A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	10/1/2015	DESCRIPTION 1
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RP-4 PARKING DATA

PARKING REQUIRED
CODE REQUIREMENT(Sec. 8.530. - Vehicle parking Table 8-1)

1 PER STUDIO,
1.5 PER 1 BED OR 2 BED,
2 PER 3 BED
PLUS .5 PER UNIT FOR VISITOR

TYPE I BLDG PARKING REQUIRED
24(STD)X1P + 132(1BD)X1.5P + 72(2 BD)X1.5P + 24(3BD)X2P = 378 + 0.5PX 252
CLUBHOUSE PARKING REQUIRED (MINIMUM OF 6)

504 SPACES(126 SPACES PER BLDG)
6 SPACES
510 SPACES

PARKING PROVIDED
TYPE I BLDG DETACHED GARAGE PARKING PROVIDED (12 BLDGS X8)
TYPE I BLDG OPEN PARKING PROVIDED
TYPE I BLDG ATTACHED GARAGE PARKING PROVIDED (4 BLDGS X18)
TOTAL APARTMENT PARKING PROVIDED

96 SPACES
351 SPACES
72 SPACES
519 SPACES

ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 351X.02)
ACCESSIBLE SPACES PROVIDED REQUIRED

10 SPACES
10 SPACES

RP-4 BUILDING SETBACKS

REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
PROVIDED SIDE YARD SETBACK FROM LOT LINE
REQUIRED SEPARATION BETWEEN BUILDINGS
PROVIDED SEPARATION BETWEEN BUILDINGS
REQUIRED REAR YARD SETBACK
PROVIDED REAR YARD SETBACK

50 FT.
N/A
20 FT.
20 FT.
10 FT.
20 FT.
20 FT.
20 FT. FOR CLOSEST
20 FT.
20 FT.

PARKING SETBACKS

REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.
20 FT.
20 FT.
20 FT.
20 FT.
20 FT. (IN MOST AREAS MORE)

SITE DATA

EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA

AG - AGRICULTURAL
RP-4 PLANNED APARTMENT RESIDENTIAL DISTRICT
17.10 ACRES (744,751.85 S.F.)

BUILDING DATA

TYPE I NUMBER OF UNITS
TOTAL NUMBER OF UNITS TYPE I BLDG

6(3 STD) 33(1 BED) 18(2 BED) 6(3 BED) 63 UNITS TOTAL
4 BLDGS X 63 UNITS = 252 UNITS

RP-4 SITE DATA

PROPOSED NUMBER OF APARTMENT
PROPOSED RP-4 DENSITY PROPOSED

252 UNITS
22.11 UNITS / ACRE
(REQUESTED DEVIATION FROM 12 UNITS / ACRE)

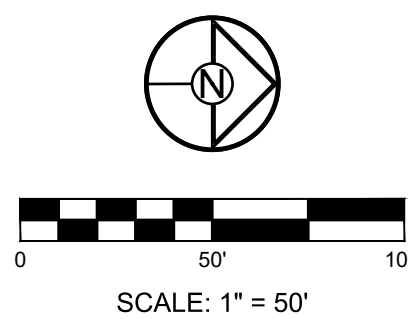
DENSITY PER CODE FOR RP-4 ZONING

NUMBER OF UNITS PER CODE FOR RP-4 ZONING
MINIMUM LOT SIZE PER UNIT PROPOSED
MINIMUM LOT SIZE PER UNIT PROPOSED
OPEN SPACE REQUIRED BY CODE (10%)(744,751.85X.1)

12 UNITS/ACRE
205 UNITS
3,500 S.F.
N/A

BUILDING AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)
OPEN SPACE AREA

74,475.19 S.F.
324,800 S.F.
194,749 S.F.
333,765 S.F.
410,987.35 S.F. (55%)



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

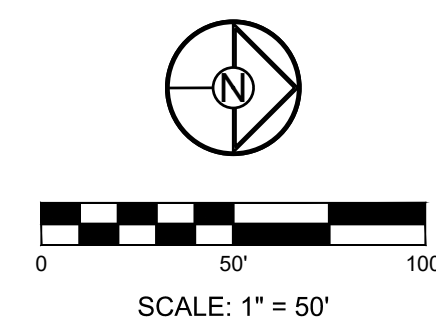
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SCH	SCH			

APARTMENT SITE
PLAN

SHEET

C1.3
##



SCHLAGEL
ENGINEERS PLANNERS SURVIVORS LANDSCAPE ARCHITECTS
14924 West 107th Street - Lenexa, Kansas 66215
(913) 492-5152 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003807-PL #L20020109257 #LS2002008939-F

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

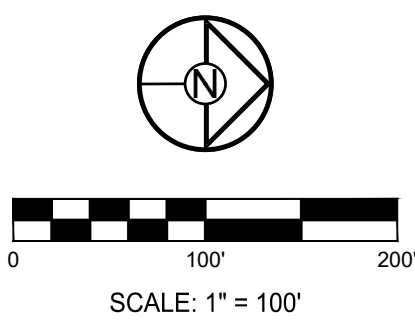
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RETAIL SITE
PLAN

SHEET

C1.4

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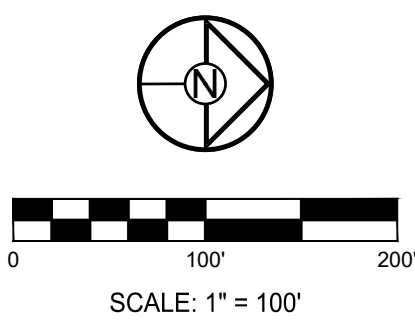


A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

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SCH	DATE	DESCRIPTION 1
CHECKED BY:		
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DATE PREPARED:		
PROJ. NUMBER:		
20-205		

OVERALL
GRADING PLAN

SHEET
C2.0
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	SCH	DATE	REVISION DATE	DESCRIPTION
CHECKED BY:	SCH	4/1/24		DESCRIPTION 1
DATE PREPARED:	SCH	4/1/24		
PROJ. NUMBER:	20-205			

SINGLE FAMILY
GRADING PLAN

SHEET
C2.1
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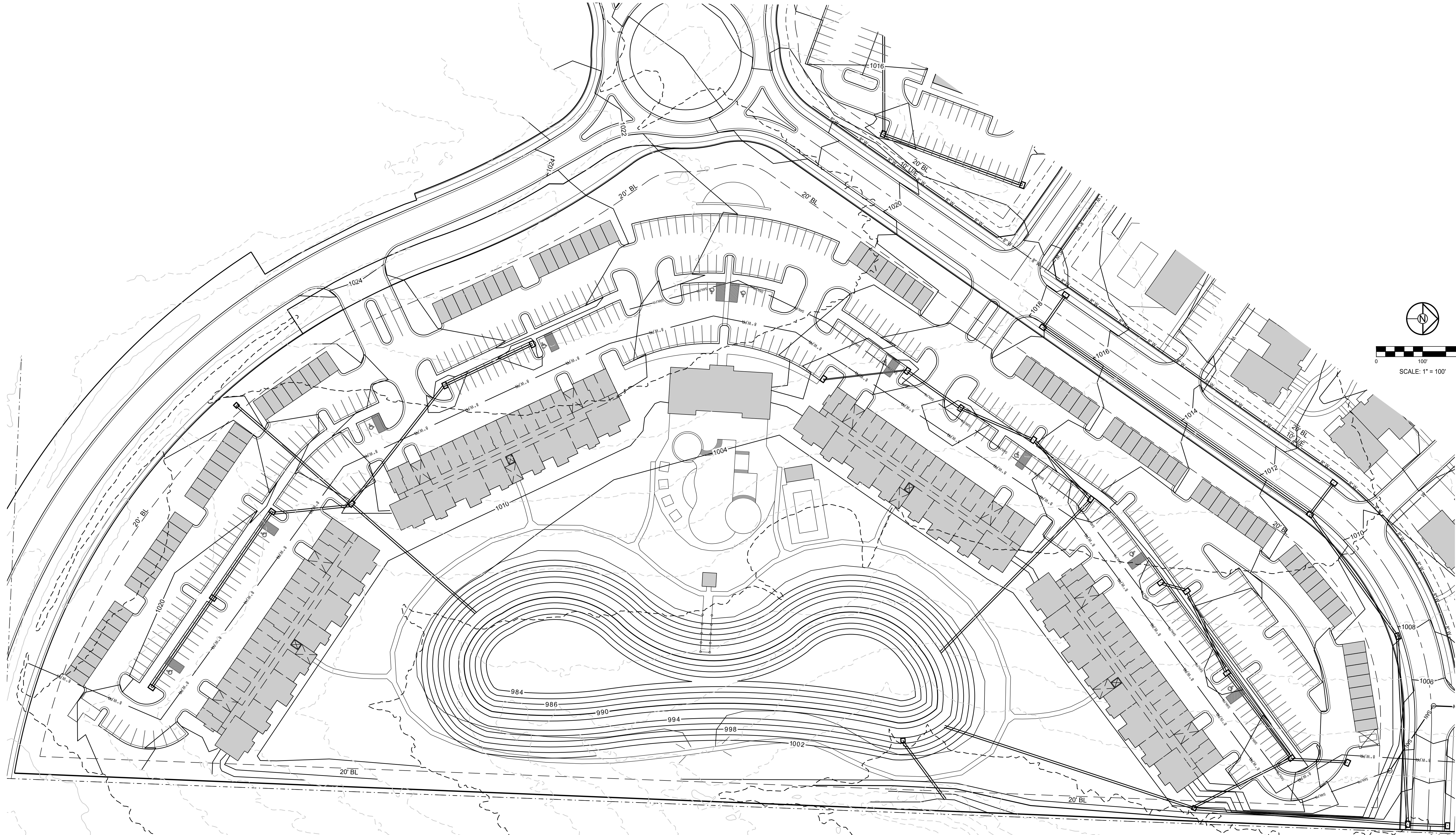


A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

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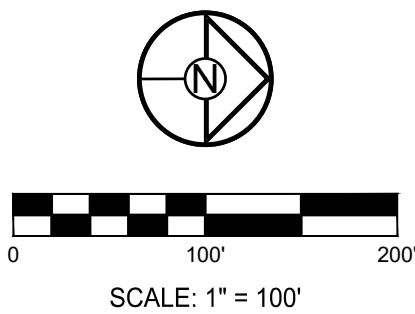
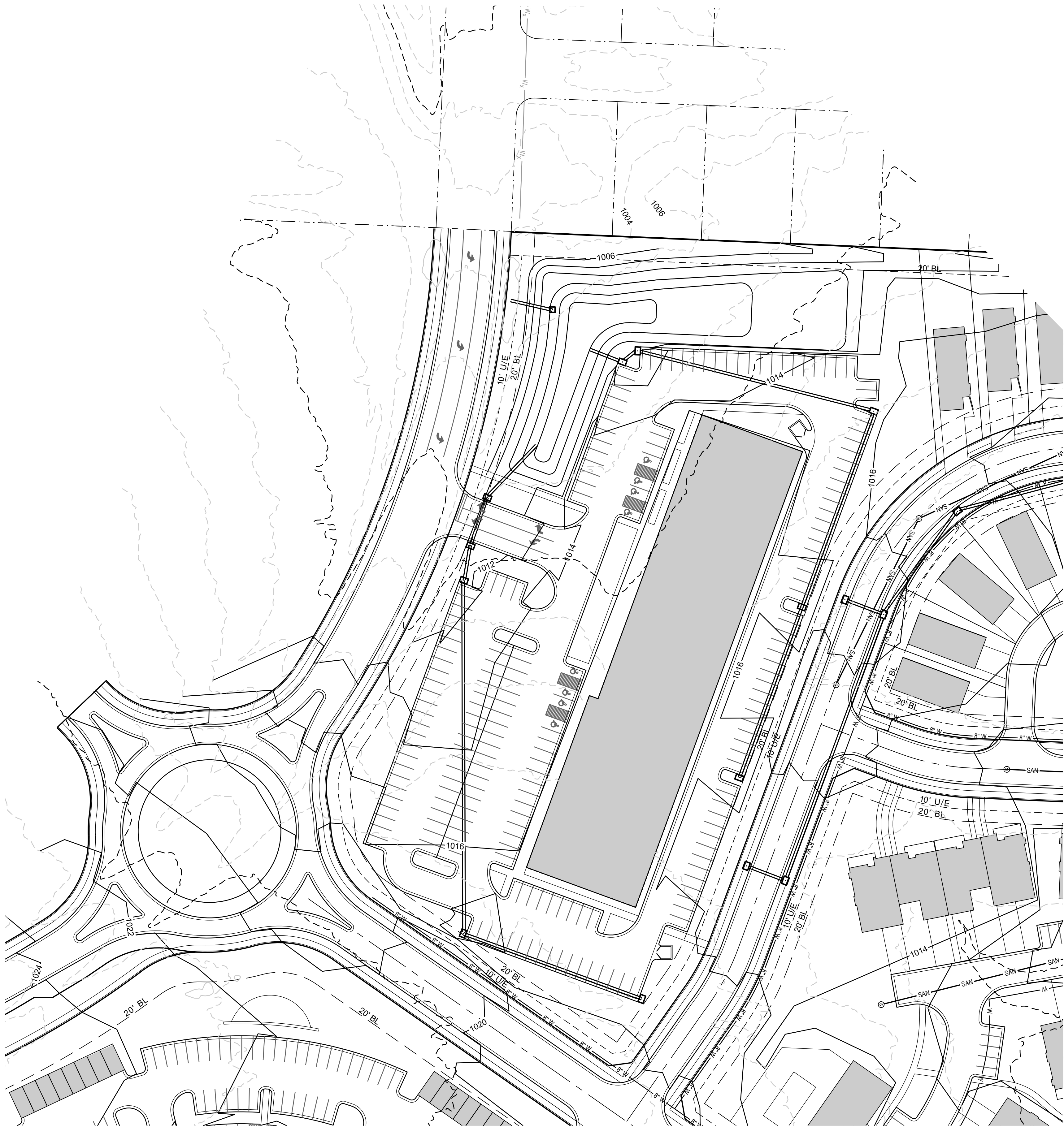
55+ TOWNHOME
GRADING PLAN

SHEET
C2.2
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION	
		DATE	DESCRIPTION 1
SCH	1	10/1/2015	
CHECKED BY:	2	10/1/2015	
SCH	3	10/1/2015	
DATE PREPARED:	4	10/1/2015	
PROJ. NUMBER:	5	20-2015	
APARTMENT GRADING PLAN			
SHEET			
C2.3			
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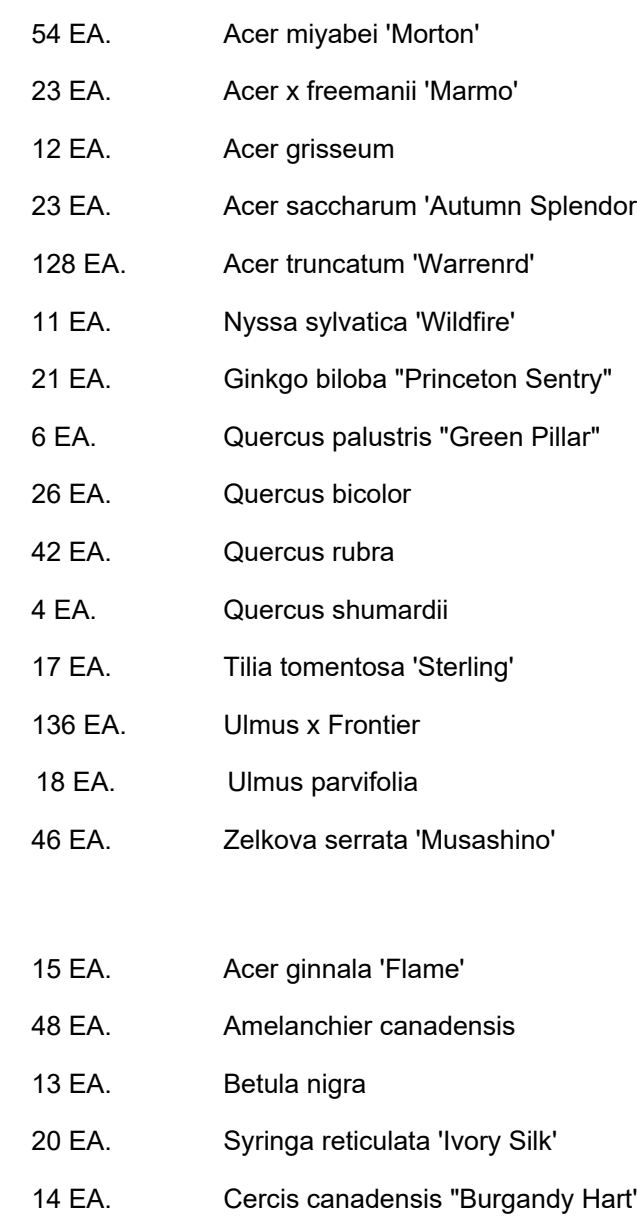


RETAIL GRADING
PLAN

SHEET
C2.4
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DATE PREPARED:	DATE	
PROJ. NUMBER:	DATE	
20-2015	DATE	

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI



36 EA.	<i>Juniperus chinensis</i> 'Keteleerii'
58EA.	<i>Juniperus virginiana</i> 'Canaertii'

State Street Miyabe Maple
Marmo Maple
Paperbark Maple
Marmo Maple
Pacific Sunset Maple
Shadmaster Honeylocust
Princeton Sentry Ginkgo
Green Pillar Oak
Swamp White Oak
Red Oak
Shumard Oak
Sterling Silver Linden
Frontier Elm
Lacebark Elm
Musashino Columnnar Zelkova

Flame Amur Maple
Shadblow Serviceberry
River Birch
Ivory Silk Lilac
Burgandy Hart Redbud

Keteleeri Juniper
Canaert Juniper

[illegible]

2" Cal. & 8' ht. B&B
2" Cal. & 8' ht. B&B
2" Cal. & 8' ht. B&B
2" Cal. & 8' ht. B&B
2" Cal. & 8' ht. B&B

6' ht.	B&B
6' ht.	B&B

NOTES

4. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
5. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLANT QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
6. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS(EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
7. ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
8. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
9. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
10. ALL TREES SHALL HAVE A MIN. 3" FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
11. ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS.
12. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT PRIOR TO INSTALLATION.
13. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
14. ALL PLANTING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
15. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUNDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE(4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB)FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
16. THE LANDSCAPE ARCHITECT SHALL NOTE THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A LETTER OF SIGNOFF AND SEALING TO THE CITY OF LEE'S SUMMIT.
17. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNKIES EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
18. ALL EXTERIOR EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

MODIFICATIONS REQUESTED:

- MODIFICATIONS REQUESTED:
1. REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES FOR THE BUFFER SCREENING AREA.
 2. REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 6 FEET.
 3. REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".



SCALE: 1" = 100'

A NEW GRIFFIN RILEY DEVELOPMENT
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BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

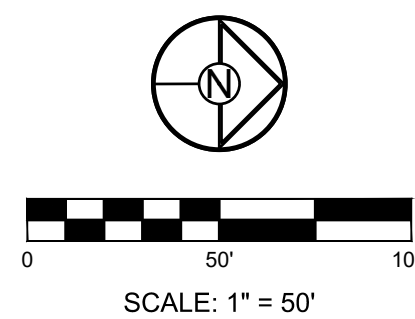
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OVERALL
LANDSCAPE
PLAN

SHEET

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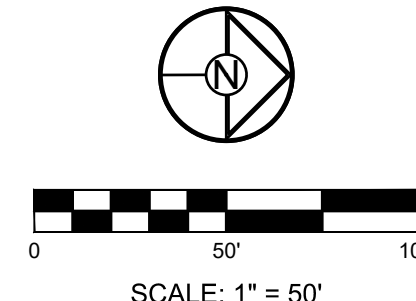


LANDSCAPE DATA	
STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)	
COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/662.12/30'	22 TREES
COLLECTOR PUBLIC TREES PROVIDED	22 TREES
COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/662.12/20'	33 SHRUBS
COLLECTOR PUBLIC STREET SHRUBS PROVIDED	33 SHRUBS(NOT SHOWN)
RESIDENTIAL PUBLIC STREET TREES REQUIRED (1 PER 30')/3,756.67/30'	125 TREES
RESIDENTIAL PUBLIC STREET TREES PROVIDED	125 TREES
RESIDENTIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/3,756.67/20'	188 SHRUBS
RESIDENTIAL PUBLIC STREET SHRUBS PROVIDED	188 SHRUBS(NOT SHOWN)
RESIDENTIAL PRIVATE STREET TREES REQUIRED (1 PER 30')/4,565.43/30'	152 TREES
RESIDENTIAL PRIVATE STREET TREES PROVIDED	105 TREES
RESIDENTIAL PRIVATE STREET SHRUBS REQUIRED (1 PER 20')/4,565.43/20'	228 SHRUBS
RESIDENTIAL PRIVATE STREET SHRUBS PROVIDED	228 SHRUBS(NOT SHOWN)
OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790 B)	
LOT AREA	930,885.56 S.F.
BUILDING AREA	233,899.93 S.F.
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(705,985.63/5000)	141 TREES
TREES PROVIDED	188 TREES (12 ADD FOR PRIVATE STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(705,985.63/5000X2)	282 SHRUBS
SHRUBS PROVIDED	282 SHRUBS (INCL. PARKING LOT SCREEN)(NOT SHOWN)
PARKING LOT LANDSCAPE(Sec. 8.810)	
LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(X.05)	N/A
LANDSCAPE AREA PROVIDED	N/A
TREES REQUIRED	1 PER ISLAND
TREES PROVIDED	1 ON EACH END OF PARKING ROW
SCREENING REQUIRED	(2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET)
SCREENING PROVIDED	AS REQUIRED BY CODE
BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900)	
MODIFICATION REQUESTED SINCE USES ARE WITHIN THE SAME PROJECT	

SHADE TREES				
AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.
AFM	23 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.
AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.
ASC	23 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.
ATW	128 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple	2.5" Cal.
NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.
GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.
QPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.
QB	26 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.
QR	42 EA.	Quercus rubra	Red Oak	2.5" Cal.
QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.
TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.
UXF	136 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.
UP	18 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.
ZSM	46 EA.	Zelkova serrata 'Musashino'	Musashino Columnnar Zelkova	2.5" Cal.
ORNAMENTAL TREES				
AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.
AC	48 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.
BN	13 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.
SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.
CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.
EVERGREEN TREES				
JCK	36 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.
JVC	58EA.	Juniperus virginiana 'Canaertii'	Canaert Juniper	6' ht.

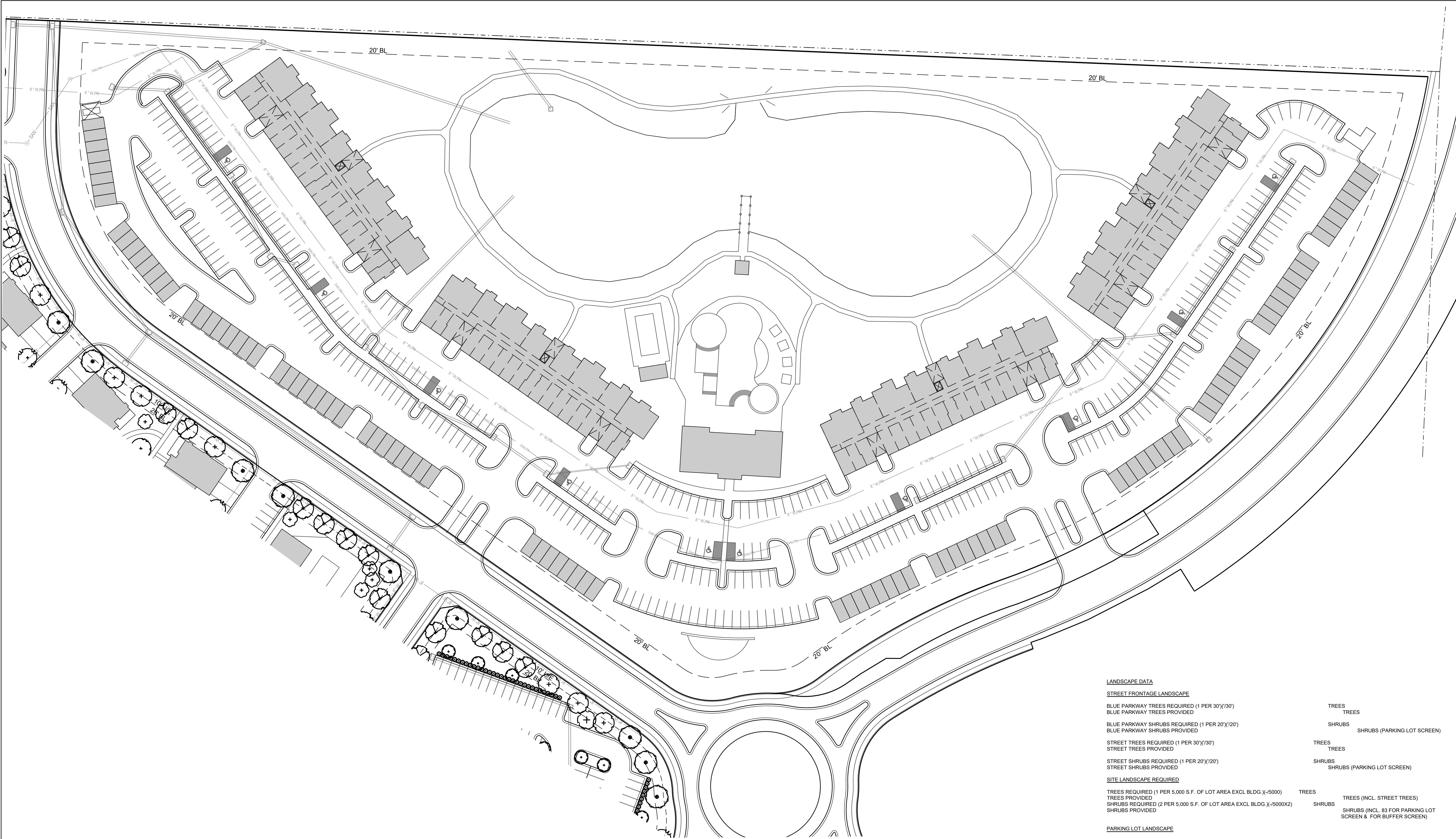
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 - ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS(EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK AREA.
 - ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
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 - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
 - ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
 - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1	DESCRIPTION 1
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LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

BLUE PARKWAY TREES REQUIRED (1 PER 30'X/30')
BLUE PARKWAY TREES PROVIDED

TREES
TREES

BLUE PARKWAY SHRUBS REQUIRED (1 PER 20'X/20')
BLUE PARKWAY SHRUBS PROVIDED

SHRUBS
SHRUBS (PARKING LOT SCREEN)

STREET TREES REQUIRED (1 PER 30'X/30')
STREET TREES PROVIDED

TREES
TREES

STREET SHRUBS REQUIRED (1 PER 20'X/20')
STREET SHRUBS PROVIDED

SHRUBS
SHRUBS (PARKING LOT SCREEN)

SITE LANDSCAPE REQUIRED

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(X/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(X/5000X2)
SHRUBS PROVIDED

TREES
TREES (INCL STREET TREES)
SHRUBS
SHRUBS (INCL 83 FOR PARKING LOT SCREEN & FOR BUFFER SCREEN)

PARKING LOT LANDSCAPE

LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(X/X.05)
LANDSCAPE AREA PROVIDED
TREES REQUIRED (1 PER ISLAND)
TREES PROVIDED
SCREENING (2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

S.F.
S.F.
TREES
TREES
SHRUBS

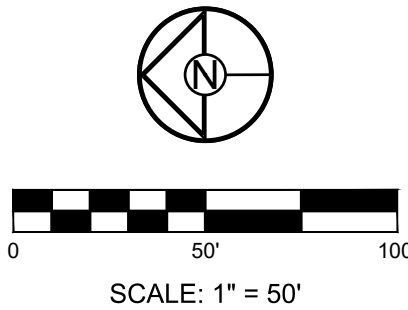
BUFFER SCREENING & LANDSCAPE (ADD LOCATION)

A 100% OPAQUE 6'-0" WOOD FENCE ALONG PERIMETER OF PROP. LINE (SOUTH & WEST PROPERTY BUFFERS COMPLY WITH THE HIGH IMPACT SCREENING REQUIREMENTS)
TREES REQUIRED (1 PER 1,000 S.F.)(S.F./1,000)
TREES PROVIDED
ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(S.F./500)
ORNAMENTAL TREES PROVIDED
EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(S.F./500)
EVERGREEN TREES PROVIDED
SHRUBS REQUIRED (1 PER 500 S.F.)(S.F./500)
SHRUBS PROVIDED

PROVIDED
TREES
TREES
TREES
TREES
SHRUBS
SHRUBS

MODIFICATIONS REQUESTED:

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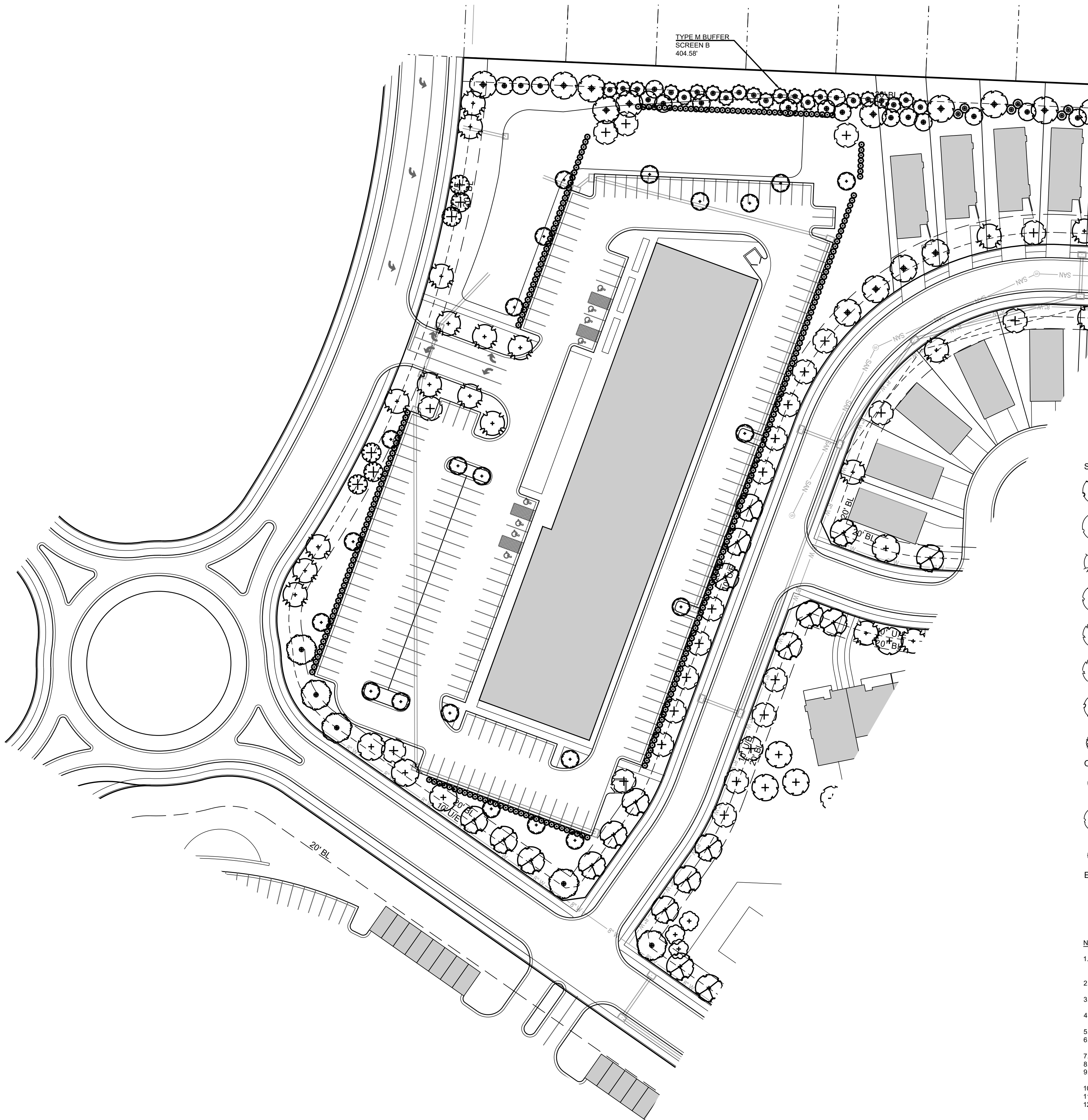
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PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
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APARTMENT
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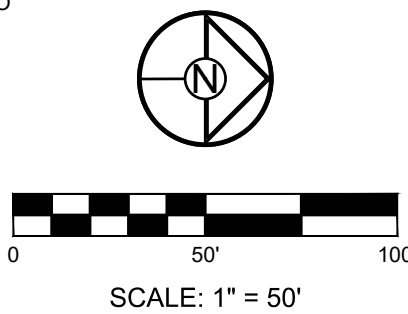


LANDSCAPE DATA			
STREET FRONTAGE LANDSCAPE(Sec. 8.790.A)			
BLUE PARKWAY TREES REQUIRED (1 PER 30') (481.57/30')	BLUE PARKWAY TREES PROVIDED	16 TREES	16 TREES
BLUE PARKWAY SHRUBS REQUIRED (1 PER 20') (481.57/20')	BLUE PARKWAY SHRUBS PROVIDED	24 SHRUBS	24 SHRUBS (PARKING LOT SCREEN)
COLLECTOR STREET TREES REQUIRED (1 PER 30') (267.68/30')	COLLECTOR STREET TREES PROVIDED	9 TREES	9 TREES
COLLECTOR STREET SHRUBS REQUIRED (1 PER 20') (267.68/20')	COLLECTOR STREET SHRUBS PROVIDED	14 SHRUBS	14 SHRUBS (PARKING LOT SCREEN)
RESIDENTIAL STREET TREES REQUIRED (1 PER 30') (573.03/30')	RESIDENTIAL STREET TREES PROVIDED	19 TREES	19 TREES
RESIDENTIAL STREET SHRUBS REQUIRED (1 PER 20') (573.03/20')	RESIDENTIAL STREET SHRUBS PROVIDED	29 SHRUBS	29 SHRUBS (PARKING LOT SCREEN)
OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790.B)			
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (180,515/5000)	TREES PROVIDED	36 TREES	36 TREES (IN ADDITION TO STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (180,515/5000X2)	SHRUBS PROVIDED	72 SHRUBS	72 SHRUBS (INCL. PARKING LOT SCREEN)
PARKING LOT LANDSCAPE(Sec. 8.810)			
LANDSCAPE AREA REQUIRED PER CODE	4,324.51 S.F.	5% OF PARKING AREA	
PARKING LOT LANDSCAPE AREA PROVIDED	7,053.59 S.F.		
TREES REQUIRED (1 PER ISLAND)	14 TREES		
TREES PROVIDED	14 TREES		
SCREENING REQUIRED PER CODE	2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET		
SCREENING PROVIDED	SHRUBS TO MEET CODE		
BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900.) (WEST BOUNDARY)			
PROPOSED USE	CP-1		
ADJACENT USE	R-1		
BUFFER TYPE REQUIRED BY CODE	M		
SCREENING TYPE PROPOSED	8		
BUFFER LENGTH	404.58'		
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.) (8,091.6 S.F./1,000)	8 TREES		
SHADE TREES PROVIDED	8 TREES		
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./500)	16 TREES		
ORNAMENTAL TREES PROVIDED	16 TREES		
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./500)	16 TREES		
EVERGREEN TREES PROVIDED	16 TREES		
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./200)	41 SHRUBS		
SHRUBS PROVIDED	41 SHRUBS		

SHADE TREES						
	AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.	B&B
	AFM	23 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.	B&B
	AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.	B&B
	ASC	23 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.	B&B
	ATW	128 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple	2.5" Cal.	B&B
	NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
	GPC	21 EA.	Ginkgo biloba "Princeton Sentry"	Princeton Sentry Ginkgo	2.5" Cal.	B&B
	QPG	6 EA.	Quercus palustris "Green Pillar"	Green Pillar Oak	2.5" Cal.	B&B
	QB	26 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
	QR	42 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
	QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
	TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
	UXF	136 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
	UP	18 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.	B&B
	ZSM	46 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B
ORNAMENTAL TREES						
	AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
	AC	48 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
	BN	13 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
	SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
	CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B
EVERGREEN TREES						
	JCK	36 EA.	Juniperus chinensis 'Keteleerli'	Keteleeri Juniper	6' ht.	B&B
	JVC	58EA.	Juniperus virginiana 'Canaertii'	Canaert Juniper	6' ht.	B&B

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LEE'S SUMMIT, MISSOURI

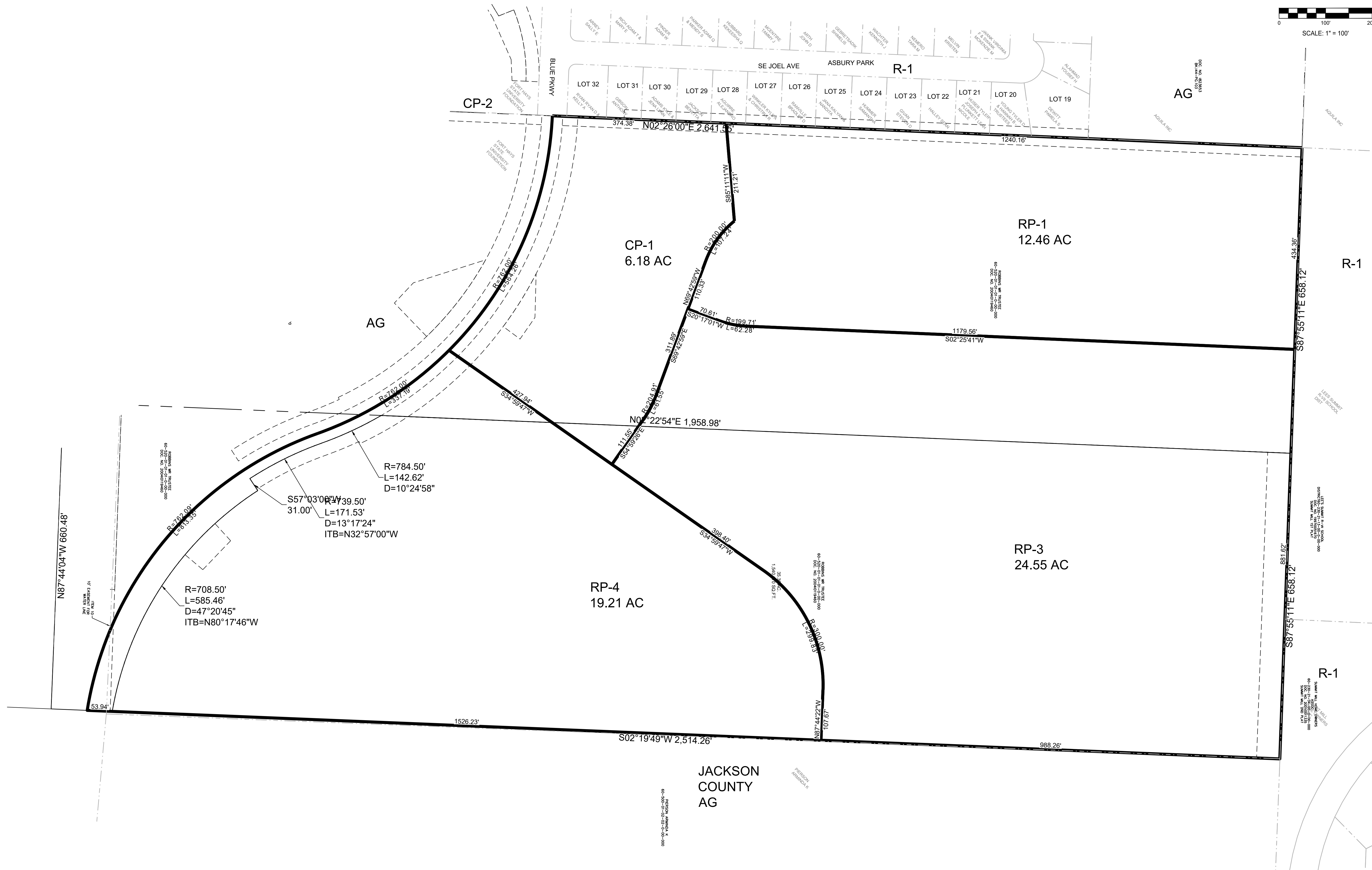
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PROJ. NUMBER:	PROJECT NO.

RETAIL
LANDSCAPE
PLAN

SHEET

C1.3
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REZONING DATA
EXISTING ZONING AG

PROPOSED ZONING
RP-1 12.46 AC
RP-3 24.55 AC
RP-4 19.21 AC
CP-1 6.18 AC

0 100' 200'

SCALE: 1" = 100'

0 100' 200'

**SCHLAGEL**
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
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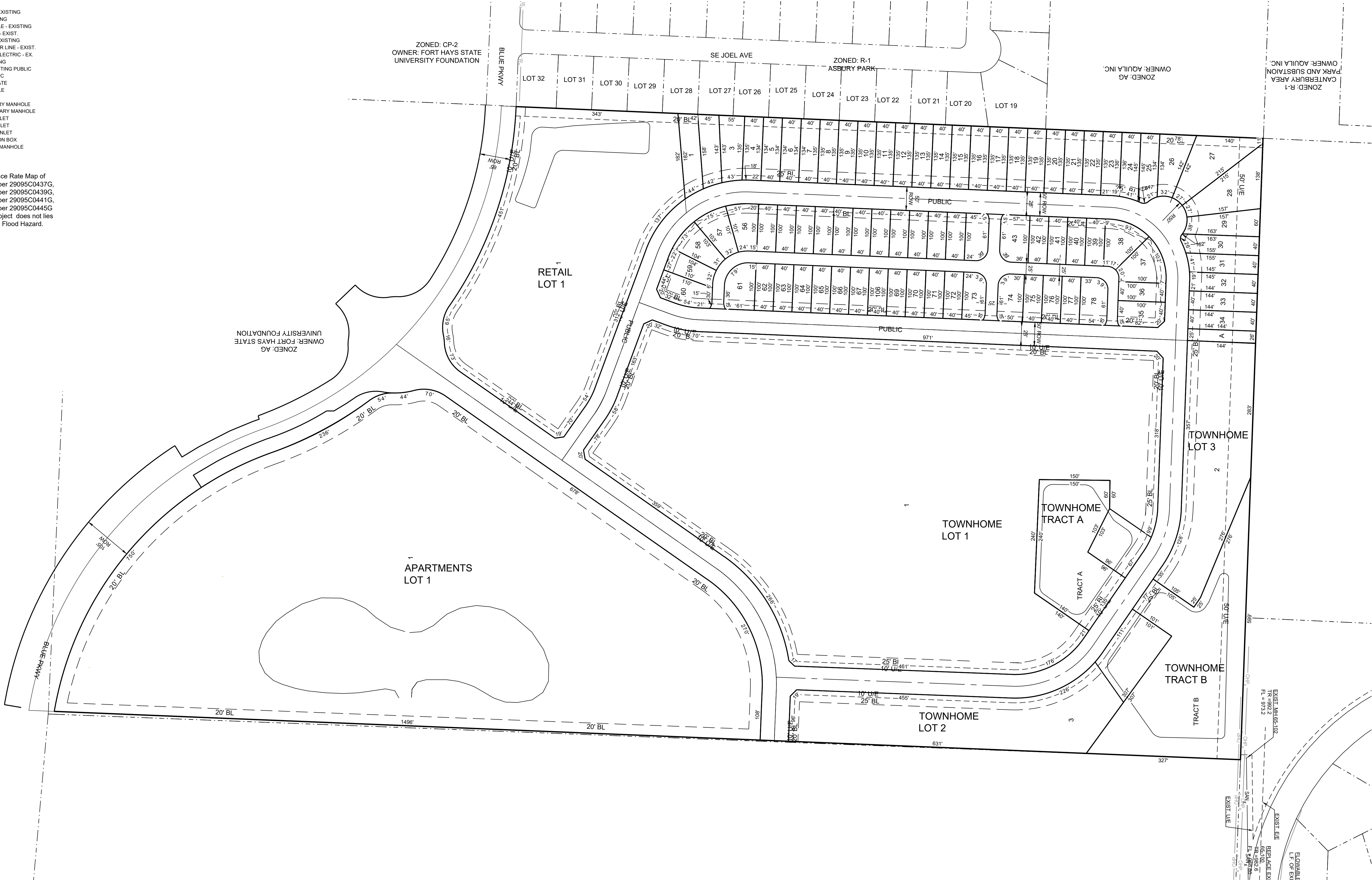
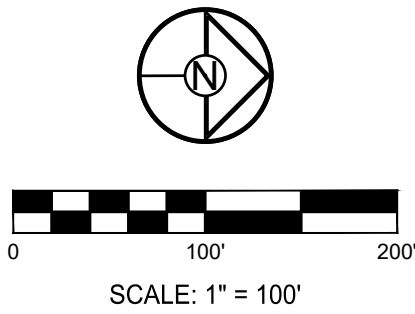
REZONING
EXHIBIT

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- LEGEND:**
- BL, B.L. or S.B. - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - G/E - GAS LINE EASEMENT
 - P/L - PROPERTY LINE
 - ROW or R/W - RIGHT-OF-WAY
 - SE - SANITARY SEWER EASEMENT
 - SW - SIDEWALK
 - UE - UTILITY EASEMENT
 - WE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - RIGHT-OF-WAY
 - SANITARY SEWER MAIN - EXIST.
 - SANITARY SEWER MAIN PUBLIC
 - SANITARY SEWER MAIN PRIVATE
 - STO - STORM SEWER
 - STORM SEWER - EXISTING
 - CABLE TV - EXISTING
 - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - OVERHEAD POWER LINE - EXIST.
 - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING PUBLIC
 - WATERLINE PUBLIC
 - WATERLINE PRIVATE
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE

FLOOD NOTE:
According to the Flood Insurance Rate Map of FEMA panel 437 for map number 29095C0437G, FEMA panel 439 for map number 29095C0439G, FEMA panel 441 for map number 29095C0441G, FEMA panel 445 for map number 29095C0445G dated January 20, 2017 the project does not lie within Zone X, Area of Minimal Flood Hazard.

- NOTES:**
- BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY OLSSON DATED 2/21/2019 PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
 - TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
 - AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "UE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
 - THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT. BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.



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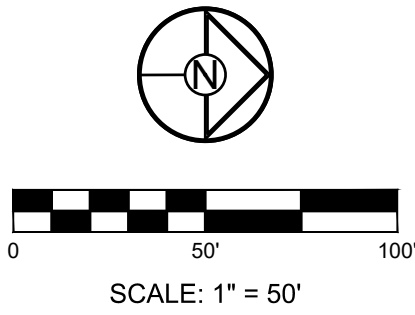
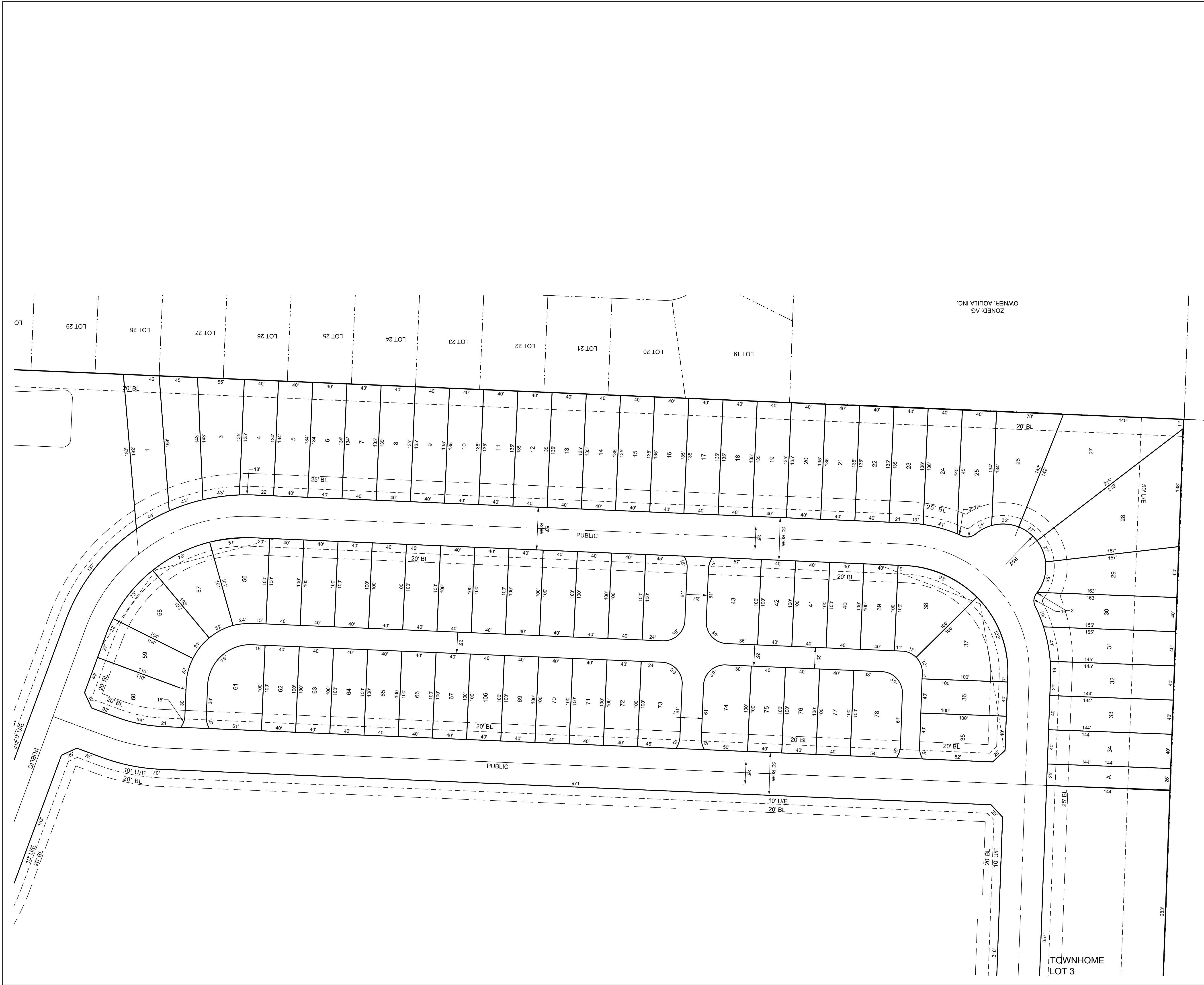
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OVERALL
PRELIMINARY
PLAT

SHEET

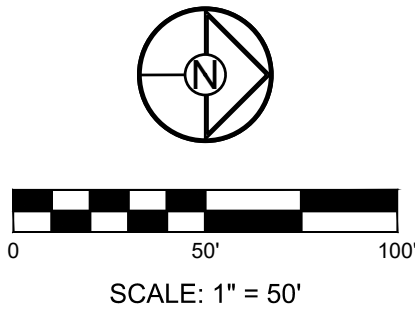
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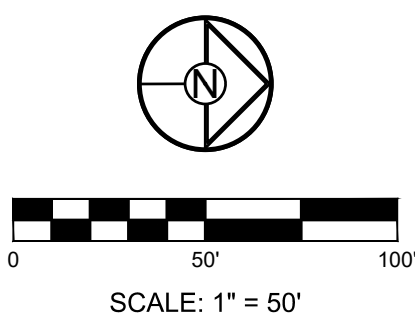
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A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	SCH	DATE	DESCRIPTION	
			DESCRIPTION 1	DESCRIPTION 2
CHECKED BY:	SCH	DATE		
DATE PREPARED:	SCH	DATE		
PROJ. NUMBER:	20-205	DATE		





A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

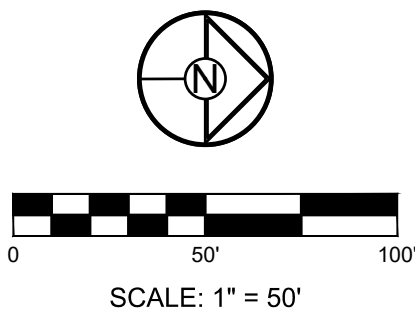
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	2		
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SCH	4		
	5		
DATE PREPARED:	6		
	7		
PROJ. NUMBER:	8		
PROJECT NO	9		

APARTMENT
PRELIMINARY
PLAT

SHEET

C1.3

##



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1	DATE
2	
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8	

RETAIL
PRELIMINARY
PLAT

SHEET

C1.3

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