

AN UNPLATTED PARCEL IN THE WEST HALF OF SECTION 31, TOWNSHIP 48  
NORTH, RANGE 31 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY,  
MISSOURI

























MAIN STREET

PROJECT LOCATION

NW SLOAN

NE TUDOR ROAD

NOT TO SCALE

	SECTION CORNER	(M)	MEASURED
	SET 1/2" R/BAR W/LC 366 CAP	—P—DH—	PLATTED
	FOUND MONUMENT AS NOTED	—C—	OVERHEAD POWER LINE
	FIRE HYDRANT	—P—UG—	GAS LINE
	WATER VALVE	—TEL—	UNDERGROUND POWER LINE
	WATER METER PIT	—FO—	UNDERGROUND TELEPHONE LINE
	GAS VALVE	—SS—	UNDERGROUND FIBER OPTIC LINE
	GAS METER	—SD—	SANITARY SEWER LINE
	SPRINKLER BOX	—W—	STORM LINE
	SANITARY SEWER MANHOLE		WATER LINE
	TRAFFIC SIGNAL BOX	①	TELEPHONE MANHOLE
	TRAFFIC SIGNAL POLE	②	TELEPHONE PEDESTAL
	FIBER OPTIC BOX	③	TELEPHONE CABINET
	TELEVISION PEDESTAL	④	STORM SEWER MANHOLE
	TELEVISION BOOTH	⑤	SANITARY SEWER CLEANOUT
	GRATE INLET	⑥	ELECTRIC BOX
	4"x4" WOOD POST	⑦	BREAKER BOX
	BOLLARD	⑧	ELECTRIC METER
	STEEL POST	⑨	ELECTRIC RISER
	COLUMN	⚡	TRANSFORMER
	SIGN	⚡ <sup>PROP</sup>	POWER POLE/W LIGHT
	TREE	—	GUY WIRE
	SPRINKLER VALVE	☆	LIGHT POLE
	BOREHOLE	⊙ BU	BUSH

Union Pac. RR

Douglas Road

Tudor Road

Chipman Road

Section 31, T48N, R31W

**VICINITY MAP**

Scale: 1" = 2000'

ALL THAT PART OF AN UNPLATTED TRACT OF LAND, TOGETHER WITH ALL THAT PART OF NORTH MAIN STREET RIGHT OF WAY, ALL LYING IN THE WEST HALF OF SECTION 31, TOWNSHIP 48 NORTH, RANGE 31 WEST, LYING IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED BY PATRICK ETHAN WARD, MO PLS-20050071, OF OLSSON MOLC-366, AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE SOUTH 01 DEGREE 59 MINUTES 47 SECONDS WEST, ON THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 65.98 FEET TO A POINT ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN DOCUMENT 2013E0075031; THENCE SOUTH 88 DEGREES 34 MINUTES 30 SECONDS WEST, ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, A DISTANCE OF 117.22 FEET TO A POINT ON THE WEST LINE AND ON A CURVE TO THE RIGHT WHOSE INITIAL TANGENT BEARS SOUTH 02 DEGREES 47 MINUTES 37 SECONDS WEST, HAVING A RADIUS OF 970.00 FEET, THROUGH A CENTRAL ANGLE OF 6 DEGREES 27 MINUTES 07 SECONDS, AN ARC DISTANCE OF 10.23 FEET TO A POINT ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN DOCUMENT 2013E0075031; THENCE SOUTH 88 DEGREES 34 MINUTES 30 SECONDS WEST, ON THE WEST LINE OF NW SLOAN STREET RIGHT OF WAY, AS ESTABLISHED IN SAID DOCUMENT 2013E0075031; THENCE SOUTH 46 DEGREES 15 MINUTES 48 SECONDS WEST, DEPARTING SAID WEST LINE, ON SAID NORTH LINE, A DISTANCE OF 46.09 FEET TO A POINT; THENCE NORTH 89 DEGREES 24 MINUTES 16 SECONDS WEST, CONTINUING ON SAID NORTH LINE, AND ON THE NORTH LINE OF NW TUDOR ROAD RIGHT OF WAY, A DISTANCE OF 117.22 FEET TO A POINT ON THE NORTH LINE OF NW TUDOR ROAD RIGHT OF WAY, AS NOW ESTABLISHED, SAID POINT ALSO LYING ON A NON-TANGENT CURVE; THENCE IN A NORTHERLY AND NORTHWESTERLY DIRECTION, DEPARTING SAID NORTH LINE, ON SAID EAST LINE AND ON A CURVE TO THE LEFT WHOSE INITIAL TANGENT BEARS NORTH 15 DEGREES 48 MINUTES 27 SECONDS WEST, HAVING A RADIUS OF 3203.90 FEET, THROUGH A CENTRAL ANGLE OF 23 DEGREES 23 MINUTES 50 SECONDS, AN ARC DISTANCE OF 10.23 FEET TO A POINT ON THE NORTH LINE OF NW TUDOR ROAD RIGHT OF WAY, AS NOW ESTABLISHED, SAID POINT ALSO LYING ON A NON-TANGENT LINE; THENCE SOUTH 87 DEGREES 40 MINUTES 30 SECONDS EAST, DEPARTING SAID EAST LINE, ON SAID NORTH LINE, A DISTANCE OF 2581.78 FEET TO THE NORTHEAST CORNER OF SAID SOUTH HALF; THENCE SOUTH 01 DEGREE 53 MINUTES 30 SECONDS WEST, ON THE EAST LINE OF SAID SOUTH HALF, A DISTANCE OF 1318.02 FEET TO THE POINT OF BEGINNING, CONTAINING 3,439.83 SQUARE FEET OR 78.9678 ACRES, MORE OR LESS.



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.



GENERAL NOTES:

1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-SAFE", 1(800)344-7233, OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !!STOP!! CALL BEFORE YOU DIG!!

2. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.

3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE THE WORK SHOWN IN THESE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.

5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY AND KANSAS CITY, KS (THE UG) AND THE BOARD OF PUBLIC UTILITIES, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.

7. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF KANSAS STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.

8. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.

9. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES SHOWN TO REMAIN FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN FOR REMOVAL ON THESE PLANS.

10. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

11. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.

12. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES.

13. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.

14. ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SODDED, AS SHOWN ON THE LANDSCAPE PLAN.

15. HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGN AND CONSTRUCTED IN STRICT ACCORDANCE WITH CITY/ADA STANDARDS AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.

17. ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

18. IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.

19. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED.

20. THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.

21. ALL WATER SERVICE LINES SHALL BE INSTALLED PER BOARD OF PUBLIC UTILITIES STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.

22. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.

23. NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

24. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.

25. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.

26. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.

27. ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.

28. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.

29. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.

30. CONCRETE PAVEMENT JOINTS SHALL AT A MINIMUM BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):

A. LONGITUDINAL CONSTRUCTION JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET, TOOLED TO 1/3 THE SLAB THICKNESS AND OF THE BAR TYPE.

B. CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE AND DOWELED WITH SMOOTH DOWELS.

C. TRANSVERSE JOINTS SPACED AT INTERVALS NOT GREATER THAN 15 FEET AND TOOLED TO 1/3 OF THE SLAB THICKNESS.

D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 3/4" NONEXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.

E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.

32. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.

33. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.

34. BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON ASSOCIATES (OA), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF OA, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY OA AND THE ELECTRONIC FILES TRANSFERRED HEREWITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. OA SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IT ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT. THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OA, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OA OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OA.

35. DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE; NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.

BEFORE SUBMITTING EACH SHOP DRAWING OR SAMPLE, CONTRACTOR SHALL HAVE DETERMINED AND VERIFIED:

a. ALL FIELD MEASUREMENTS, QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS AND SIMILAR INFORMATION WITH RESPECT THERETO;

b. ALL MATERIALS WITH RESPECT TO INTENDED USE, FABRICATION, SHIPPING, HANDLING, STORAGE, ASSEMBLY AND INSTALLATION PERTAINING TO THE PERFORMANCE OF THE WORK;

c. ALL INFORMATION RELATIVE TO MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO;

d. CONTRACTOR SHALL ALSO HAVE REVIEWED AND COORDINATED EACH SHOP DRAWING OR SAMPLE WITH OTHER SHOP DRAWINGS AND SAMPLES, AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.

ALL SUBMITTED SHOP DRAWINGS SHALL BEAR A STAMP OR SPECIFIC WRITTEN INDICATION AND SIGNATURE THAT CONTRACTOR HAS FULLY REVIEWED THE SUBMISSION AND CHECKED ALL DATA AND DETAILS. BY CONTRACTOR SIGNATURE, CONTRACTOR CERTIFIES SHOP DRAWING CONFORMANCE AND ACCURACY TO THE CONTRACT DOCUMENTS.

36. ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS.
- PAVEMENT MARKING NOTES:
1. PAVEMENT MARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.

2. DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.

3. ALLOW PAVING TO AGE FOR 24 HOURS BEFORE MARKING.

4. SWEEP AND CLEAN SURFACE.

5. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE MARKINGS WITH UNIFORM STRAIGHT EDGES. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS.

6. THIS WORK SHALL CONSIST OF FURNISHING AND APPLYING PAINT ON PAVEMENT SURFACES, IN TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS, IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS.

7. DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

8. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.

9. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT, COLORS TO MATCH THE EXISTING ADJACENT INSTALLATIONS. USE FLAT BLACK, WHITE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:

A. BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE WHITE COLOR.

B. PORTLAND CEMENT CONCRETE PAVING: USE YELLOW COLOR.

C. HANDICAPPED ACCESSIBLE PARKING AND ENTRYWAYS: USE WHITE COLOR WITH WHITE STRIPES.

D. PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.

10. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.

11. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS; ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. HANDICAPPED PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.
- drawn by: OLSSON

checked by: ENG

approved by: ENG

QA/QC by: ENG

project no.: 021-04157

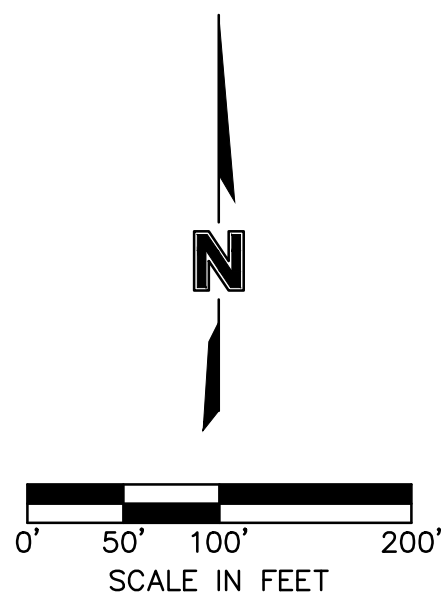
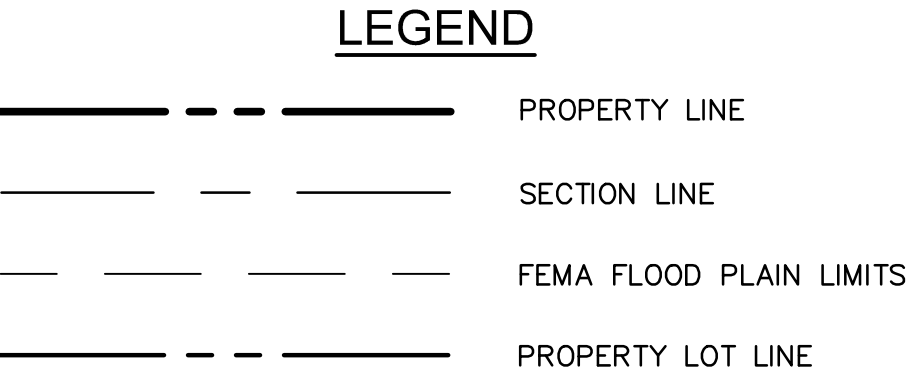
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date: 07/08/2021
- SHEET  
C101
- GENERAL NOTES  
PRELIMINARY PLAT
- SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET
- LEE'S SUMMIT, MISSOURI
- 2021
- REVISIONS
- | REV. NO. | DATE | REVISIONS DESCRIPTION | BY |
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- 
- SCANNELL  
P R O P E R T I E S
- olsson
- 7301 West 133rd Street, Suite 200  
Overland Park, KS 66213-4756  
TEL 913.381.1170  
www.olsson.com









DWG: F:\204001-04500\021-04157\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCVV\_C\_PHS01\_02104157.dwg  
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SHEET  
C103

PHASING PLAN  
PRELIMINARY PLAT

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SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

[illegible]

	BY



SCANNELL  
PROPERTIES

**olson**

7301 West 133rd Street, Suite 200  
Overland Park, KS 66213-4750  
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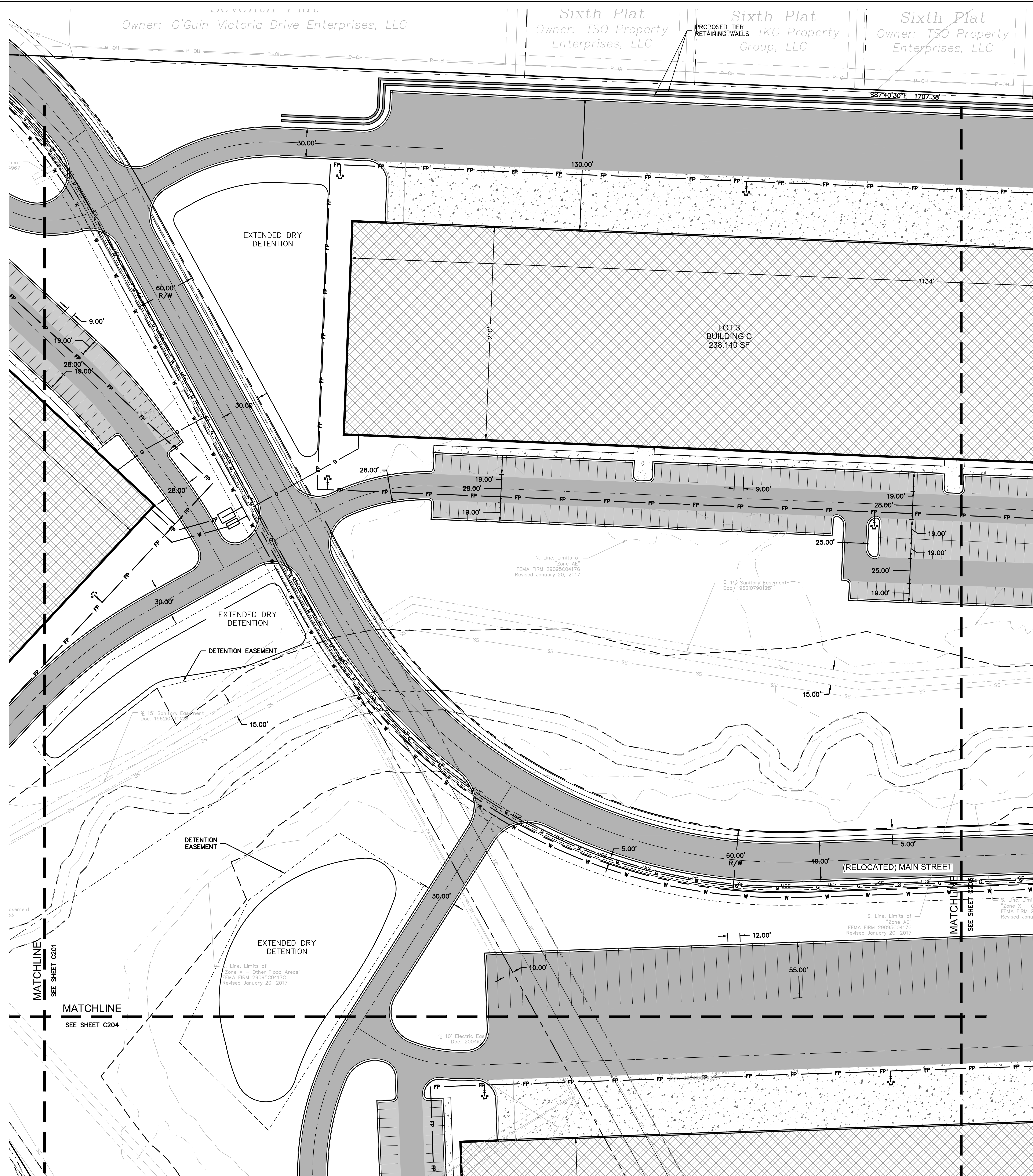










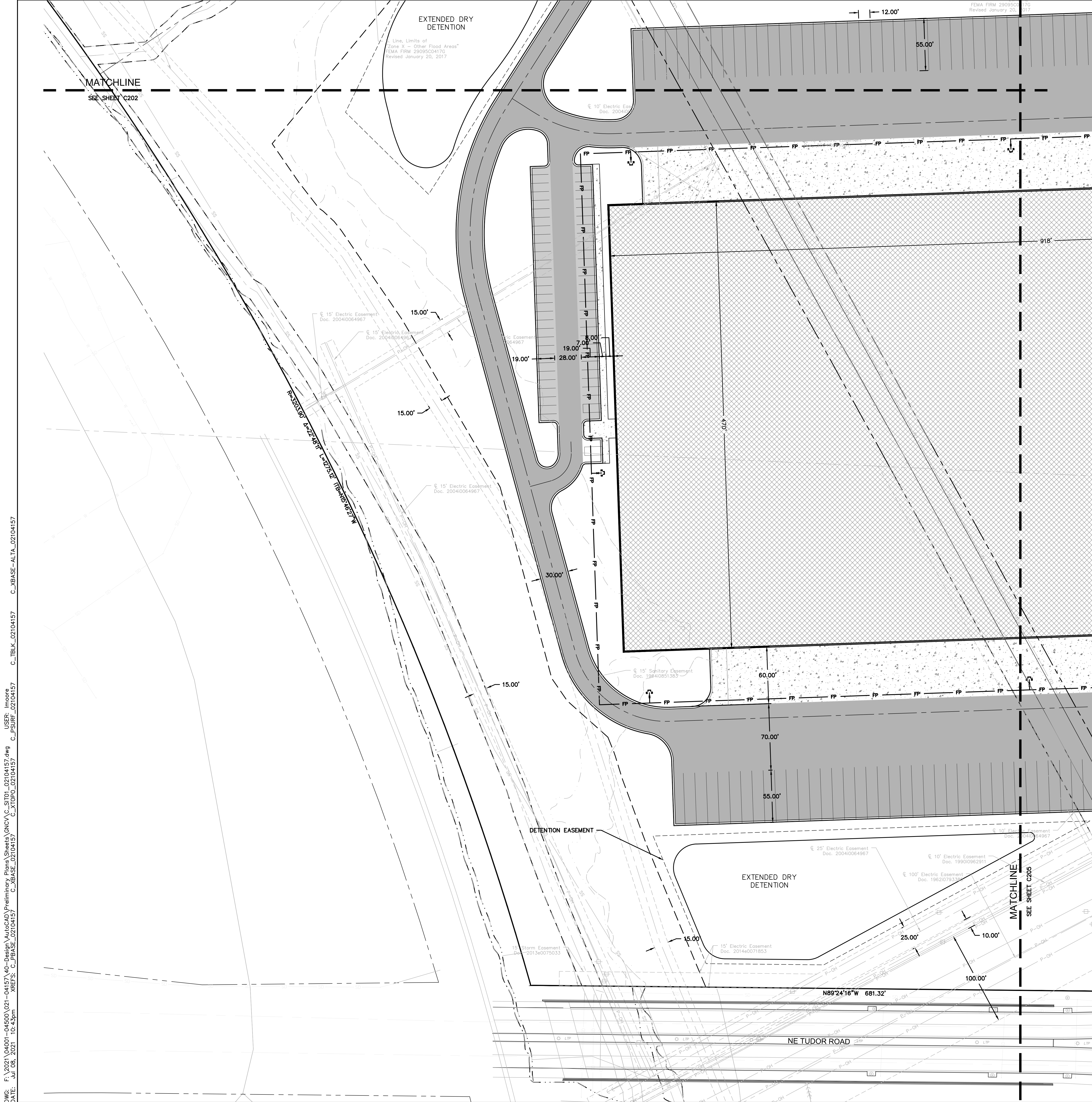


<div> <div>LEGEND</div> </div>	
<div> <div> <div></div> <div></div> </div> </div>	PROPERTY LINE
<div> <div> <div></div> <div></div> </div> </div>	RIGHT OF WAY LINE
<div> <div> <div></div> <div></div> </div> </div>	PROPOSED CONCRETE CURB & GUTTER
<div> <div> <div>SS</div> <div>SS</div> </div> </div>	EXISTING SANITARY SEWER
<div> <div> <div>SD</div> <div>SD</div> </div> </div>	EXISTING STORM SEWER
<div> <div> <div>P-UG</div> </div> </div>	EXISTING ELECTRICAL LINE
<div> <div> <div>W</div> <div>W</div> </div> </div>	EXISTING DOMESTIC WATER
<div> <div> <div>SS</div> <div>SS</div> </div> </div>	PROPOSED SANITARY SEWER
<div> <div> <div>SD</div> <div>SD</div> </div> </div>	PROPOSED STORM SEWER
<div> <div> <div>UGE</div> <div>UGE</div> </div> </div>	PROPOSED ELECTRICAL LINE
<div> <div> <div>W</div> <div>W</div> </div> </div>	PROPOSED DOMESTIC WATER
<div> <div> <div>G</div> </div> </div>	PROPOSED GAS SERVICE
<div> <div> <div>FP</div> <div>FP</div> </div> </div>	PROPOSED FIRE PROTECTION
<div> <div></div> </div>	PROPOSED HEAVY DUTY ASPHALT
<div> <div></div> </div>	PROPOSED LIGHT DUTY ASPHALT
<div> <div></div> </div>	PROPOSED CONCRETE PAVEMENT

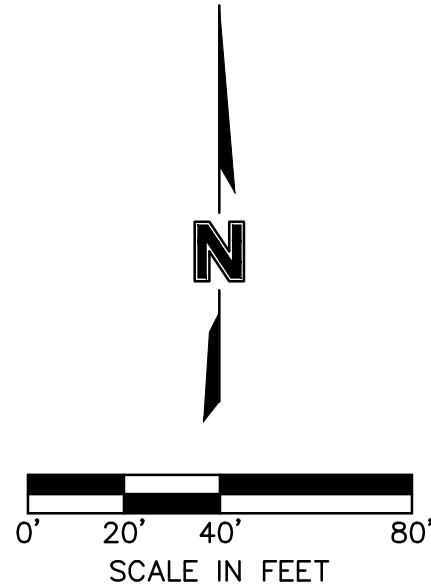








- LEGEND**
- PROPERTY LINE
  - RIGHT OF WAY LINE
  - PROPOSED CONCRETE CURB & GUTTER
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING ELECTRICAL LINE
  - EXISTING DOMESTIC WATER
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM SEWER
  - PROPOSED ELECTRICAL LINE
  - PROPOSED DOMESTIC WATER
  - PROPOSED GAS SERVICE
  - PROPOSED FIRE PROTECTION
  - PROPOSED HEAVY DUTY ASPHALT
  - PROPOSED LIGHT DUTY ASPHALT
  - PROPOSED CONCRETE PAVEMENT



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USER: moore

SCANNELL

PROPERTIES

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Overland Park, KS 66213-7756  
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SITE PLAN

PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS

NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

drawn by: OLSSON

checked by: ENG

approved by: ENG

QA/QC by: ENG

project no: 021-04157

drawing no: SIT01\_02104157.dwg

date: 07/08/2021

2021

REVISIONS

SHEET

C204





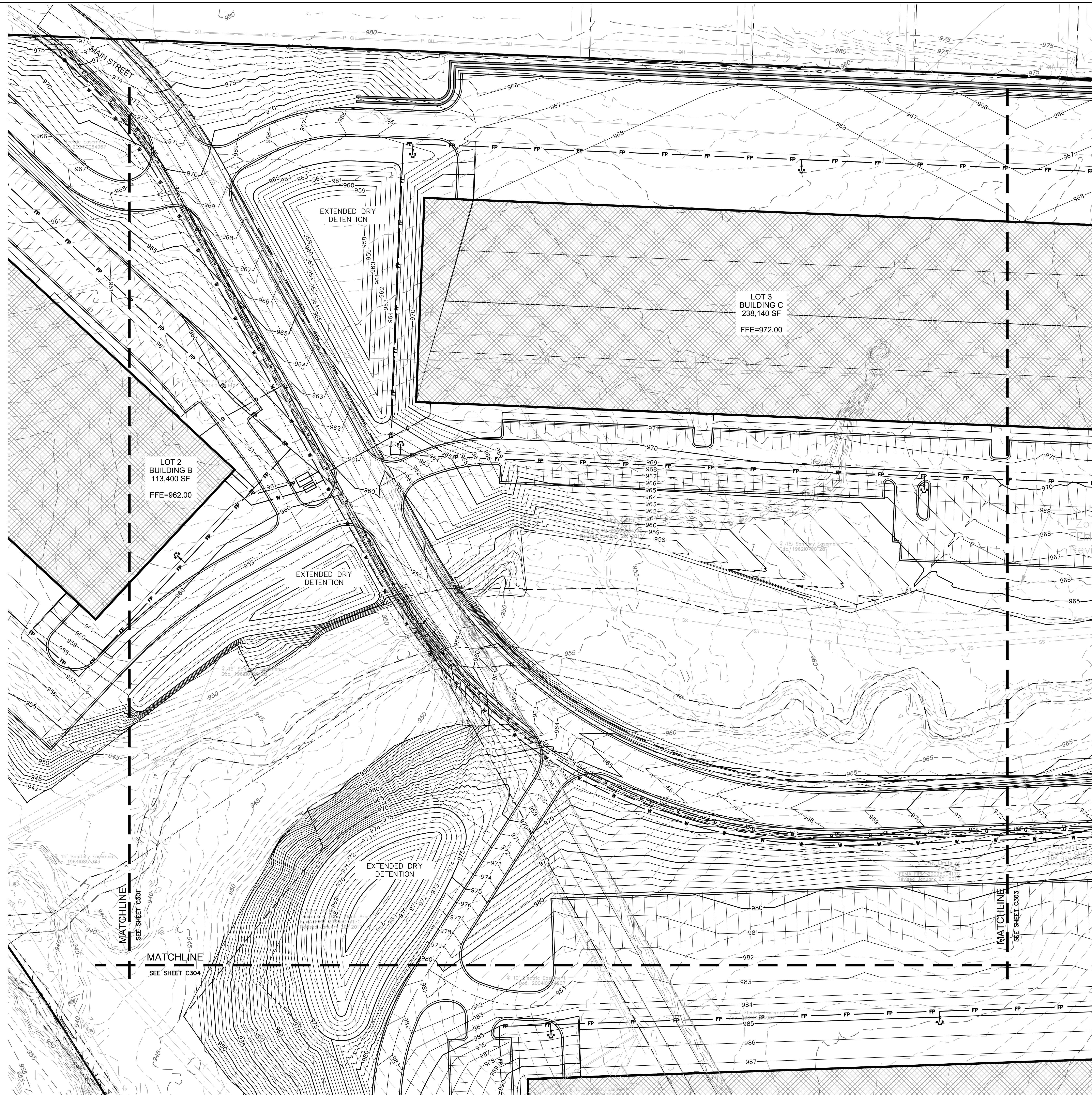








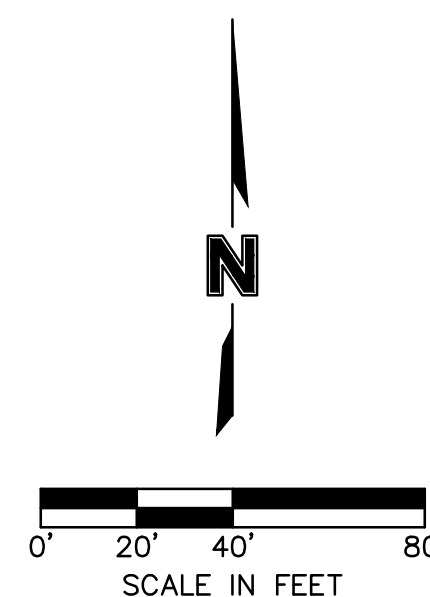




**LEGEND**

	PROPERTY LINE
	SURROUNDING PROPERTY LINES
	UTILITY EASEMENT
	PROPOSED CONTOURS
	EXISTING CONTOURS

- ## NOTES:
1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
  2. ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
  3. ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
  4. CONTRACTOR TO PROVIDE FLAT A/C UNIT PADS FOR ALL A/C UNITS.
  5. NO GRADES SHALL EXCEED 5:1 UNLESS OTHERWISE NOTES.
  6. GRADING AND STORM SEWER IMPROVEMENTS SHALL BE STAKED, INCLUDING ALL HIGH POINTS AND KEY GRADE BREAKS.

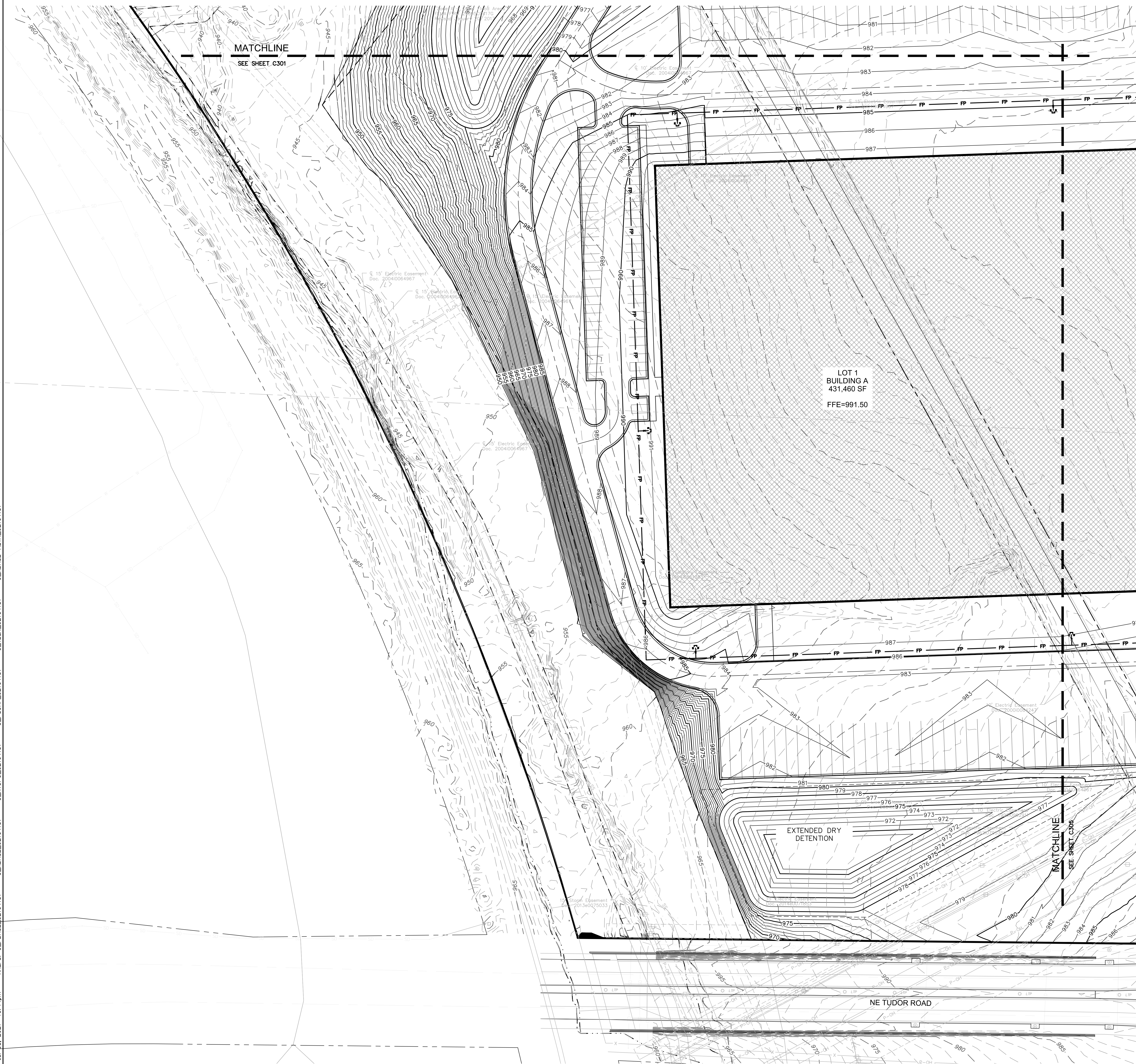











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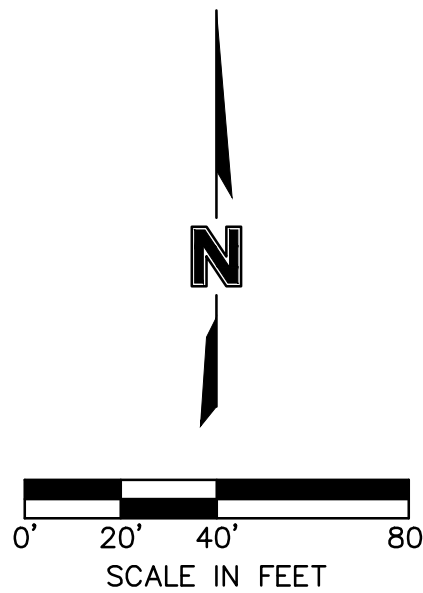


**LEGEND**

	PROPERTY LINE
	SURROUNDING PROPERTY LINES
	UTILITY EASEMENT
	PROPOSED CONTOURS
	EXISTING CONTOURS

## NOTES:

1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
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drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
QA/QC by: ENG  
project no.: 021-04157  
drawing ~~Co~~GRD02 02104157.dwg  
date: 07/08/202

SHEET  
C304


GRADING PLAN  
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

2021

REVISIONS

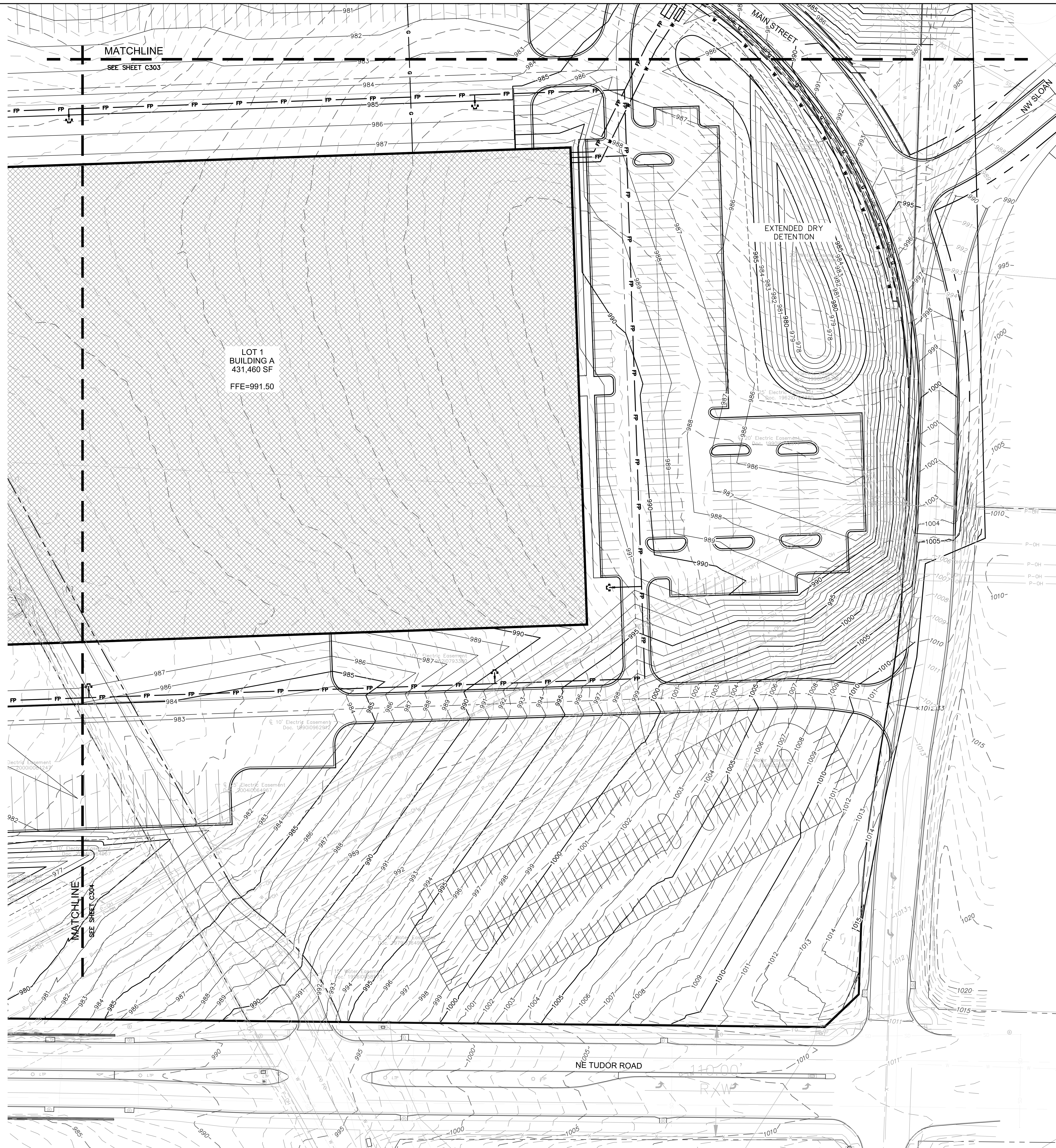
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SCANELL  
PROPERTIES

**olsson**

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TEL 913.381.1170 [www.olsson.com](http://www.olsson.com)





### LEGEND

—————	— — —	—————	PROPERTY LINE
—————	— — —	—————	SURROUNDING PROPERTY LINES
— — —	— — —	— — —	UTILITY EASEMENT
—————	950	—————	PROPOSED CONTOURS
— — —	950	— — —	EXISTING CONTOURS

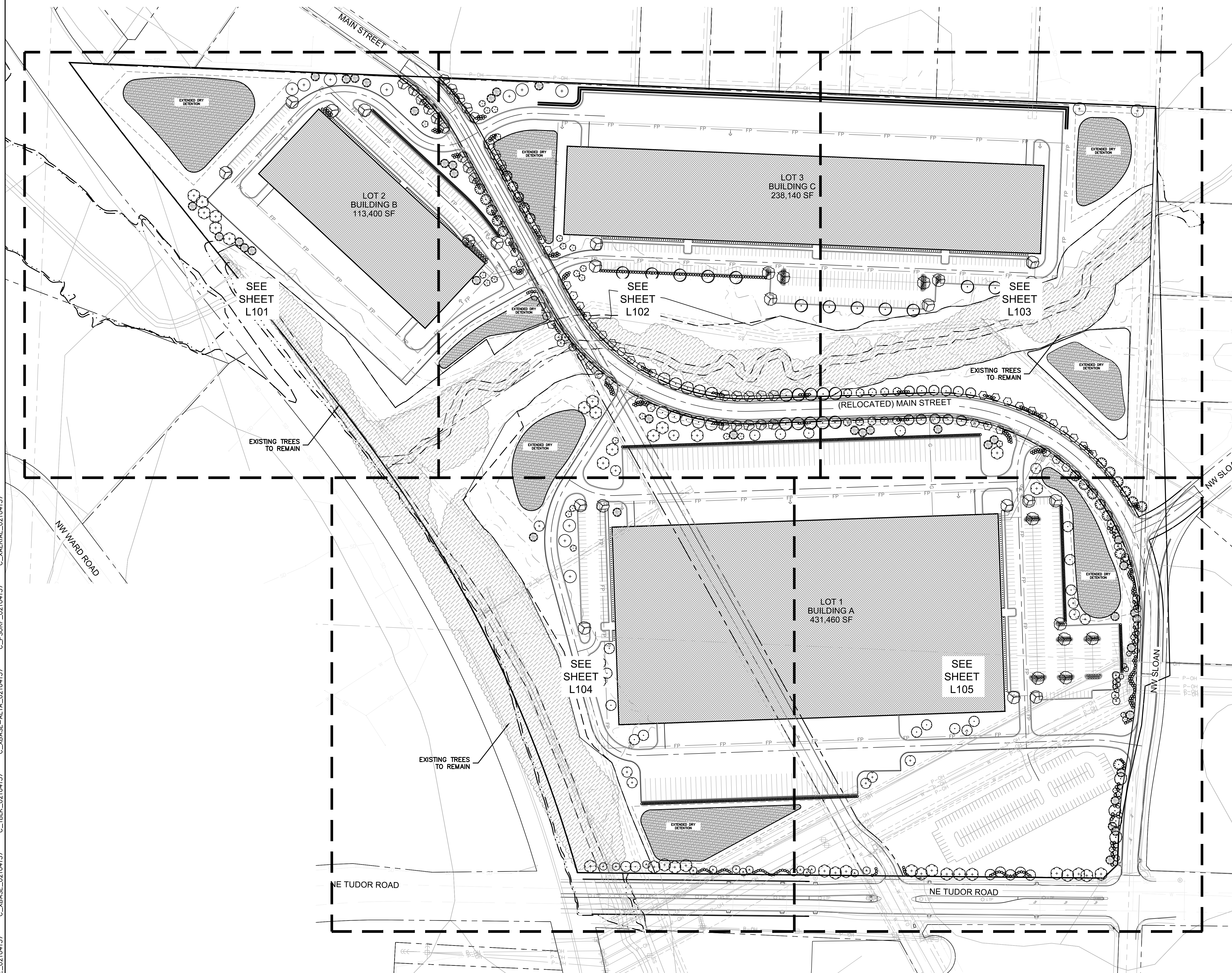
NOTES:

1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
2. ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
3. ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
4. CONTRACTOR TO PROVIDE FLAT A/C UNIT PADS FOR ALL A/C UNITS.
5. NO GRADES SHALL EXCEED 5:1 UNLESS OTHERWISE NOTED.
6. GRADING AND STORM SEWER IMPROVEMENTS SHALL BE STAKED, INCLUDING ALL HIGH POINTS AND KEY GRADE BREAKS.









## LANDSCAPE CALCULATIONS - LOT 1

OPEN YARD AREAS  
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING  
FOOTPRINT AREA AND TRACTS.  
1,008,818 SF /5,000 SF  
201.76 TREES REQUIRED  
77 TREES PROVIDED  
\*\*SEE PLAN FOR EXISTING TREE MASSES TO REMAIN  
403.5 SHRUBS REQUIRED  
469 SHRUBS PROVIDED

### STREET FRONTAGE REQUIREMENT

MAIN STREET (SOUTH SIDE)

1,334 LF  
1 TREE / 30' OF STREET FRONTAGE  
44.46 TREES REQUIRED  
44 TREES PROVIDED  
1 SHRUB PER 20' OF STREET FRONT.  
67 SHRUBS REQUIRED  
67 SHRUBS PROVIDED

TUDOR ROAD

1,215 LF  
1 TREE / 30' OF STREET FRONTAGE  
40 TREES REQUIRED  
40 TREES PROVIDED  
1 SHRUB PER 20' OF STREET FRONTAGE  
60 SHRUBS REQUIRED  
60 SHRUBS PROVIDED

BUFFER-EAST SIDE

ALONG ABUTTING LAND USES REQUIRES MEDIUM IMPACT SCREENING.

1 SHADE TREE / 1,000 SF  
12 SHADE TREES REQUIRED  
6 SHADE TREES PROVIDED  
1 ORNAMENTAL TREE / 500 SF  
24 ORNAMENTAL TREES REQUIRED  
37 ORNAMENTAL TREES PROVIDED  
1 EVERGREEN TREE / 300 SF  
40 EVERGREEN TREES REQUIRED  
43 EVERGREEN TREES PROVIDED  
1 SHRUB / 200 SF  
60 SHRUBS REQUIRED  
67 SHRUBS PROVIDED  
\*\* ADJUSTMENTS MADE DUE TO OVERHEAD POWERLINES

## LANDSCAPE CALCULATIONS - LOT 2

OPEN YARD AREAS  
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING  
FOOTPRINT AREA AND TRACTS.  
724,992 SF / 5,000 SF  
145 TREES REQUIRED  
35 TREES PROVIDED  
\*SEE PLAN FOR EXISTING TREE MASSES TO REMAIN  
290 SHRUBS REQUIRED  
294 SHRUBS PROVIDED

### STREET FRONTAGE REQUIREMENT

MAIN STREET (SOUTH SIDE)

766 LF  
1 TREE / 30' OF STREET FRONTAGE  
23.5 TREES REQUIRED  
24 TREES PROVIDED  
1 SHRUB PER 20' OF STREET FRONTAGE  
51 SHRUBS REQUIRED  
51 SHRUBS PROVIDED

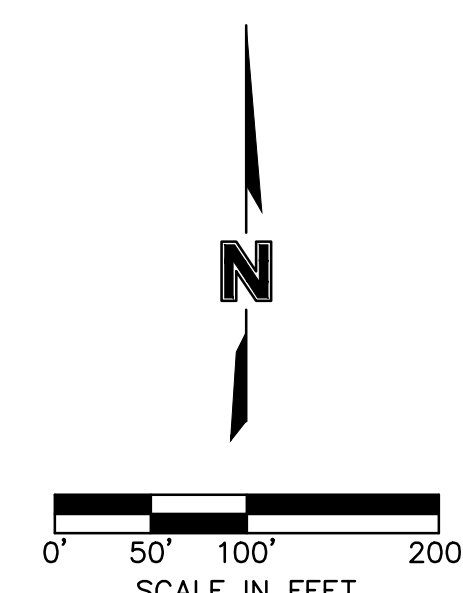
## LANDSCAPE CALCULATIONS - LOT 3

OPEN YARD AREAS  
1 TREE AND 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING  
FOOTPRINT AREA AND TRACTS.  
612,066 SF/5,000 SF  
122 TREES REQUIRED  
38 TREES PROVIDED  
\*SEE PLAN FOR EXISTING TREE MASSES TO REMAIN  
244.8 SHRUBS REQUIRED  
258 SHRUBS PROVIDED

### STREET FRONTAGE REQUIREMENT

MAIN STREET (NORTH SIDE)

2,100 LF  
1 TREE / 30' OF STREET FRONTAGE  
70 TREES REQUIRED  
70 TREES PROVIDED  
1 SHRUB PER 20' OF STREET FRONTAGE  
105 SHRUBS REQUIRED  
104 SHRUBS PROVIDED



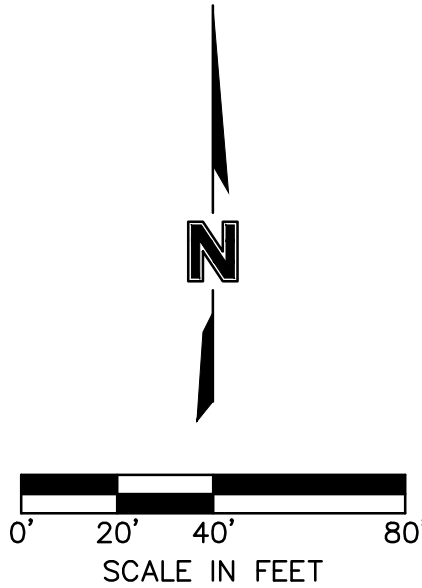


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PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

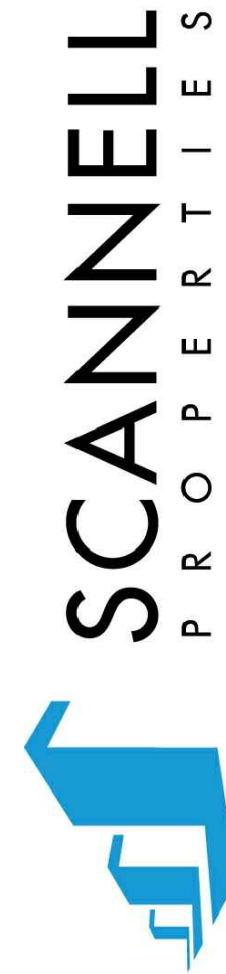
- \*\* SOD ALL DISTURBED AREAS
- \*\* ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C



LANDSCAPE PLAN PRELIMINARY PLAT		REV	DATE	REVISIONS DESCRIPTION	BY
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET					
LEE'S SUMMIT, MISSOURI		REVISIONS			
2021					

drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
GNC by: ENG  
project no: 021-04157  
drawing no: 021-04157.dwg  
date: 07/08/2021

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olsson

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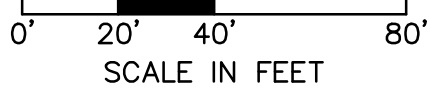








\*\* SOD ALL DISTURBED AREAS  
\*\* ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C







PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- \*\* SOD ALL DISTURBED AREAS
- \*\* ALL TRASH ENCLOSURES TO BE SCREENED PER SECTION 8.180 AND SECTION 8.790.C

LANDSCAPE PLAN  
PRELIMINARY PLAT

SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET  
LEE'S SUMMIT, MISSOURI

drawn by: OLSSON  
checked by: ENG  
approved by: ENG  
QA/QC by: ENG  
project no: 021-04157  
drawing no: 021-04157.dwg  
date: 07/08/2021

2021

REVISIONS

BY

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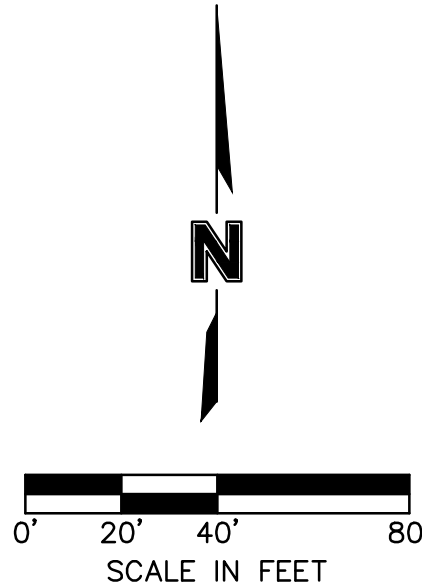


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PLANT LEGEND	
DECIDUOUS TREES	
3" CAL	
EVERGREEN TREES	
8' HT.	
ORNAMENTAL TREES	
3" CAL	
SHRUBS	
1-5 GAL	
NATIVE VEGETATION	
SEED	

- \*\* SOD ALL DISTURBED AREAS
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LANDSCAPE PLAN  
PRELIMINARY PLAT

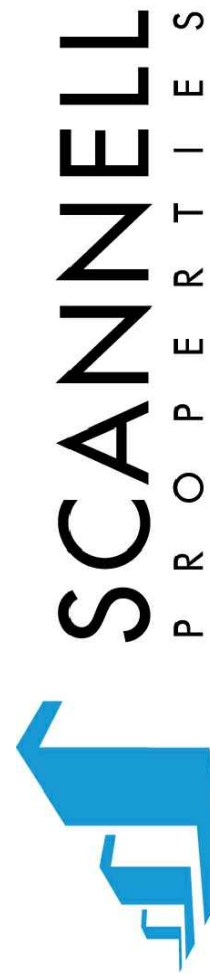
SCANNELL DEVELOPMENT LEE'S SUMMIT LOGISTICS  
NORTHWEST CORNER OF TUDOR ROAD AND MAIN STREET

LEE'S SUMMIT, MISSOURI

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

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REVISIONS



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