

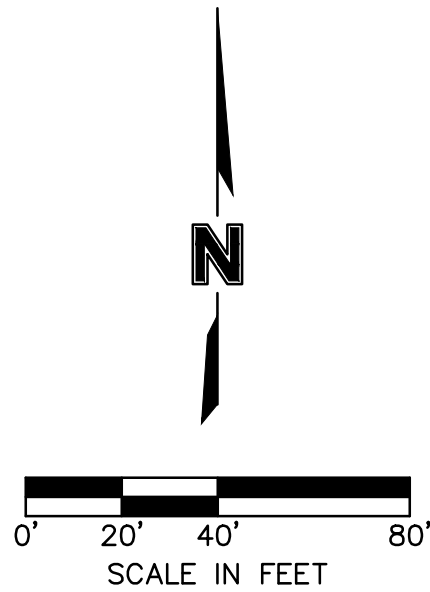
DWG: F:\2019\2001-2500\019-2339-01\40-Design\AutoCAD\Preliminary\Plans\Sheets\CHC\VC_SIT01_D192339.dwg USER: chelmaquist
DATE: May 21, 2021 3:19pm XREFS: C_PBASE_D192339 C_PBDY_D192339 C_PUTIL_D192339

DEVELOPMENT DATA													
PHASE	EX. ZONING	PR. ZONING	GROSS ACRES	STREET R/W (AC.)	OPEN SPACE (AC.)	DETENTION (AC.)	NET ACRES	LAND USE	LOTS	UNITS	REQUIRED PARKING	PROVIDED PARKING (OFF-STREET ONLY)	D.U./AC. (GROSS)
3rd Plat	RLL	RP-3	4.59	0.84	0.19	0.68	2.88	2-FAMILY DWELLING	76-87	12	24	48	2.61
TOTAL			4.59*	0.84	0.19	0.68	2.88			12	24	48	2.61

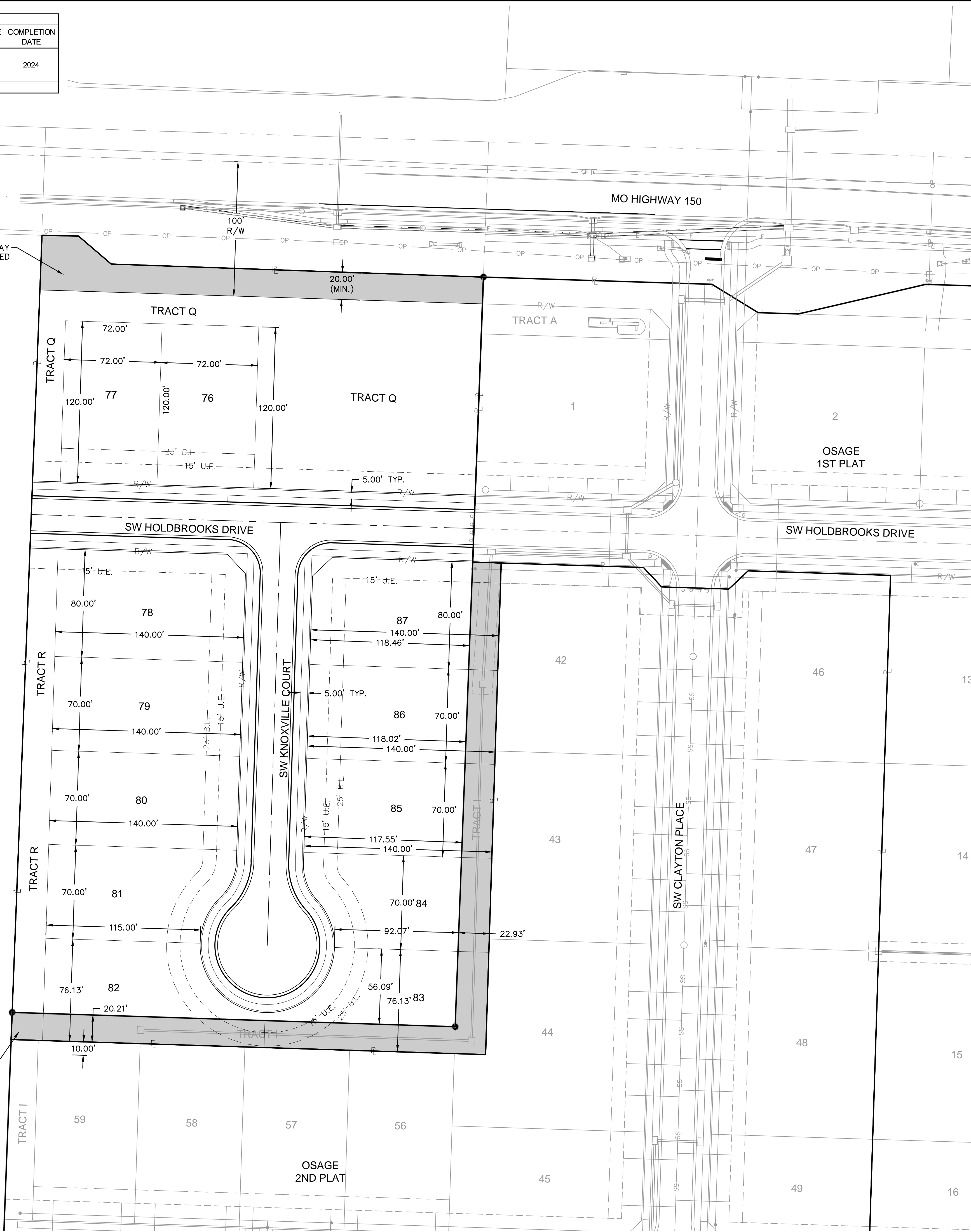
* NOTE: INCLUDES 0.34 ACRES TO BE REPLATTED FROM EXISTING OSAGE 2ND PLAT.

TRACTS		
TRACT	AREA (AC.)	USE
Q	0.68	DETENTION
R	0.19	OPEN SPACE

- NOTES:
- RIGHT-OF-WAY WIDTH SHALL BE 50', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC R/W SHALL BE A 50' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC.
 - STREET WIDTHS AS MEASURED BETWEEN BACKS OF CURBS SHALL BE 28', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC PAVEMENT SHALL BE A 39' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC TO BACK OF CURB.
 - 5' SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL PROPOSED STREETS.
 - TRACTS Q & R SHALL BE A MINIMUM OF 20' WIDE WHERE SEPARATING PROPOSED LOTS FROM ADJACENT PROPERTY OR RIGHT-OF-WAY.
 - MEDIUM-DENSITY BUFFERS SHALL BE PROVIDED TO ADJACENT LAND USES (SEE LANDSCAPE SHEETS).
 - LOT DIMENSIONS AND SETBACKS:
 - LOTS 76-87 (2-FAMILY BUILDINGS):
 - MINIMUM DEPTH: 115'
 - MINIMUM WIDTH: 70'
 - MINIMUM AREA: 8050 SF
 - FRONT SETBACK: 25'
 - SIDE YARD SETBACK: 5' MIN.
 - REAR YARD SETBACK: 20' MIN.
 - CORNER LOTS: 15' MIN.
 - THE HOUSING ASSOCIATION SHALL AT ALL TIMES, FROM AND AFTER ITS DATE OF FORMATION AND AT ITS EXPENSE, BE RESPONSIBLE FOR PROPERLY REPAIRING, REPLACING, CONTROLLING, MAINTAINING, OPERATING AND INSURING, AS APPLICABLE, ALL COMMON AREAS, SUBJECT TO ANY CONTROL THEREOVER MAINTAINED BY ANY GOVERNMENTAL AUTHORITY, UTILITY OR SIMILAR PERSON OR ENTITY.



0.34 ACRES WITHIN EXISTING OSAGE 2ND PLAT TO BE REPLATTED AND INCLUDED IN PROPOSED 3RD PLAT (SEE DEVELOPMENT DATA TABLE)



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PRELIM SITE PLAN

OSAGE 3RD PLAT
REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: C.J.H./A.A.
checked by: A.A.
designed by: J.E.S.
QA/QC by: D19-2339
project no.: C_SIT01_D192339
drawing no.:
date: 2021.04.23

SHEET
04

REV. NO.

DATE

REVISIONS DESCRIPTION

BY

1

2021.05.21

Revised per City comments

C.J.H.

2021

REVISIONS