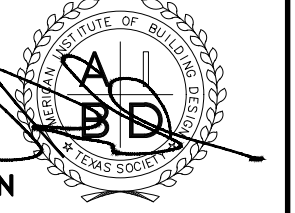




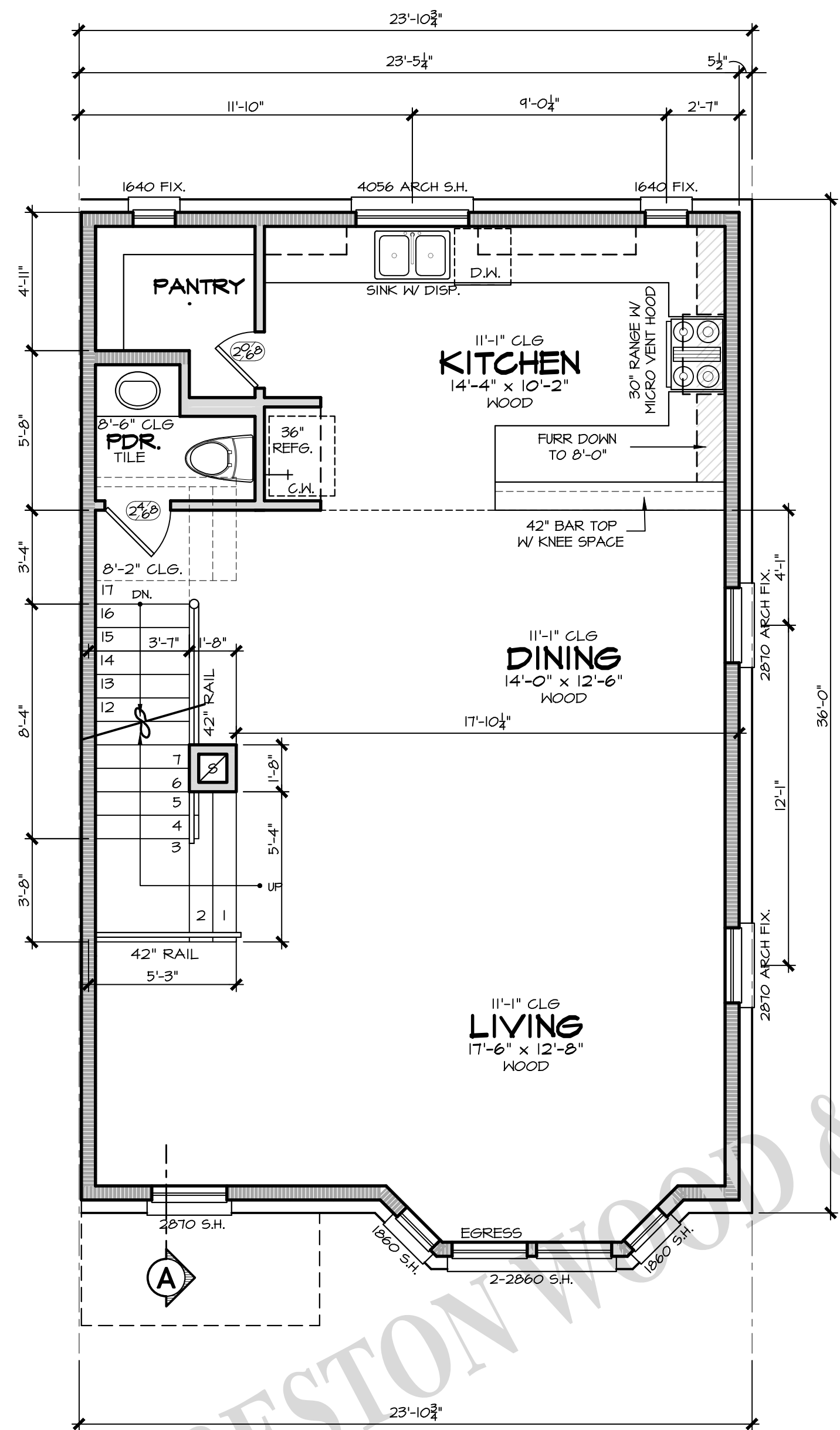
SW. LONGVIEW

8" PVC

2

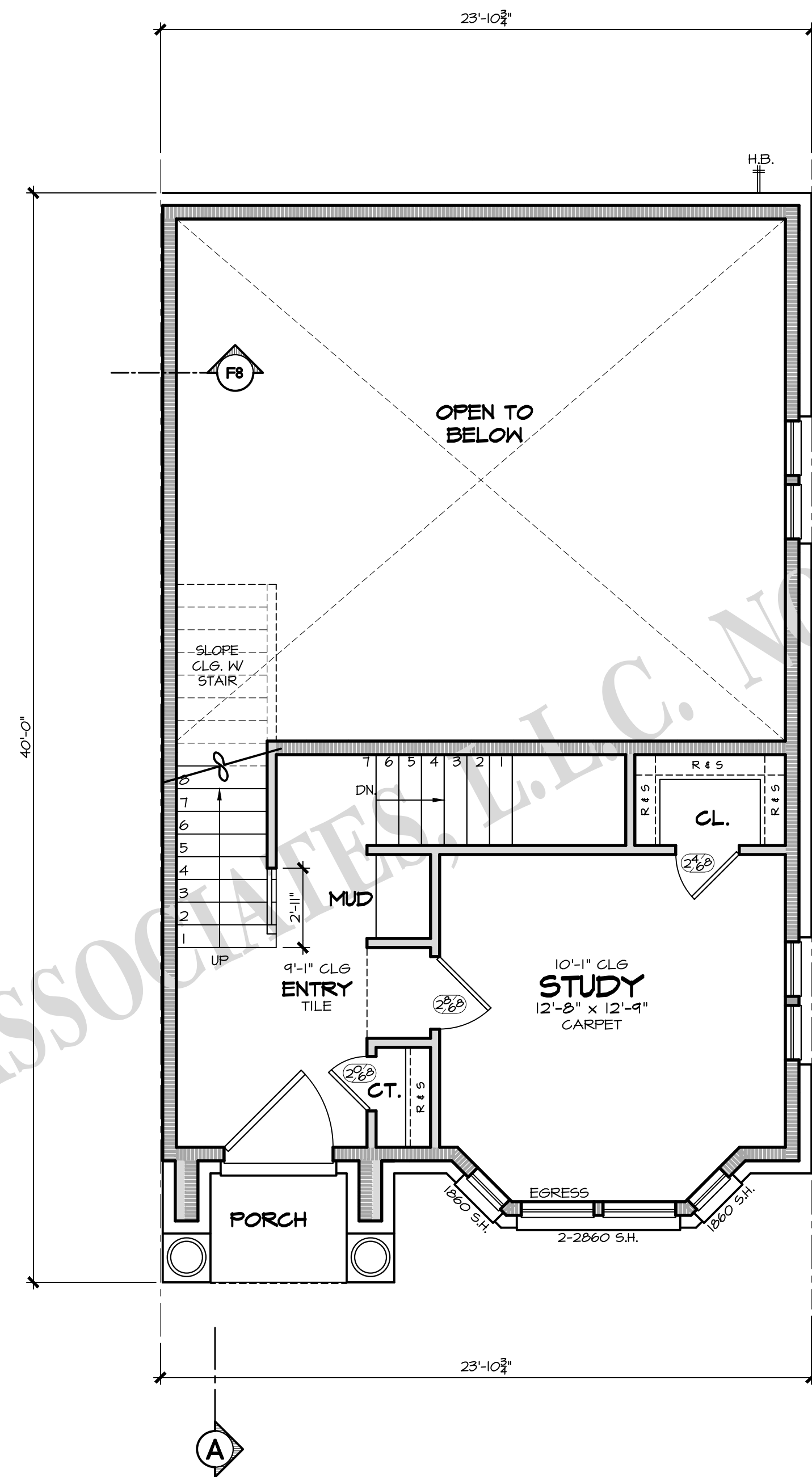


JOB # F1109-B1.1	5 OF 12
DESIGN SCHEMATIC	ISSUE DATE: 6 July 2021



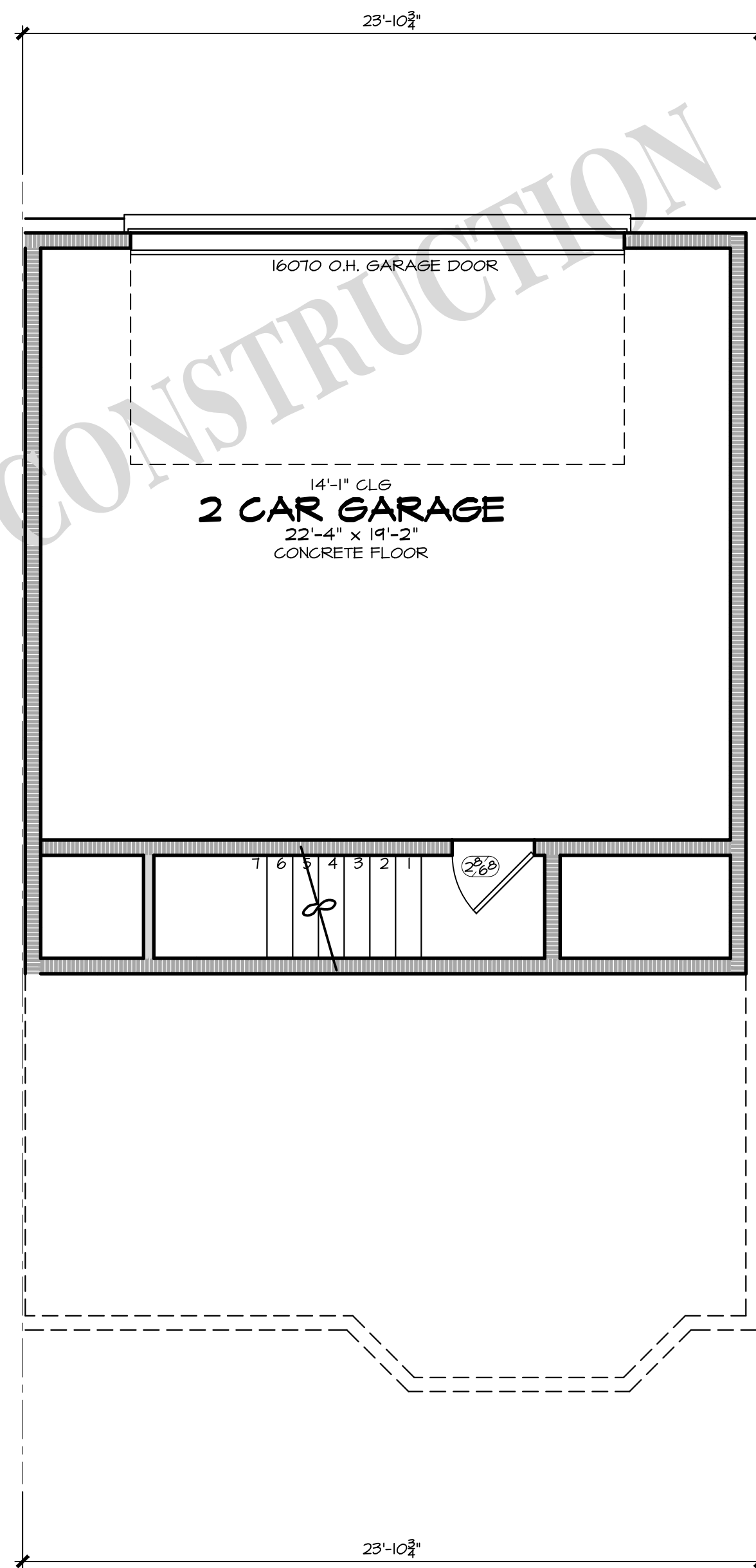
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
11'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: HARDWOOD FLOOR
SUGGESTED FLOOR SYSTEM: 16" TRUSSES
PROVIDE METAL PAN W/2" DRAIN
TO OUTSIDE IN UTILITY AREA



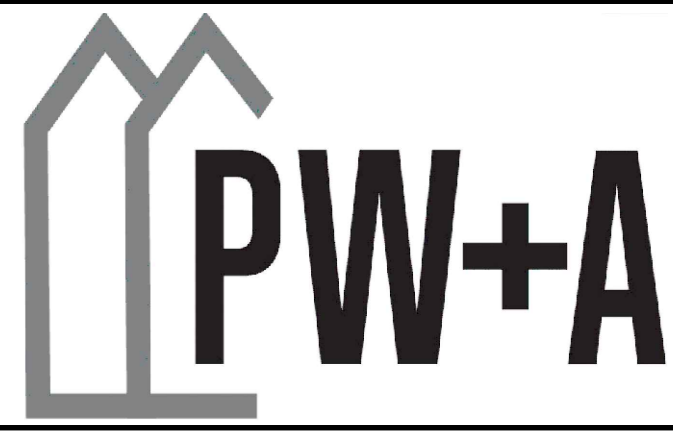
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" 10'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET FLOOR U.N.O.

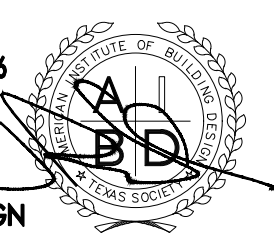


GARAGE LEVEL

SCALE: 1/4" = 1'-0" 14'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET FLOOR U.N.O..



PRESTON WOOD & ASSOCIATES, LLC
500 Lovett Blvd., Suite 250 Houston, TX 77006
phone: 713.522.2724
www.jackprestonwood.com
Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW #			
DESIGNER:	DATE:	PRODUCTION 4 :	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

ESCHEAT REQUIREMENTS

[illegible]

PLAN NOTES

2) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.

SCOPE OF WORK

- 4) ALL ELECTRICAL WIRING IS TO HAVE OVERHEAD CABLES WITH AT LEAST TWO INCHES OF CLEARANCE FROM ANY OBSTACLE.
- 5) CATERGERS ARE TO BE SCHEDULED AND REQUIRED TO KNOW A PRIVATE DRIVE-THRU SERVICE.
- 6) PROVIDE PLUMBING ACCESS PANEL ON ALL BATHROOMS PER IRC 201.2.5.1 (SEE P. 172041.1).
- 7) ALL GLASS TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012 SECT. R308.
- 8) SEE STAIR NOTES AND DETAILS - LAST STEP CONFORM TO IRC.
- SCORE OF WORK**
- 9) THE CITY OF HOUSTON, TEXAS, CITY OF HOUSTON AGREEMENTS, SECTION 1003.3.3.1, EXCEPTION 4, PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
- 10) PROVIDE A MINIMUM HEAD CLEARANCE OF 8' FOR ALL VEHICLES ENTERING A DRIVE-THRU SERVICE.
- 11) PROVIDE MINIMUM HEAD CLEARANCE OF 30" WHERE SERVICING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A

FULL-DOWN STAIRS 15-30 X34", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2012 SECT. R807 AND SECT. M1305.1.3.

- 4) LOCATE WATER HEATERS() IN ATTIC ABOVE LA BEARING SUPPORT. PLACEMENT IN A RAFTER WITH A SHEE LINE TO OUTSIDE OF EAVES FORMATION. INSTALLATION TO CONFORM WITH IBC 2012 SECTION P2203.
- 5) LOCATE H.V.A.C. EQUIPMENT IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF A EQUIPMENT.
- 6) ALL SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IBC 2012, R3201.1
- 7) PROVIDE ADEQUATE FIRING SMOKE AND SOIL PIPES DO NOT EXCEED 18" PLATING. DRAINING VENTS SHALL EXIT THROUGH ROOF PLANE THAT SLOPES TO THE BACK.

SYMBOLS

SECTION CUTS  SHEET LOCATION	CABINET & WALL ELEVATIONS  SHEET LOCATION	FIRE WALL TYPE  DETAIL LOCATE LAST SHEET (U.N.A.)
---	--	---

LINE LEGEND

WALLS:  4" STUD WALL  6" STUD WALL		CLOSETS: WALL: ROD & SHELF _____ _____ WALL: DOUBLE ROD & SHELF _____ _____	
CEILINGS  DESIGNATION FOR FURRED DOWN C.L.G.  DESIGNATION FOR DOWN FRAMING FOR ABOVE, (STAIR VOIDS & OPENINGS).		CABINETS: UPPER CABINET _____ 10" ABOVE COUNTERTOP T.Y. _____ COUNTERTOP @ 36" HT. T.Y. _____	

SQUARE FOOTAGES

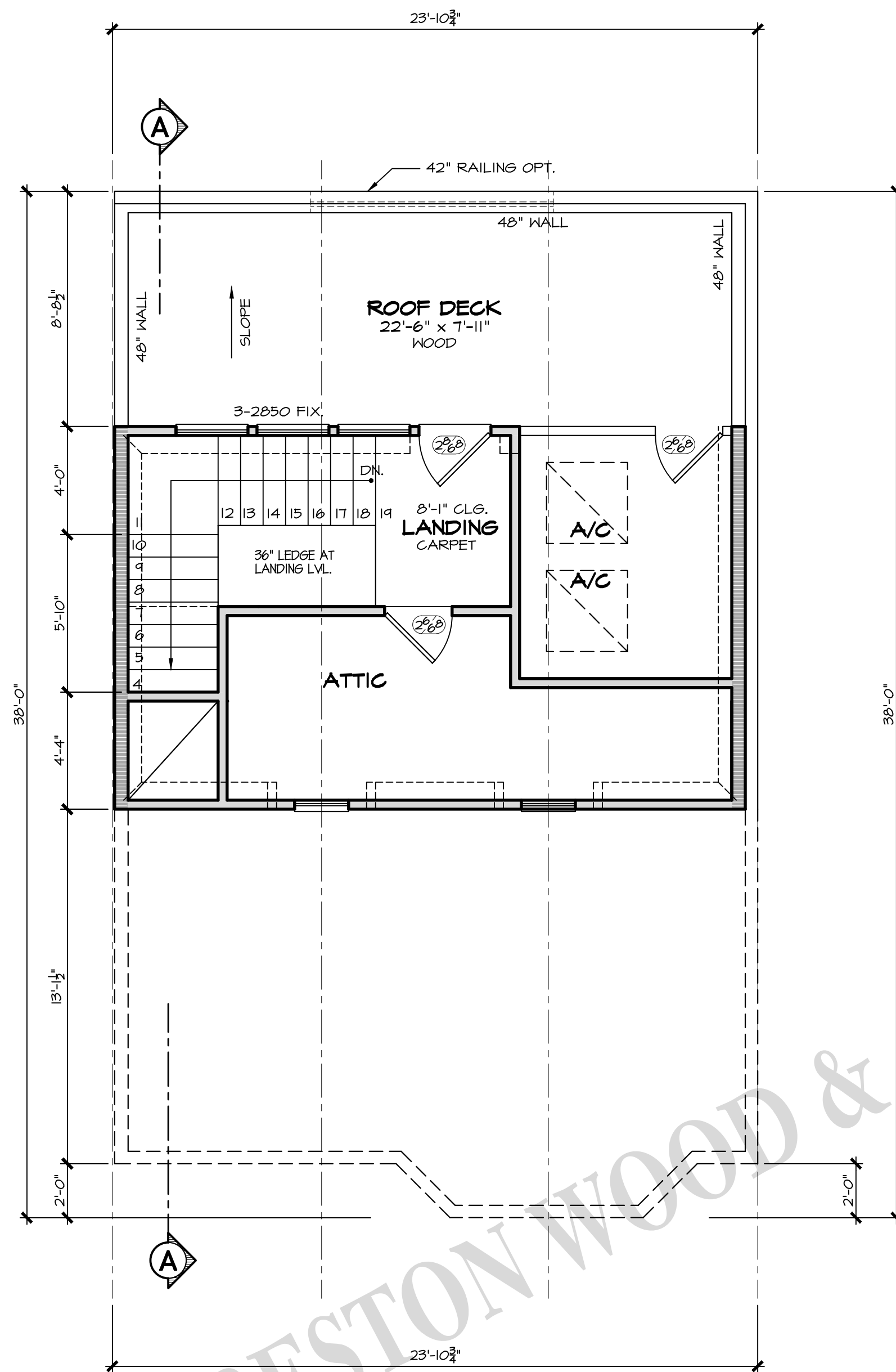
FIRST FLOOR:	348
SECOND FLOOR:	876
THIRD FLOOR:	876
STAIR TOWER:	37
TOTAL LIVING AREA:	2187 sq
GARAGE:	583
PORCHES:	43
TOTAL SLAB:	XX sq
ROOF DECK:	207
TOTAL COVER:	3020 sq
TOTAL AREA:	XX sq

JUSTIN LARSON

**LEES SUMMIT
KANSAS CITY, MO**

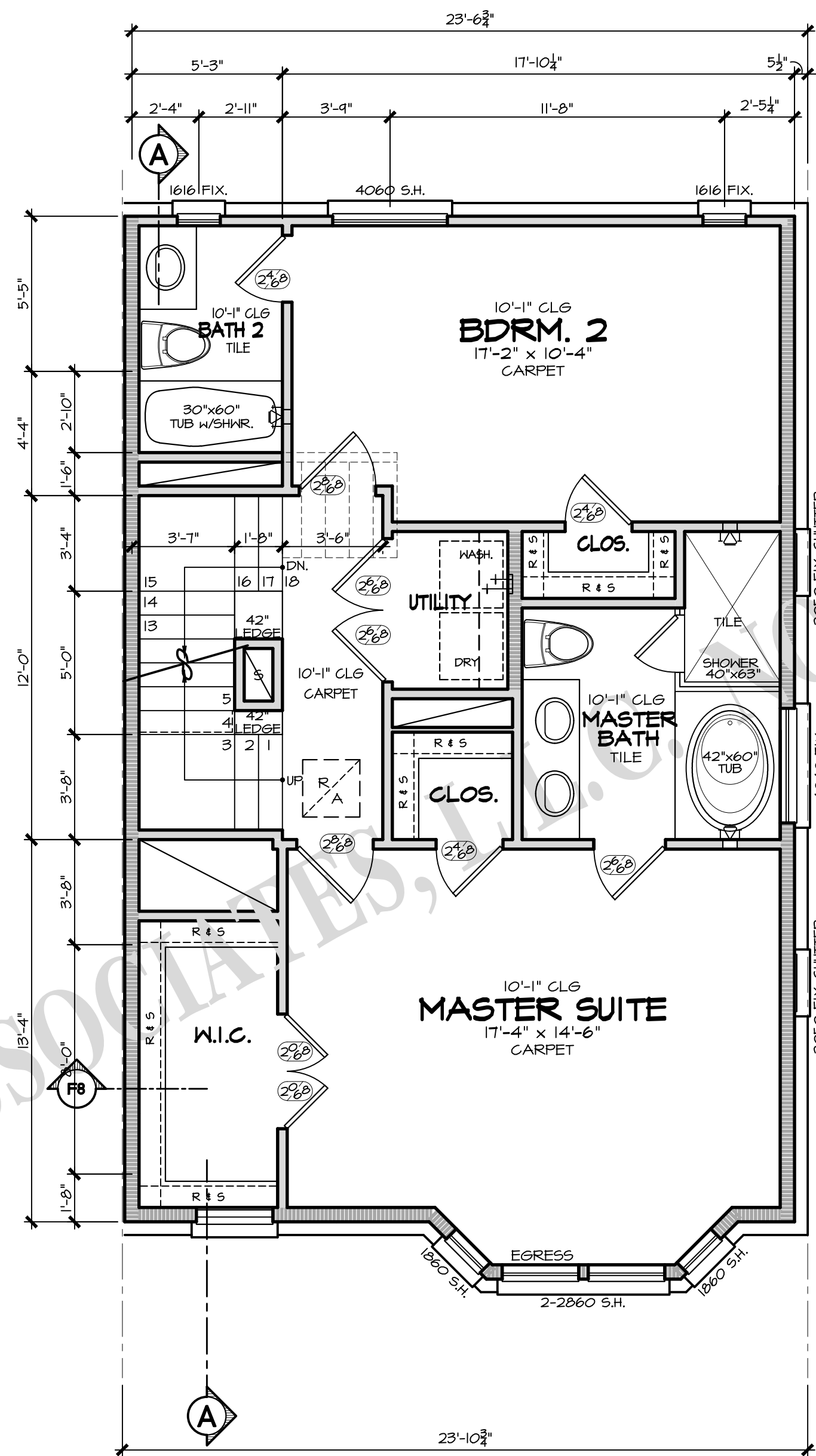
JOB # **F1109-A1.1** **4** OF 12

DESIGN SCHEMATIC	ISSUE DATE:	6 July 2021
------------------	-------------	-------------



STAIR TOWER

SCALE: 1/4" = 1'-0" 9'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET
SUGGESTED FLOOR SYSTEM: 16" TRUSSES

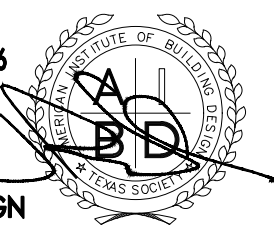


THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0" 10'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET
SUGGESTED FLOOR SYSTEM: 16" TRUSSES



PRESTON WOOD & ASSOCIATES, LLC
500 Lovett Blvd., Suite 250 Houston, TX 77006
phone: 713.522.2724
www.jackprestonwood.com
Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW #			
DESIGNER:	DATE:	PRODUCTION 4 :	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

SCOPE OF WORK

A NEW 2-STORY SINGLE FAMILY DETACHED DWELLING WITH A 2-CAR ATTACHED GARAGE ACCESSED FROM A PRIVATE DRIVE.

SCOPE OF WORK

A NEW 3-STORY SINGLE FAMILY DETACHED DWELLING WITH A 2-CAR ATTACHED GARAGE ACCESSED FROM A PRIVATE DRIVE.

SQUARE FOOTAGES

FIRST FLOOR:	398
SECOND FLOOR:	876
THIRD FLOOR:	876
STAIR TOWER:	37
TOTAL LIVING AREA:	2187 S.F.
GARAGE:	583
PORCHES:	43
TOTAL SLAB:	XX S.F.
ROOF DECK:	207
TOTAL COVER:	3020 S.F.
TOTAL AREA:	XX S.F.

JUSTIN LARSON
LEES SUMMIT
KANSAS CITY, MO

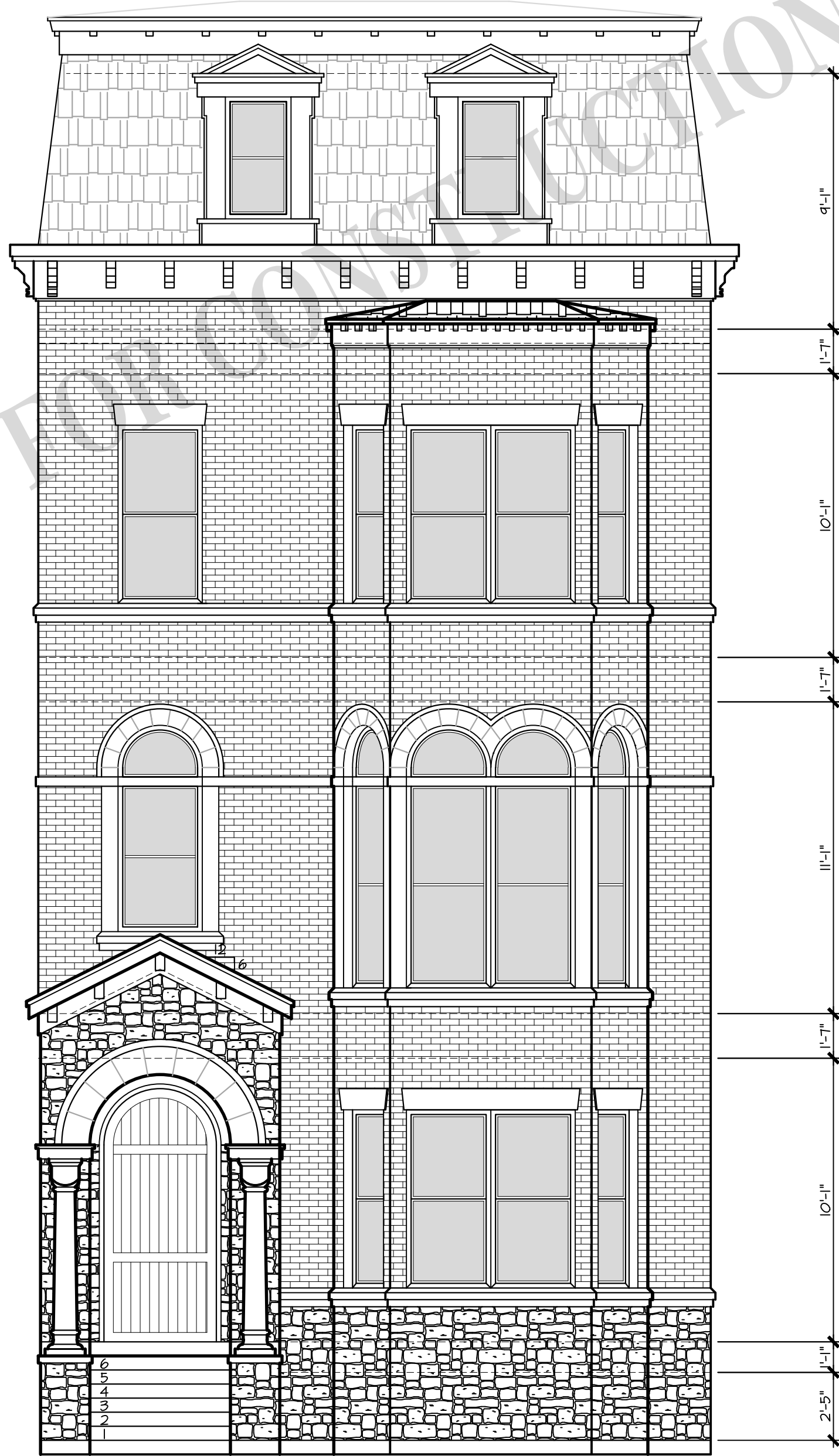
JOB #
F1109-A1.1

OF 12

DESIGN SCHEMATIC	ISSUE DATE:	6 July 2021
------------------	-------------	-------------

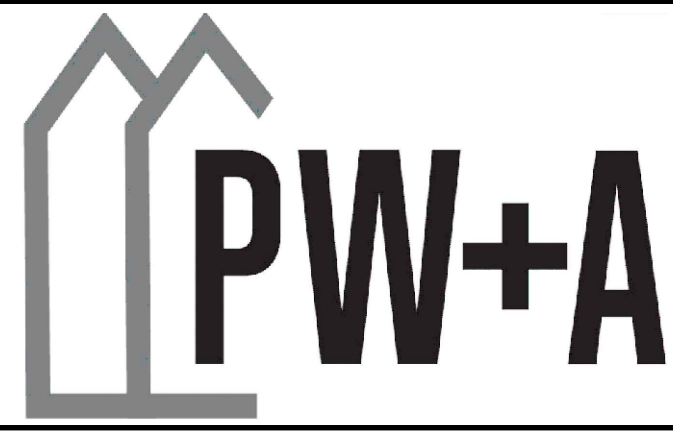


CAST STONE BASE

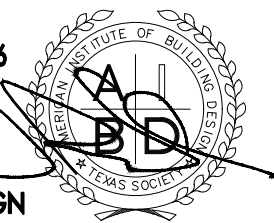


STONE BASE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"
STUCCO CONTROL JOINT PER INDUSTRY/MANUF. STANDARDS
FIELD VERIFY ALL TRANSOMS



PRESTON WOOD & ASSOCIATES, LLC
500 Lovett Blvd., Suite 250 Houston, TX 77006
phone: 713.522.2724
www.jackprestonwood.com
Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



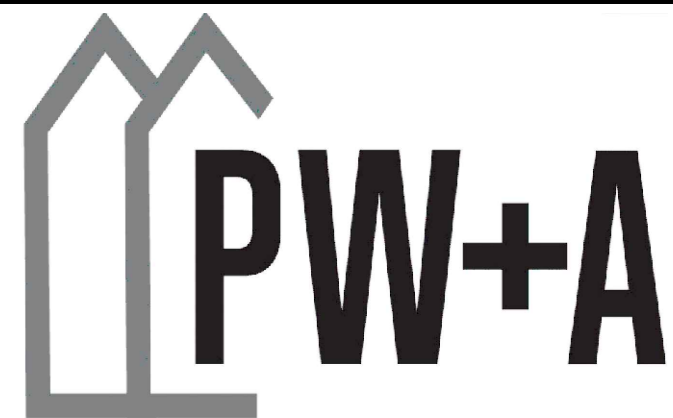
REDRAW #			
DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

ELEVATION NOTES	
1) ALL DRAWINGS HERE REFERENCES THE 2012 INTERNATIONAL RESIDENTIAL CODE (IN CITY OF HOUSTON AMENDMENTS) AND THE 2012 INTERNATIONAL BUILDING CODE (IN CITY OF HOUSTON AMENDMENTS).	
2) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, LLC OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.	
3) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.	
4) ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT. NET CLEAR OPENING, WHERE DOORS ARE USED AS EGRESS, KEY LOCKING HARDWARE MAY BE USED (2012 IRC CITY OF HOUSTON AMENDMENTS, R310.2).	
5) ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM (FIRST) FLOOR LEVEL (AT THE STAIRWELL).	
6) OPENINGS ON A ONE-HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2012, SECTIONS T14.3.7 AND T14.3.9 AND TABLE T14.2 (EXTERIOR WALLS). PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2012, SECTION T11.5. BUILDERS TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO (GLASS BLOCK SELECTION OF YOUR CHOICE).	
7) ALL GLAZING SHALL BE IN THESE HAZARDOUS LOCATIONS (R302.4).	
a. GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.	
b. GLAZING IN SIDE HINED DOORS EXCEPT BALCONY DRIVE.	
c. GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.	
d. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.	
e. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).	
f. ONE OF THESE AREAS SHALL BE PLACED FROM PROPERTY DRIVE.	
g. GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.	
h. ALL RAILINGS (WOOD, METAL OR PRECAST) TO HAVE (4") MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2012, SECTION R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2012 TABLE R301.4.1 AND ON THE LAST SHEET OF THIS DOCUMENT.	
i. INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT. R316.2).	
j. EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".	
k. ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL, U.O.N.	
l. ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2012, CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED (4" A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW).	
m. CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE). SEE IRC 2012, SECTION R1001.6. CHIMNEY PIPES SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.	
n. PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2" MINIMUM GAP OF 3/8" AND TO CONFORM WITH IRC 2012 CHAPTER 10.	
o. ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.	
PRIMARY EXTERIOR MATERIAL: X	
SECONDARY EXTERIOR MATERIAL: X	
ROOF MATERIAL: X	
ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS. MATCH TRANSOMS TO UNITS BELOW. HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.	

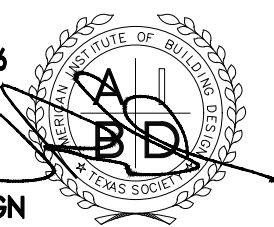
SQUARE FOOTAGES	
FIRST FLOOR:	398
SECOND FLOOR:	876
THIRD FLOOR:	876
STAIR TOWER:	37
TOTAL LIVING AREA:	2187 S.F.
GARAGE:	583
PORCHES:	43
TOTAL SLAB:	XX S.F.
ROOF DECK:	207
TOTAL COVER:	3020 S.F.
TOTAL AREA:	XX S.F.

JUSTIN LARSON
LEES SUMMIT
KANSAS CITY, MO

JOB #	5	OF	12
F1109-A1.1			
DESIGN SCHEMATIC	ISSUE DATE:	6 July 2021	



PRESTON WOOD & ASSOCIATES, LLC
500 Lovett Blvd., Suite 250 Houston, TX 77006
phone: 713.522.2724
www.jackprestonwood.com
Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW #			
DESIGNER:	DATE:	PRODUCTION 4 :	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

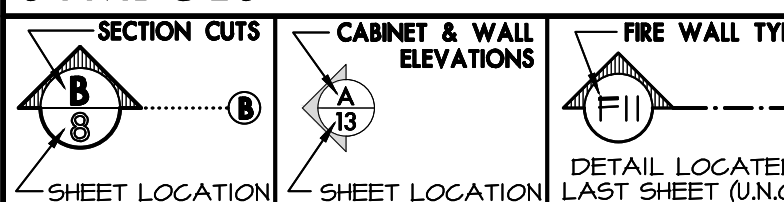
ESCHEATTS REQUIREMENTS

[illegible]

PLAN NOTES

- 3) OFFER ALL DRAWING RIGHTS TO A FIRM OF ONE OF THE FIFTEEN PERCENT OR MORE OF THE OWNERSHIP OF THE PROJECT FOR ALL DRAWING INFORMATION AT THE PROJECT SITE.
- 4) WOOD 4 ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. PRESTO CONSTRUCTION, INC. SHALL BE HELD RESPONSIBLE FOR THE CONTENTS PREPARED BY THIRD PARTY CONSULTANTS (MECHANICAL, STRUCTURAL, ETC.).
- 5) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF DRAWINGS.
- 6) CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
- 7) ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO EITHER ROOF OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
- 8) PROVIDE PLUMBING ACCESS PANEL AT ALL BATHUBS PER IRC 201.2.3.27(41).
- 9) ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012 SECT. R308.
- 10) SEE 2012 IRC 201.2.3.27(41) AND 2012 SECT. R308.01 FOR CONFORMITY TO 2012 SECTIONS R315.6 AND IRC 2012. CITY OF HOUSTON AMENDMENTS TO CODE (00333.31). EXCEPTION 4: PROVIDE CONTINUOUS RAILING WHEN THESE ARE MORE REQUISITE.
- 11) PROVIDE ATTIC WITH A MINIMUM CLEARANCE OF 7'23"30". PROVIDE MINIMUM HEAD CLEARANCE OF 30", WHERE SPECIFY MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A HULL-DOWN STAIRS IS 30"24". ALSO, PROVIDE A MINIMUM CLEARANCE OF 350 LBS. SEE 2012 SECT. R001 AND SECT. M305.13.1.
- 12) LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION IN A FURNACE ROOM WITH RELIEF LINE TO OUTSIDE OR STORM SEWER. INSTALLATION TO CONFORM WITH IRC 2012 SECT. P208.3.
- 13) LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
- 14) PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT. PROVIDE 24" ATTIC MAXIMUM DISTANCE FROM ATTIC EQUIPMENT TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF A EQUIPMENT IN ATTIC.
- 15) ALL ROOF PANELS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IRC 2012 SECT. R320.1.
- 16) PROVIDE ADEQUATE FIRING 50 VENT AND SOIL PIPES DO NOT PROVIDE PLATES, ALL EQUIPMENT VENTS SHALL EXIT THROUGH ROOF PLANE THAT SLOPES TO THE BACK.

SYMBOLS



LINE LEGEND

WALLS:	4" STUD WALL	CLOSETS:	WALL
	6" STUD WALL		ROD & SHELF
			WALL
CEILINGS	DESIGNATION FOR FURRED DOWN CLG.		DOUBLE ROD & SHELF
		CABINETS:	WALL
	DESIGNATION FOR OPEN FRAMING ABOVE (STAIRS, VOIDS, & OPENINGS).		UPPER CABINET
			10" ABOVE COUNTERTOP
			COUNTERTOP @ 36" HT. TYP.

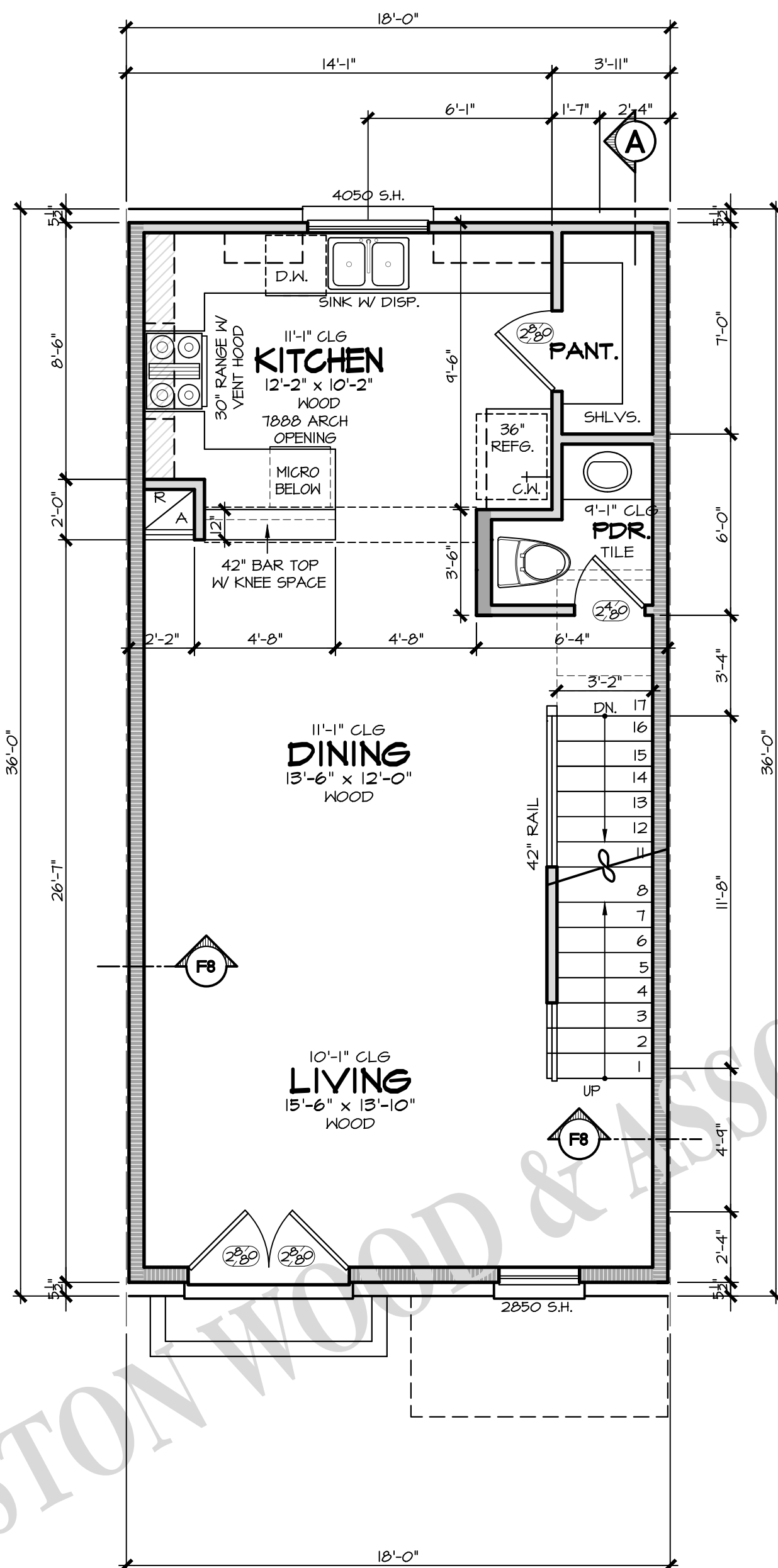
SQUARE FOOTAGES

FIRST FLOOR:	284
SECOND FLOOR:	648
THIRD FLOOR:	648
STAIR TOWER:	73
TOTAL LIVING AREA:	1653 sq. ft.
GARAGE:	440
PORCHES:	43
TOTAL SLAB:	XX
ROOF DECK:	212
TOTAL COVER:	2348 sq. ft.
TOTAL AREA:	XX sq. ft.

JUSTIN LARSON

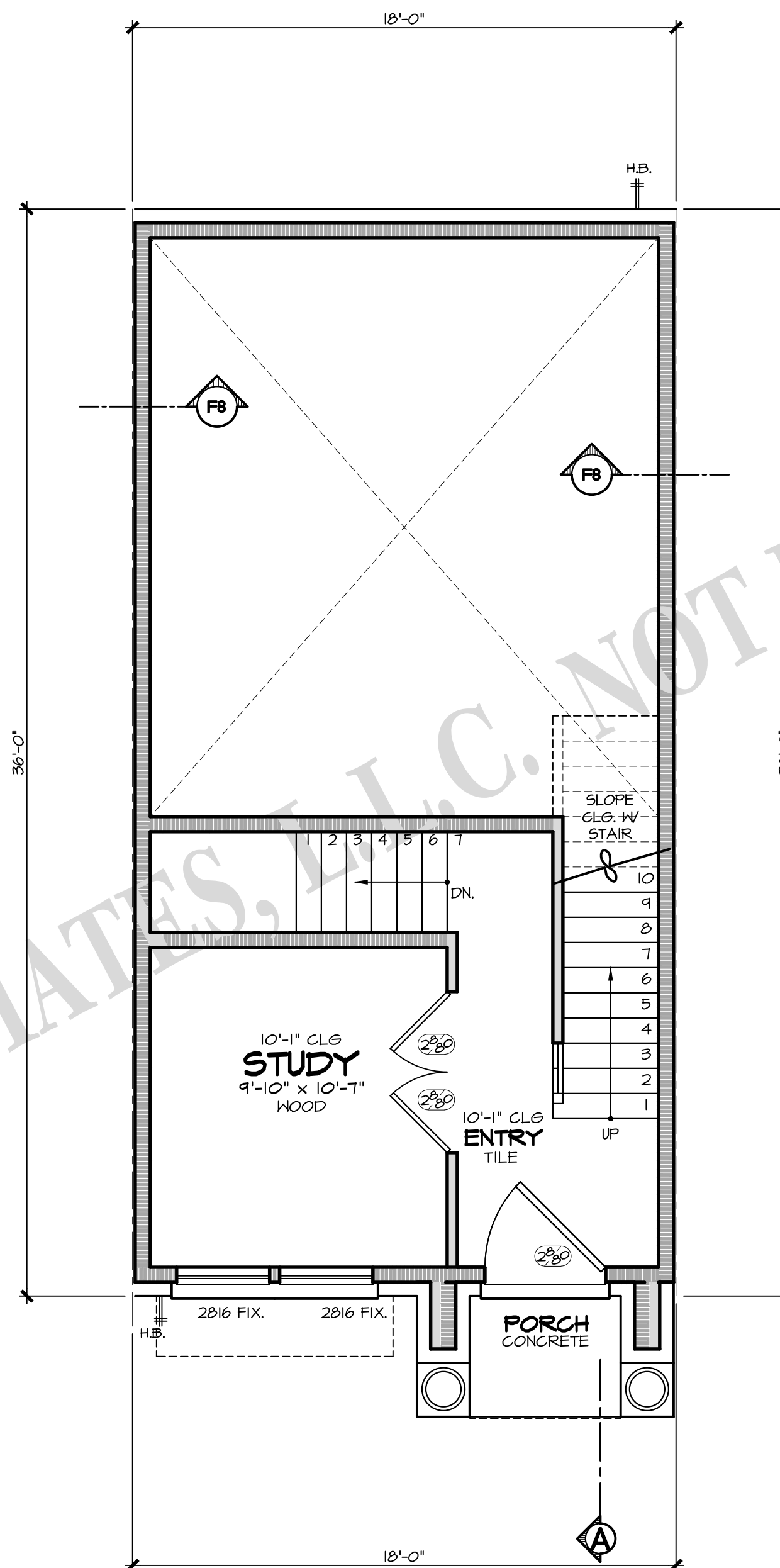
**LEES SUMMIT
KANSAS CITY, MO**

JOB # F1109-B1.1	2 OF 12
DESIGN SCHEMATIC	ISSUE DATE: 6 July 2021



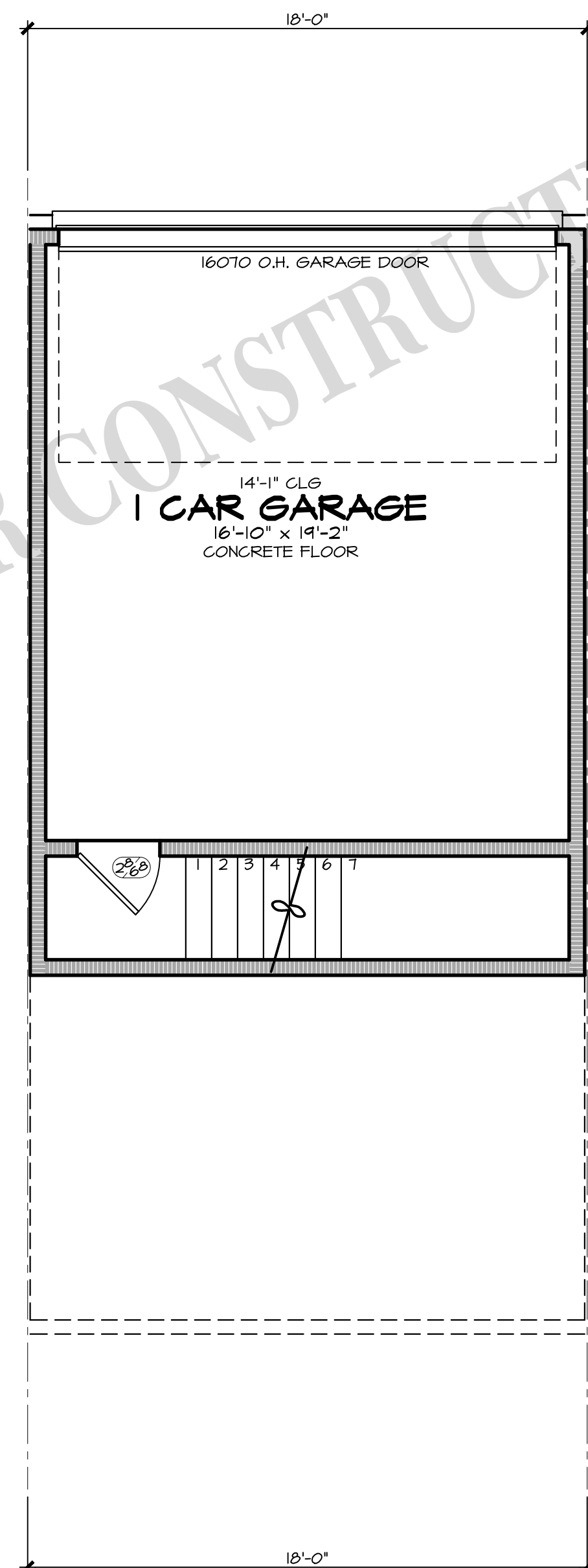
SECOND FLOOR PLAN

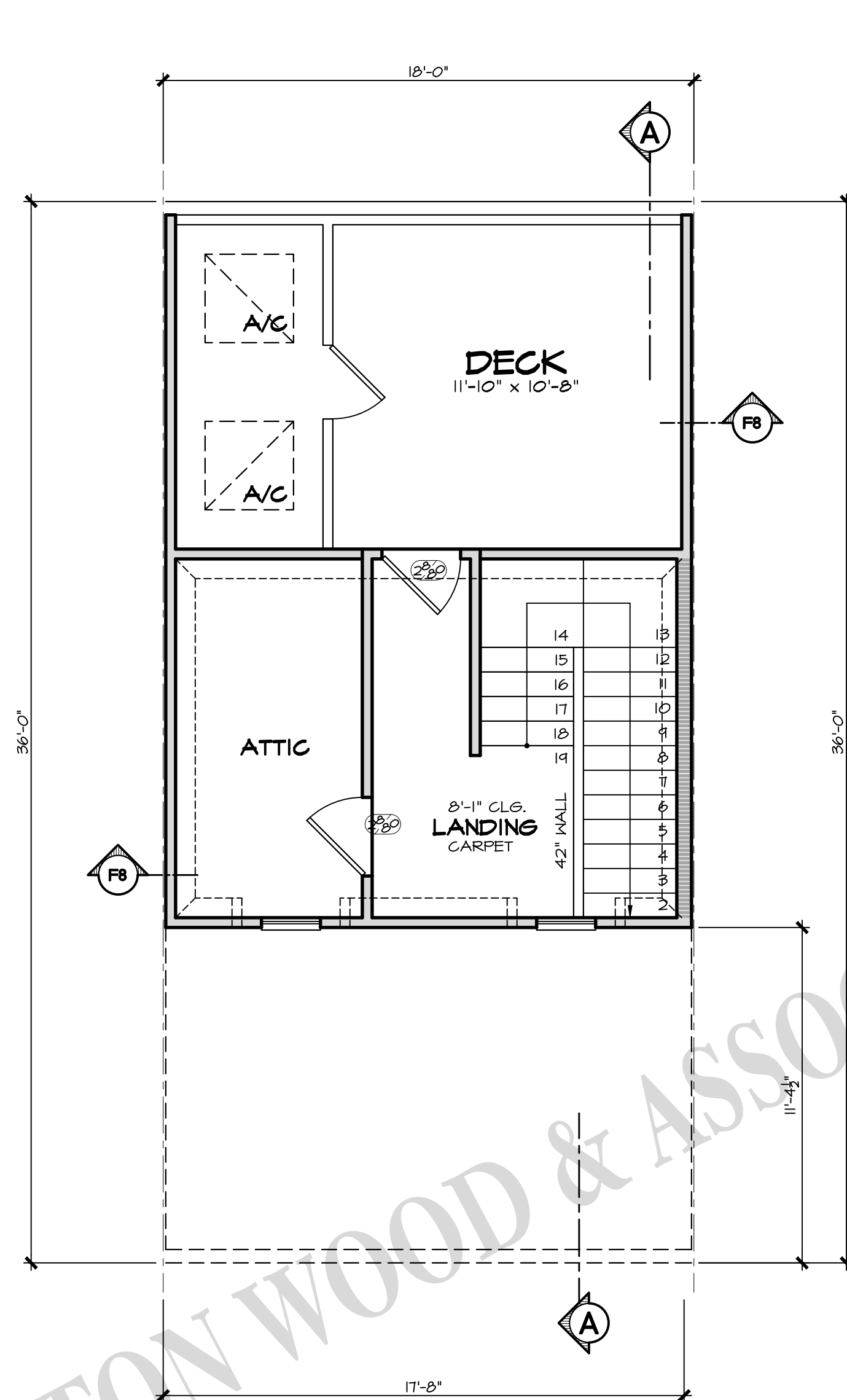
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

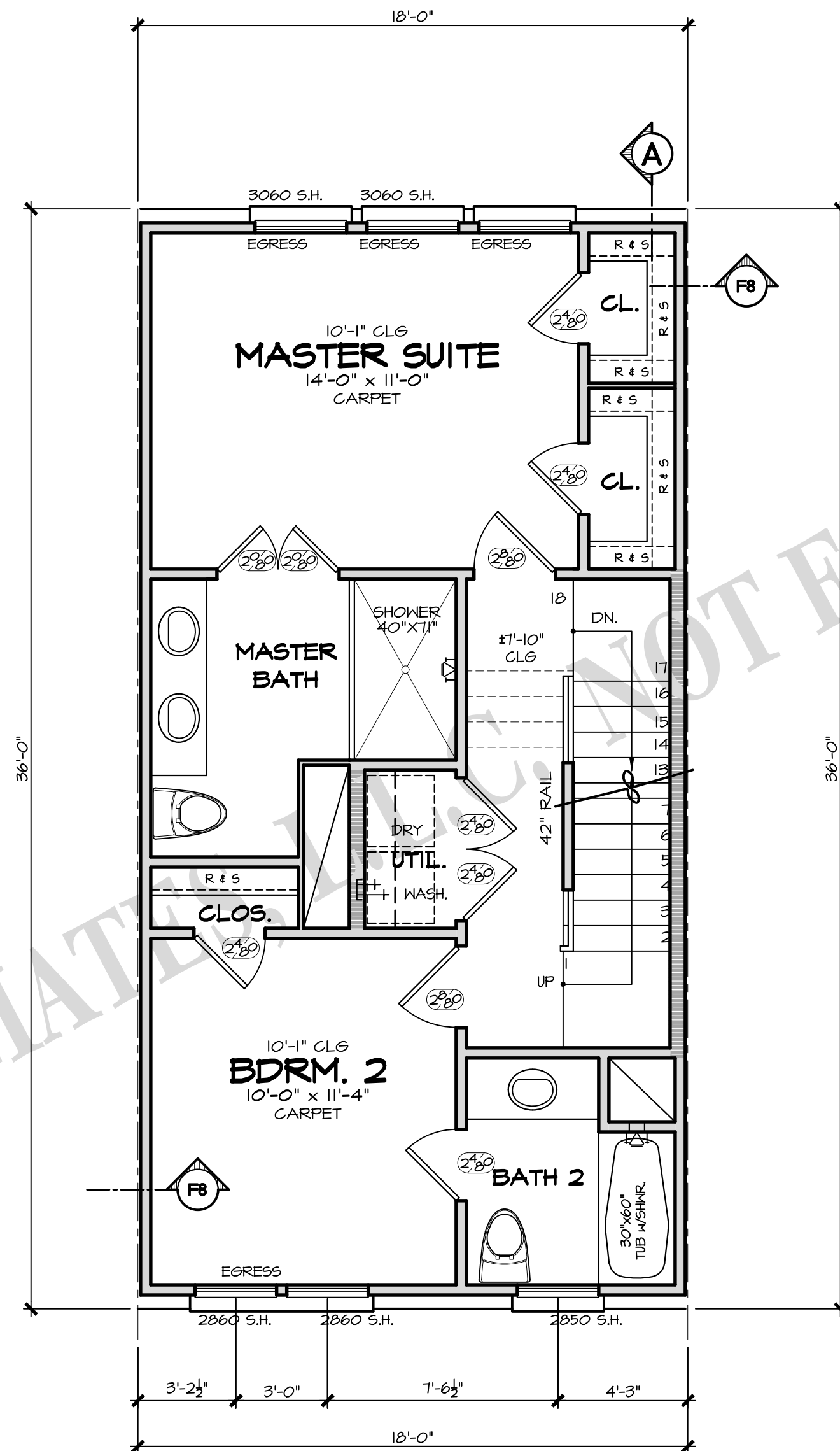
SCALE: 1/4" = 1'-0" 10'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CONCRETE





STAIR TOWER

SCALE: 1/4" = 1'-0" 8'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET
SUGGESTED FLOOR SYSTEM: 16" TRUSSES

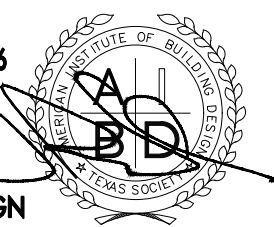


THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0" 10'-1" CEILINGS U.N.O.
PRIMARY FLOOR COVERING: CARPET
SUGGESTED FLOOR SYSTEM: 16" TRUSSES



PRESTON WOOD & ASSOCIATES, LLC
500 Lovett Blvd., Suite 250 Houston, TX 77006
phone: 713.522.2724
www.jackprestonwood.com
Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW #			
DESIGNER:	DATE:	PRODUCTION 4 :	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

SQUARE FOOTAGES

FIRST FLOOR:	284
SECOND FLOOR:	648
THIRD FLOOR:	648
STAIR TOWER:	73
TOTAL LIVING AREA:	1653 sq
GARAGE:	440
PORCHES:	43
TOTAL SLAB:	xx sq
ROOF DECK:	212
TOTAL COVER:	2348 sq
TOTAL AREA:	xx sq

JUSTIN LARSON
LEES SUMMIT
KANSAS CITY, MO

JOB # F1109-B1.1	OF 12
----------------------------	-------

DESIGN SCHEMATIC ISSUE DATE: 6 July 2021

