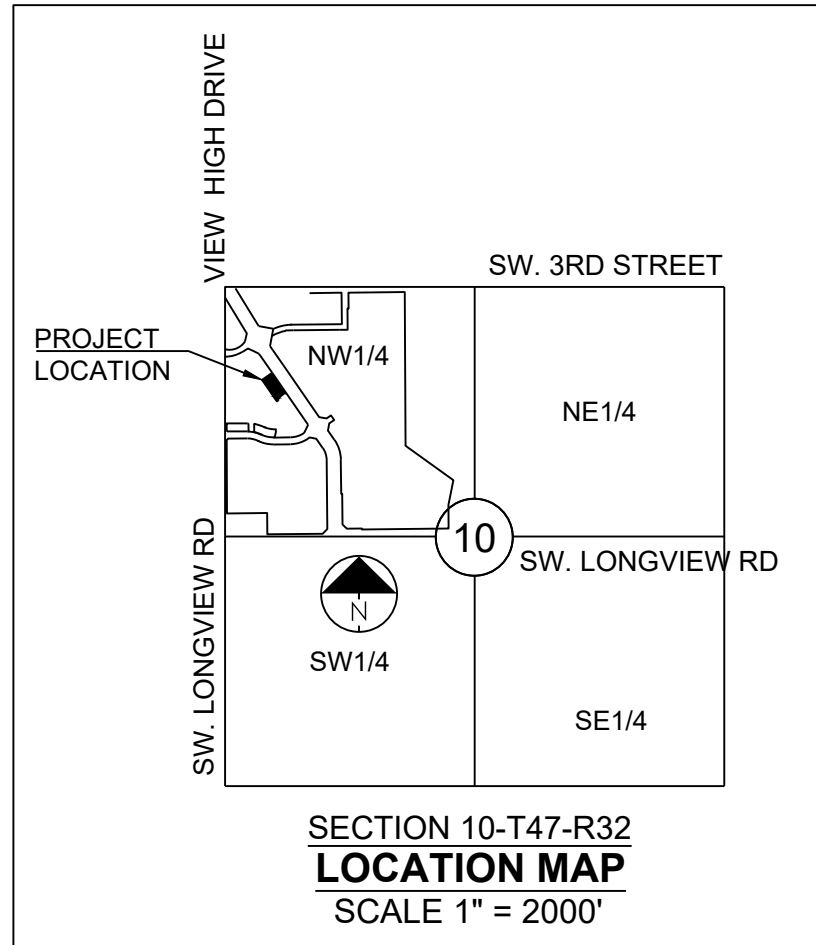


LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B



Parcel ID:  
62-420-29-09-00-0-00-000

#### SITE DATA TABLE

| LOT AREA:           | 29,886 SQ. FT. (0.69 AC) |                      |
|---------------------|--------------------------|----------------------|
|                     | EXISTING                 | PROPOSED             |
| BUILDING AREA       | 5,390 S.F. (18.03%)      | 11,535 S.F. (38.60%) |
| PAVEMENT/DRIVE AREA | 6,407 S.F. (21.44%)      | 13,437 S.F. (44.96%) |
| OPEN/LANDSCAPE AREA | 18,089 S.F. (60.53%)     | 4,914 S.F. (16.44%)  |

#### Site Information:

Legal Description:

Lot 7A, Minor Plat of TOWER PARK, Lots 7A and 7B, a subdivision in Lee's Summit, Jackson County, Missouri.

Lot Area: 29,886 Square Feet (0.69 Ac.)

Property Address (North Building):  
420-440 SW Longview Blvd.  
Lee's Summit, Missouri 64081

Existing Floor Area Ratio (F.A.R.) = 0.18  
Proposed Floor Area Ratio (F.A.R.) = 0.52

Current Zoning: PMIX - Planned Mixed Use

Proposed Zoning: PMIX - Planned Mixed Use - No Change

Current Use: Commercial (Extg. Vet-Clinic South) - Vacant (North)  
Proposed Use: Commercial - (Extg. Vet-Clinic South) - Commercial/Retail (North)

Required Parking: 3.15 Stalls/1,000 Square Feet\*

Total Office/Retail Area: = 15,625 Square Feet  
15,625/1,000 x 3.15 = 49.21  
Total Parking Required: = 49 Stalls

Total Parking Required: = 49 Stalls

# Proposed Parking: 49 Stalls (2 handicap-accessible stalls)  
Includes 18 Stalls at Adjacent Street Frontage (East)  
31 stalls at West/Southwest side of Lot 7

\* - Referenced Shared Parking Analysis (submitted under separate cover by owner)  
- Required Parking: Per PMIX Zoning District, parking requirements are established per approved Preliminary Plan. Shared parking and cross access agreements have been established per development area regulations/declarations to accommodate differing parking demands and offset peak hours among development tenants

#### PAVEMENT LEGEND:

|  |                                       |
|--|---------------------------------------|
|  | PROPOSED ASPHALT PAVEMENT             |
|  | EXISTING ASPHALT PAVEMENT             |
|  | PROPOSED 4" CONCRETE SIDEWALK         |
|  | PROPOSED CONCRETE PAVEMENT            |
|  | EXISTING CONCRETE SIDEWALK            |
|  | TYPE CG-1 CURB & GUTTER               |
|  | TYPE CG-1 CURB & GUTTER - DRY         |
|  | CONC. RIBBON CURB                     |
|  | EXISTING CURB & GUTTER                |
|  | REMOVE EXISTING ASPHALT PAVEMENT      |
|  | REMOVE EXISTING CONC. CURB AND GUTTER |

#### OIL/GAS WELL NOTE:

There are no Oil or Gas Wells located on this property as reported on the Missouri Department of Natural Resources Oil and Gas Permits website. It is the responsibility of the Owner/Developer to report and verify all Oil and Gas Wells discovered on the project site.

#### NOTE:

NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

#### PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

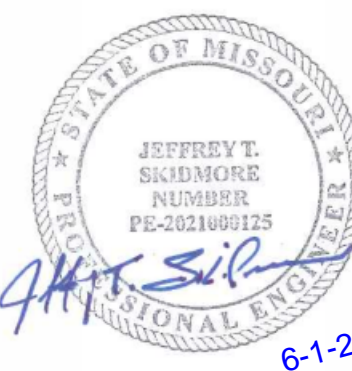
ELEV. 1004.09



1-800-344-7483 or 811  
mo1call.com



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

| REVISION DATE | DESCRIPTION |
|---------------|-------------|
| 1/2/2021      | 1.0         |
| 2/2/2021      | 2.0         |
| 3/2/2021      | 3.0         |
| 4/2/2021      | 4.0         |
| 5/2/2021      | 5.0         |
| 6/2/2021      | 6.0         |
| 7/2/2021      | 7.0         |
| 8/2/2021      | 8.0         |
| 9/2/2021      | 9.0         |
| 10/2/2021     | 10.0        |
| 11/2/2021     | 11.0        |
| 12/2/2021     | 12.0        |
| 1/2/2022      | 13.0        |
| 2/2/2022      | 14.0        |
| 3/2/2022      | 15.0        |
| 4/2/2022      | 16.0        |
| 5/2/2022      | 17.0        |
| 6/2/2022      | 18.0        |
| 7/2/2022      | 19.0        |
| 8/2/2022      | 20.0        |
| 9/2/2022      | 21.0        |
| 10/2/2022     | 22.0        |
| 11/2/2022     | 23.0        |
| 12/2/2022     | 24.0        |
| 1/2/2023      | 25.0        |
| 2/2/2023      | 26.0        |
| 3/2/2023      | 27.0        |
| 4/2/2023      | 28.0        |
| 5/2/2023      | 29.0        |
| 6/2/2023      | 30.0        |
| 7/2/2023      | 31.0        |
| 8/2/2023      | 32.0        |
| 9/2/2023      | 33.0        |
| 10/2/2023     | 34.0        |
| 11/2/2023     | 35.0        |
| 12/2/2023     | 36.0        |
| 1/2/2024      | 37.0        |
| 2/2/2024      | 38.0        |
| 3/2/2024      | 39.0        |
| 4/2/2024      | 40.0        |
| 5/2/2024      | 41.0        |
| 6/2/2024      | 42.0        |
| 7/2/2024      | 43.0        |
| 8/2/2024      | 44.0        |
| 9/2/2024      | 45.0        |
| 10/2/2024     | 46.0        |
| 11/2/2024     | 47.0        |
| 12/2/2024     | 48.0        |
| 1/2/2025      | 49.0        |
| 2/2/2025      | 50.0        |
| 3/2/2025      | 51.0        |
| 4/2/2025      | 52.0        |
| 5/2/2025      | 53.0        |
| 6/2/2025      | 54.0        |
| 7/2/2025      | 55.0        |
| 8/2/2025      | 56.0        |
| 9/2/2025      | 57.0        |
| 10/2/2025     | 58.0        |
| 11/2/2025     | 59.0        |
| 12/2/2025     | 60.0        |
| 1/2/2026      | 61.0        |
| 2/2/2026      | 62.0        |
| 3/2/2026      | 63.0        |
| 4/2/2026      | 64.0        |
| 5/2/2026      | 65.0        |
| 6/2/2026      | 66.0        |
| 7/2/2026      | 67.0        |
| 8/2/2026      | 68.0        |
| 9/2/2026      | 69.0        |
| 10/2/2026     | 70.0        |
| 11/2/2026     | 71.0        |
| 12/2/2026     | 72.0        |
| 1/2/2027      | 73.0        |
| 2/2/2027      | 74.0        |
| 3/2/2027      | 75.0        |
| 4/2/2027      | 76.0        |
| 5/2/2027      | 77.0        |
| 6/2/2027      | 78.0        |
| 7/2/2027      | 79.0        |
| 8/2/2027      | 80.0        |
| 9/2/2027      | 81.0        |
| 10/2/2027     | 82.0        |
| 11/2/2027     | 83.0        |
| 12/2/2027     | 84.0        |
| 1/2/2028      | 85.0        |
| 2/2/2028      | 86.0        |
| 3/2/2028      | 87.0        |
| 4/2/2028      | 88.0        |
| 5/2/2028      | 89.0        |
| 6/2/2028      | 90.0        |
| 7/2/2028      | 91.0        |
| 8/2/2028      | 92.0        |
| 9/2/2028      | 93.0        |
| 10/2/2028     | 94.0        |
| 11/2/2028     | 95.0        |
| 12/2/2028     | 96.0        |
| 1/2/2029      | 97.0        |
| 2/2/2029      | 98.0        |
| 3/2/2029      | 99.0        |
| 4/2/2029      | 100.0       |

SITE PLAN

SHEET

C1.0



LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

ELEV. 1004.09



1-800-344-7483 or 811  
mo1call.com

GRADING LEGEND:

- EX.XX EXTG. SPOT ELEVATION  
• XX.XX PROPOSED TOP OF CURB ELEV.  
• XX.XX PROPOSED PAVEMENT GRADE ELEV.  
OR LIP OF CURB ELEVATION  
F.F.E. FINISHED FLOOR ELEVATION  
- - - 1023 - - - EXISTING CONTOUR  
— 1023 — PROPOSED CONTOUR

\* - ALL SIDEWALKS TO BE INSTALLED WITH A 1.5% MAXIMUM  
CROSS SLOPE.

PAVEMENT LEGEND:

- PROPOSED ASPHALT PAVEMENT  
EXISTING ASPHALT PAVEMENT  
PROPOSED 4" CONCRETE SIDEWALK  
PROPOSED CONCRETE PAVEMENT  
EXISTING CONCRETE SIDEWALK  
TYPE CG-1 CURB & GUTTER  
TYPE CG-1 CURB & GUTTER - DRY  
CONC. RIBBON CURB  
EXISTING CURB & GUTTER  
REMOVE EXISTING ASPHALT PAVEMENT  
X=X=X=X=X=X REMOVE EXISTING CONC. CURB AND GUTTER

GRADING NOTES:

- NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY SCHLAGEL AND ASSOCIATES, P.A. - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

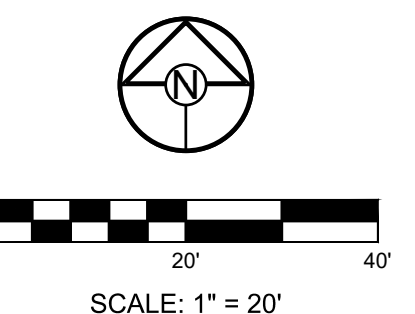
TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

| REVISION DATE | DESCRIPTION |
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| 100           |             |

GRADING PLAN

SHEET

C2.0





LOT 3  
COMMERCIAL-PHASE 2  
E COMMUNITIES INC

LOT 5  
COMMERCIAL-PHASE 2  
TRACTS A&B  
TOWER PARK DRIVE  
NEW LONGVIEW LLC

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



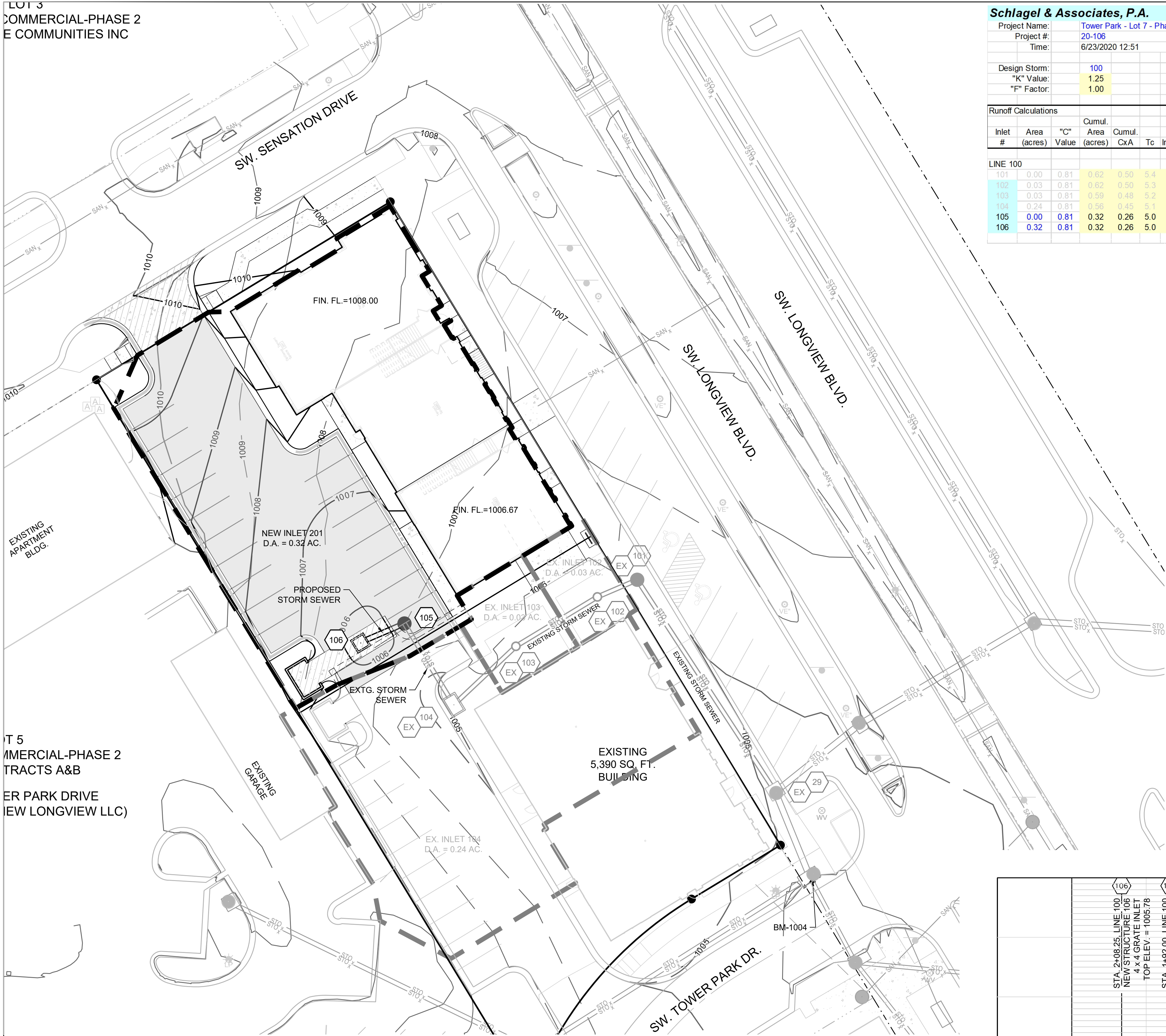
1-800-344-7483 or 811  
mo1call.com

PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

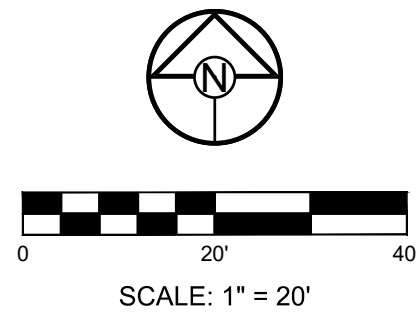
ELEV. 1004.09



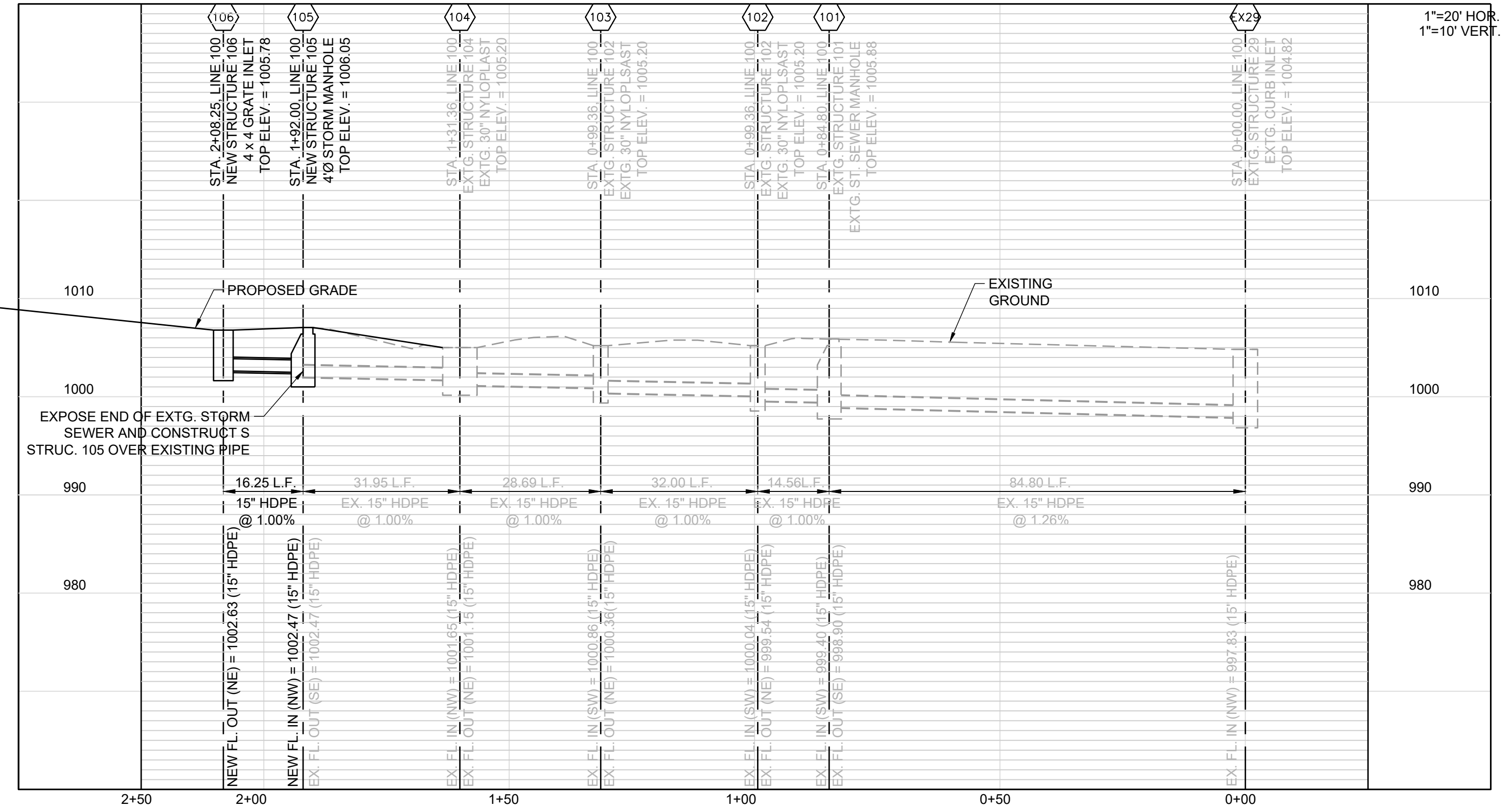
Schlagel & Associates, P.A.

|               |                              |            |              |
|---------------|------------------------------|------------|--------------|
| Project Name: | Tower Park - Lot 7 - Phase 2 | Curb Type: | CG-1         |
| Project #:    | 20-106                       | City:      | Lee's Summit |
| Time:         | 6/23/2020 12:51              |            |              |
| Design Storm: | 100                          |            |              |
| "K" Value:    | 1.25                         |            |              |
| "F" Factor:   | 1.00                         |            |              |

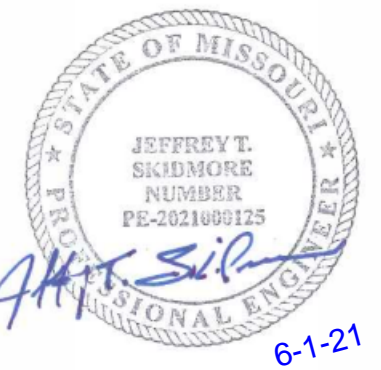
| Runoff Calculations |              |           |                     |             |     |           |                 |               |           |           |                  |                  |                 | Pipe Properties |          |            |           |           |           |        |         |               |         |         |           |           |  |
|---------------------|--------------|-----------|---------------------|-------------|-----|-----------|-----------------|---------------|-----------|-----------|------------------|------------------|-----------------|-----------------|----------|------------|-----------|-----------|-----------|--------|---------|---------------|---------|---------|-----------|-----------|--|
| Inlet #             | Area (acres) | "C" Value | Cumul. Area (acres) | Cumul. Cx/A | To  | Intensity | Runoff To Inlet | Cumul. Runoff | Pipe Cap. | Pipe Vel. | Up Piped Inlet 1 | Up Piped Inlet 2 | Up Area (acres) | Up Cx/A         | Up Inlet | Down Inlet | Pipe Type | "n" Value | Pipe Size | Length | Slope % | Drop In Inlet | FL Up   | FL Down | Inlet Top | HGL Elev. |  |
| LINE 100            |              |           |                     |             |     |           |                 |               |           |           |                  |                  |                 |                 |          |            |           |           |           |        |         |               |         |         |           |           |  |
| 101                 | 0.00         | 0.81      | 0.62                | 0.50        | 5.4 | 10.17     | 0.00            | 6.39          | 7.86      | 6.40      |                  |                  | 0.00            | 0.00            | 101      |            | PEP       | 0.012     | 15        | 84.80  | 1.26    | 0.50          | 998.90  | 997.63  | 1005.58   | 1000.19   |  |
| 102                 | 0.03         | 0.81      | 0.62                | 0.50        | 5.3 | 10.19     | 0.31            | 6.40          | 7.00      | 5.70      |                  |                  | 0.00            | 0.00            | 102      | 101        | PEP       | 0.012     | 15        | 14.56  | 1.00    | 0.50          | 999.40  | 999.40  | 1005.20   | 1000.84   |  |
| 103                 | 0.03         | 0.81      | 0.59                | 0.48        | 5.2 | 10.23     | 0.31            | 6.11          | 7.00      | 5.70      |                  |                  | 0.00            | 0.00            | 103      | 102        | PEP       | 0.012     | 15        | 32.00  | 1.00    | 0.50          | 1000.36 | 1000.04 | 1005.20   | 1001.63   |  |
| 104                 | 0.24         | 0.81      | 0.56                | 0.45        | 6.1 | 10.26     | 2.49            | 5.87          | 7.00      | 5.70      |                  |                  | 0.00            | 0.00            | 104      | 103        | PEP       | 0.012     | 15        | 28.69  | 1.00    | 0.50          | 1001.15 | 1000.86 | 1005.00   | 1002.38   |  |
| 105                 | 0.00         | 0.81      | 0.32                | 0.26        | 5.0 | 10.30     | 0.00            | 3.34          | 7.00      | 5.70      |                  |                  | 0.00            | 0.00            | 105      | 104        | PEP       | 0.012     | 15        | 31.95  | 1.00    | 0.50          | 1001.97 | 1001.65 | 1006.05   | 1002.86   |  |
| 106                 | 0.32         | 0.81      | 0.32                | 0.26        | 5.0 | 10.32     | 3.34            | 3.34          | 7.00      | 5.70      |                  |                  | 0.00            | 0.00            | 106      | 105        | PEP       | 0.012     | 15        | 16.25  | 1.00    | N/A           | 1002.63 | 1002.47 | 1005.75   | 1003.52   |  |



STORM LINE 100 PROFILE



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

| STORM SEWER<br>PLAN AND<br>PROFILE |      | REVISION DATE                | DESCRIPTION |
|------------------------------------|------|------------------------------|-------------|
| SHEET                              | C3.0 | DRAWN BY:<br>####            | 1           |
|                                    |      | CHECKED BY:<br>####          | 2           |
|                                    |      | DATE PREPARED:<br>08/01/2021 | 3           |
|                                    |      | PROJ. NUMBER:<br>20-108      | 4           |
|                                    |      |                              | 5           |
|                                    |      |                              | 6           |
|                                    |      |                              | 7           |
|                                    |      |                              | 8           |
|                                    |      |                              | 9           |



LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW LLC)  
LOT 6  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413  
ELEV. 1004.09

UTILITY INFORMATION & CONTACTS:

Missouri Gas Energy  
Attn: Lucas Walls  
3025 Southeast Clover Drive  
Lee's Summit, Missouri 64082  
Phone: (816) 969-2218  
Email: lucas.walls@sug.com

Kansas City Power & Light  
Attn: Phillip Ingram  
1300 Hamblen Road  
Lee's Summit, Missouri 64081  
Phone: (816) 347-4339  
Email: phillip.ingram@kcpl.com

Sewer and Water - City of Lee's Summit  
220 SE Green Street  
Lee's Summit, Missouri 64063  
Phone: (816) 969-1900  
Email: publicworks@cityofs.net

AT&T  
Attn: Herb Upshaw  
9444 Nall Avenue  
Overland Park, Kansas 66207  
Phone: (913) 383-4929  
Email: hu4112@att.com

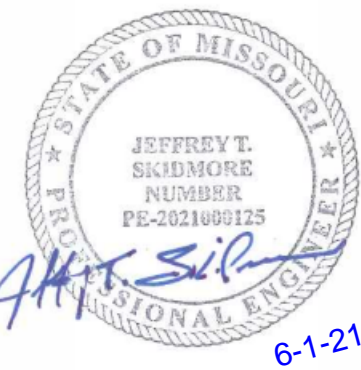
811  
Missouri One Call - 1-800-344-7483

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM  
FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO  
GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE  
ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON.  
THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE  
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION  
AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE  
SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND  
UTILITIES.



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

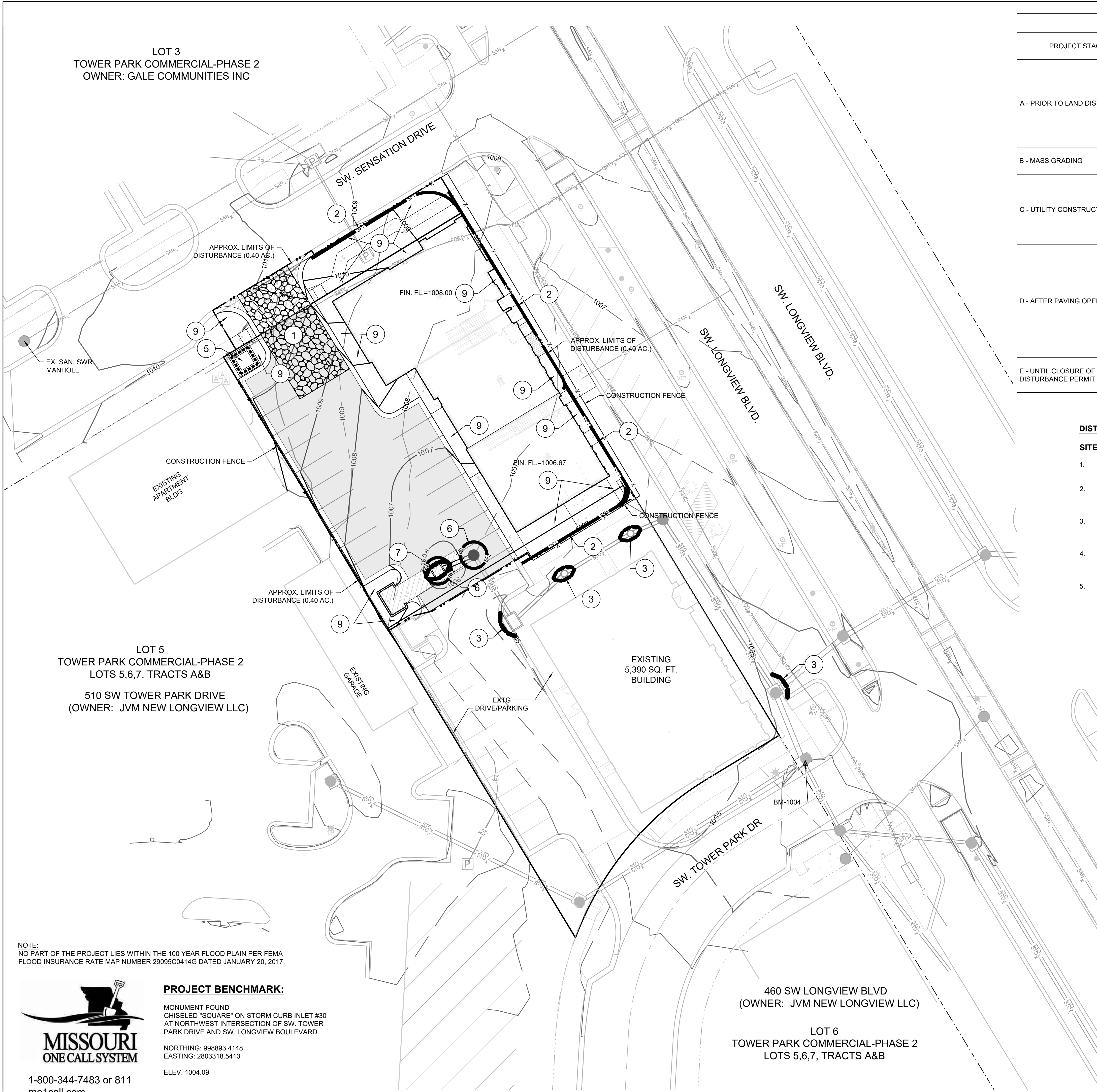
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| DRAWN BY:      | ###        |
| CHECKED BY:    | ###        |
| DATE PREPARED: | 06/01/2021 |
| PROJ. NUMBER:  | 20-106     |

SITE UTILITY  
PLAN

SHEET  
C4.0





| EROSION AND SEDIMENT CONTROL STAGING CHART   |                  |   |                    |  |
|--|------------------|---|--------------------|--|
| PROJECT STAGE                                | BMP PLAN REF. NO | BMP DESCRIPTION   | REMOVE AFTER STAGE | NOTES:   |
| A - PRIOR TO LAND DISTURBANCE                | 1                | CONSTRUCTION ENTRANCE & STAGING AREA                        | D                  | MAINTAIN, REPAIR, OR REPLACE AS NECESSARY  |
|  | 2                | SILT FENCE (PRIOR TO LAND DISTURBANCE)                      | E                  | PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED   |
|  | 3                | EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP) | E                  | PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED   |
| B - MASS GRADING                             | 4                | SILT FENCE (DURING CONSTRUCTION)                            | E                  | PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED   |
| C - UTILITY CONSTRUCTION                     | 5                | CONCRETE WASHOUT AREA                                       | E                  | MAINTAIN, REPAIR, OR REPLACE AS NECESSARY  |
|  | 6                | INLET PROTECTION (SILT FENCE)                               | D/E                | PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED SILT FENCE REMOVED & REPLACE WITH #7 BELOW WITH PLACEMENT OF TOPS AND/OR STABILIZATION OF DRAINAGE AREAS.                             |
| D - AFTER PAVING OPERATIONS                  | 7                | INLET PROTECTION (GRAVEL FILTER BAGS)                       | E                  | BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED |
|  | 8                | SILT FENCE (AFTER CURB CONSTRUCTION)                        | E                  | PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED   |
|  | 9                | SEEDING AND MULCHING  | E                  | ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY   |
| E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT | 10               |   |                    | ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.  |

**DISTURBED AREA = 0.40 A.C.**

**SITE SPECIFIC NOTES:**

1.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2.

THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
3.

NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.
4.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
5.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
6.

STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
7.

ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
8.

SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
9.

AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

| LEGEND |   |
|--------|---|
|        | TEMPORARY STORAGE AREA FOR EXCESS MATERIAL                  |
|        | TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA                |
|        | CONCRETE WASHOUT AREA                                       |
|        | SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS |
|        | ROCK DITCH CHECK  |
|        | GRAVEL CURB INLET SEDIMENT TRAP                             |
|        | SILT SOCK / ROCK SOCK / SOCK WATTLE                         |
|        | BMP PLAN REF. NO.   |
|        | SF1 SILT FENCE (PRIOR TO LAND DISTURBANCE)                  |
|        | SF2 SILT FENCE (DURING CONSTRUCTION)                        |
|        | X CONSTRUCTION FENCE  |
|        | .. LIMITS OF DISTURBANCE                                    |
|        | 965 EXISTING CONTOURS                                       |
|        | 965 PROPOSED CONTOURS                                       |
|        | STRAW BALE DITCH CHECK                                      |
|        | GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY               |

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811  
mo1call.com

**PROJECT BENCHMARK:**

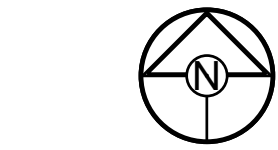
MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

ELEV. 1004.09

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW LLC)

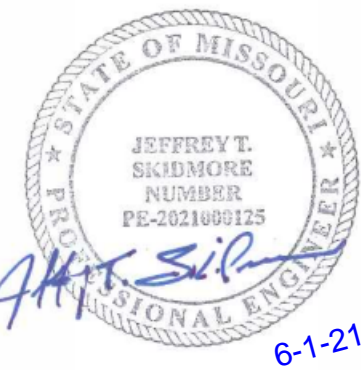
LOT 6  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B



0 20' 40'  
SCALE: 1" = 20'



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

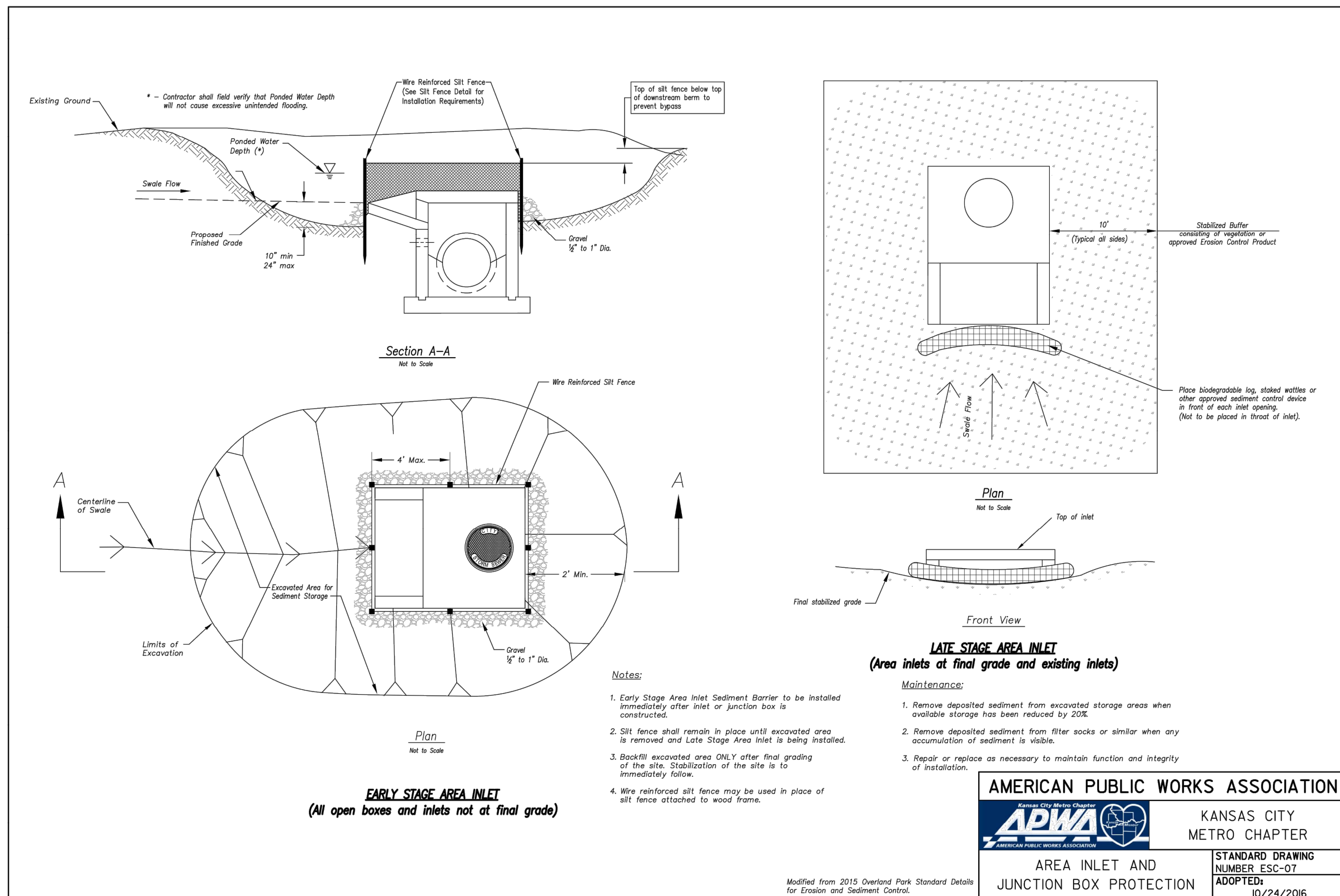
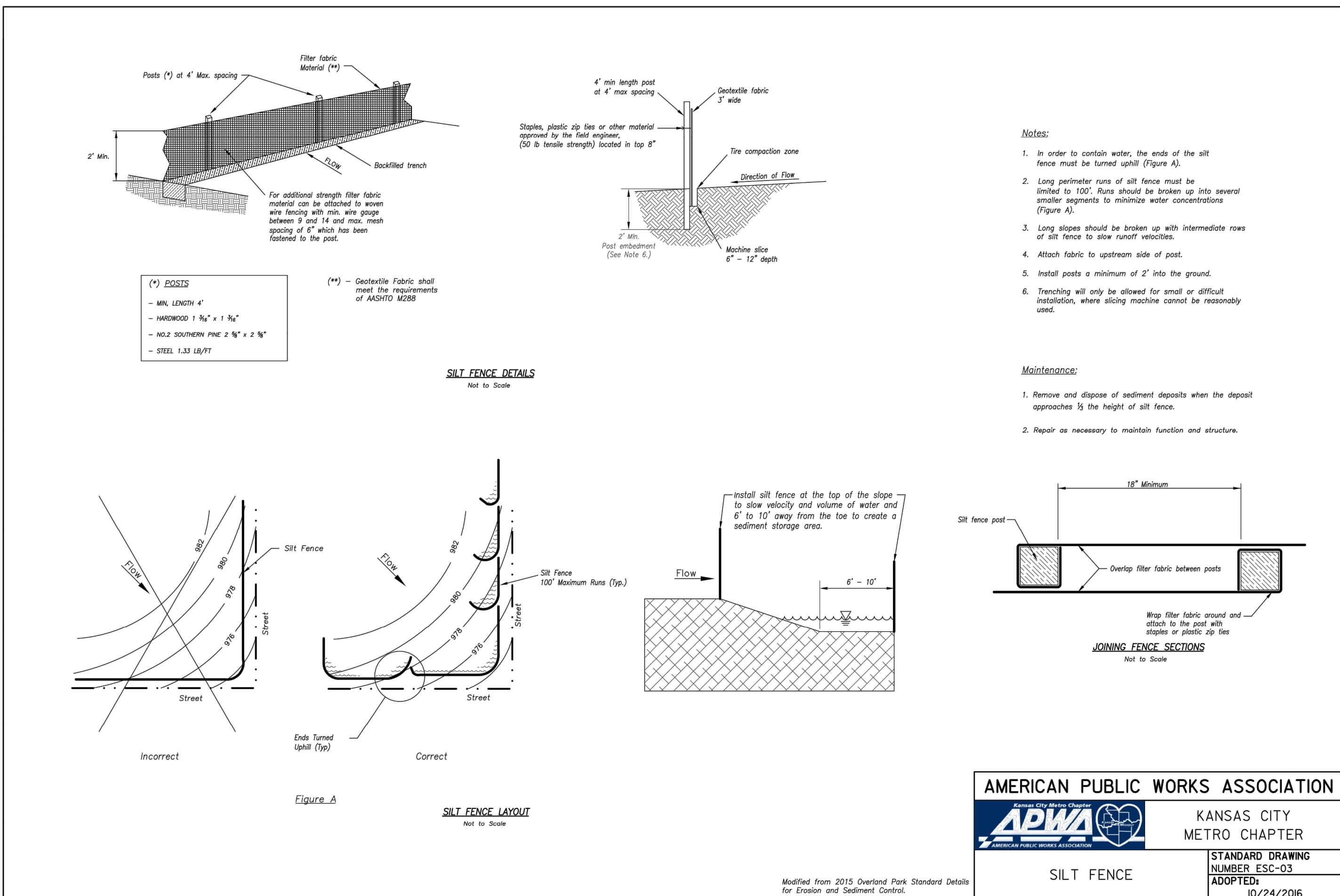
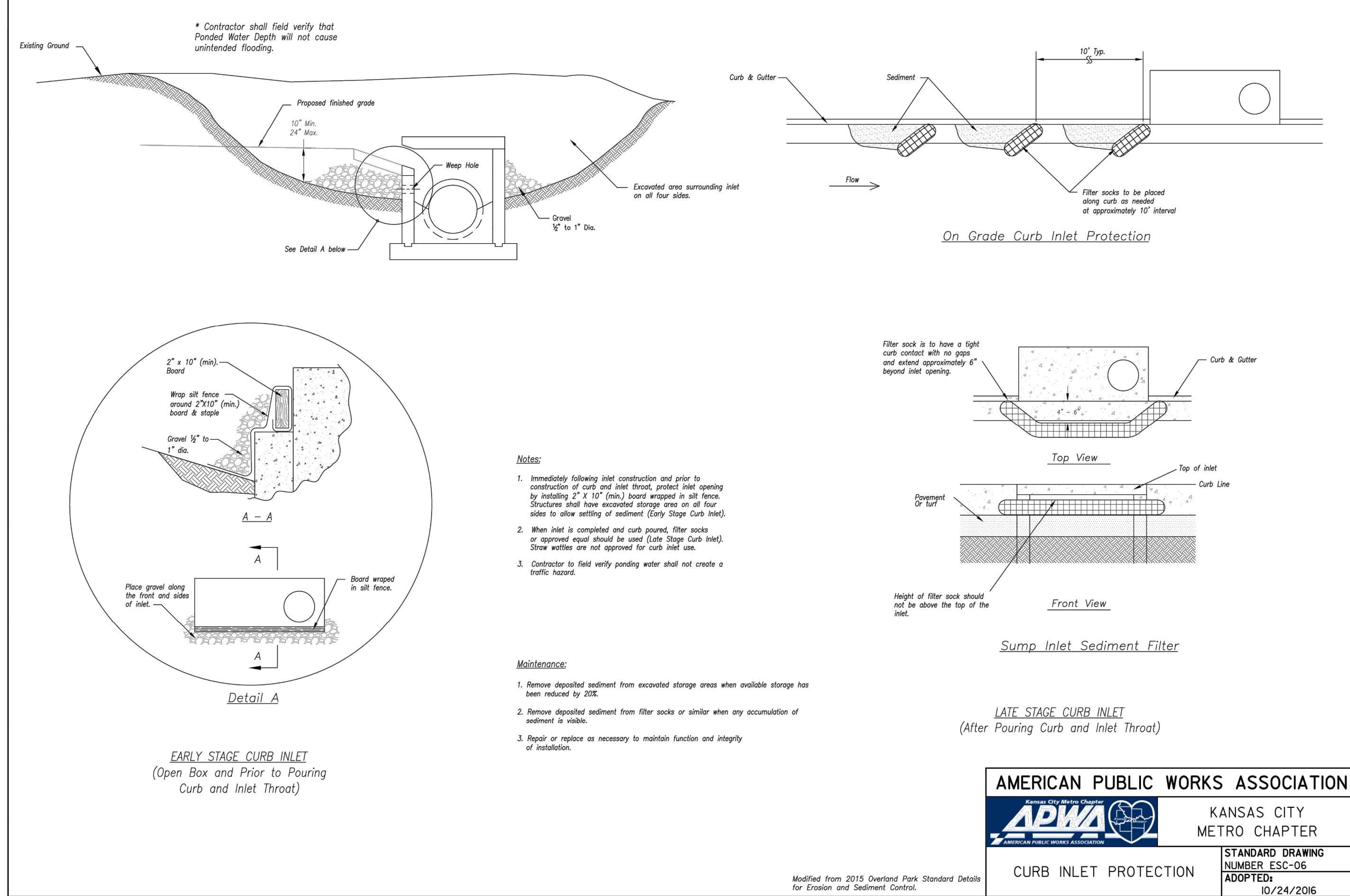
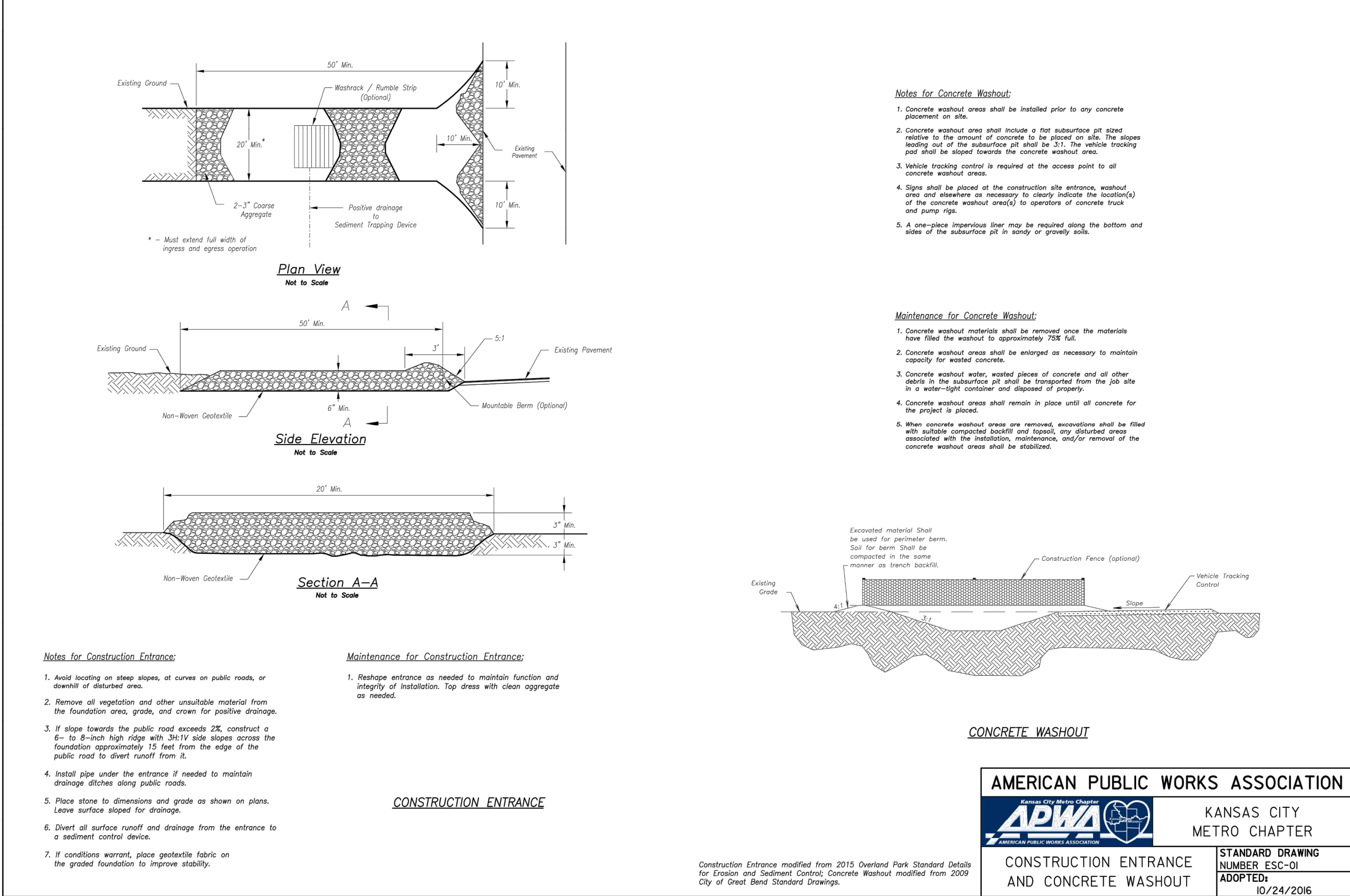
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EROSION  
CONTROL PLAN

SHEET

C5.0





PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

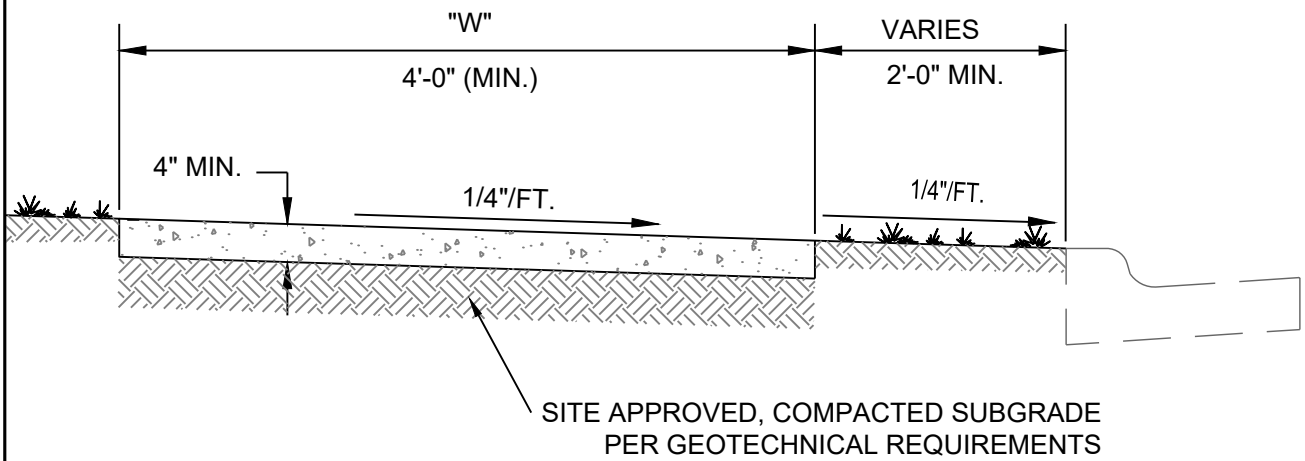
TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

| REVISION | DATE       | DESCRIPTION |
|----------|------------|-------------|
| 1        | 10/24/2016 | Final       |
| 2        | 10/24/2016 | Final       |
| 3        | 10/24/2016 | Final       |
| 4        | 10/24/2016 | Final       |
| 5        | 10/24/2016 | Final       |
| 6        | 10/24/2016 | Final       |
| 7        | 10/24/2016 | Final       |
| 8        | 10/24/2016 | Final       |
| 9        | 10/24/2016 | Final       |
| 10       | 10/24/2016 | Final       |

EROSION CONTROL DETAILS

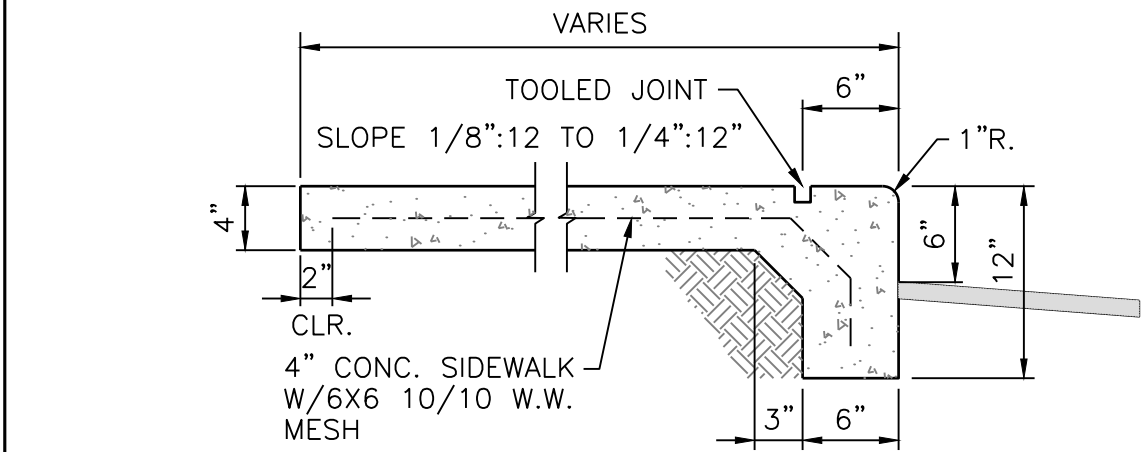
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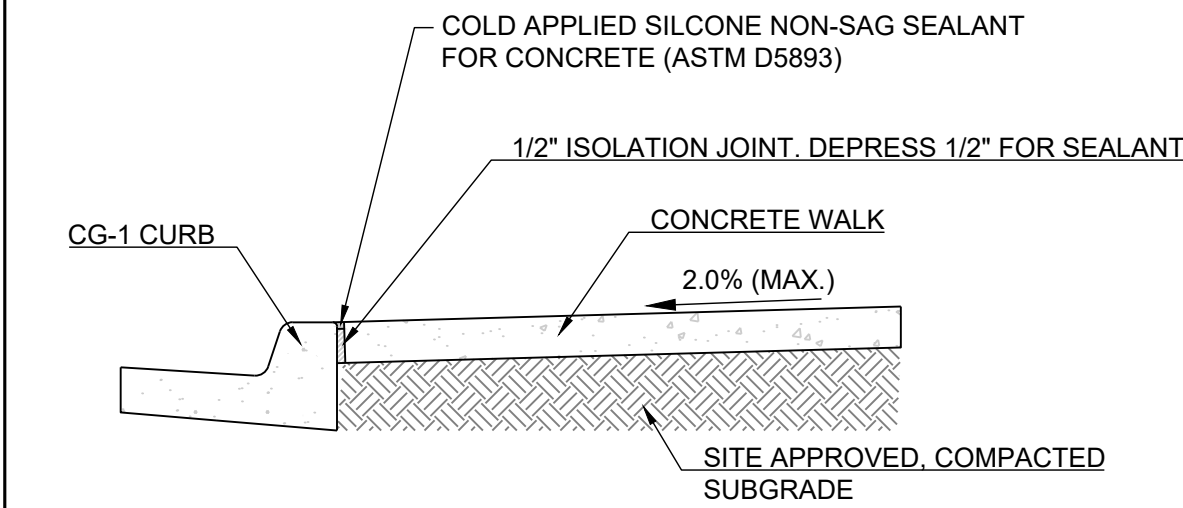


- NOTES:
1. TYPE 1 JOINTS SHALL BE PLACED "W" CENTERS.
  2. TYPE THREE JOINTS SHALL BE PLACED AT 250' CENTERS AND WHERE WALK ABUTS EXISTING CONCRETE.
  3. ALL CONCRETE SHALL BE KCMMB-4K.
  4. WHEN UTILITY SERVICE BOXES, METER BOXES, ETC. WHICH MEASURE LESS THAN 1 FT. SQUARE MUST BE PLACED IN THE SIDEWALK, THE UTILITY SERVICE BOXES, ETC. SHALL BE NO CLOSER TO ANY EDGE OF THE SIDEWALK PANEL THAN 1 FT.
  5. WHEN UTILITY BOXES, METER BOXES, ETC. GREATER THAN 1 FT. IN ANY DIMENSION MUST BE PLACED IN THE SIDEWALK, THEY SHALL BE PLACED IN THE CORNER OF THE SIDEWALK PANEL.
  6. AN ISOLATION JOINT SHALL BE PLACED BETWEEN THE CONCRETE AND ANY UTILITY BOX, ETC. WHICH IS PLACED IN THE SIDEWALK.
  7. NO SECTION OF SIDEWALK LESS THEN 12" IN ANY DIMENSION. (HORIZONTAL)
  8. AB-3 MAY BE USED AS A LEVELING COURSE. AB-3 MUST BE MOIST (MIN. 5% MOISTURE) AND COMPACTED. DEPTH OF LEVELING COURSE SHALL NOT EXCEED 6". CLEAN ROCK WILL NOT BE ALLOWED.

## TYPICAL CONCRETE SIDEWALK DETAILS

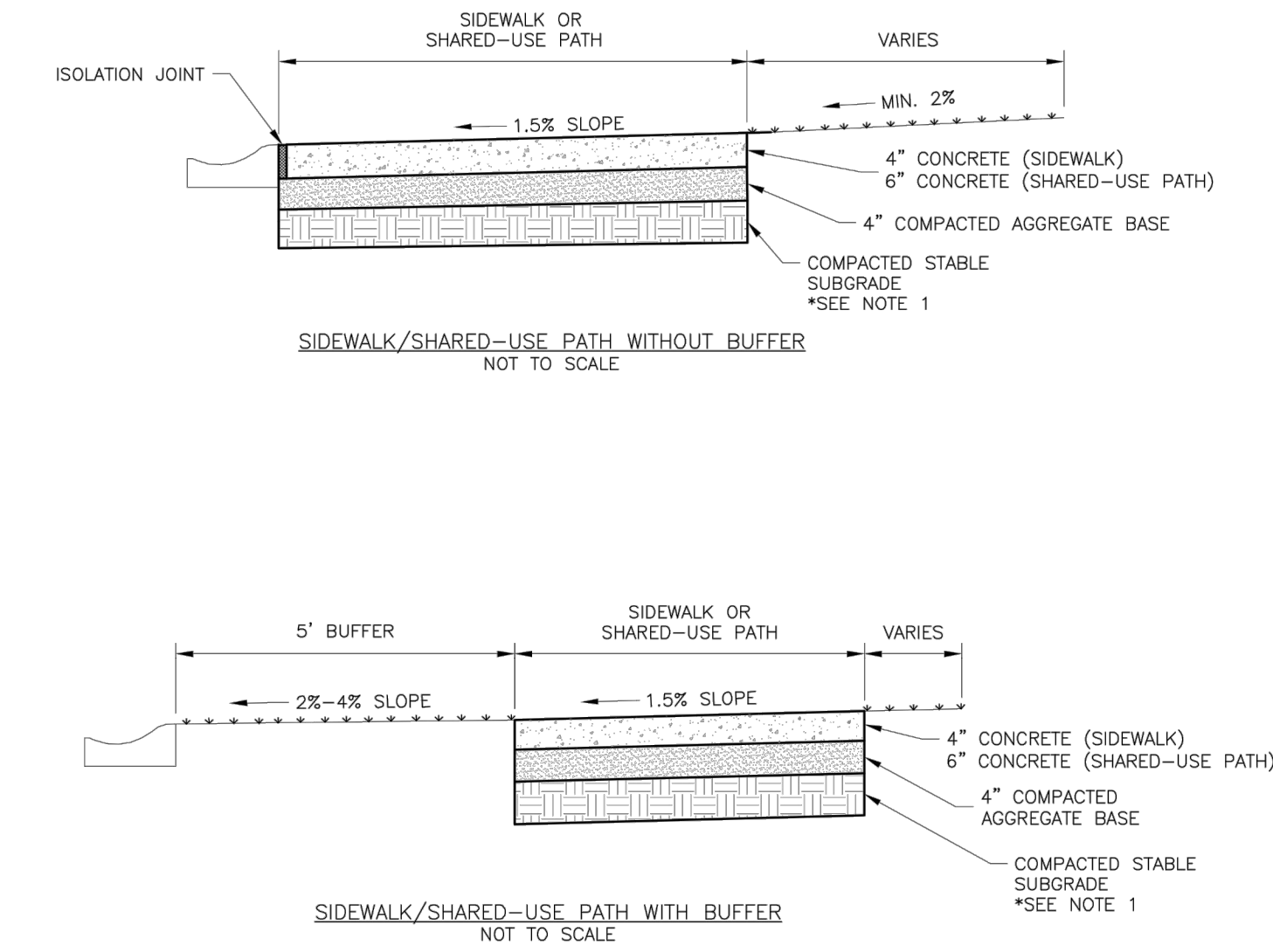


## INTEGRAL CURB/SIDEWALK DETAIL



- A. Expansion- and Isolation-Joint-Filler Strips: ASTM D994, D1751 or D1752.
- B. Cold Applied Joint Sealant : Single Component, Nonsag, Silicone Joint Sealant for Concrete: ASTM D5893, Type NS

## SIDEWALK @ BACK OF CURB DETAIL



- GENERAL NOTES:
1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
  3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
  4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
  5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
  6. SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
  7. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
  8. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

DATE: 04/17

DRAWN BY: MJF

CHECKED BY: DL

GEN-2

NOTE:

1. ASPHALT CAP OR FULL DEPTH CONCRETE SHALL BE DETERMINED BY CITY INSPECTOR.

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

DATE: 04/17

DRAWN BY: MJF

CHECKED BY: DL

GEN-5

GENERAL NOTES:

1. SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL).
3. JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
4. KCMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
5. COMMERCIAL DRIVEWAYS AND DRIVEWAY APPROACHES, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMMB 4K CONCRETE MIX.
6. A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
8. 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
9. SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
10. THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

GENERAL NOTE:

ALL NEW CURB AND GUTTER SHALL BE INSTALLED ON AN AGGREGATE BASE, A STABILIZED SUBGRADE OR GEOGRID EXTENDING A MINIMUM OF 1 FOOT (1.0') BEHIND THE BACK OF CURB.

GENERAL NOTES:

1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MJF

Checked By: DL

Date: 04/17

Proj. #:

GEN-1

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MJF

Checked By: DL

Date: 04/17

Proj. #:

GEN-4

SCHLAGEL

ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215

(913) 492-5158 • Fax: (913) 492-8400

WWW.SCHLAGELASSOCIATES.COM

Missouri State Certificates of Authority

#E2002003600-F #LAC001005237 #LS2002008659-F

PREPARED BY:

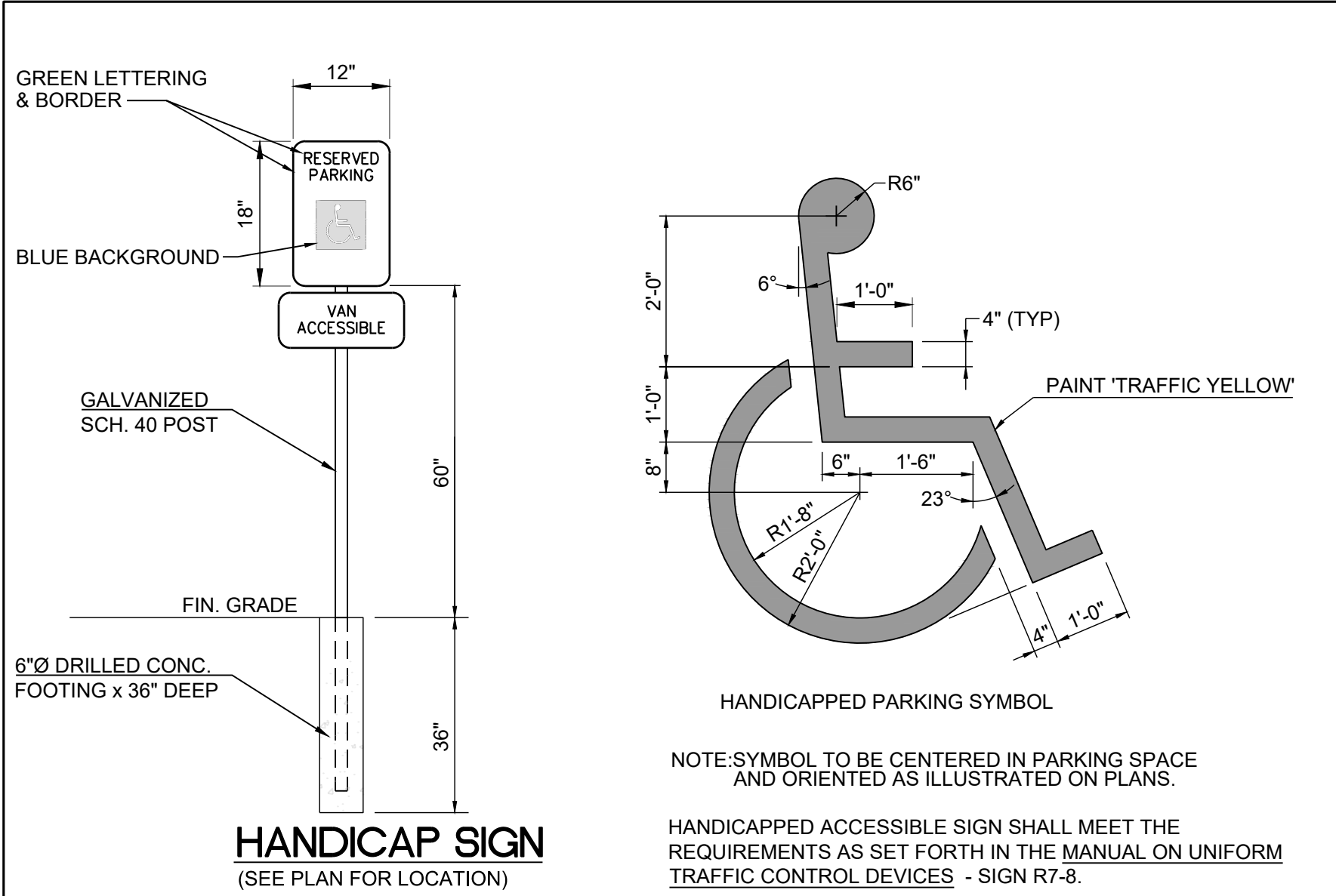
SCHLAGEL & ASSOCIATES, P.A.

## TOWER PARK COMM. - LOT 7 - NORTH BLDG. FINAL DEVELOPMENT PLANS 420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

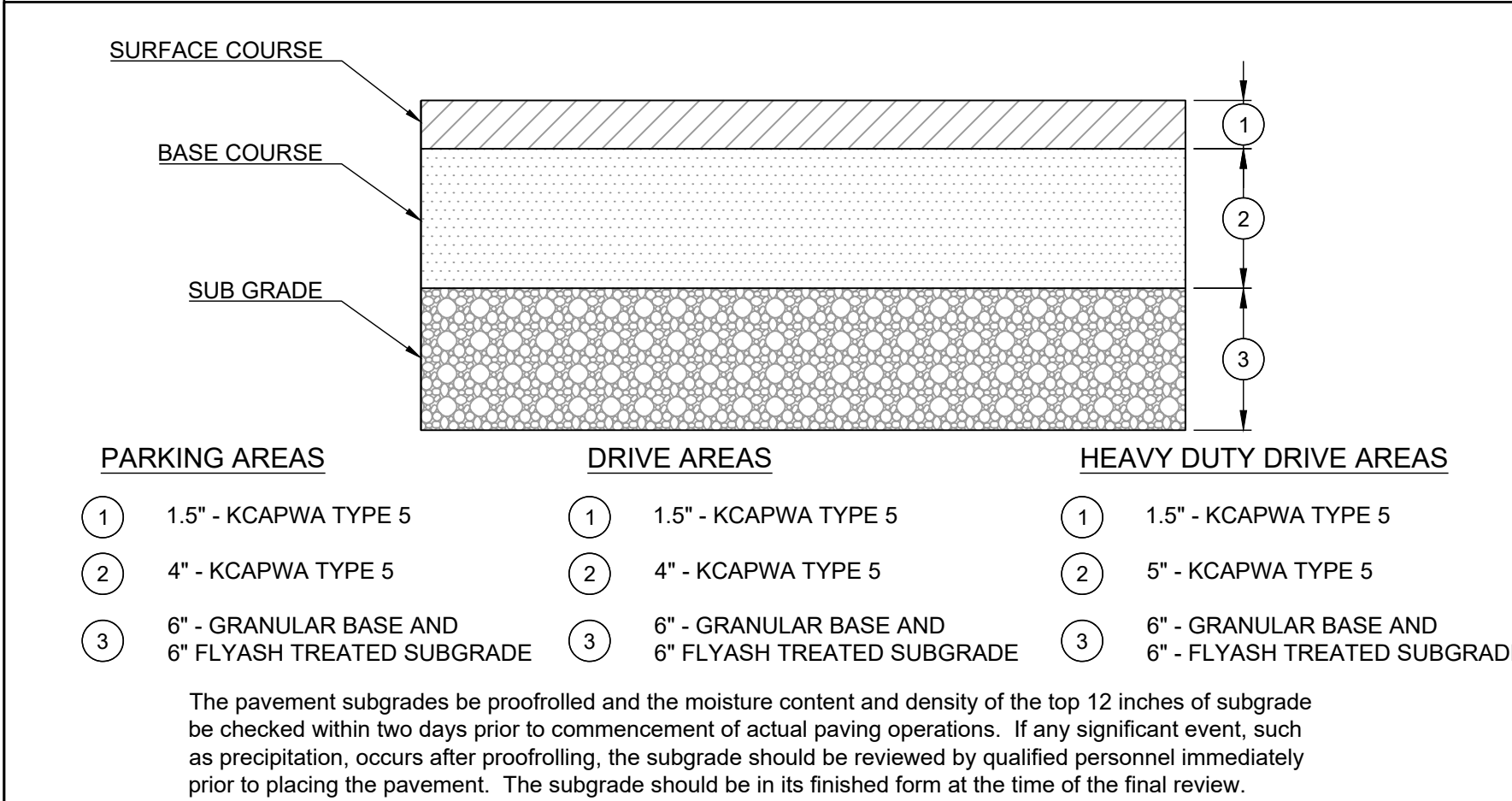
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| DRAWN BY: ###           | CHECKED BY: ### | DATE PREPARED: 06/01/2021 | PROJ. NUMBER: 20-106 |
| SIDEWALK & CURB DETAILS |                 |                           |                      |
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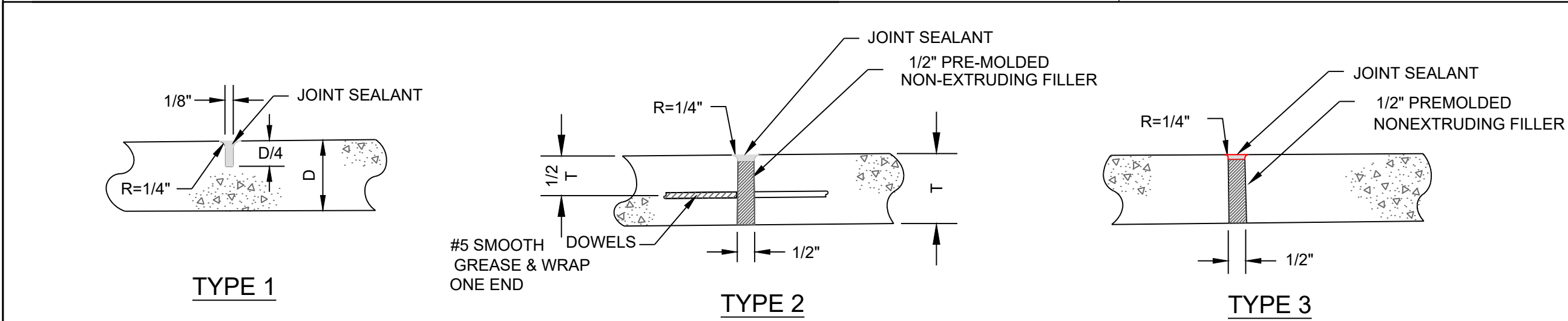




## TYPICAL HANDICAPPED DETAILS



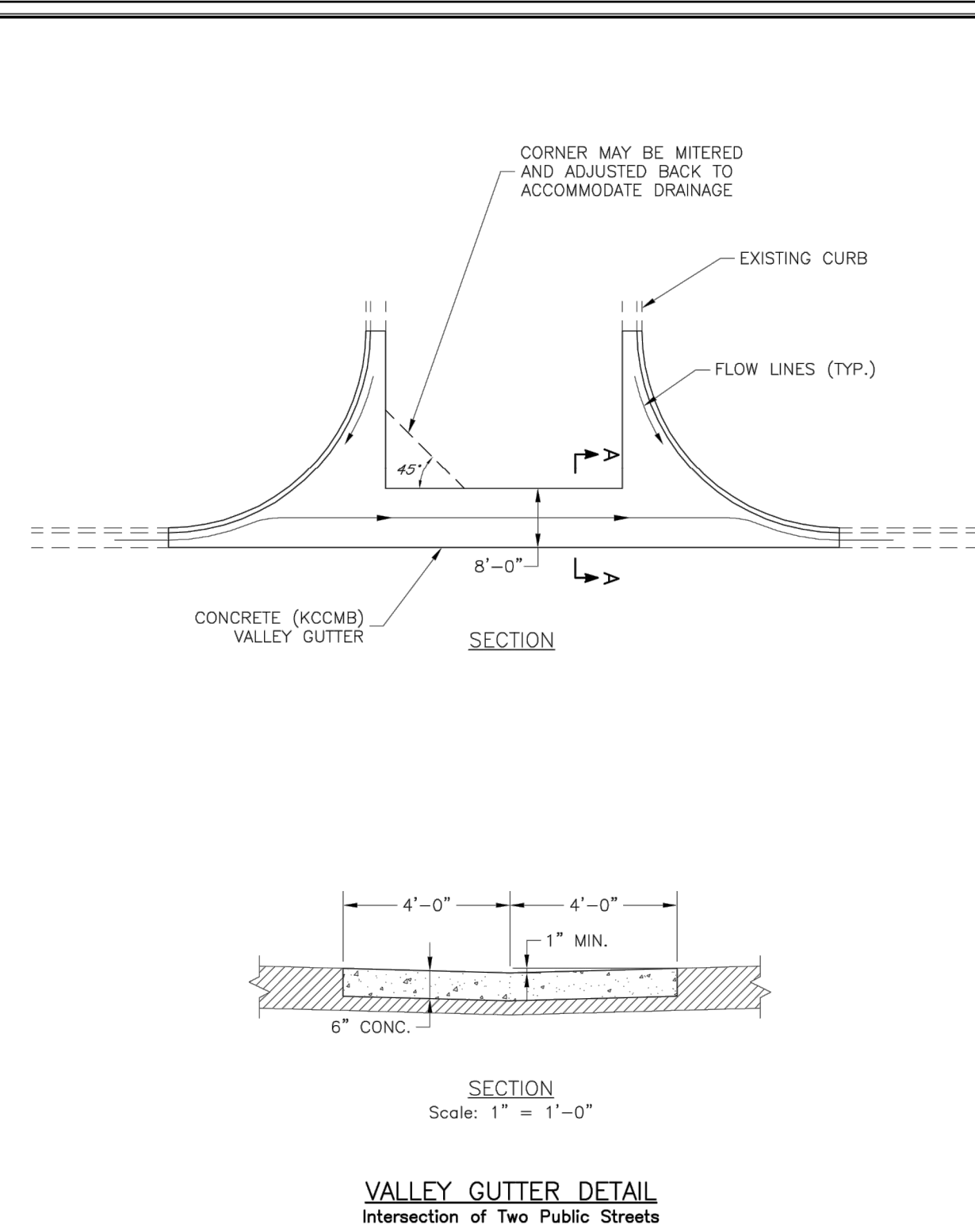
## ASPHALT PAVEMENT SECTION



## CONCRETE PAVEMENT SECTION

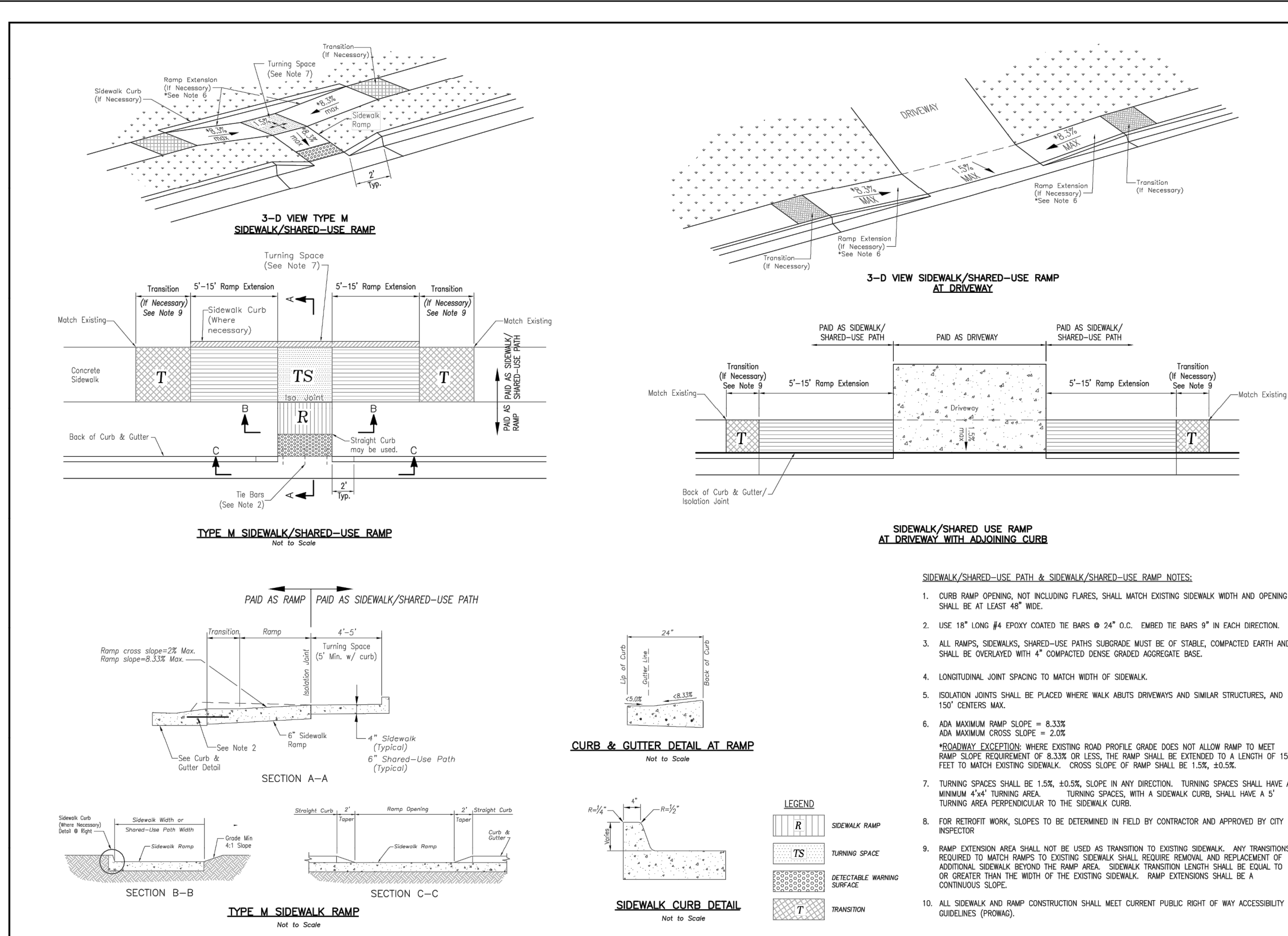
- NOTES:**
- TYPE 1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.
  - TYPE 1 JOINTS SHALL BE SPACE TO EQUAL THE WIDTH OF THE SIDEWALK.
- NOTES:**
- TYPE 2 JOINTS SHALL BE PLACED @ ALL P.C.'s, P.T.'s AND TRANSITIONS, AND WHERE NEW WALK TIES INTO EXISTING WALK.
  - SMOOTH BARS SHALL BE 24" LONG.
- NOTE:**
- TYPE 3 JOINTS SHALL BE PLACED WHERE NEW CONCRETE ABUTS EXISTING CONCRETE AND IN AREAS WHERE DOWEL BARS ARE NOT REQUIRED BY THE ENGINEER.

## TYPICAL CONCRETE PAVEMENT - JOINT DETAILS



**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

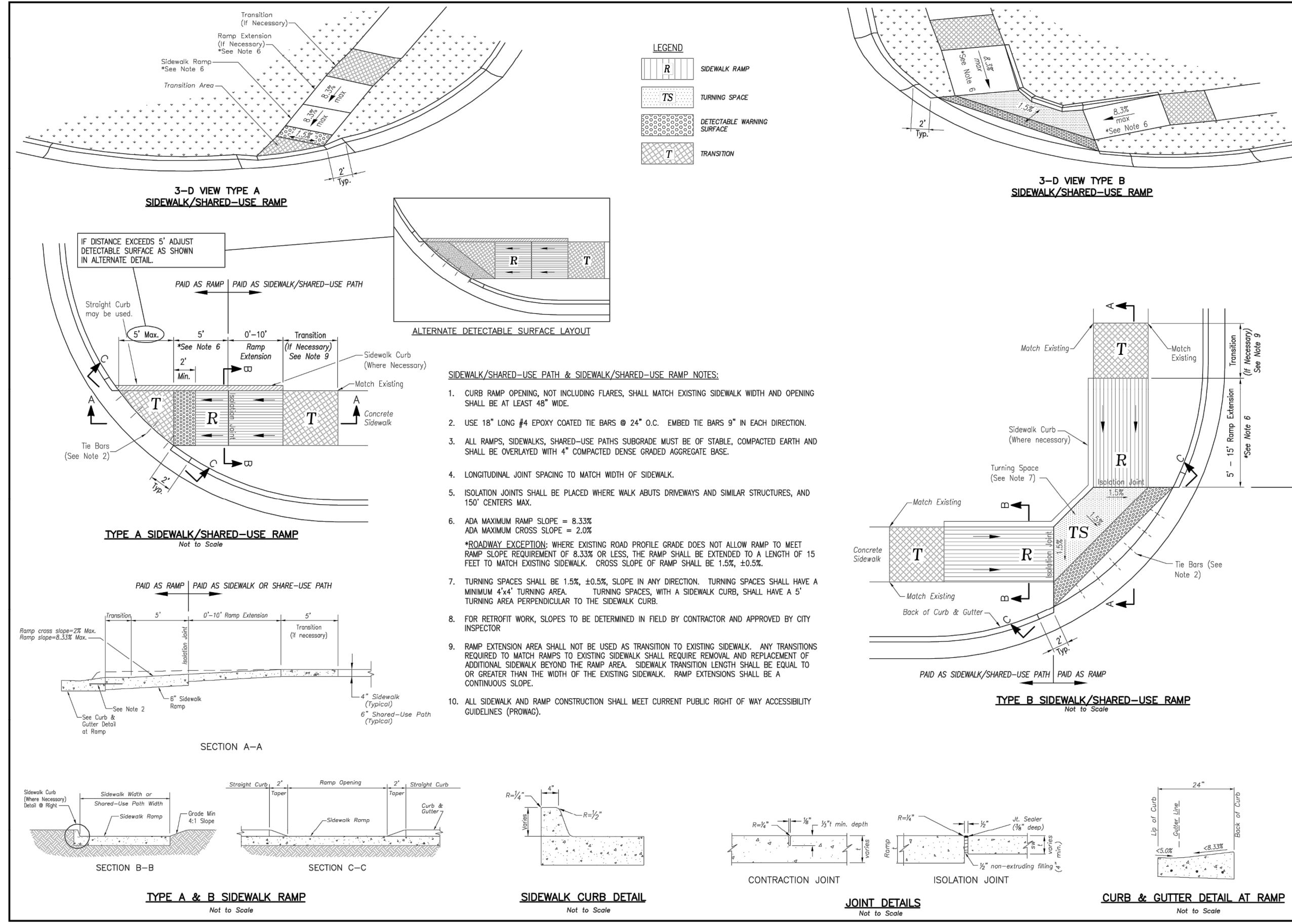
GEN-7



- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:**
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
  - USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
  - ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAPPED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 150' CENTERS MAX.
  - ADA MAXIMUM RAMP SLOPE = 8.33%  
ADA MAXIMUM CROSS SLOPE = 2.08%  
ROADWAY EXCEPTION: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
  - TURNING SPACES SHALL BE 1.5%, ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES, WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
  - FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
  - RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
  - ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

GEN-3B



- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:**
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
  - USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
  - ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAPPED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 150' CENTERS MAX.
  - ADA MAXIMUM RAMP SLOPE = 8.33%  
ADA MAXIMUM CROSS SLOPE = 2.08%  
ROADWAY EXCEPTION: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
  - TURNING SPACES SHALL BE 1.5%, ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES, WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
  - FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
  - RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
  - ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**LEE'S SUMMIT**  
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GEN-3A

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(913) 492-5150 • Fax: (913) 492-8400  
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Missouri State Certified Authority  
#E2002003600F #LAC2001005237 #LS2002008659F

**JEFFREY T. SCHLAGEL**  
REGISTERED PROFESSIONAL ENGINEER  
PE-202169125  
6-1-21

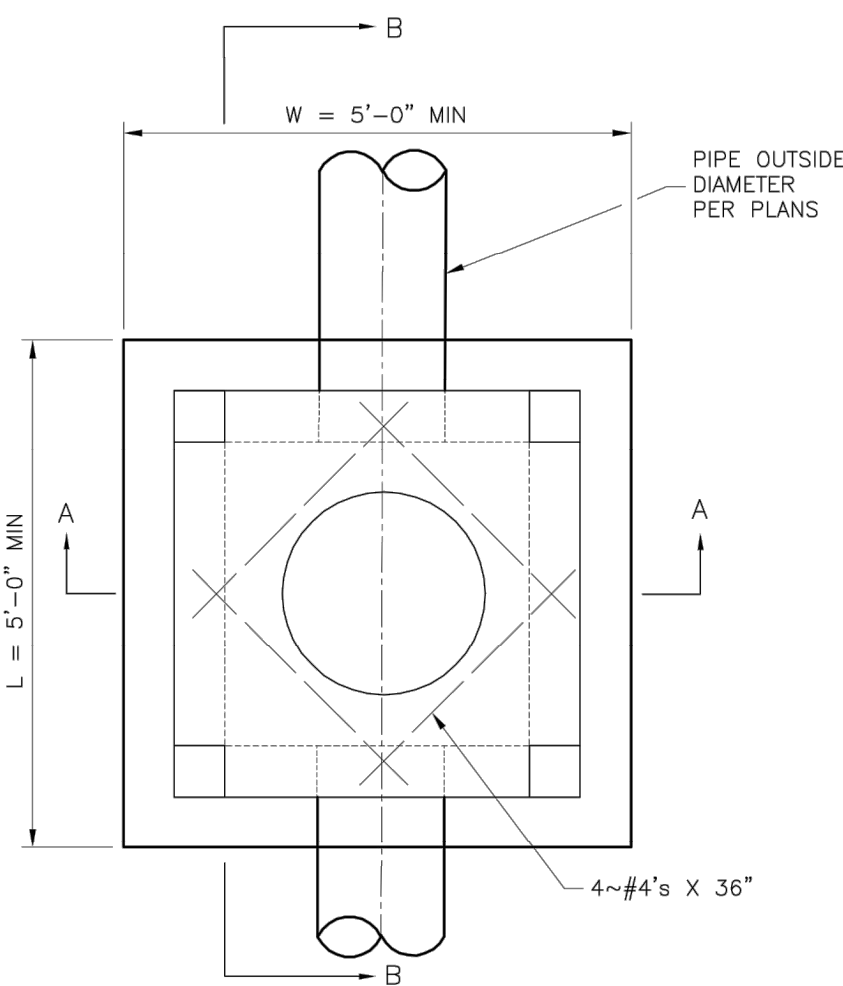
SCHLAGEL & ASSOCIATES, P.A.

**TOWER PARK COMM. - LOT 7 - NORTH BLDG.**  
**FINAL DEVELOPMENT PLANS**  
**420 SW LONGVIEW LEE'S SUMMIT, MISSOURI**

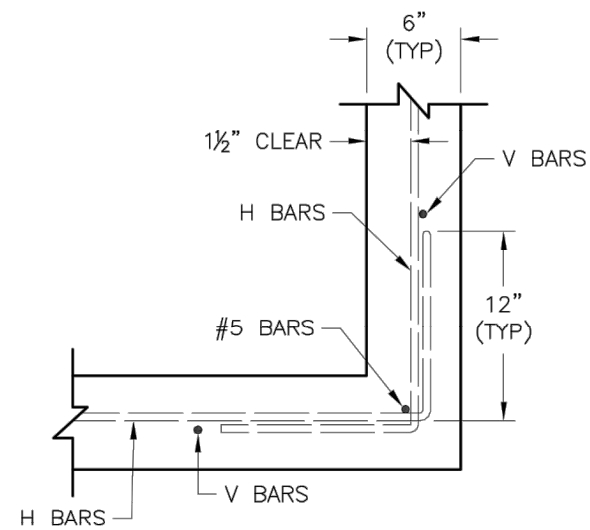
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| DRAWN BY: ###    | CHECKED BY: ### | DATE PREPARED: 06/01/2021 | PROJ. NUMBER: 200-106 |
| PAVEMENT DETAILS |                 |                           |                       |
| SHEET            |                 |                           |                       |
| C8.0             |                 |                           |                       |

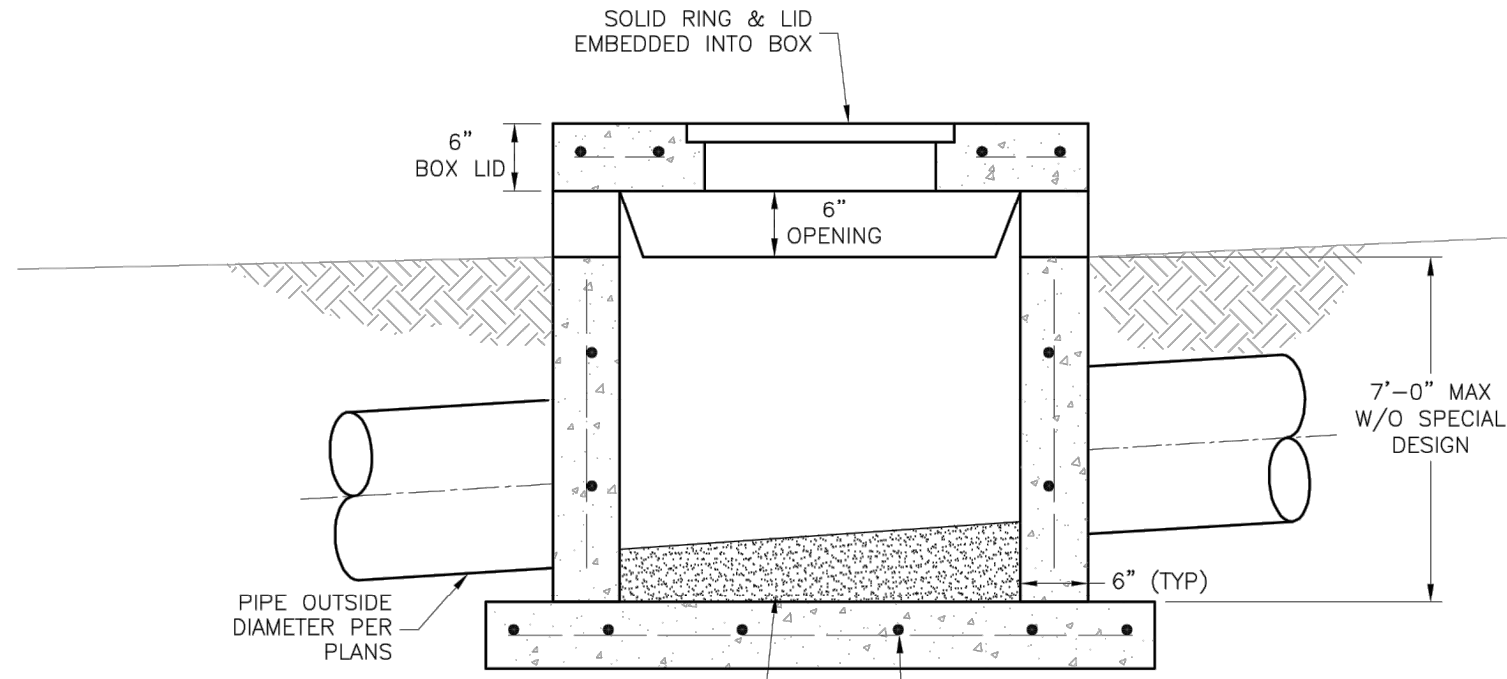




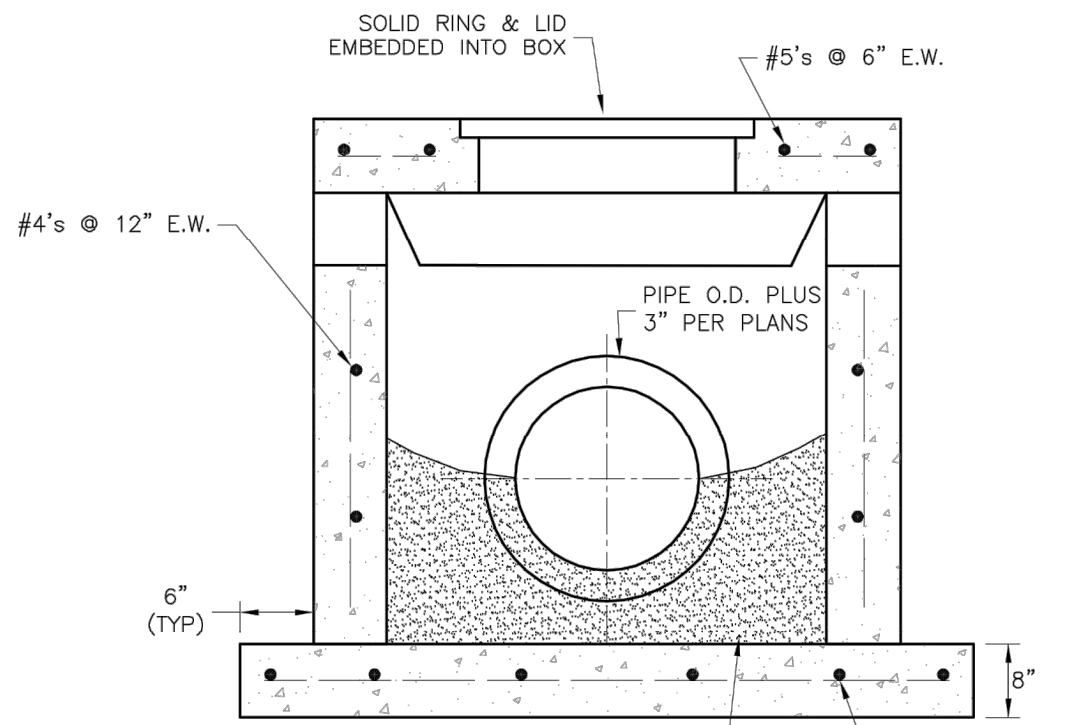
PLAN VIEW



WALL CORNER DETAIL



SECTION B-B



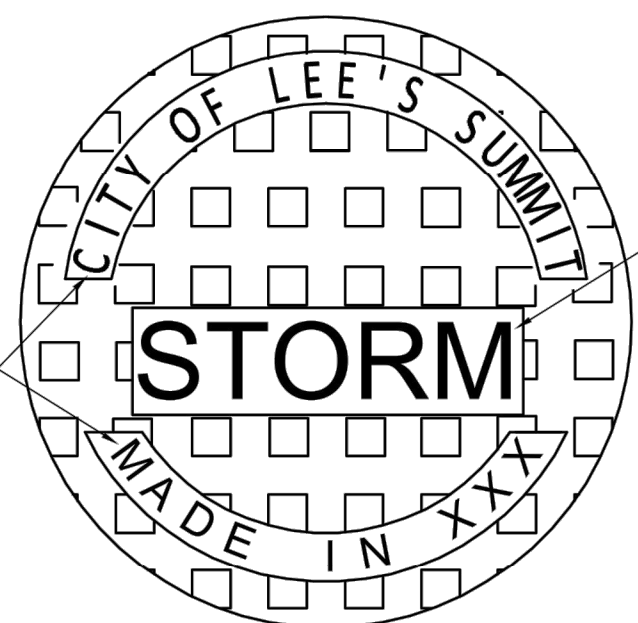
SECTION A-A

GENERAL NOTES:

1. LOCATE RING AND COVER OVER OUTLET ON BLANK WALL.
2. USE  $\frac{3}{4}$ " CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 3' ON BLANK WALL IF POSSIBLE.
5. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE.
6. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
7. SHOW FIELD INLET ORIENTATION ON PLANS PLUS NUMBER AND SIDE OF OPENINGS.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

USE NON-SHRINKING GROUT TO SEAL BASE TO MANHOLE AND PIPES TO MANHOLE WALLS

GROUT PIPE INVERT

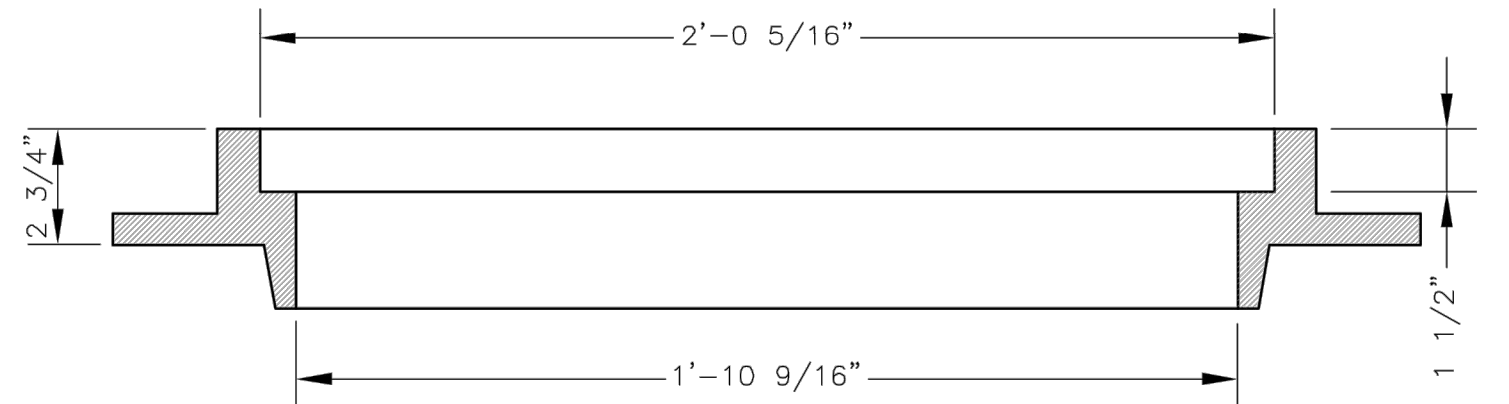


3" LETTERS EQUALLY PLACED

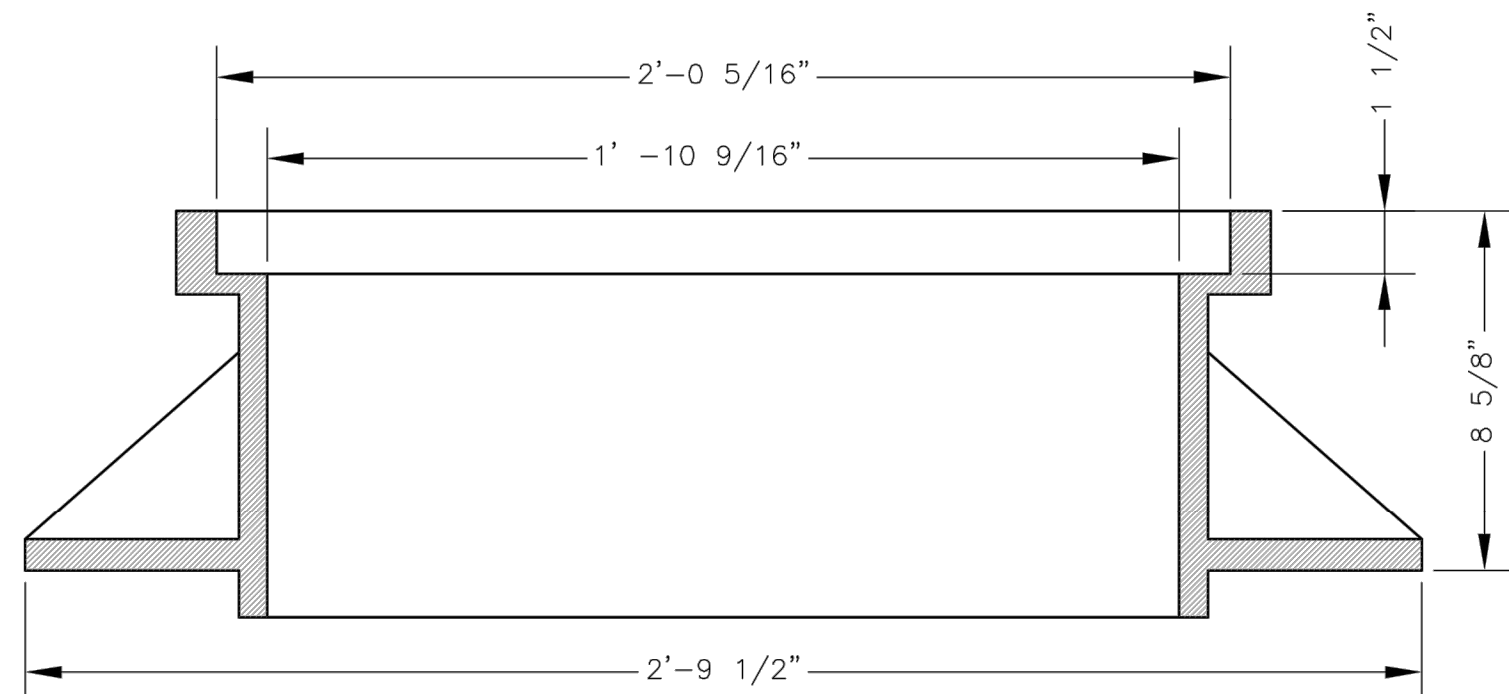
1-1/2" LETTERS EQUALLY SPACED

STANDARD 24" MANHOLE COVER  
MINIMUM WEIGHT = 160 LB  
NOTE: PICK HOLES NOT SHOWN

\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.



SLAB MANHOLE FRAME  
LEE'S SUMMIT PART NO.: LS103A  
MINIMUM WEIGHT = 145 LB



STANDARD 24" MANHOLE FRAME  
LEE'S SUMMIT PART NO.: LS101A  
MINIMUM WEIGHT = 250 LB

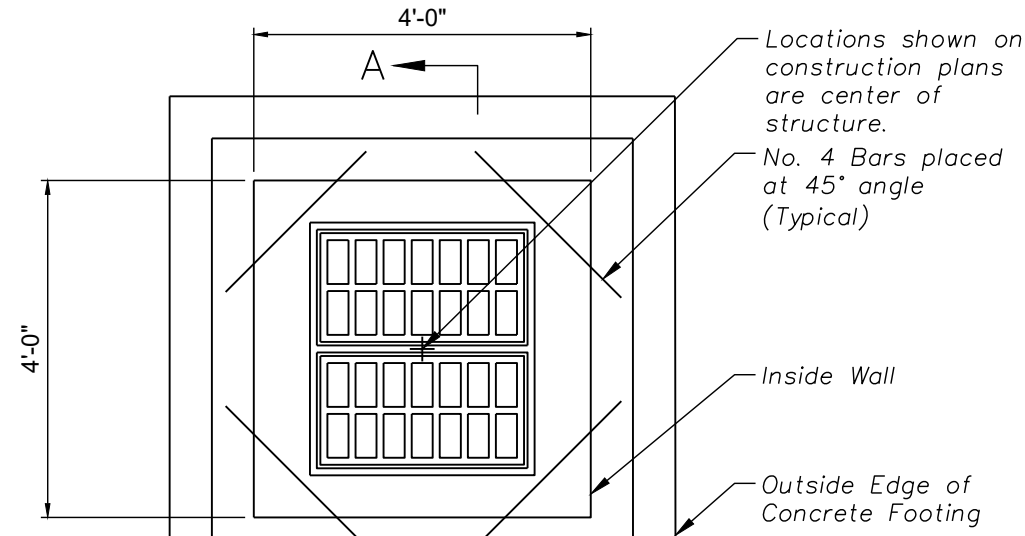
\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

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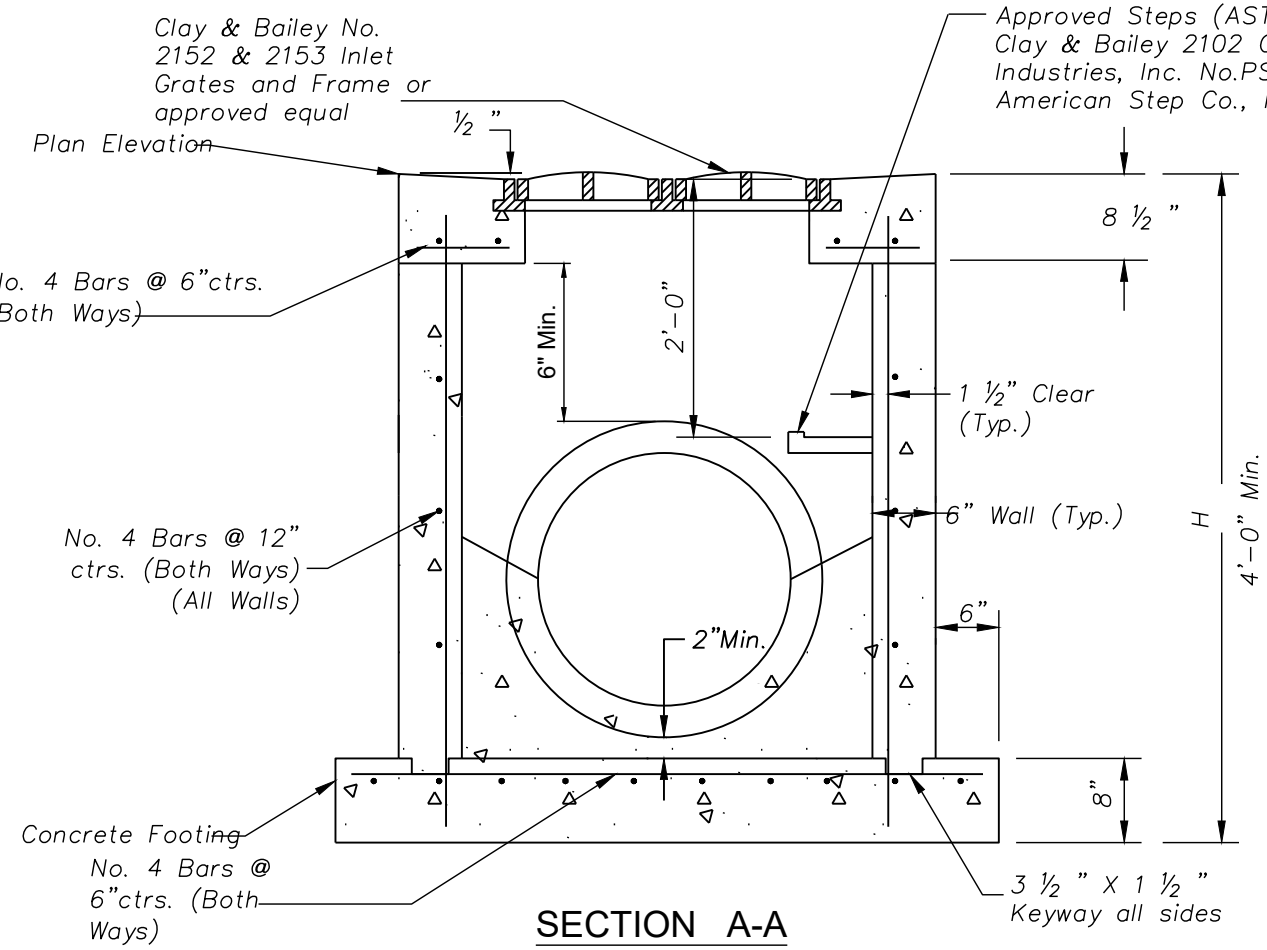
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
FIELD DETAIL

STM-2

Drawn By: MIF  
Checked By: DL  
Date: 04/17  
Proj. #: STM-2



PLAN



SECTION A-A

YARD/GRATE INLET DETAILS

NOTES:

General

1. All storm sewer structures shall be pre-cast or poured in place. If pre-cast structures are used for publicly financed, maintained or administered construction, the tops shall be poured in place and the wall steel shall be left exposed to a height 2" below the finish top elevation, or as directed by the Project Engineer.
2. Pre-cast shop drawings are to be approved by the Project Engineer Prior to casting.
3. Do not scale these drawings for dimensions or clearances. Any questions regarding dimensions shall be brought to the attention of the city Engineer prior to construction.
4. The first dimension listed in the construction notes is the "L" dimension. The second dimension is the "W" dimension. The concrete thickness and reinforcement shown is for boxes with (L\*W) and (W\*H) less than or equal to 20. For boxes with either of these calculations greater than 20, a special design is required.

Concrete

5. Concrete used in this work shall be KCMMB4K, as approved by the Kansas City Metropolitan Materials Board, unless noted otherwise.
6. Concrete construction shall meet the applicable requirements of Standard Specifications for State Road and Bridge Construction, Kansas Department of Transportation, latest edition, unless noted otherwise.
7. Inlet floors shall be shaped with non-reinforced concrete inverts to provide smooth flow.
8. Bevel all exposed edges with 3/4" triangular molding.

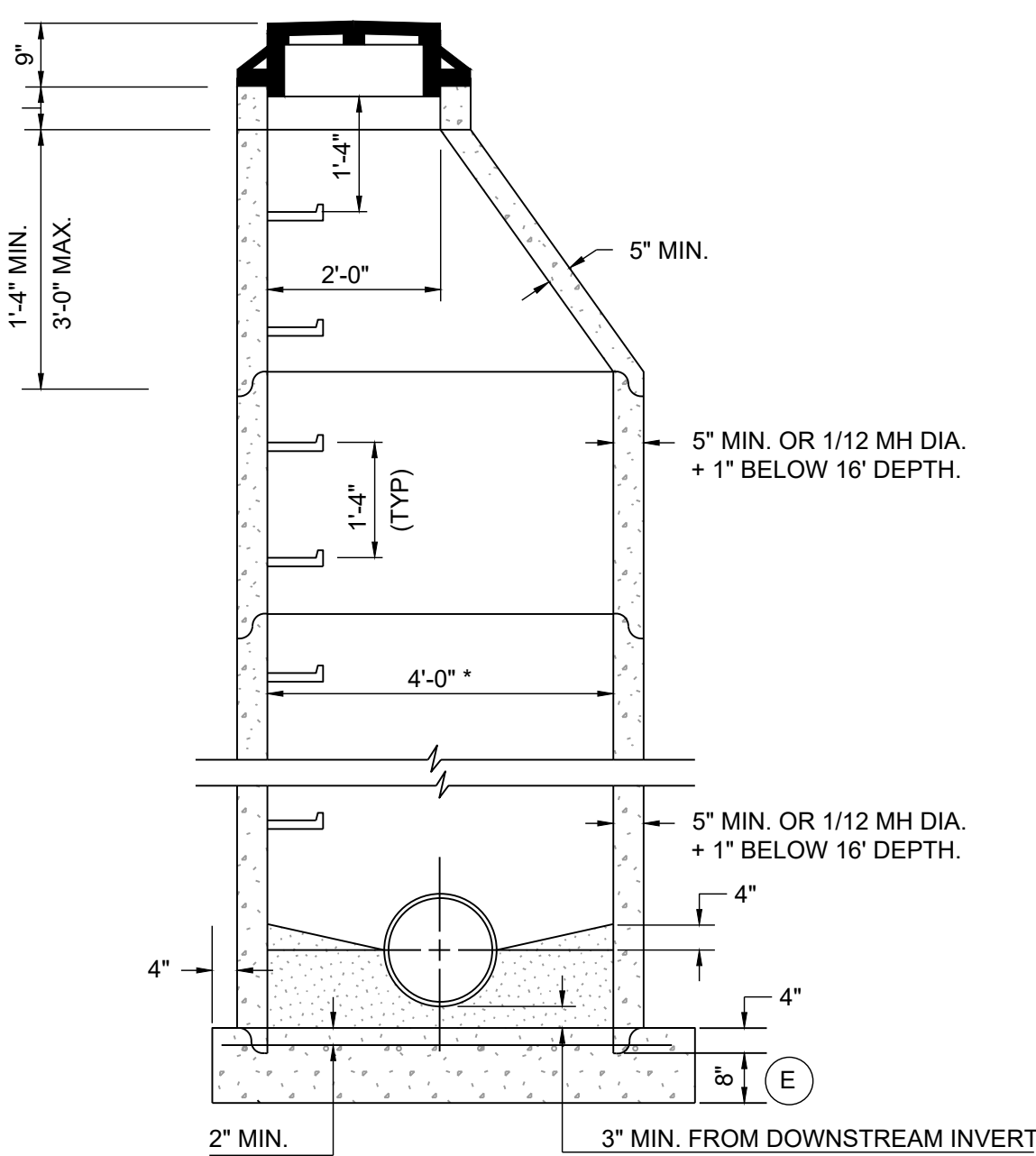
Reinforcing Steel

9. Reinforcing steel shall be new billet, minimum Grade 40 as per ASTM A615, and shall be bent cold.
10. All dimensions relative to reinforcing steel are to centerline of bars. 2" clearance shall be provided throughout unless noted otherwise. Tolerance of +/- 1/8" shall be permitted.
11. All lap splices not shown shall be a minimum of 40 bar diameters in length.
12. All reinforcing steel shall be supported on fabricated steel bar supports @ 3'-0" maximum spacing.
13. All dowels shall be accurately placed and securely tied in place prior to placement of bottom slab concrete. Sticking of dowels into fresh or partially hardened concrete will not be acceptable.

Construction

14. The bottom slab shall be at least 24 hours old before placing sidewall concrete. All sidewall forms shall remain in place a minimum of 24 hours after sidewalls are poured before removal, and after removal shall be immediately treated with membrane curing compound.
15. Pipe connections to pre-cast structures shall have a minimum of 6" of concrete around the entire pipe within 2' of the structure.
16. Material selection and compaction requirements for backfill around structures shall be as specified in the project manual.

STORM SEWER - GRATE INLET DETAIL



\* UNLESS OTHERWISE NOTED ON PLANS

GENERAL NOTES:

All manhole rings shall be set in a minimum of two (2) rows of 3/4 to 1 inch pre-formed bitumastic joint sealer.

All manhole rings to be placed in pavement or in areas to be subsequently paved shall have "Machined Horizontal Bearing Surfaces" and shall comply with Class #25 as established in ASTM A-48.

The inside diameter of the manhole shall be 4'-0" for pipe diameters from 8" thru 24" and shall be 5'-0" for pipe diameters from 27" thru 36". All manhole bases (pre-cast or poured-in-place) shall have No. 4 reinforcing bars placed on 12" centers both ways.

All standard manhole rings and covers to be Deeter 1315-jcs, Neenah NF-1536009/B (frame) and NF-15360010/B (cover), or approved equal.

All manhole rings and covers shown in plans to be "bolt-down" to be Clay & Bailey Manufacturing Co. No. 20140R, Neenah R-1915-F2 or approved equal. An extra payment for furnishing "bolt-down" ring and cover as shown in plans will not be made, but shall be considered as subsidiary to the item, "Standard Manhole-6".

Standard cast iron manhole steps to be Clay & Bailey Manufacturing Co. No. 2102 or approved equal. Steel core, plastic coated steps may be used (M.A. Ind., Inc. No. PS1-PF, PS2-PF, or approved equal).

Maximum grade adjustment allowable is 12". Minimum allowable vertical thickness for precast concrete grade adjustment ring is 2".

Concrete used in this work shall be KCMMB4K, as approved by the Kansas City Metropolitan Materials Board.

GENERAL NOTES FOR PRE-CAST MANHOLES

1. Reinforcement in all sections shall equal or exceed A.S.T.M. C-478 specifications.
2. Mastic material to be used at all sections joints. O-Rings may be used for joints below the cone section, but the cone section itself shall not have O-ring joints.
3. Approved gasket and concrete mortar to be used around pipe in knock-outs.

STORM SEWER - MANHOLE DTL.

**SCHLAGEL**  
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Missouri State Certificates of Authority  
#E200200360-F #LAC2001005237 #LS200200859-F

PREPARED BY:

JEFFREY T. SCHLAGEL  
REGISTERED PROFESSIONAL ENGINEER  
NUMBER PE-2021060125  
6-1-21

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

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STORM SEWER DETAILS

SHEET

C9.0

**LEE'S SUMMIT**  
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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE COVER DETAIL

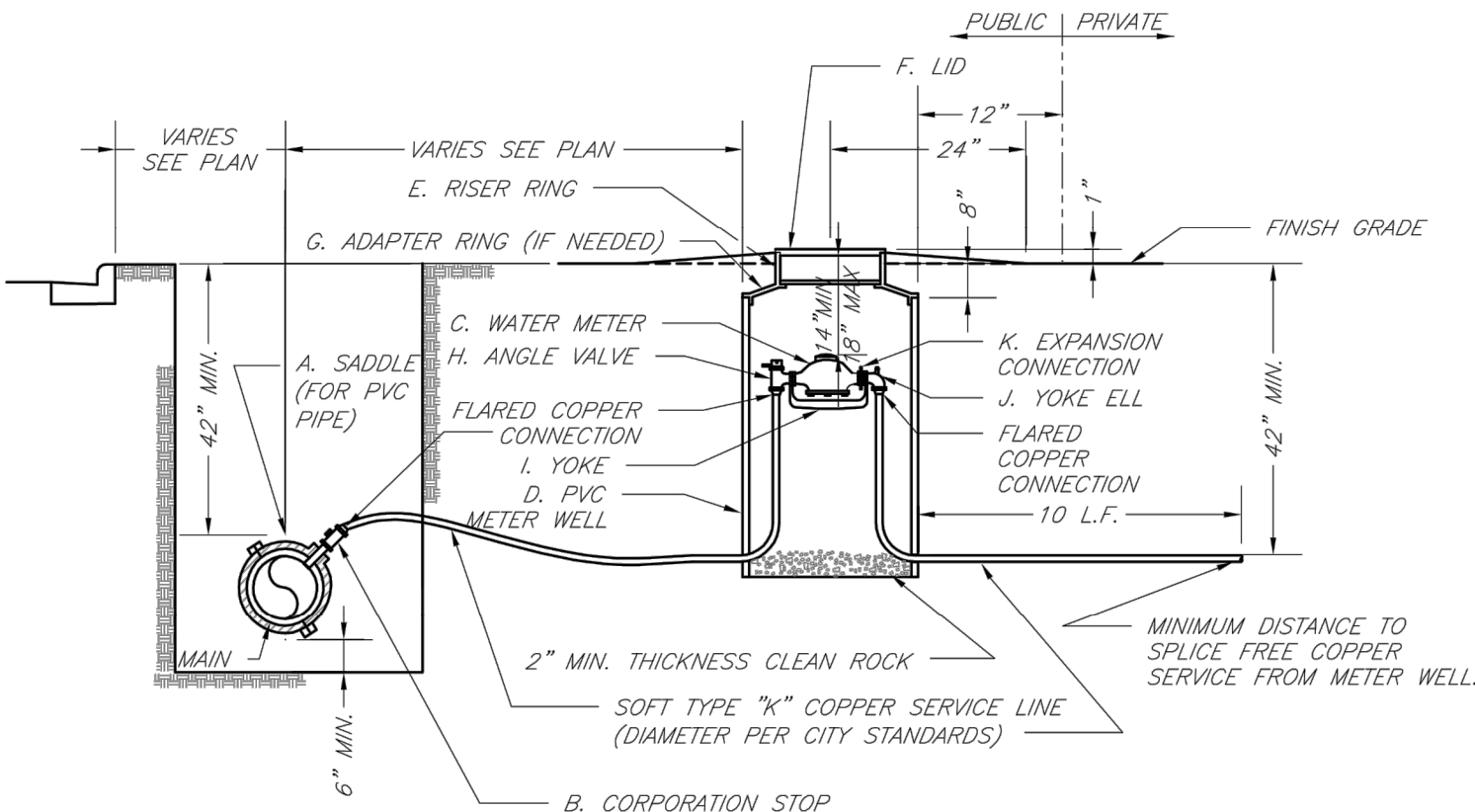
STM-6

**LEE'S SUMMIT**  
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STORM MANHOLE FRAME DETAIL

STM-7





TYPICAL METER INSTALLATION — 2" AND SMALLER  
NOT TO SCALE

NOTES:

1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
3. CITY TO FURNISH ITEMS A—K.
4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
6. EXCAVATION FOR TAP TO EXPOSE 4' LINEAR FEET OF MAIN.
7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"



LEE'S SUMMIT  
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SERVICE CONNECTION/METER WELL

Date: 02/13

Drawn By: JN

Checked By: DL

FILE: WAT-11

Rev: 1/14

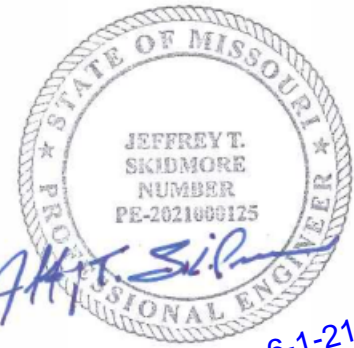
Rev:

SCHLAGEL

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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

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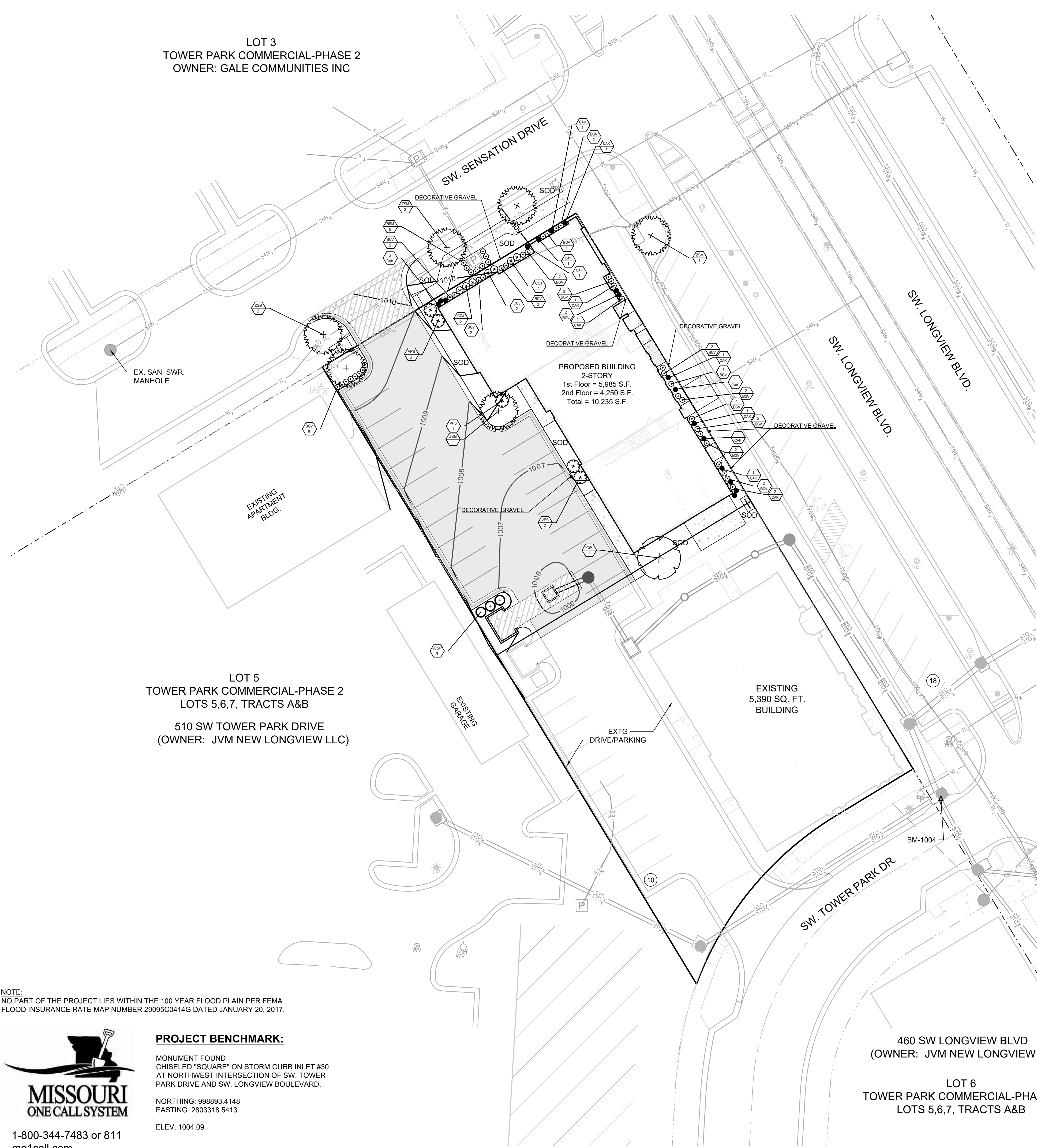
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UTILITY DETAILS

SHEET

C10.0





LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW)

LOT 6  
TOWER PARK COMMERCIAL-PHA  
LOTS 5,6,7, TRACTS A&B

|                  |      |        |  |                              |               |
|------------------|------|--------|--|------------------------------|---------------|
| SHADE TREES      |      |        |  |                              |               |
|                  | ZSM  | 6 EA.  | Zelkova serrata 'Musashino'                      | Musashino Columnar Zelkova   | 2.5" Cal. B&B |
| ORNAMENTAL TREES |      |        |  |                              |               |
|                  | PSK  | 1 EA.  | Prunus serrulata 'Kwansan'                       | Kwansan Flowering Cherry     | 1.5" Cal. B&B |
| EVERGREEN TREES  |      |        |  |                              |               |
|                  | JCSP | 3 EA.  | Juniperus chinensis 'Spartan'                    | Spartan Juniper              | 6' ht. B&B    |
| SHRUBS           |      |        |  |                              |               |
|                  | BGV  | 37 EA. | Buxus x 'Green Velvet'                           | Green Velvet Boxwood         | 5 gal. Cont.  |
|                  | BSM  | 8 EA.  | Buxus sempervirens 'Monrue' Plant Patent #15,243 | Green Tower Boxwood          | 5 gal. Cont.  |
|                  | CCJ  | 7 EA.  | Caryopteris x clandonensis 'Janice' PPAF         | Lil Miss Sunshine™ Bluebeard | 5 gal. Cont.  |
|                  | VPS  | 5 EA.  | Viburnum plicatum tomentosum 'Summer Snowflake'  | Summer Snowflake Viburnum    | 5 gal. Cont.  |
| GRASSES          |      |        |  |                              |               |
|                  | CAK  | 17 EA. | Calamagrostis x acutifolia 'Karl Foerster'       | Karl Foerster Grass          | 2 gal. Cont.  |

- NOTES:
- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
  - QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
  - ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
  - ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
  - ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
  - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
  - ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
  - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
  - THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
  - INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
  - AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
  - ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
  - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



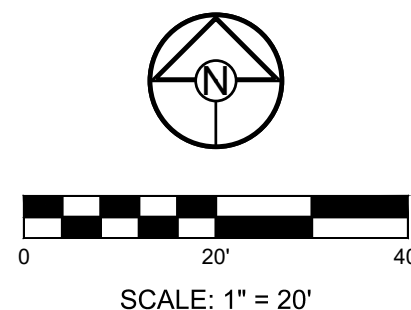
1-800-344-7483 or 811  
mo1call.com

PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

ELEV. 1004.09



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
FINAL DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

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LANDSCAPE  
PLAN

SHEET

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