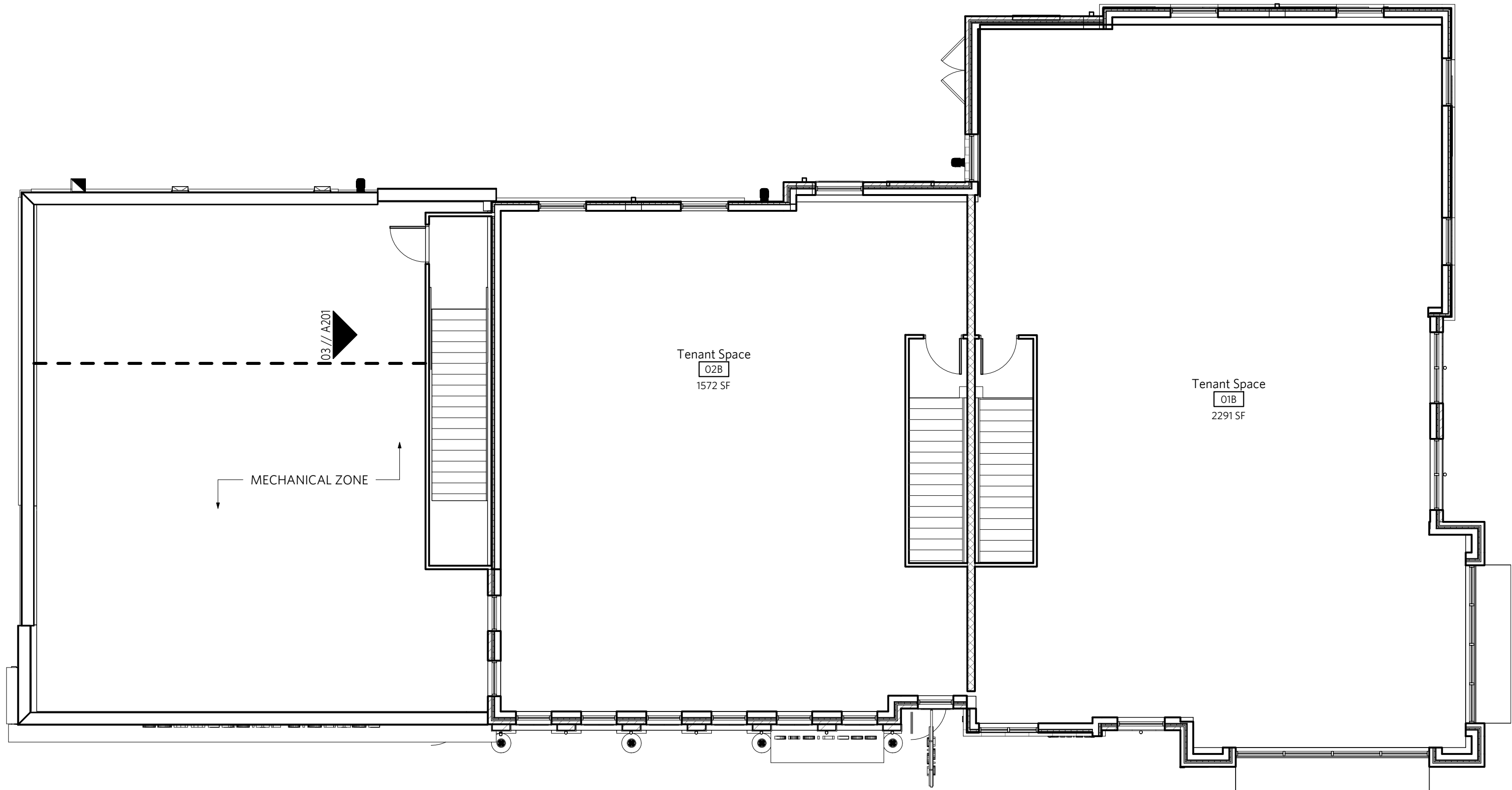
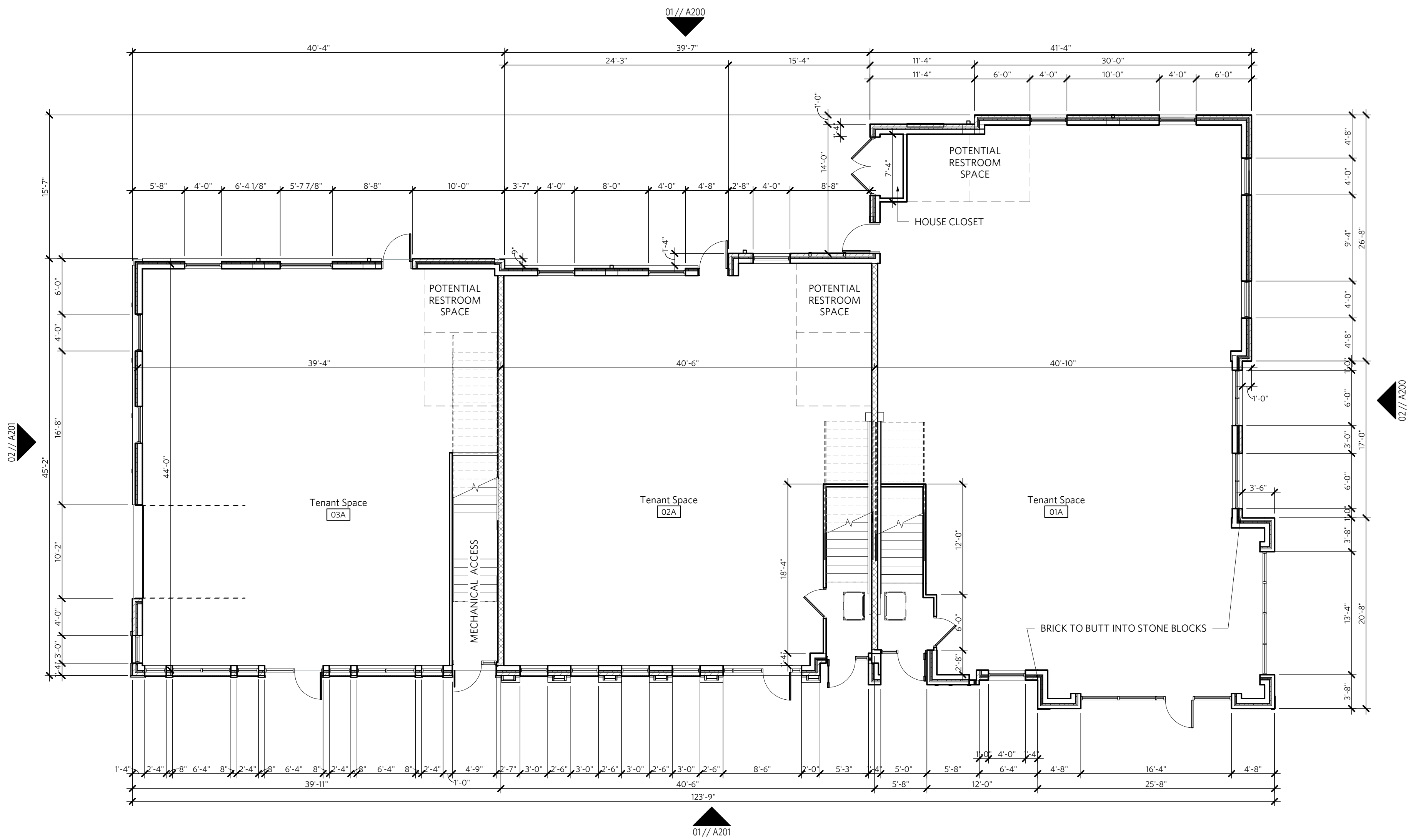


GENERAL NOTES-FLOOR PLAN

1. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
3. CONFIRM DIMMERS AND SWITCHING WITH MEP.
4. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
5. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
6. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°.
7. ALL WALLS TO BE P WALL TYPE UNLESS TAGGED OTHERWISE.
8. ALL FLOOR PLAN DIMENSIONS ARE FROM FINISH FACE.



2 SECOND FLOOR PLAN
1/8" = 1'-0"



01 FIRST FLOOR PLAN
1/8" = 1'-0"

LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081

REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

FLOOR PLANS

A101

GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR MATERIAL LEGEND

- A** PAINTED SYNTHETIC CLADDING
CONTRACTOR OPTION
USED TO RECREATE TRADITIONAL WOOD CLADDING
COLOR TBD
- B** FACE BRICK
AS MANUFACTURED BY ENDICOTT CLAY PRODUCTS
& DISTRIBUTED BY KC BRICK.
COLOR TO BE:
B1- SARAH SANDS
B2- BURGANDY SANDS
B3- LIGHT GREY BLEND
B4- SIENNA IRONSPOT
- C** ARCHITECTURAL MASONRY UNIT
CORDOVA STONE AS MANUFACTURED BY TRENWYTH.
C1- ALABASTER - COMBO GROUNDFACE /
CHISEL FACE.
SIZE TO BE: 4"x16"x24"
C2- BUFF - GROUND FACE
SIZE TO BE: 4"x16"x24"
C3- MIDNIGHT - GROUND FACE
SIZE TO BE: 4"x8"x24"
- D** FIBER CEMENT PANELS
SIM TO NICHHA - ILLUMINATION
COLORS BASED ON SHERWIN WILLIAMS
TAN - SW 7038 BALANCED BEIGE
BLACK - SW 7069 IRON ORE
- E** FIBER CEMENT SIDING
SIM TO NICHHA - SAVANAH SMOOTH
COLORS BASED ON SHERWIN WILLIAMS
BLACK - SW 7069 IRON ORE
GREY - SW 7017 DORIAN GRAY
GREEN - SW 6179 ARTICHOKE
- F** FIBER CEMENT SIDING
SIM TO NICHHA - VINTAGE WOOD
COLOR TO BE CEDAR
- G** CAST STONE DETAILING
COLOR SELECTED FROM SAMPLES
- H** METAL COPING
COLOR TO BE DARK BRONZE & PARCHMENT

NOTE: COLOR BASED ON STANDARD BERRIDGE
COLORS. ACTUAL COPING COLOR NAME MAY
DIFFER
- J** CANOPY SOFFIT
V-PANEL AS MANUFACTURED BY BERRIDGE.
COLOR TO BE CHARCOAL
(OR SIM)
- K** METAL PANEL
B-6 AS MANUFACTURED BY BERRIDGE.
COLOR TO BE MATTE BLACK
(OR SIM)

NOTE:
ALL PRE-FINISHED METAL FLASHING, SHEET
METAL, & OTHER FLASHING REQ'D BETWEEN
MATERIAL CHANGES OR CANOPY OR ROOF
TRANSITIONS TO BE SIMILAR IN COLOR TO
BERRIDGE'S DARK BRONZE - UNO

SUBMIT SAMPLES ON ALL EXTERIOR
MATERIALS LISTED ABOVE FOR ARCHITECTS
APPROVAL.



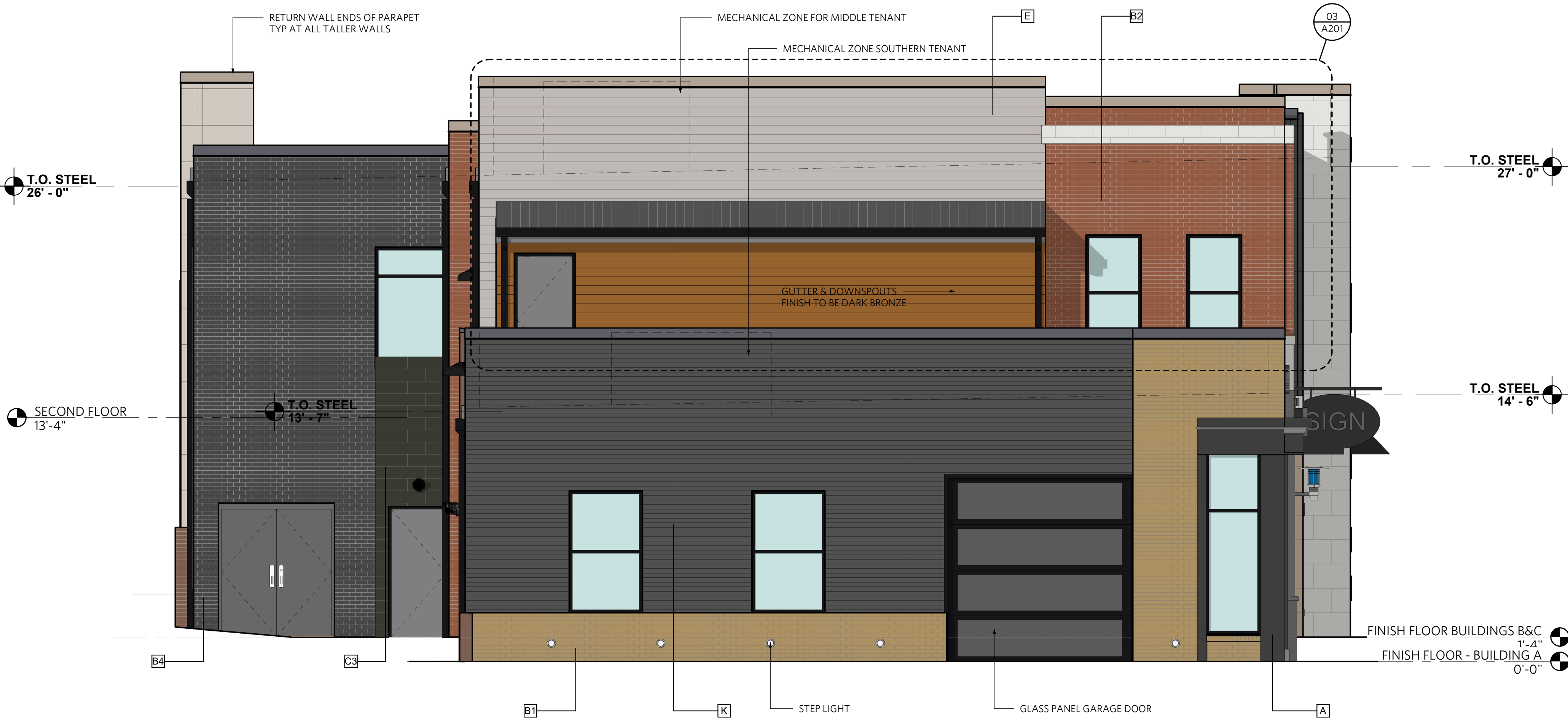
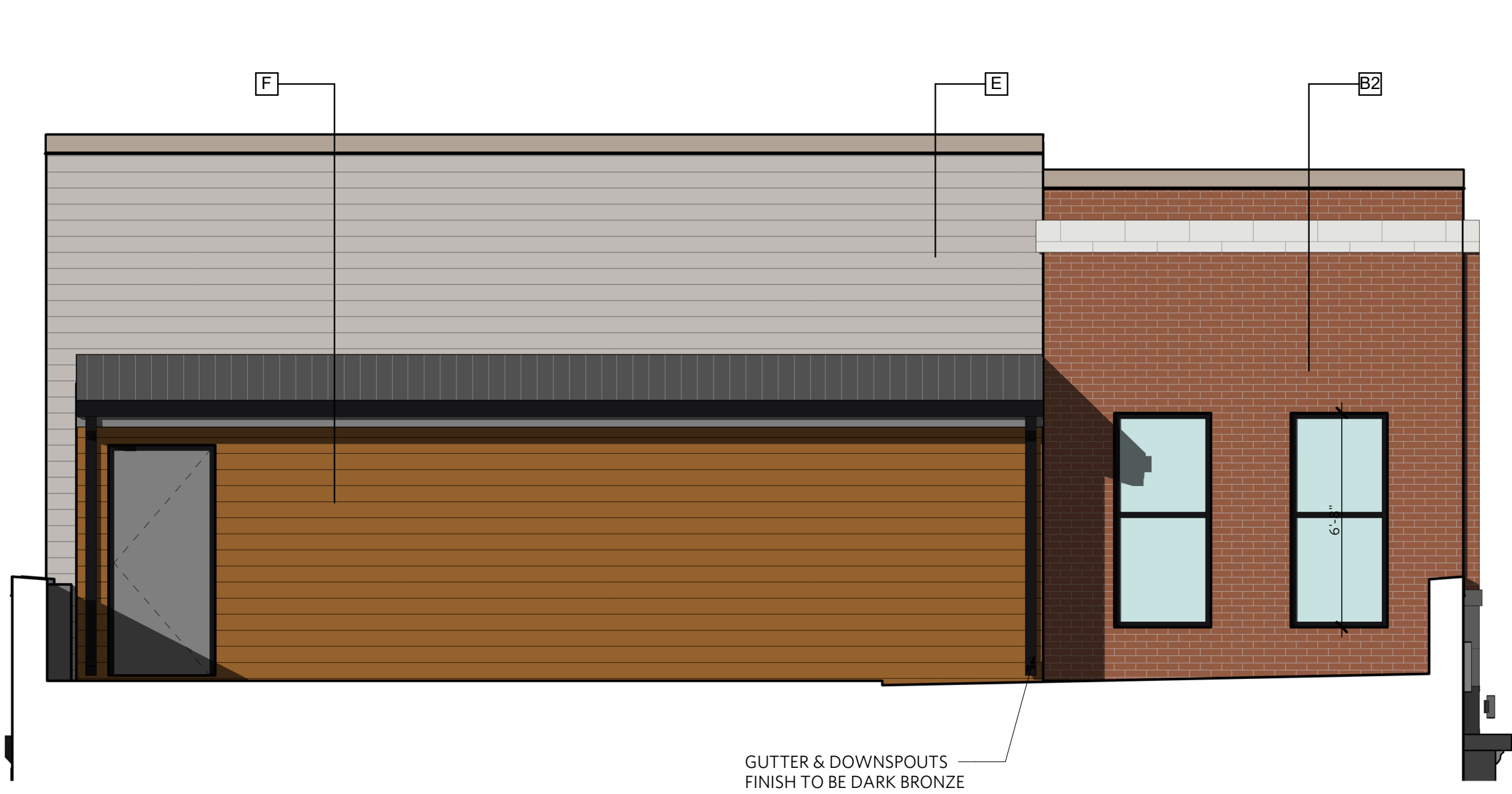
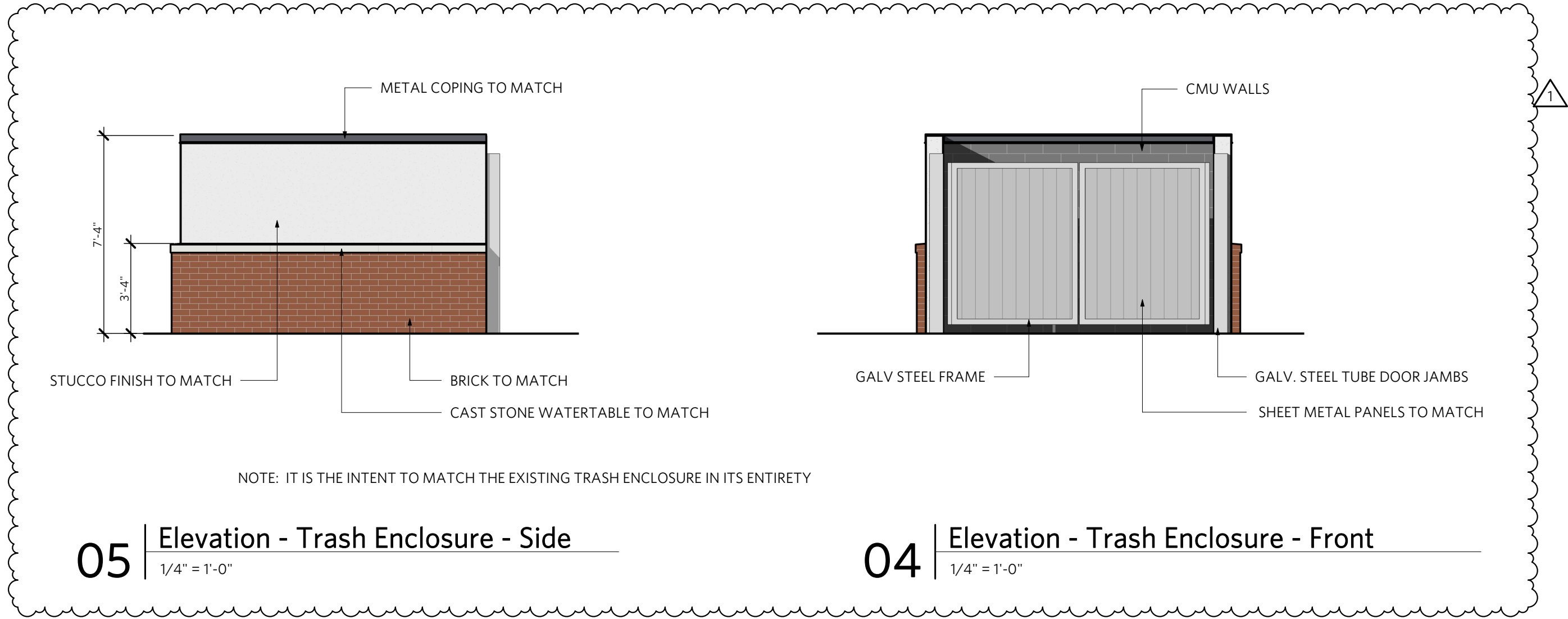
02 | DD - NORTH ELEVATION
1/4" = 1'-0"



01 | DD - WEST ELEVATION
1/4" = 1'-0"

GENERAL NOTES-EXTERIOR ELEVATION

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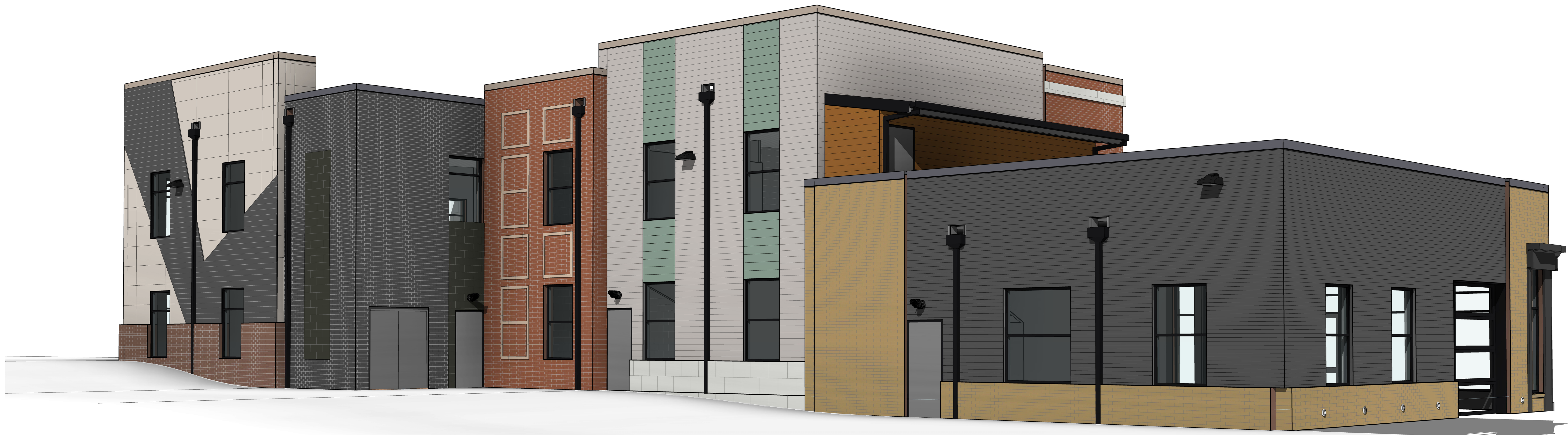
LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081

REV	ISSUE	DATE
1	PDP SUBMITTAL PDP Review	08.06.2020 08.26.2020

EXTERIOR
ELEVATIONS

A201



LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEE'S SUMMIT, MO 64081

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EXTERIOR IMAGERY

A210