BILL NO. 21-69 **ORDINANCE NO. 9140**

AN ORDINANCE APPROVING A COMMERCIAL PRELIMINARY DEVELOPMENT PLAN LOCATED AT 150 NW OLDHAM PARKWAY IN DISTRICT CP-2, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, OF THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2021-024 submitted by Mid-Continent Public Library requesting approval of a commercial preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 150 NW Oldham Parkway was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on April 8, 2021, and rendered a report to the City Council containing findings of fact and a recommendation that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on April 20, 2021, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

MID-CONTINENT ADD TRACT A, Jackson County, Missouri, containing 70,306 sq. ft. or 1.6140 acres, more or less.

And

SUMMIT SHOPPING CENTER LOT 1, Jackson County, Missouri, containing 722,033 sq. ft. or 16.5756 acres, more or less.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to reduce the required parking lot setback from 20' to 2'4" along the east property line adjacent to NW Oldham Parkway and 12'10" along the south property line adjacent to SW McClendon Drive.
2. A modification shall be granted to allow a 21' 7" pillar sign as shown on the signage elevations dated March 18, 2021.
3. The use of aluminum composite metal (ACM) panels shall be granted as a conditional material as shown on the building elevations date stamped October 12, 2020.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 4th day of May, 2021.

Mayor *William A. Baird*

ATTEST:

City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this 6th day of May, 2021.

Mayor *William A. Baird*

ATTEST:

City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

City Attorney *Brian W. Head*

PRELIMINARY DEVELOPMENT PLANS
FOR

MID-CONTINENT LIBRARY LEE'S SUMMIT BRANCH

150 SOUTH WEST OLDHAM PKWY
NE 1/4 OF SECTION 1, TOWNSHIP 47 NORTH, RANGE 32 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

UTILITY COMPANIES AND GOVERNING AGENCIES:

CITY OF LEE'S SUMMIT, PUBLIC WORKS:
ENGINEERING
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
816.969.1800

CITY OF LEE'S SUMMIT, CITY HALL:
220 SE GREEN
LEE'S SUMMOT, MO 64063
816.969.1000

CITY OF LEE'S SUMMIT, FIRE CHIEF:
207 SE DOUGLAS
LEE'S SUMMIT, MO 64063
816.969.7407

CITY OF LEE'S SUMMIT, POLICE CHIEF:
10 NE TUDOR
LEE'S SUMMIT, MO 64086
816.969.1700

PUBLIC WATER:
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
816.969.1940

BUILDING INSPECTIONS:
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
816.969.1800

POWER COMPANY:
EVERGY
8700 EAST FRONT STREET
KANSAS CITY., MO 64120
816.471.5275

GAS COMPANY:
SPIRE GAS
3025 S.E CLOVER ST
LEES SUMMIT, MO 64082
816.756.5252

TELEPHONE:
AT&T
DARRIN SHEPARD
816.275.3825
ds616h@att.com

CABLE/FIBER:
SPECTUM
877.772.2253

GOOGLE FIBER
877.454.6959

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NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THE ENTIRETY OF THE SITE LIES WITHIN ZONE X – AREA OF MINIMAL FLOOD HAZARD PER FEMA PANEL 290174 (CITY OF LEE'S SUMMIT, MO)

OWNER & DEVELOPER
MID CONTINENT PUBLIC LIBRARY
DISTRICT NO 3
15616 E US HWY 24
INDEPENDENCE MO 64050-2057

ENGINEER
TERRY PARSONS
OLSSON
7301 W. 133RD STREET SUITE 200
OVERLAND PARK, KS 66213
PHONE: 913.381.1170
EMAIL: tparsons@olsson.com

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THE ENTIRE PROPERTY IS DESIGNATED "ZONE X – AREA OF MINIMAL FLOOD HAZARD" AS DEFINED BY FEMA PANEL 29095C0438G – EFFECTIVE DATE JANUARY 20, 2017

MISSOURI ONE CALL SYSTEM, INC.
1-800-344-7483
STOP-CALL BEFORE YOU DIG!!

THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

BENCHMARKS

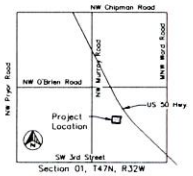
QA Bench Mark #1:
ELEVATION=973.75' (NAVD'88)
SET PUNCH MARK IN CHISELED "U" CUT ON THE TOP EAST SIDE OF A CONCRETE BASE FOR A LIGHT POLE, FIRST LIGHT POLE EAST OF THE ENTRANCE TO GENESIS GYM, 205'± WNW OF THE NW CORNER OF THE MID-CONTINENT PUBLIC LIBRARY, 340' ENE OF THE SOUTH CORNER OF GOODYEAR TIRE STORE.

QA Bench Mark #2:
ELEVATION=952.38' (NAVD'88)
SET CHISELED "X" CUT ON TOP OF CURB ON THE NORTH SIDE OF A CONCRETE CURB ISLAND, WEST OF EQUITY BANK BUILDING. 213'± EAST OF THE EAST FACE OF THE MID-CONTINENT PUBLIC LIBRARY, 22' EAST OF THE ℄ OF MCCLENDON DRIVE.

LEGAL DESCRIPTION:

LIBRARY PROPERTY:
MID-CONTINENT ADD TRACT A
JACKSON COUNTY, MISSOURI.
CONTAINING 70,306 SQUARE FEET OR 1.6140 ACRES, MORE OR LESS.

SHOPPING CENTER PROPERTY
SUMMIT SHOPPING CENTER LOT 1
JACKSON COUNTY, MISSOURI.
CONTAINING 722,033 SQUARE FEET OR 16.5756 ACRES, MORE OR LESS.



Section 01, T47N, R32W
VICINITY MAP
Scale: 1" = 2000'

DWG: F:\2018\0001-0500\018-0330-B\4C-Design\AutoCAD\Final Plans\Sheets\DNCV\Work PACKAGE 15\PDP Plans\C_TTL_PDP_80330.dwg USER: tparsons
DATE: Feb 23, 2021 1:20pm XREFS: C_TBLK_80330

SAPP DESIGN ARCHITECTS
3765 S. Fremont Ave
Springfield, MO 65804 417.877.1020
Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.
1629 Walnut
Kansas City, MO 64108 816.300.0300
Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client contracts to, allows, authorizes or approves of changes to any plans, specifications or other construction documents and these changes are not approved in writing by the design professional, the client assumes the sole responsibility for such changes and the effect on the design professional's work product and opinions. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever it appears (use), and the owner of the seal shall authenticate the sheet and the specification sections pertaining to his areas. Responsibility shall be disclaimed for all other documents bearing his/her seal/signature or only the initials or monogram thereof, and/or not intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE 15

Engineer of Record

Terry M Parsons, Engineer MO PE-2016010505

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7301 West 133rd Street, Suite 200
Overland Park, KS 66213
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Olsson
Missouri State Certificate of Authority #001592

Revision No.	Description	Date

Project No.	Date	Drawn
018-0330	10.12.2020	HMO

Drawing No.
C1.0
COVER SHEET

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GENERAL NOTES

1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-RITE", 1(800)344-7483 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !!STOP!! CALL BEFORE YOU DIG!!
2. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER
3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE
4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE *AMERICAN PUBLIC WORKS ASSOCIATION – KANSAS CITY METROPOLITAN CHAPTER (APWA-KC)* AND THE CITY OF LEE'S SUMMIT, MO, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK
7. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF MISSOURI STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
8. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED
9. THE CONTRACTOR SHALL LIMIT THE REMOVAL OF TREES TO THE LIMITS OF DEMOLITION SHOWN ON THE DEMOLITION PLAN.
10. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES
11. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR
12. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS
14. ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
15. IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.
19. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY CFS ENGINEERS, PROJECT NO. 20-1074 AND DATED JUNE 8, 202 AND ALL ADDENDUMS FOR ADDITIONAL REQUIREMENTS
20. THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.
21. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE
22. NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.
23. THE CONTOUR LINES SHOWN ARE FOR MASS GRADING PURPOSES.
24. EXISTING CONTOURS REPRESENT MASS FINISH GRADE ELEVATIONS
25. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS OTHERWISE SHOWN BY CONTOURS OR SPOT ELEVATIONS.
26. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE IN THE BORROW AREA.
27. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.
28. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS
29. BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON (OLSSON), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF OLSSON, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY OLSSON AND THE ELECTRONIC FILES TRANSFERRED HEREWITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. OLSSON SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IT ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT. THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OLSSON, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OLSSON OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OLSSON.
30. DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE, NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.
31. GENERAL CONSTRUCTION NOTE REGARDING SEQUENCING OF EROSION CONTROL - ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN, EXCEPT THAT SILT FENCE WHICH IS TO BE PLACED ALONG THE BACK OF CURB FOR PROTECTION OF THE STREET. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR UNTIL ALL UTILITIES ARE IN PLACE. THE SILT FENCE THAT IS PLACED ALONG THE BACK OF THE CURB OR RIGHT-OF-WAY WILL BE INSTALLED IMMEDIATELY AFTER THE CURB IS CONSTRUCTED. EROSION AND SEDIMENTATION CONTROLS ARE TEMPORARY AND MUST BE REMOVED BY THE CONTRACTOR AFTER CONSTRUCTION IS COMPLETE AND THE DISTURBED AREA IS AT LEAST 70% PERMANENTLY VEGETATED.
32. HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGNAGE AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE APWA-KC, CITY OF LEE'S SUMMIT ADA STANDARDS, AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT
33. ALL WATER LINES SHALL BE INSTALLED PER THE LATEST STANDARDS AND SPECIFICATIONS OF THE APWA-KC AND THE CITY OF LEE'S SUMMIT, MO. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN
34. ALL WATER LINES SHALL BE INSTALLED PER CITY STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
35. ALL EXTERIOR CONCRETE SHALL BE KCMMB-4K AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, SHALL MEET KCMMB STANDARDS AND SPECIFICATIONS, AND SHALL BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT
36. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.
37. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS)
    - A. CONTROL JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET AND TOOLED TO 1/3 THE SLAB THICKNESS.
    - B. CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
    - C. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES, AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NONEXTRUDING FILLER, CLOSED-CELL FOLSSONM RUBBER OR A BITUMEN-TREATED FIBER-BOLSSONRD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET
    - D. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
35. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.
36. ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS
37. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS
38. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.

GENERAL UTILITY NOTES

39. THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
40. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY
41. INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
42. CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
43. CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTER AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS
44. CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES
45. REFERENCE MEP PLANS FOR BUILDING CONNECTIONS.
46. CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER
47. BACK FLOW PREVENTION TO BE PROVIDED INSIDE BUILDING. SEE MEP AND ARCHITECTURAL PLANS FOR DETAILS
48. LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION
49. CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
50. WATER METER CANNOT BE INSTALLED IN THE BUILDING
51. CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
52. ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH THE CITY OF LEE' SUMMIT, MO, STANDARDS AND SPECIFICATIONS.
53. CONTRACTOR TO COORDINATE POWER ROUTING TO MONUMENT SIGNS NOT SHOWN ON PLANS.
54. ALL ROOF DRAIN AND DOWNSPOUT HEADER PIPES SHALL BE 12" HDPE PIPE AND INSTALLED AT 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN. ALL BENDS AND FITTINGS NEEDED TO BUILD ROUTING AS SHOWN SHALL BE INCLUDED IN BID
55. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS. ALL ROOF DRAIN AND DOWNSPOUT CONNECTIONS / FITTINGS, INCLUDING BUT NOT LIMITED TO BENDS AND TEES, SHALL BE MADE OF HDPE PIPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN

PAVEMENT MARKING NOTES:

1. PAVEMENT MARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.
2. DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT
3. ALLOW PAVING TO AGE FOR 24 HOURS BEFORE MARKING.
4. SWEEP AND CLEAN SURFACE PRIOR TO INSTALLING PAVEMENT MARKINGS
5. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE MARKINGS WITH UNIFORM STRAIGHT EDGES. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS
6. THIS WORK SHALL CONSIST OF FURNISHING AND APPLYING PAINT ON PAVEMENT SURFACES, IN TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS, IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS.
7. DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION
8. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
9. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT, COLORS TO MATCH THE EXISTING ADJACENT INSTALLATIONS. USE FLAT BLACK, WHITE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING
    - A. BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE WHITE COLOR
    - B. PORTLAND CEMENT CONCRETE PAVING: USE YELLOW COLOR.
    - C. HANDICAPPED ACCESSIBLE PARKING AND ENTRYWAYS: USE WHITE COLOR WITH WHITE STRIPES.
    - D. PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
10. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS
11. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND EUNHOUIPS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. HANDICAPPED PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THE ENTIRE PROPERTY IS DESIGNATED "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS DEFINED BY FEMA PANEL 29095C0438G - EFFECTIVE DATE JANUARY 20, 2017

THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

SAPP DESIGN ARCHITECTS
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helix.
Helix Architecture + Design
Missouri State Certificate of Authority #2006270

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

RELEASE 15

Highest of Record

Terry M Hartman, Engineer MO PE-2010010565

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Revision No	Description	Date

Project No	Date	Drawn
019-0330	10.12.2020	HMD

Drawing No
C1.1
GENERAL NOTES

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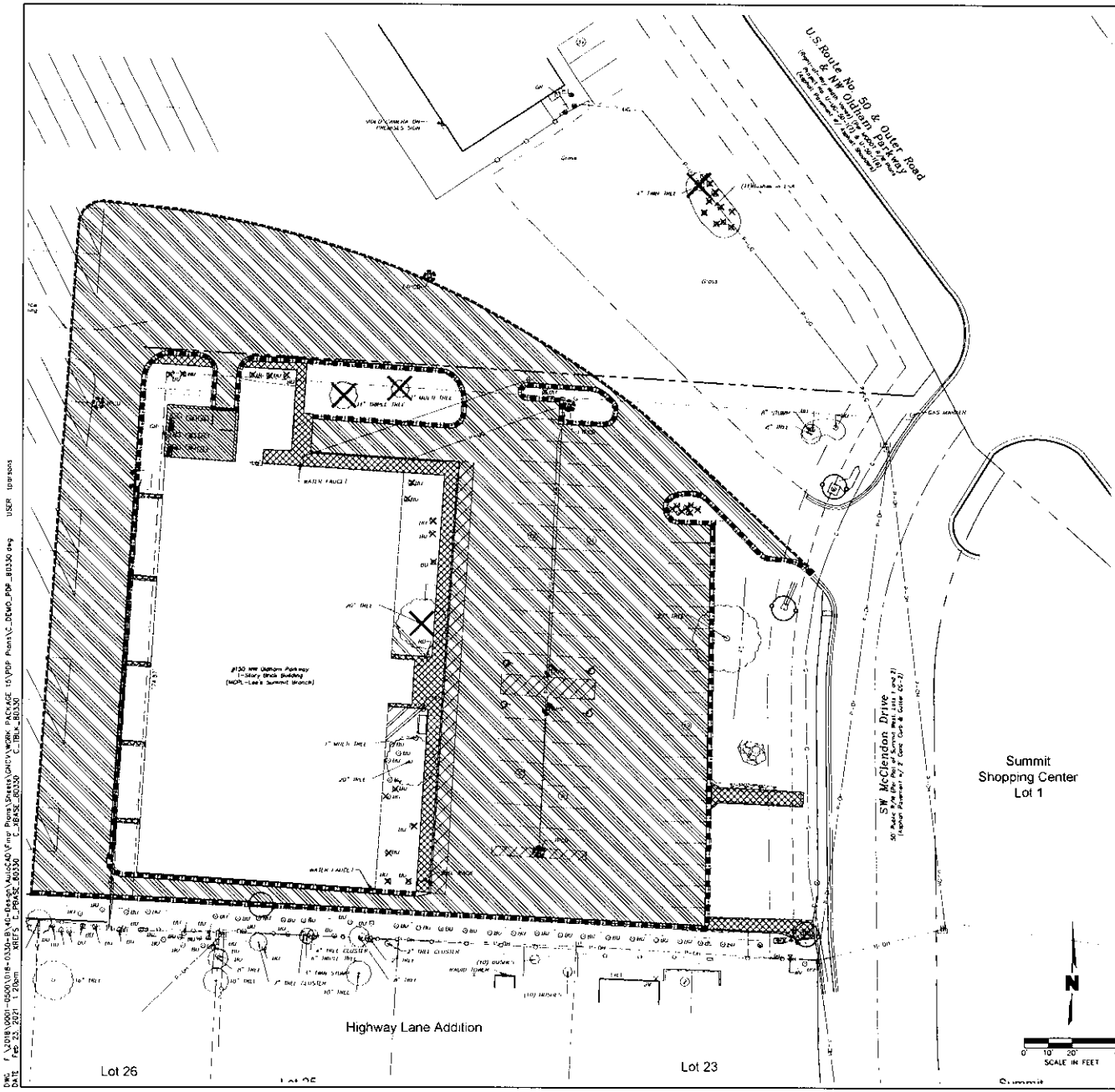

EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTIC
- GAS LINE
- WATER LINE
- STORM SEWER LINE

KEY NOTE LEGEND

1	REMOVE EXISTING CURB AND GUTTER
2	REMOVE EXISTING CONCRETE
3	REMOVE EXISTING ASPHALT
4	REMOVE EXISTING LANDSCAPING
5	REMOVE EXISTING SIDEWALK
6	SAWCUT EXISTING PAVEMENT
7	REMOVE EXISTING TREES
8	REMOVE EXISTING SHRUBS
9	PROTECT EXISTING STORM SEWER BOX
10	PROTECT EXISTING STORM SEWER PIPE & STRUCTURES
11	REMOVE EXIST. LIGHT POLES
12	REMOVE EXIST. SIGNS
13	REMOVAL AND RELOCATE EQUIPMENT PAD AND EQUIPMENT
14	REMOVAL OF EXIST. OVERHEAD POWER LINES BY OTHERS
15	RELOCATE EXISTING TREES (18 TOTAL). SEE LANDSCAPE PLANS. VERIFY FINAL LOCATIONS WITH LANDSCAPE ARCHITECT.

DEMOLITION NOTES

1. CONTRACTOR TO PRESERVE ALL SURVEY CONTROL
2. CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS AND THAT NECESSARY FOR NEW GRADING PER THESE PLANS
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES AND RELOCATE AS NECESSARY. CONTRACTOR SHALL CONTACT MISSOURI ONE CALL IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
4. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED AT CONTRACTOR'S EXPENSE
5. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OFF SITE BY THE CONTRACTOR.
6. DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OR OWNER
7. DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY
8. ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
9. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT
10. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES
11. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIME WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE OWNER.
12. DAMAGE TO EXISTING CURB, ASPHALT, CONCRETE PAVING OR STORM STRUCTURES AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPLACED AND/OR REPAIRED AT CONTRACTOR'S EXPENSE. ALL REPLACEMENT SHALL BE JOINT TO JOINT. NO PARTIAL REPLACEMENT WILL BE ALLOWED
13. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS
14. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION
15. CONTRACTOR TO SALVAGE SITE MISCELLANEOUS SITE ITEMS SUCH AS BENCHES AND TRASH RECEPTACLES FOR USE BY MCPL IN FUTURE CONDITIONS

SAPP DESIGN ARCHITECTS
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SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
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LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE 15

Engineer of Record

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Missouri State Certificate of Authority #2001342

Revision No	Description	Date

Project No	Date	Drawn
018-0330	10.12.2018	HMO

Drawing No
C1.3
DEMOLITION PLAN

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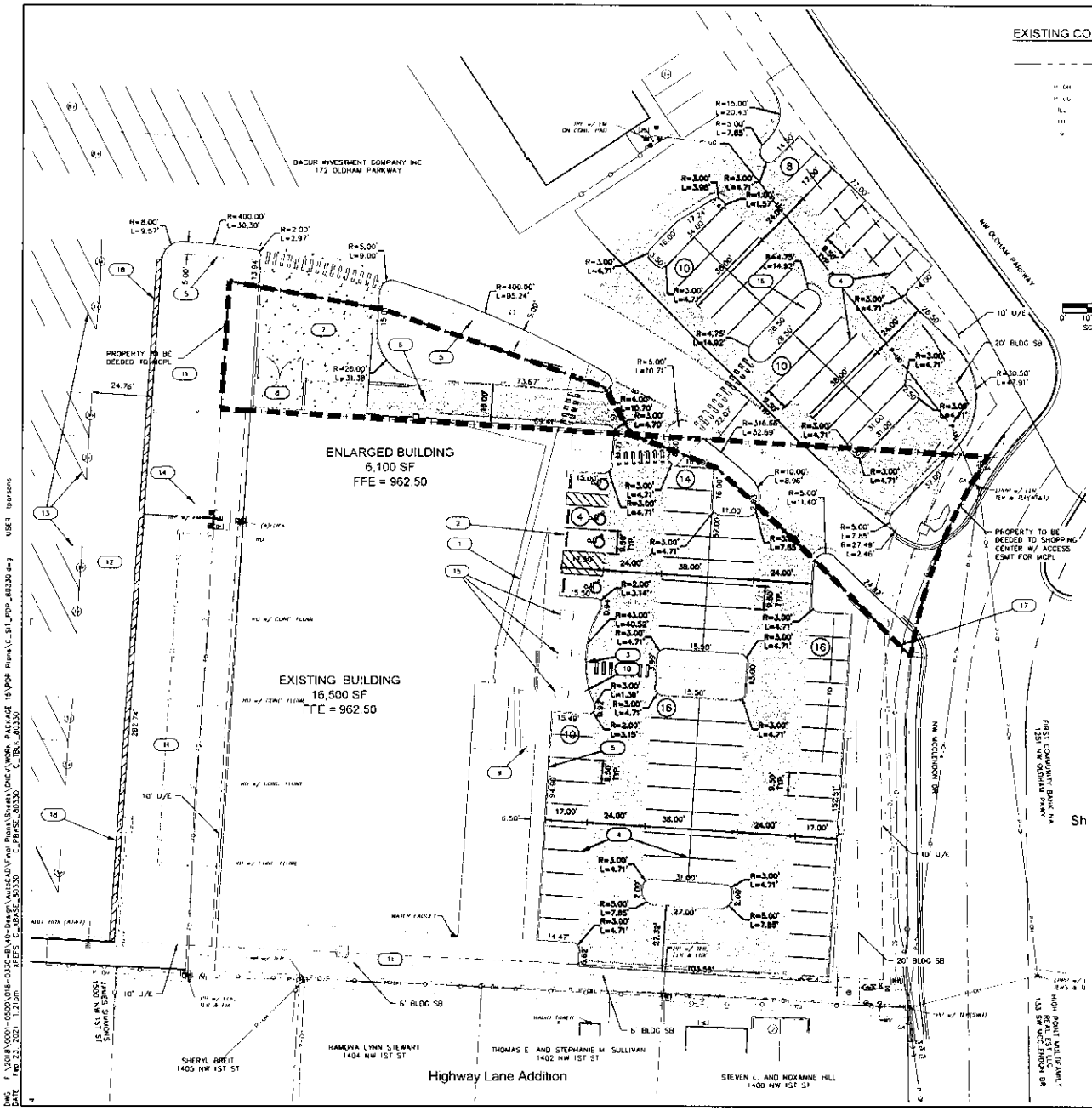

EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTIC
- GAS LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

- E — PROPOSED UNDERGROUND ELECTRIC
- FO — PROPOSED FIBER OPTIC
- W — PROPOSED WATER LINE
- FP — PROPOSED FIRE PROTECTION LINE
- SD — PROPOSED STORM SEWER LINE
- T — PROPOSED TURF DRAIN LINE
- SS — PROPOSED SANITARY SEWER SERVICE
- PROPOSED AGGREGATE PATH
- TYPE CG-1 CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED MILL & OVERLAY ASPHALT PAVEMENT
- ADA PATH - SIDEWALKS NOT DELINEATED AS ADA PATHS MAY NOT BE ADA COMPLIANT
- ACCESSIBLE RAMP
- (X) PARKING COUNT

KEYNOTES:

1. CONSTRUCT ADA ACCESSIBLE RAMP
2. ADA PARKING STALL LAYOUT
3. PROPOSED DROP OFF ZONE
4. INSTALL PAVEMENT STRIPING - TYPICAL.
5. INSTALL CONCRETE SIDEWALK
6. PROPOSED DRIVE THRU WINDOW AND LANE
7. SERVICE AREA
8. TRASH ENCLOSURE
9. PROPOSED BOOK DROP-OFF
10. PROPOSED BOLLARD (TYPICAL)
11. ADDITIONAL GREEN SPACE
12. RELOCATED DRIVE LANE
13. REVISED STRIPING IN EXISTING LOT
14. 10' ACCESS ASPHALT LANE FOR TRANSFORMER
15. PROPOSED PLANTERS
16. PROPOSED CONCRETE ISLAND
17. PROPOSED STOP SIGN
18. FIRE LANE (RED CURB)

NOTE

- DIMENSIONS ARE TO BACK OF CURB
- EDGE PARKING STALLS ARE 9.5'X17'
- CENTRAL PARKING STALLS ARE 9.5'X19'

SITE DATA						
	PRE CONSTRUCTION			POST CONSTRUCTION		
	TOTAL	LIB	SC	TOTAL	LIB	SC
SITE AREA (AC) - ZONING CP-2						
SITE AREA :	18.2	1.6	16.6	18.2	1.7	16.5
DISTURBED AREA:	2.6	1.6	0.9	2.6	1.7	0.9
IMPERVIOUS:	1.8	1.2	0.5	1.7	1.2	0.5
PERVIOUS:	0.8	0.4	0.4	0.9	0.5	0.4
% IMPERVIOUS:	69%	76%	58%	66%	72%	56%
% PERVIOUS	31%	24%	42%	34%	28%	44%
BUILDING AREA (SF)						
BUILDING AREA	16500	16500	0	22600	22600	0
FAR (0.55 MAX):	23%			31%		
PARKING						
PARKING SPACES	83	53	30*	96	68**	28
ADA	3	3	0	4	4***	0

NOTES: (LIB - LIBRARY PROPERTY, SC - SHOPPING CENTER PROPERTY)
* 30 SPACES REMOVED WEST OF EXISTING LIBRARY, 28 SPACES WILL BE
** 3 PER 1000 SF = 66
** 3 ADA SPACES ARE REQUIRED PER CITY TABLE

SAPP DESIGN ARCHITECTS

helix.

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
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JACKSON COUNTY

PACKAGE 15

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Revision No	Description	Date

Project No	Date	Drawn
018-0330	10.12.2020	HMD

Drawing No
C2.0

SITE & DIMENSION PLAN

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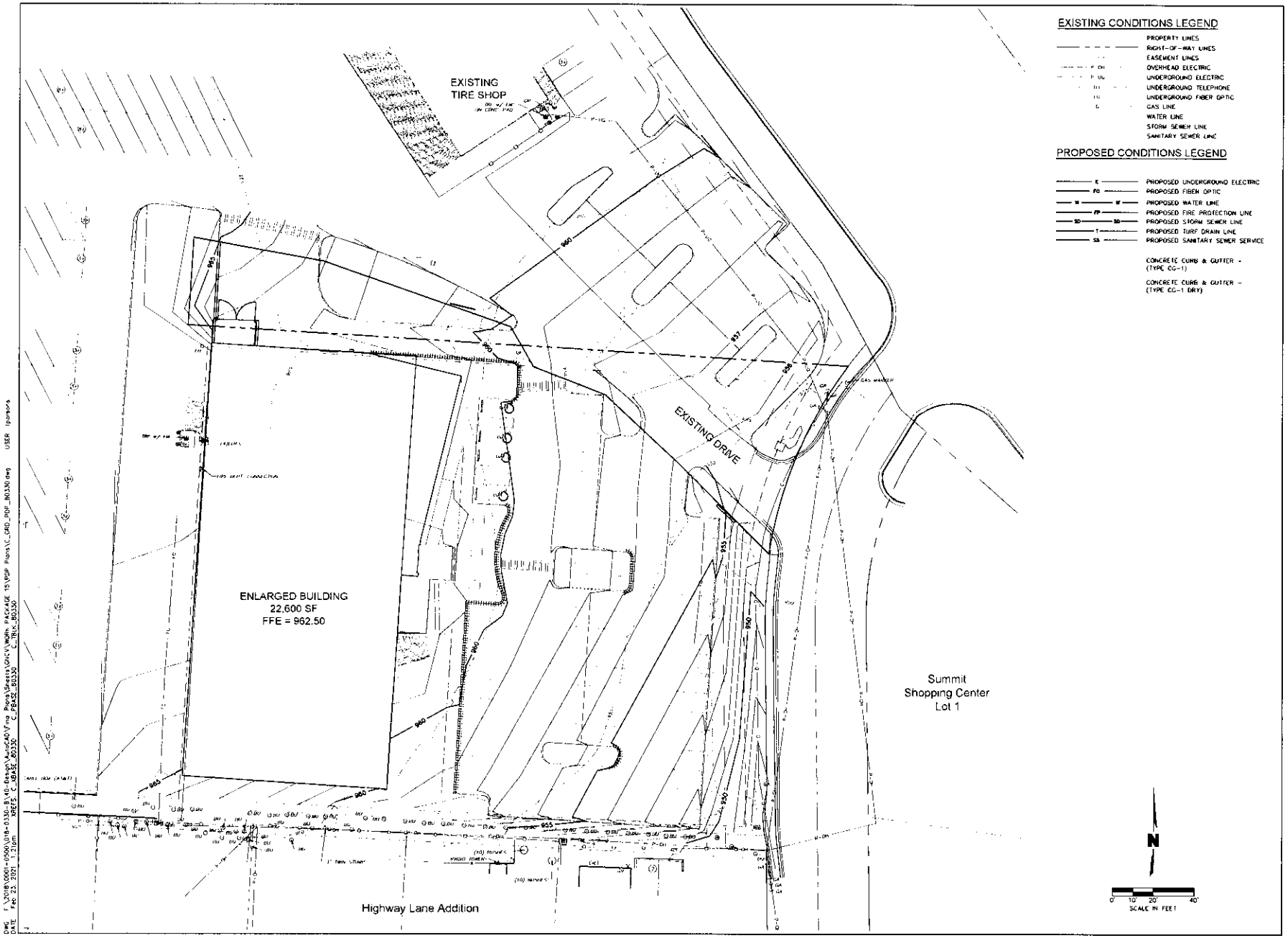

EXISTING CONDITIONS LEGEND

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PROPOSED CONDITIONS LEGEND

- PROPOSED UNDERGROUND ELECTRIC
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- PROPOSED TURF DRAIN LINE
- PROPOSED SANITARY SEWER SERVICE

CONCRETE CURB & GUTTER - (TYPE CG-1)

CONCRETE CURB & GUTTER - (TYPE CG-1 DRY)

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Kansas City, MO 64108
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Engineer of Record

Terry M Parsons, Engineer MO PE 2018021095

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Revision No	Description	Date

Project No	Date	Drawn
018-0330	10.12.2020	HMO

Drawing No.
C3.0
GRADING PLAN

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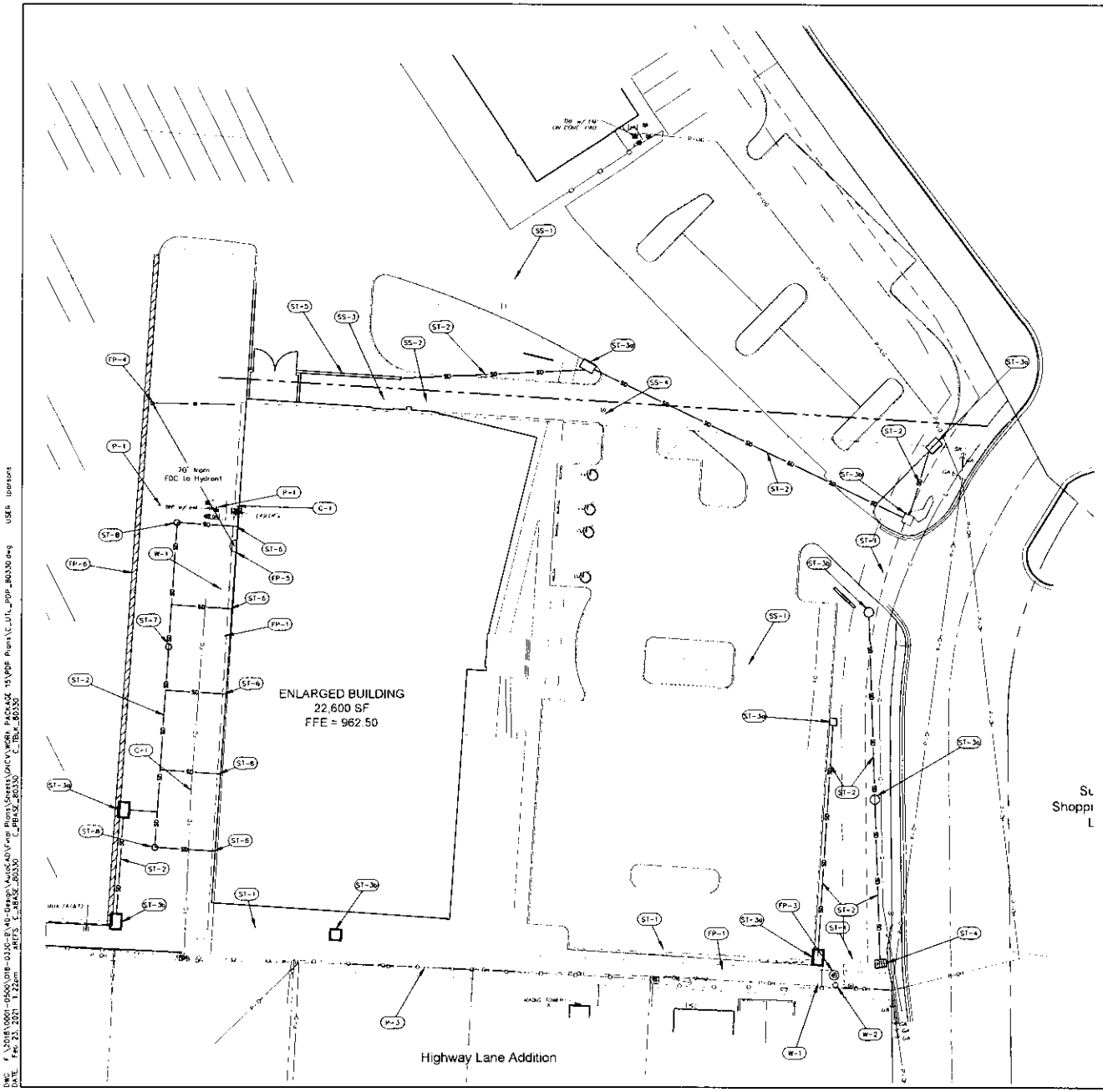

EXISTING CONDITIONS LEGEND

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PROPOSED CONDITIONS LEGEND

- PROPOSED UNDERGROUND ELECTRIC
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- PROPOSED WATER LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED STORM SEWER LINE
- PROPOSED TURF DRAIN LINE
- PROPOSED SANITARY SEWER SERVICE

UTILITY KEYNOTES: (XX)

WATER
W-1 EXISTING 2" SERVICE LINE TO REMAIN
W-2 EXISTING 2" WATER METER TO REMAIN.

FIRE PROTECTION
FP-1 EXISTING 6" FIRE SERVICE TO REMAIN
FP-2 EXISTING HYDRANT TO REMAIN
FP-3 RELOCATE BACKFLOW PREVENTOR AND VAULT TO REMAIN
FP-4 RELOCATE EXISTING HYDRANT
FP-5 EXISTING FDC TO REMAIN
FP-6 PAINT PROPOSED CURB RED AT BACK OF BUILDING FOR FIRE LANE PER CITY STANDARDS

SANITARY SEWER
SS-1 EXISTING 8" PUBLIC SANITARY MAIN
SS-2 INSTALL 4" PVC SERVICE LINE
SS-3 INSTALL STANDARD CLEANOUT
SS-4 CONNECT TO EXISTING WYE ON THE EXISTING 8" MAIN (APPROX. FL=962.68)

STORM SEWER
ST-1 EXISTING STORM TO REMAIN
ST-2 PROPOSED HDPE STORM PIPE
ST-3a PROPOSED STORM STRUCTURE
ST-3b PROPOSED STORM STRUCTURE OVER EXISTING STORM LINE
ST-4 CONNECT TO EXISTING STRUCTURE
ST-5 PROPOSED TRENCH DRAIN
ST-6 CONNECT ROOF DRAIN TO PROPOSED STORM LINE
ST-7 INSTALL INSERT-A-TEE WITH 6" LANDSCAPE DRAIN
ST-8 INSTALL STANDARD CLEANOUT

POWER
P-1 PRIMARY SERVICE
P-2 PROPOSED TRANSFORMER TO REMAIN
P-3 OVERHEAD POWER TO REMAIN

GAS
G-1 EXISTING GAS METER AND SERVICE TO REMAIN

COMMUNICATION
C-1 EXISTING FIBER LINE TO REMAIN

N
0' 10' 20' 40'
SCALE IN FEET

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SAPP DESIGN ARCHITECTS
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Missouri State Certificate of Authority #000687

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Missouri State Certificate of Authority #000770

SPECIAL NOTICES

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Revision No	Description	Date

Project No	Date	Drawn
018-0330	02.12.2020	HMO

Drawing No
C4.0
UTILITY PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
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PROPOSED CONDITIONS LEGEND

- E — PROPOSED UNDERGROUND ELECTRIC
- FO — PROPOSED FIBER OPTIC
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- FP — PROPOSED FIRE PROTECTION LINE
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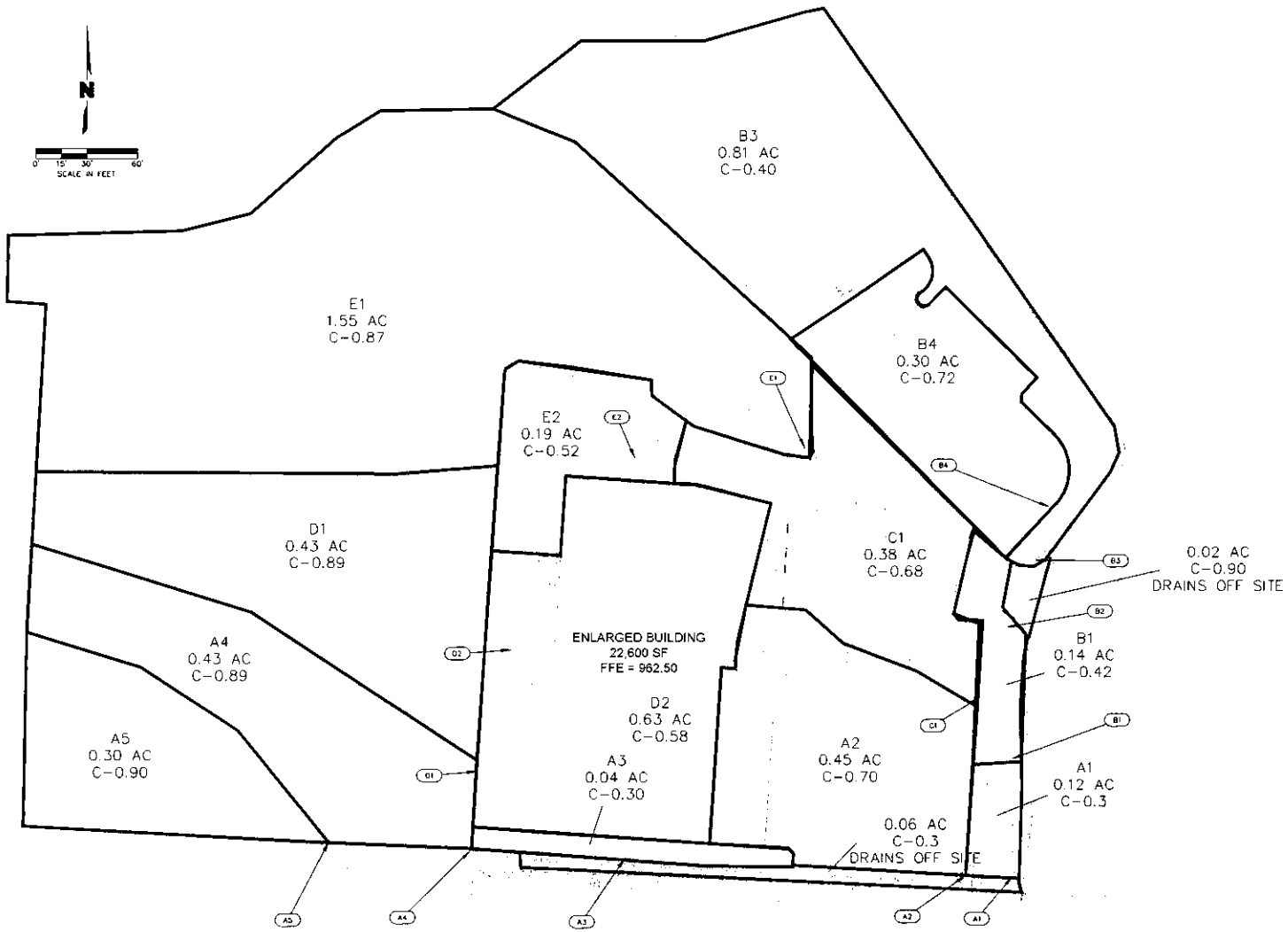
- T — PROPOSED TURF DRAIN LINE
- SS — PROPOSED SANITARY SEWER SERVICE
- PROPOSED AGGREGATE PATH

NOTE:

GENERAL STRUCTURE DESCRIPTIONS AND CALCULATIONS ARE PROVIDED ON SHEET C5.1

DRAINAGE AREAS OUTSIDE OF THE SURVEY AREA WERE DEFINED BY GOOGLE EARTH SURFACE



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SPECIAL NOTICES

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150 NW Oldham Parkway
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JACKSON COUNTY

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Revision No	Description	Date

Project No 018-0330 | Date 10.12.2020 | Drawn TMO

Drawing No **C5.0**

STORM SEWER PLAN

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STORM SEWER PIPE AND STRUCTURE TABLE

STORM SEWER PIPE AND STRUCTURE TABLE
TITLE: LEES SUMMIT LIBRARY
JOB #: B18-0330

DESIGN CONDITIONS: 10 YEAR STORM EVENT

STRUCTURES		RUNOFF CALCULATIONS									PIPE DESIGN						
FROM	TO	DIRECT AREA (ACRES)	TOTAL AREA (ACRES)	C	KC (K=1.00)	Tc (MIN)	FLOW TIME (MIN)	INTENSITY (IN/HR)	DESIGN Q (CFS)	DESCRIPTION	PIPE LENGTH (L.F.)	PIPE SLOPE (%)	PIPE DIA (IN)	Q FULL (CFS)	PIPE AREA (SQ.FT.)	V FULL (F/S)	DESIGN V (F/S)
A5		0.30		0.90	0.90	5.0	-	7.35	1.98	EXISTING STRUCTURE							
	A4		1.36	0.75	0.75	5.0	-	7.35	7.50	30 in. HDPE	81.00	4.00	30	82.26	4.91	16.76	10.41
A4		0.43		0.89	0.89	5.0	-	7.35	2.81	6X4 CURB INLET OF EX PIPE							
	A3		1.79	0.78	0.78	5.0	-	7.35	10.26	30 in. HDPE	92.00	4.00	30	82.26	4.91	16.76	11.41
A3		0.04		0.30	0.30	5.0	-	7.35	0.09	4X4 AREA INLET OF EX PIPE							
	A2		2.21	0.75	0.75	5.0	-	7.35	12.18	30 in. HDPE	202.00	4.00	30	82.26	4.91	16.76	11.99
A2		0.45		0.70	0.70	5.0	-	7.35	2.32	6X4 CURB INLET OF EX PIPE							
	A1		5.65	0.70	0.70	5.0	-	7.35	29.07	30 in. HDPE	27.00	4.00	30	82.26	4.91	16.76	15.28
A1		0.12		0.30	0.30	5.0	-	7.35	0.26	RECONS EX AREA INLET							
	A0		5.77	0.67	0.67	5.0	-	7.35	28.41	36 in. HDPE	118.00	1.60	36	84.59	7.07	11.97	10.77
B4		0.30		0.72	0.72	5.0	-	7.35	1.59	6x4 CURB INLET							
	B3		0.30	0.72	0.72	5.0	-	7.35	1.59	15 in. HDPE	110.00	1.00	15	6.48	1.23	5.28	4.36
B3		0.81		0.40	0.40	5.0	-	7.35	2.38	RECONS EX AREA INLET							
	B3		1.11	0.42	0.42	5.0	-	7.35	3.43	24 in. HDPE	55.00	1.50	24	27.78	3.14	8.84	6.00
B2		0.00		0.30	0.30	5.0	-	7.35	0.00	JUNCTION BOX							
	B1		2.85	0.67	0.67	5.0	-	7.35	14.03	30 in. HDPE	67.00	2.40	30	63.71	4.91	12.98	10.40
B1		0.14		0.42	0.42	5.0	-	7.35	0.43	5x5 AREA INLET							
	A1		2.99	0.67	0.67	5.0	-	7.35	14.72	36 in. HDPE	69.00	2.40	36	103.61	7.07	14.66	10.36
C1		0.38		0.68	0.68	5.0	-	7.35	1.90	6x4 CURB INLET							
	A2		0.38	0.68	0.68	5.0	-	7.35	1.90	15 in. HDPE	98.00	1.00	15	6.48	1.23	5.28	4.58
D2		0.63		0.58	0.58	5.0	-	7.35	2.69	4x4 AREA INLET							
	D2		0.63	0.58	0.58	5.0	-	7.35	2.69	15 in. HDPE	71.00	1.00	15	6.48	1.23	5.28	5.02
D1		0.43		0.89	0.89	5.0	-	7.35	2.81	6x4 CURB INLET							
	A4		1.06	0.71	0.71	5.0	-	7.35	5.53	15 in. HDPE	47.00	1.00	15	6.48	1.23	5.28	5.92
E2		0.19		0.52	0.52	5.0	-	7.35	0.73	TRENCH DRAIN							
	E1		0.19	0.33	0.33	5.0	-	7.35	0.46	15 in. HDPE	79.00	1.50	15	7.93	1.23	6.46	3.55
E1		1.55		0.87	0.87	5.0	-	7.35	9.91	6x4 CURB INLET							
	B2		1.74	0.83	0.83	5.0	-	7.35	10.61	18 in. HDPE	148.00	1.50	18	12.90	1.77	7.30	8.14

STORM SEWER PIPE AND STRUCTURE TABLE
TITLE: LEES SUMMIT LIBRARY
JOB #: B18-0330

DESIGN CONDITIONS: 100 YEAR STORM EVENT

STRUCTURES		RUNOFF CALCULATIONS									PIPE DESIGN						
FROM	TO	DIRECT AREA (ACRES)	TOTAL AREA (ACRES)	C	KC (K=1.25)	Tc (MIN)	FLOW TIME (MIN)	INTENSITY (IN/HR)	DESIGN Q (CFS)	DESCRIPTION	PIPE LENGTH (L.F.)	PIPE SLOPE (%)	PIPE DIA (IN)	Q FULL (CFS)	PIPE AREA (SQ.FT.)	V FULL (F/S)	DESIGN V (F/S)
A5		0.30		0.90	1.00	5.0	-	10.32	3.10	EXISTING STRUCTURE							
	A4		1.36	0.75	0.94	5.0	-	10.32	13.16	30 in. HDPE	81.00	4.00	30	82.26	4.91	16.76	12.26
A4		0.43		0.89	1.11	5.0	-	10.32	4.94	6X4 CURB INLET OF EX PIPE							
	A3		1.79	0.78	0.98	5.0	-	10.32	18.01	30 in. HDPE	92.00	4.00	30	82.26	4.91	16.76	13.40
A3		0.04		0.30	0.38	5.0	-	10.32	0.15	4X4 AREA INLET OF EX PIPE							
	A2		2.21	0.75	0.94	5.0	-	10.32	21.38	30 in. HDPE	202.00	4.00	30	82.26	4.91	16.76	14.06
A2		0.45		0.70	0.88	5.0	-	10.32	4.06	6X4 CURB INLET OF EX PIPE							
	A1		5.65	0.70	0.88	5.0	-	10.32	51.02	30 in. HDPE	27.00	4.00	30	82.26	4.91	16.76	17.62
A1		0.12		0.30	0.38	5.0	-	10.32	0.46	RECONS EX AREA INLET							
	A0		5.77	0.67	0.84	5.0	-	10.32	49.87	36 in. HDPE	118.00	1.60	36	84.59	7.07	11.97	12.43
B4		0.30		0.72	0.90	5.0	-	10.32	2.79	6x4 CURB INLET							
	B3		0.30	0.72	0.90	5.0	-	10.32	2.79	15 in. HDPE	110.00	1.00	15	6.48	1.23	5.28	5.07
B3		0.81		0.40	0.50	5.0	-	10.32	4.18	RECONS EX AREA INLET							
	B3		1.11	0.42	0.53	5.0	-	10.32	6.01	24 in. HDPE	55.00	1.50	24	27.78	3.14	8.84	7.05
B2		0.00		0.30	0.38	5.0	-	10.32	0.00	JUNCTION BOX							
	B1		2.85	0.67	0.84	5.0	-	10.32	24.63	30 in. HDPE	67.00	2.40	30	63.71	4.91	12.98	12.13
B1		0.14		0.42	0.53	5.0	-	10.32	0.76	CURB INLET							
	A1		2.99	0.67	0.84	5.0	-	10.32	25.84	36 in. HDPE	69.00	2.40	36	103.61	7.07	14.66	12.16
C1		0.38		0.68	0.85	5.0	-	10.32	3.33	6x4 CURB INLET							
	A2		0.38	0.68	0.85	5.0	-	10.32	3.33	15 in. HDPE	98.00	1.00	15	6.48	1.23	5.28	5.31
D2		0.63		0.58	0.73	5.0	-	10.32	4.71	4x4 AREA INLET							
	D2		0.63	0.58	0.73	5.0	-	10.32	4.71	15 in. HDPE	71.00	1.00	15	6.48	1.23	5.28	5.75
D1		0.43		0.89	1.00	5.0	-	10.32	4.44	6x4 CURB INLET							
	A4		1.06	0.71	0.89	5.0	-	10.32	9.71	18 in. HDPE	47.00	1.00	18	10.53	1.77	5.96	6.75
E2		0.19		0.52	0.65	5.0	-	10.32	1.27	TRENCH DRAIN							
	E1		0.19	0.33	0.41	5.0	-	10.32	0.81	15 in. HDPE	79.00	1.50	15	7.93	1.23	6.46	4.16
E1		1.55		0.87	1.00	5.0	-	10.32	16.00	6x4 CURB INLET							
	B2		1.74	0.83	1.00	5.0	-	10.32	17.96	24 in. HDPE	148.00	1.50	24	27.78	3.14	8.84	9.38

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SPECIAL NOTICES

In the event the client contracts or allows authorities or agencies of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes and agrees to defend, indemnify and hold the design professional harmless from any claim or liability and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The original seal of the registered Architect or Engineer shall be the final authority on the technical and professional information, and the seal of the seal shall apply to this sheet and the work shown and specified pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

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JACKSON COUNTY

PACKAGE 15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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Revision No.	Description	Date

Project No.	Date	Drawn
B18-0330	10.12.2020	HMD

Drawing No.
C5.1
STORM SEWER CALCULATIONS

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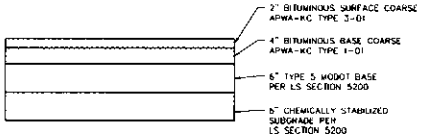
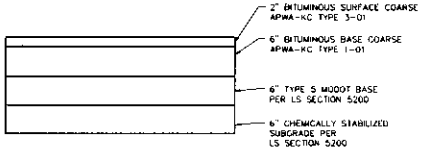


ASPHALT PAVEMENT (LIGHT TRAFFIC) WITH AGGREGATE BASE SECTION

NOT TO SCALE



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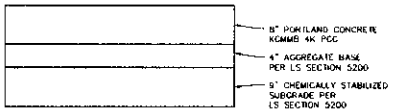

PCC DRIVE PAVEMENT SECTION

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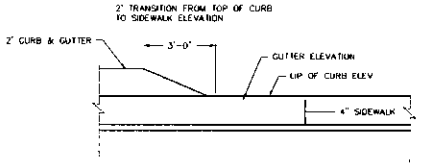
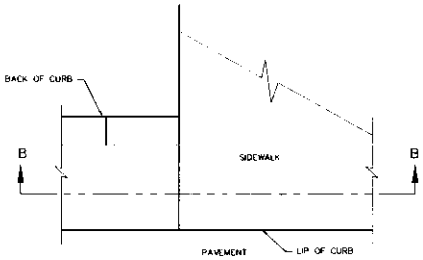


SECTION B-B



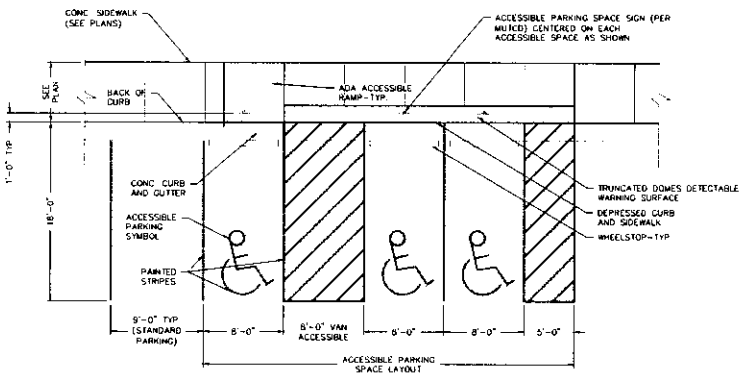
PLAN

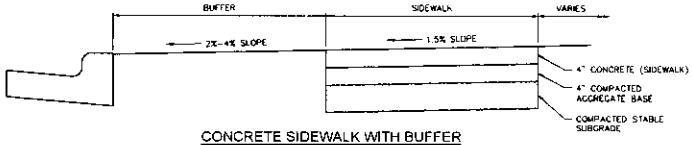
CURB TRANSITION DETAIL

NOT TO SCALE

NOTE

ACCESSIBLE PARKING SYMBOL AND SIGNAGE SHALL COMPLY WITH THE APPLICABLE RECOMMENDATIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).





CONCRETE SIDEWALK WITH BUFFER

NOT TO SCALE

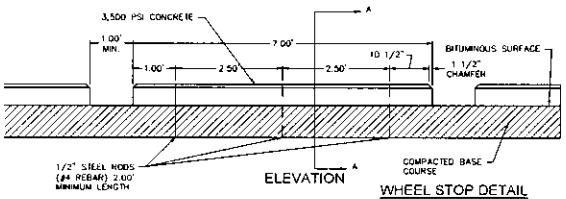
GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

TYPICAL ADA PARKING SPACE LAYOUT DETAIL

NOTE:

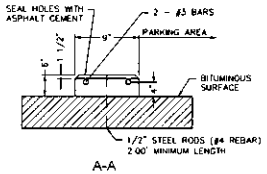
ANCHOR RODS TO BE SLEEVED OF GREASED THRU CONCRETE CURBS TO PERMIT RELOCATION OF CURBS.



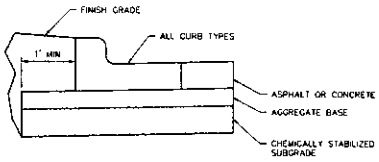
ELEVATION

WHEEL STOP DETAIL

NOT TO SCALE

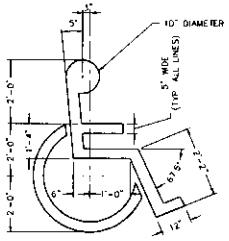


A-A



TYPICAL SUBGRADE PLACEMENT UNDER CURB

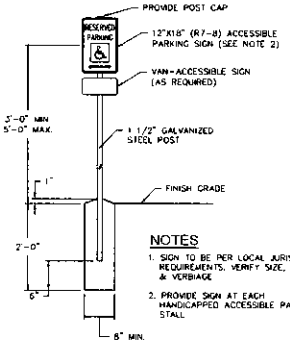
NOT TO SCALE



PROVIDE PAINTED SYMBOL AT EACH DESIGNATED ACCESSIBLE PARKING STALL CENTER SYMBOL IN EACH STALL.

ACCESSIBLE PARKING SYMBOL

NOT TO SCALE



NOTES

1. SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
2. PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL

ACCESSIBLE PARKING SPACE SIGNAGE

NOT TO SCALE

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SAPP DESIGN ARCHITECTS

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PACKAGE 15

Engineer of Record

Tony Pursons, Engineer MO #E-2018012505

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Revision No	Description	Date

Project No	Date	Drawn
018-0330	10.12.2020	MAD

Drawing No

C8.0

STANDARD DETAILS

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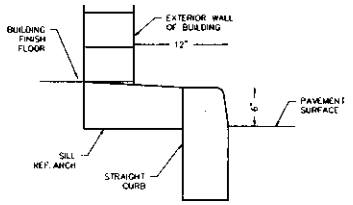

PROTECTION CURB

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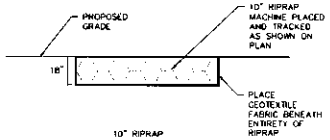
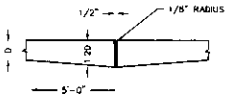


10" RIPRAP

WEIGHT OF INDIVIDUAL PIECES	MINIMUM PERCENT LARGER THAN
500 lbs.	0%
250 lbs.	50%
125 lbs.	70%
10 lbs	90%

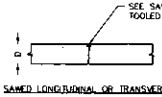
STONE RIPRAP DETAIL

NOT TO SCALE

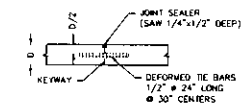


EXPANSION JOINT AT CONNECTION TO EXISTING PAVEMENT

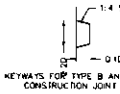
NOTE:
1. EXPANSION JOINTS TO BE USED IN ALL AREAS THAT CONCRETE PAVEMENT ABUTS BUILDING
2. 6X6X6 WELDED WIRE MESH IS TO BE USED IN ALL CONCRETE WALKS AROUND BUILDINGS.



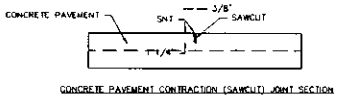
SAWED LONGITUDINAL OR TRANSVERSE



EMERGENCY TIED TRANSVERSE CONSTRUCTION JOINT
(USED AT MIDDLE THIRD NORMAL JOINT SPACING)



KEYWAYS FOR TYPE B AND F CONSTRUCTION JOINT

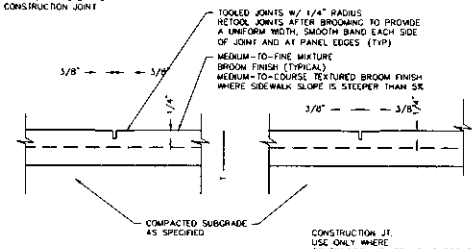


CONCRETE PAVEMENT CONTRACTION (SAWCUT) JOINT SECTION

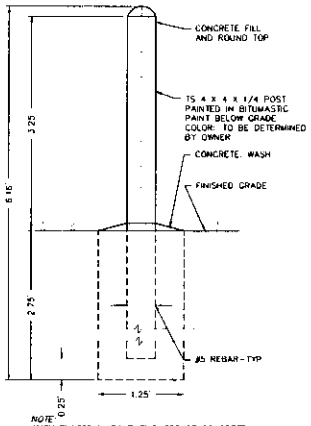
SAWCUT JOINT

CONCRETE PAVING JOINT DETAILS

NOT TO SCALE



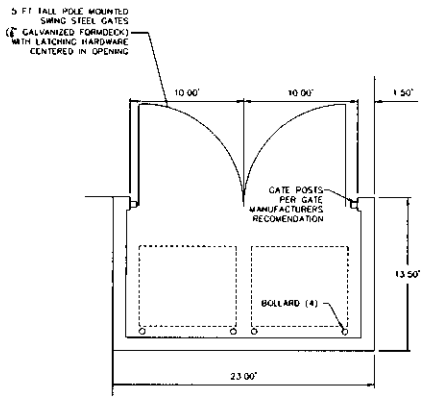
TOOLED JOINT



NOTE:
WHEN PLACED IN PAVEMENT, TOP OF CONCRETE FOUNDATION SHALL BE PLACED BELOW NEW PAVEMENT WITH 1/2 ISOLATION JOINT & SEAL

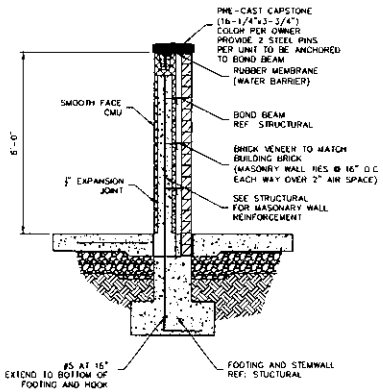
BOLLARD DETAIL

NOT TO SCALE



NOTE: ALL EXPOSED STEEL SHALL BE GALVENIZED AND EPOXY PAINTED. COLOR TO BE DETERMINED BY THE OWNER

PLAN



TYPICAL WALL SECTION

TRASH ENCLOSURE DETAIL

NOT TO SCALE

SAPP DESIGN ARCHITECTS

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olsson

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Revision No.	Description	Date

Project No.	Date	Drawn
19-19-6329	10.12.2020	HMU

Drawing No.

C8.1

STANDARD DETAILS

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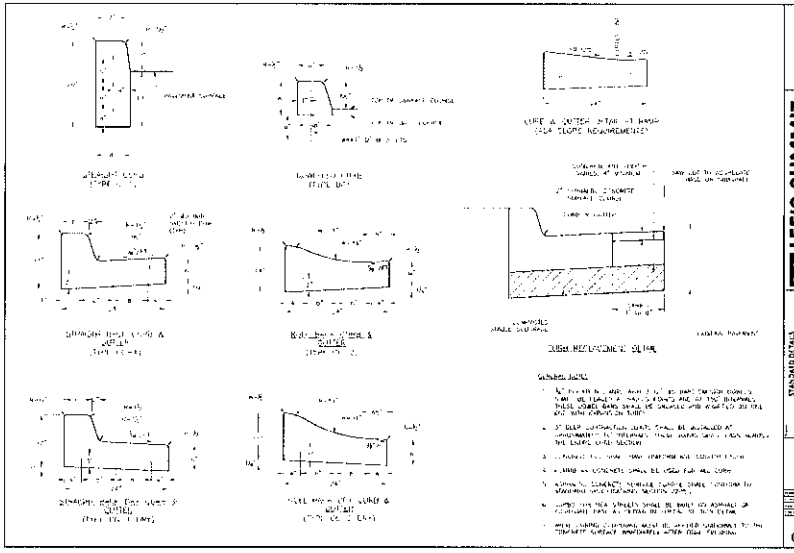

SAPP DESIGN ARCHITECTS

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000687

helix.

1828 Walnut
Kansas City, MO 64108

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE 15

Engineer of Record

Tony M Peterson, Engineer MO PE-2010018515

olsson

7301 West 133rd Street, Suite 200
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Missouri State Certificate of Authority 2001342

Revision No	Description	Date

Project No.	Date	Drawn
018-0330	10-12-2020	HMO

Drawing No.

C8.2

STANDARD DETAILS

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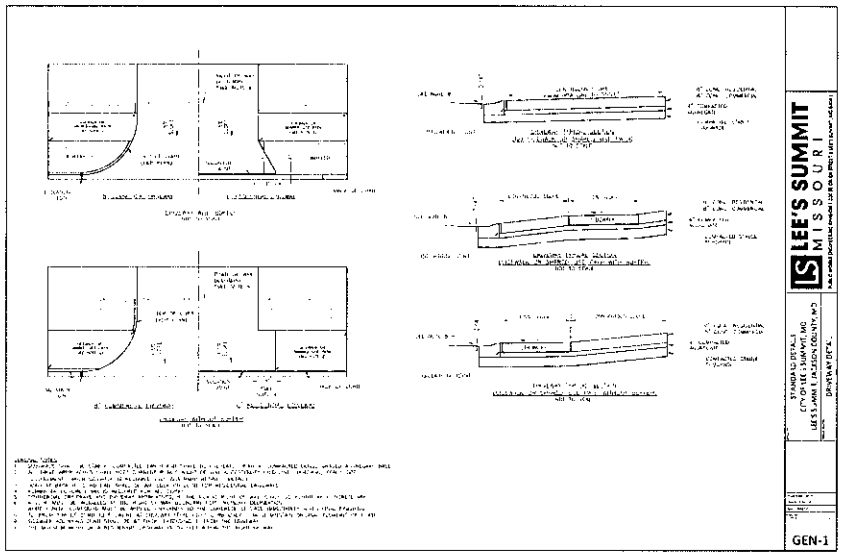

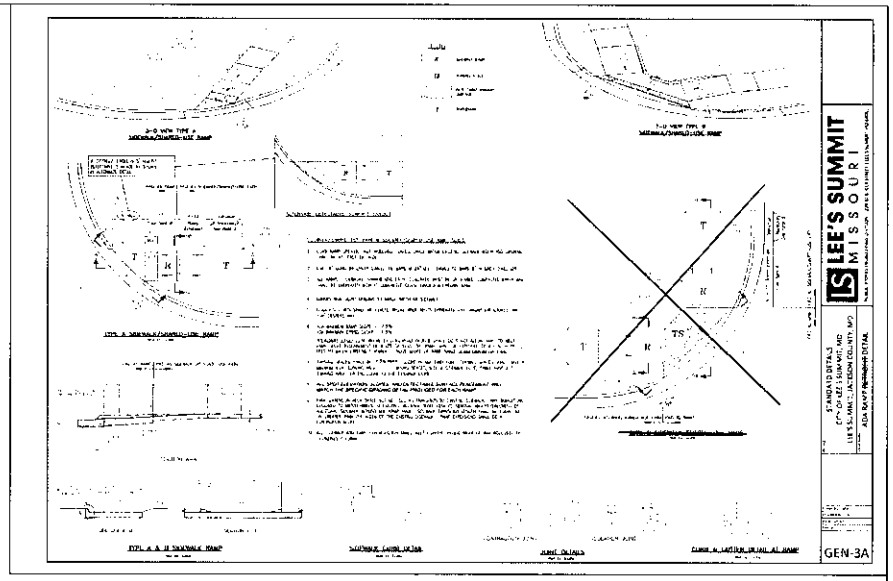

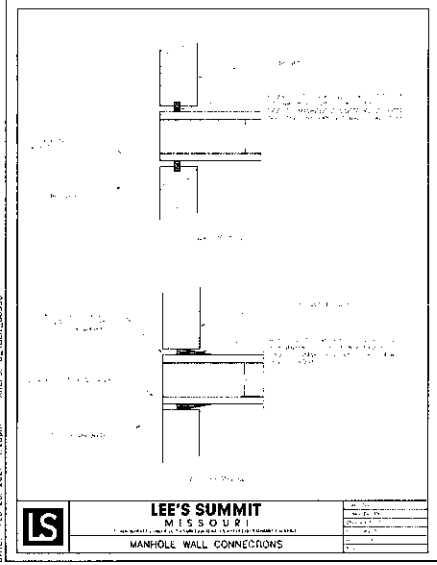

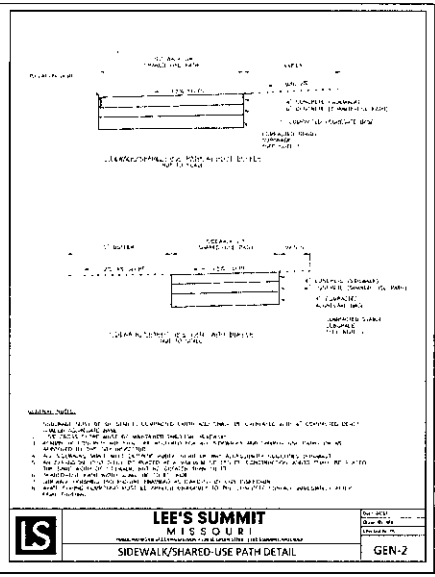

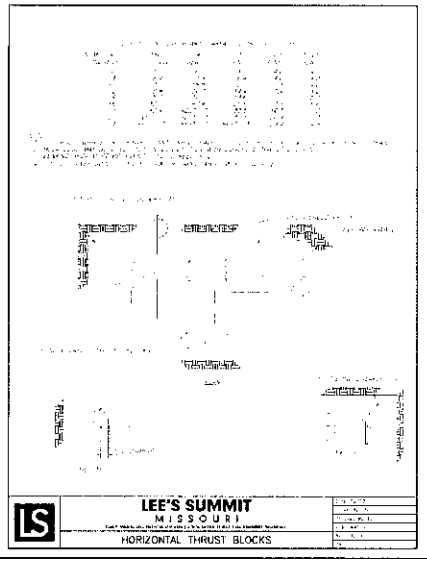

SAPP DESIGN ARCHITECTS

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #00000

helix.

1629 Walnut
Kansas City, MO 64108
Ph No. 816-0300

Helix Architecture + Design
Missouri State Certificate of Authority #00000

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE 15

Engineer of Record

Terry M Parsons, Engineer MO #E-2010012465

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Olsson
Missouri State Certificate of Authority #2001592

Revision No	Description	Date

Project No	Date	Drawn
019-0302	10.12.2020	HMU

Drawing No.
C8.3
STANDARD DETAILS

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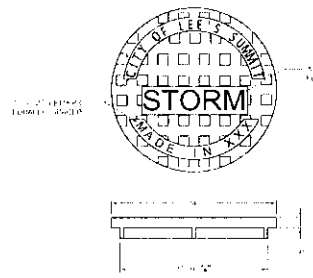
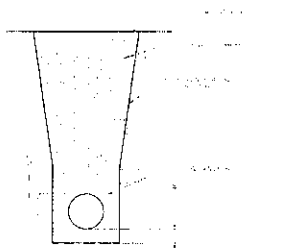


LEE'S SUMMIT
MISSOURI
STORM MANHOLE COVER DETAIL
STM-6



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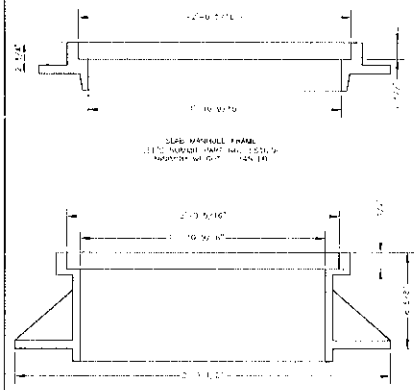
MISSOURI
TRENCH CHECK



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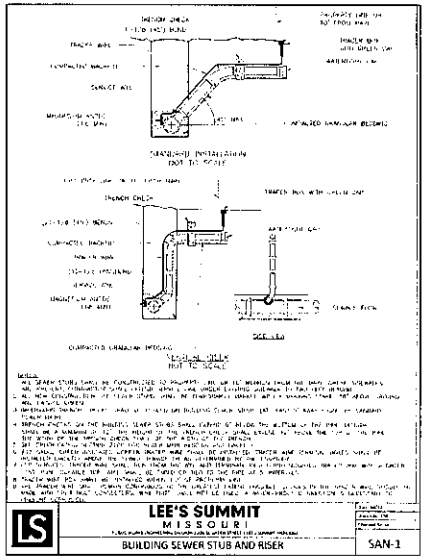
MISSOURI
STORM MANHOLE FRAME DETAIL
STM-7



LEE'S SUMMIT
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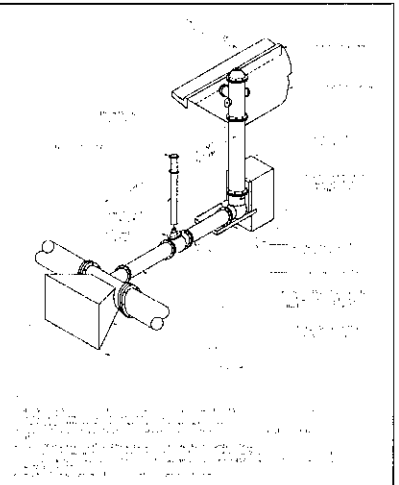
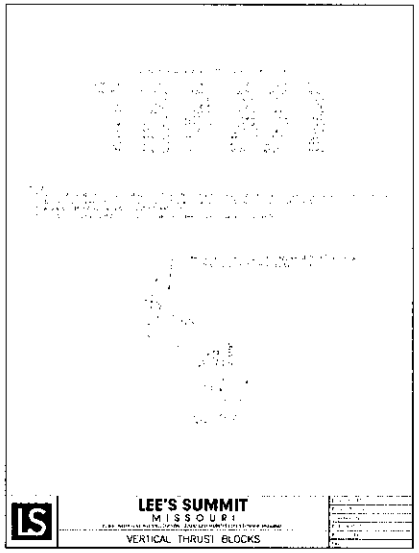
BUILDING SEWER STUB AND RISER
SAN-1



LEE'S SUMMIT
MISSOURI
HYDRANT INSTALLATION – STRAIGHT SET



LEE'S SUMMIT
MISSOURI
VERTICAL THRUST BLOCKS

SAPP DESIGN ARCHITECTS

SAPP Design Associates, Architect, P.C.
Missouri State Certificate of Authority #000607

helix.

Helix Architecture + Design
Missouri State Certificate of Authority #000740

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PROJECT 15

Licensed Professional Engineer

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Olsson
Missouri State Certificate of Authority #2015042

Revision No	Description	Date

Project No	Date	Drawn
17-01030	10.12.2020	HMC

Drawing No.
C8.4
STANDARD DETAILS

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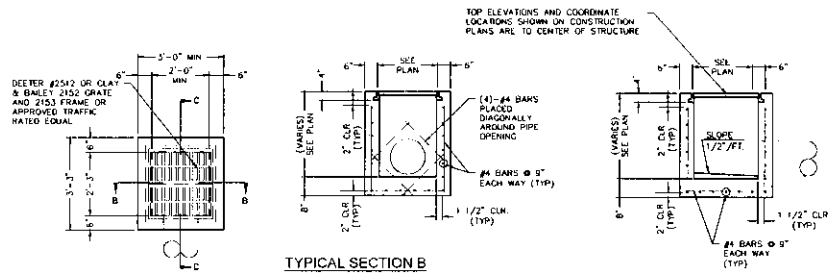


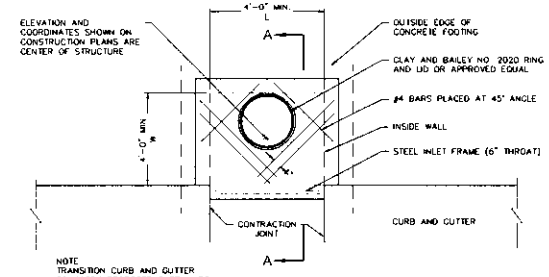
PLAN

TYPICAL SECTION B

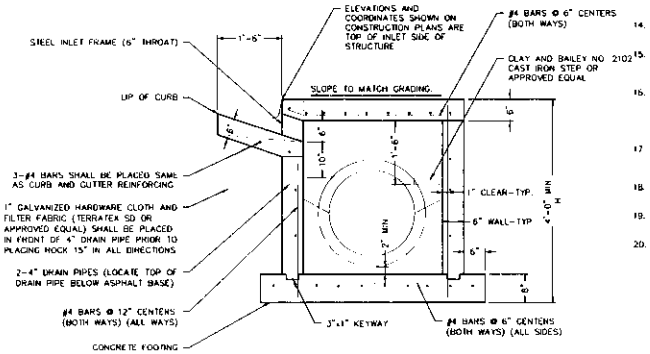
TYPICAL SECTION C

DOUBLE GRATE INLET DETAILS

NOT TO SCALE



PLAN



SECTION A-A

NON-SETBACK CURB INLET

NOT TO SCALE

NON-SETBACK CURB INLET NOTES

1. USE CITY APPROVED CONCRETE THROUGHOUT
2. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION THE SECOND DIMENSION IS THE "W" DIMENSION.
3. FLOOR OF INLET SHALL BE SHAPED TO PROVIDE SMOOTH FLOW.
4. EXPANSION JOINTS SHALL BE EITHER HOT OR COLD POURED JOINT SEALING COMPOUND, OR PREMOLDED EXPANSION JOINT FILLER
5. STEEL INLET FRAME SPACERS SHALL BE PLACED AT EQUAL SPACINGS NOT TO EXCEED 4'-0".
6. CAST IRON STEPS TO BE CLAY & BAILEY 2102 OR APPROVED EQUAL STEEL CORE, PLASTIC COATED STEPS MAY BE USED (M.A. IND.,INC. NO. PS1-PF, PS2-PF, OR APPROVED EQUAL). CAST IRON STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY
7. BEVEL ALL EXPOSED EDGES WITH TRIANGULAR MOLDING.
8. ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
9. ALL STORM SEWER STRUCTURES SHALL BE PRECAST. PRECAST SHOP DRAWINGS SHALL BE APPROVED BY THE DESIGN ENGINEER
10. REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 40 AS PER ASTM A615, AND SHALL BE BENT COLD.
11. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF ±1/8" SHALL BE PERMITTED.
12. ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH
13. ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY BED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE.
14. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
15. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
16. THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALL CONCRETE. ALL SIDEWALL FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALLS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND.
17. ALL CURB INLET TOPS ARE TO BE CONSTRUCTED AFTER FINAL CURB STRING LINE HAS BEEN APPROVED BY THE ENGINEER AND PRIOR TO CURB CONSTRUCTION, OR AS DIRECTED BY THE CITY ENGINEER.
18. RCP CONNECTIONS TO PRECAST STRUCTURE SHALL MEET ALL CITY STANDARDS
19. BACKFILL AROUND STRUCTURES SHALL BE COMPACTED AND SHALL BE OF THE MATERIAL SPECIFIED PER CITY STANDARDS
20. NON-SETBACK CURB INLET TO BE USED ONLY WITH THE APPROVAL OF THE CITY ENGINEER

NOTES

GENERAL

1. ALL STORM SEWER STRUCTURES SHALL BE PRECAST. PRECAST SHOP DRAWINGS SHALL BE APPROVED BY THE DESIGN ENGINEER
2. PRE-CAST SHOP DRAWINGS ARE TO BE APPROVED BY THE CITY ENGINEER FOR PUBLICLY FINANCED OR ADMINISTERED PROJECTS. PRE-CAST SHOP DRAWINGS FOR PRIVATELY FINANCED PROJECTS ARE TO BE SUBMITTED TO THE ENGINEERING SERVICES DIVISION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
3. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER PRIOR TO CONSTRUCTION
4. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION. THE CONCRETE THICKNESS AND REINFORCEMENT SHOWN IS FOR BOXES WITH ("L"+"H") AND ("W"+"H") LESS THEN OR EQUAL TO 20. FOR BOXES WITH EITHER OF THESE CALCULATIONS GREATER THAN 20, A SPECIAL DESIGN IS REQUIRED

CONCRETE

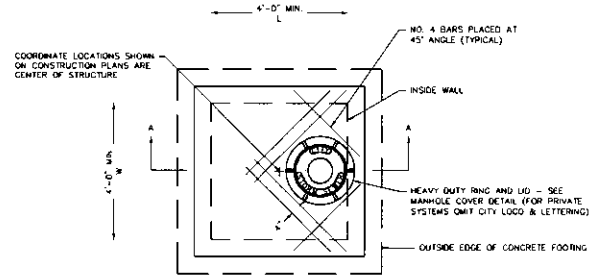
5. CONCRETE USED IN THIS WORK SHALL BE KCMMB4K, AS APPROVED BY THE KANSAS CITY METROPOLITAN MATERIALS BOARD, AND SHALL MEET THE REQUIREMENTS OF THE CITY MUNICIPAL CODE
6. CONCRETE CONSTRUCTION SHALL MEET THE APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR STATE ROAD AND BRIDGE CONSTRUCTION, KANSAS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, EXCEPT AS MODIFIED IN THE CITY MUNICIPAL CODE
7. INLET FLOORS SHALL BE SHAPED WITH NON-REINFORCED CONCRETE INVERTS TO PROVIDE SMOOTH FLOW.
8. BEVEL ALL EXPOSED EDGES WITH 3/4" TRIANGULAR MOLDING.

REINFORCING STEEL

9. REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 60 AS PER ASTM A615, AND SHALL BE BENT COLD
10. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF +/- 1/8" SHALL BE PERMITTED.
11. ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH
12. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
13. ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY BED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE

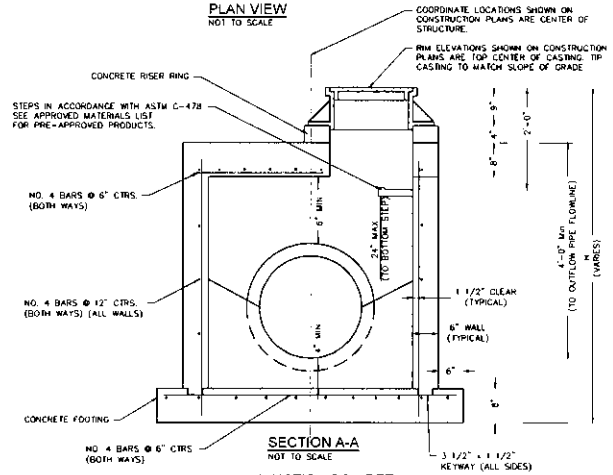
CONSTRUCTION

14. THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALL CONCRETE. ALL SIDEWALL FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALLS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND
15. PIPE CONNECTIONS TO PRE-CAST STRUCTURES SHALL HAVE A MINIMUM OF 6" OF CONCRETE AROUND THE ENTIRE PIPE WITHIN 2' OF THE STRUCTURE.
16. MATERIAL SELECTION AND COMPACTION REQUIREMENTS FOR BACKFILL AROUND STRUCTURES SHALL BE AS SPECIFIED IN THE MANUAL OF INFRASTRUCTURE STANDARDS, AS PROMULGATED BY THE CITY ENGINEER



PLAN VIEW

NOT TO SCALE



SECTION A-A

NOT TO SCALE

JUNCTION BOX DETAIL

NOT TO SCALE

SAPP DESIGN ARCHITECTS

helix.

SPECIAL NOTICES

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE 15

olsson

Drawing No. C8.5

STANDARD DETAILS

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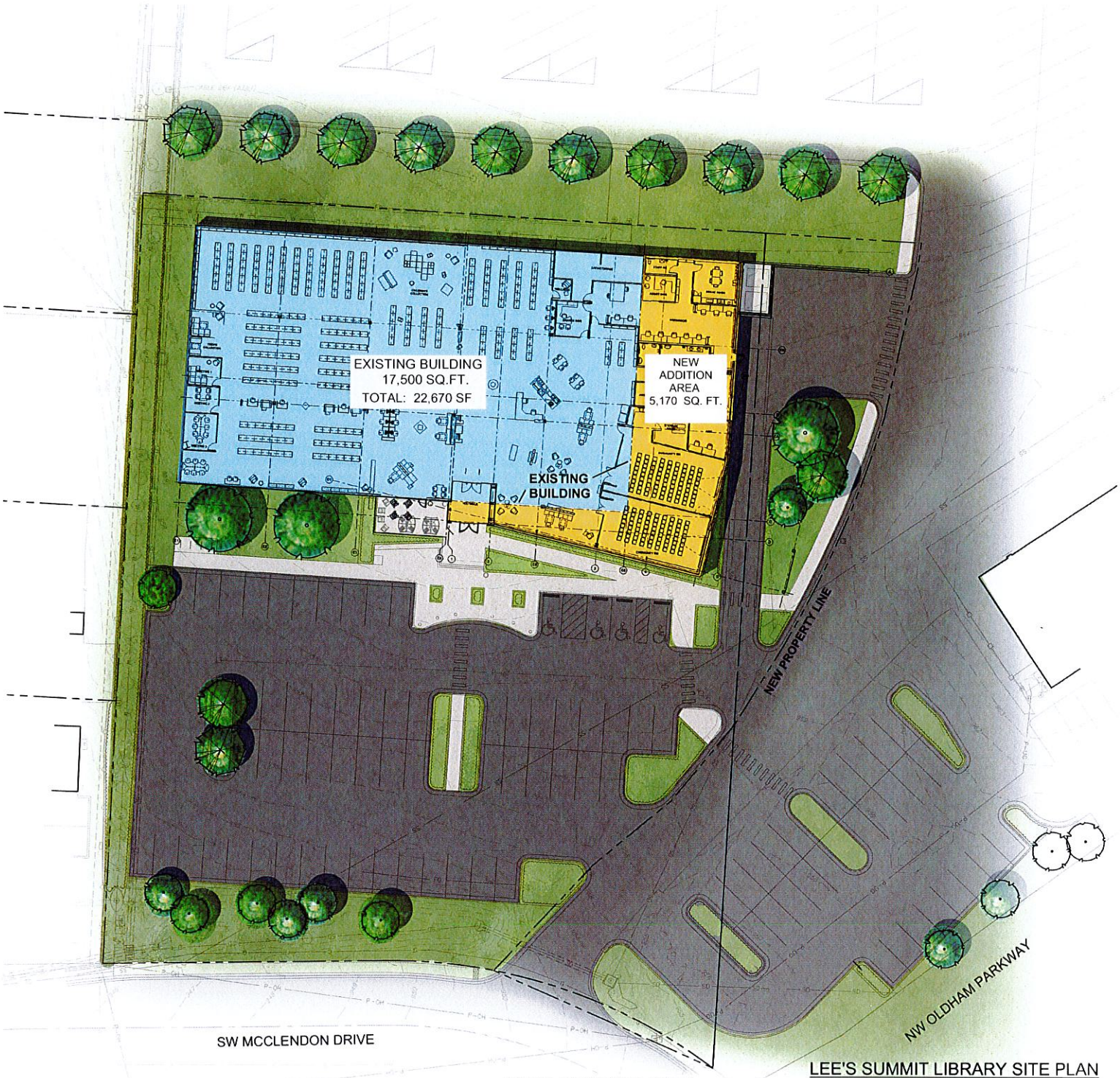
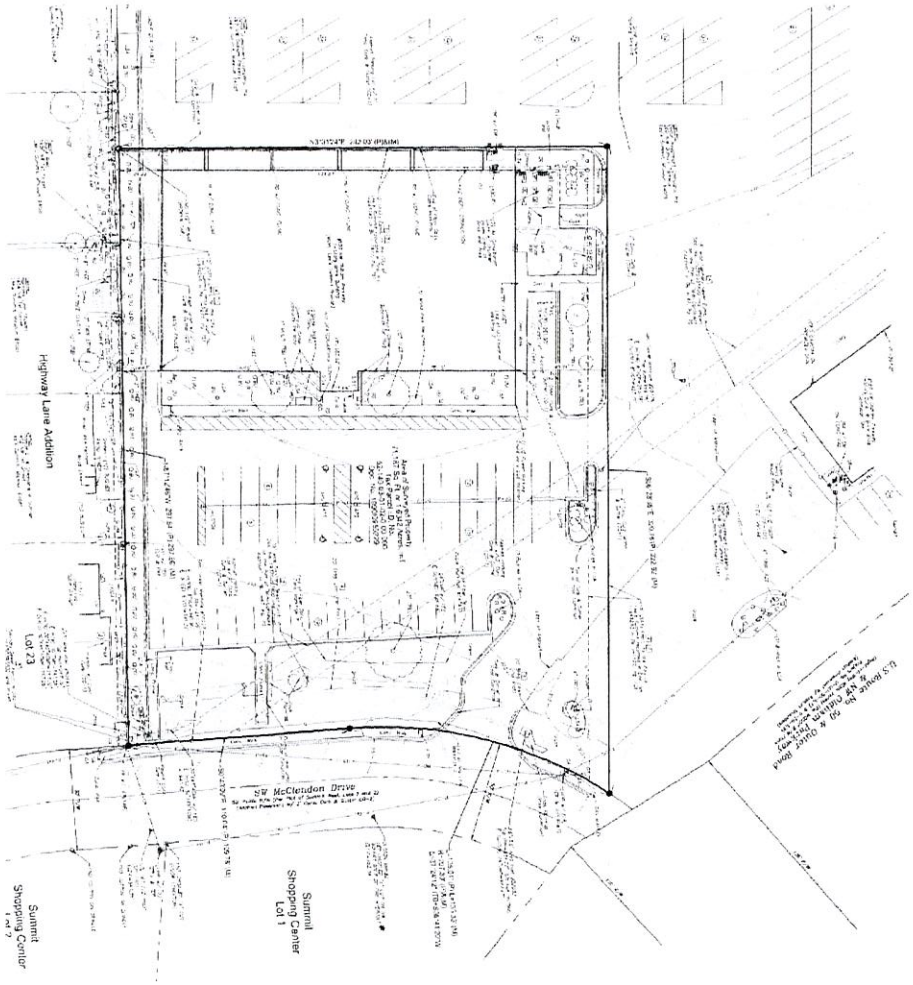


2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THIS SHEET)

TOTAL BUILDING AREA
22,670 SQ.FT

LEE'S SUMMIT LIBRARY SITE PLAN

FOR GENERAL REFERENCE ONLY:
SEE CIVIL AND LANDSCAPE DWGS FOR DETAILS



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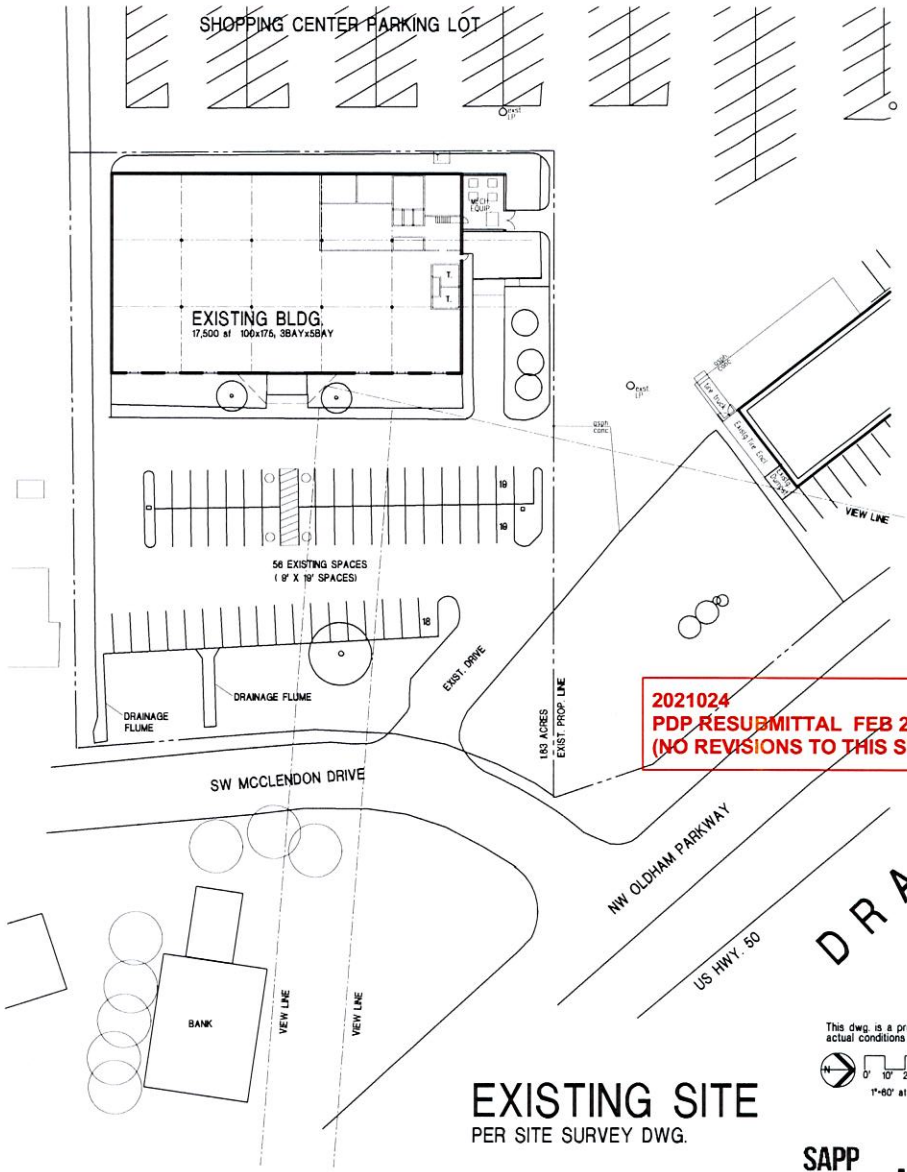


2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THIS SHEET)

This dwg. is a prelim. sketch, actual conditions may vary.

0' 10' 20' 30' 40'
1"=60' at 11x17,

EXISTING SITE
PER SITE SURVEY DWG.

SAPP DESIGN ARCHITECTS helix

MCPL - LEE'S SUMMIT BRANCH

PRELIMINARY SITE PLAN STUDY 08-11-20

LEE'S SUMMIT BRANCH MCPL PROPOSED PROP. LINE CHANGE AND PROPOSED PROP. SWAP.
11-13-20

APPROX. LOCATION OF NEW PROPOSED PROPERTY LINE

ADDITIONAL AREA FOR SERVICE DRIVE, GREEN SPACE, AND SIDEWALK: TRANSFER FROM SHOP.CNTR. TO MCPL

APPROX. 6400 SF

ORIGINAL PROPOSED MINIMUM AREA 15' WIDE X 156' LONG

CURRENT PROPERTY LINE

AREA TO ENCOMPASS ENTRANCE DRIVE: TRANSFER THIS AREA TO SHOPPING CENTER FROM MCPL

APPROX. 6400 SF

APPROX. LOCATION OF NEW PROPOSED PROPERTY LINE

NORTH

Summit Shopping Center Lot 1

Area of Surveyed Property
71,187 Sq. Ft. or 1.6342 Acres, m/l
Tax Parcel I.D. No.
62-140-03-01-02-0-00-000
Doc. No. 1990I0955229

#150 NW Oldham Parkway
1-Story Brick Building
(MCPL-Lee's Summit Branch)

SW McClendon Drive
50' Public R/W (Per Plat of Summit West, Lots 1 and 2)
(Asphalt Pavement w/ 2' Conc. Curb & Gutter (CG-2))

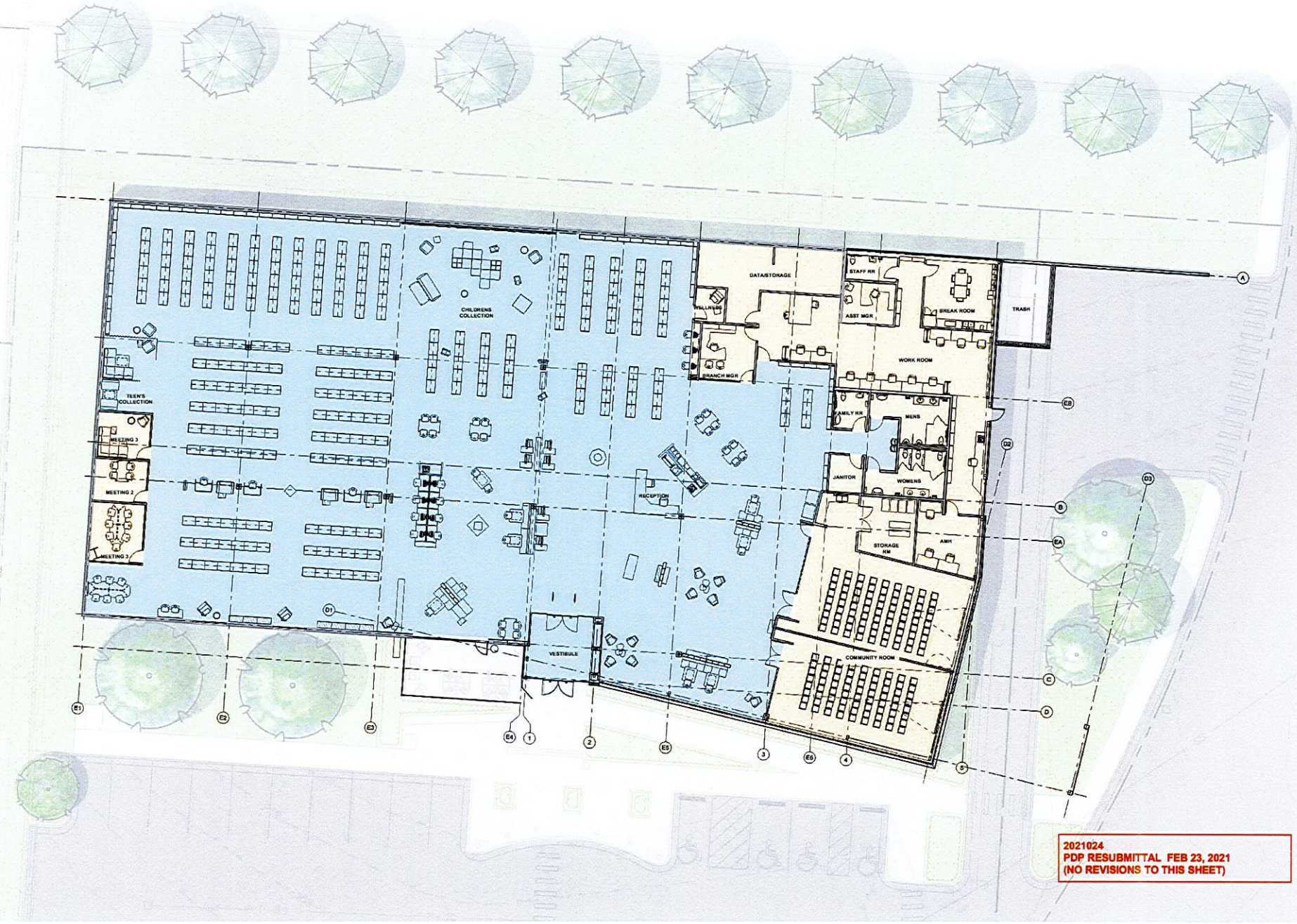
Summit Shopping Center Lot 1

Highway Lane Addition

Lot 28

Lot 27

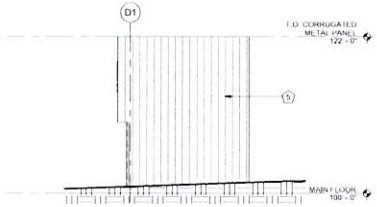
2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THIS SHEET)



2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THIS SHEET)

- LEE'S SUMMIT BRANCH LIBRARY

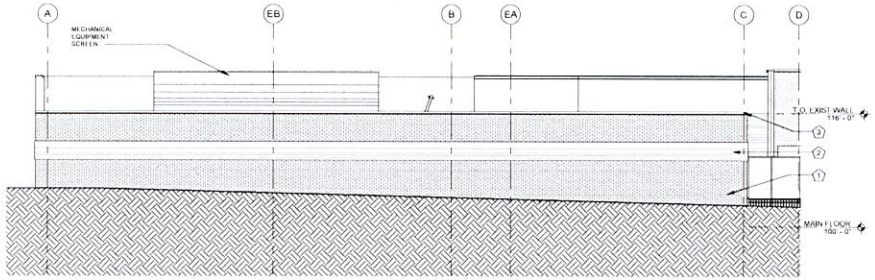
2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THIS SHEET)



5 SCREEN WALL ELEVATION

1/8" = 1'-0"

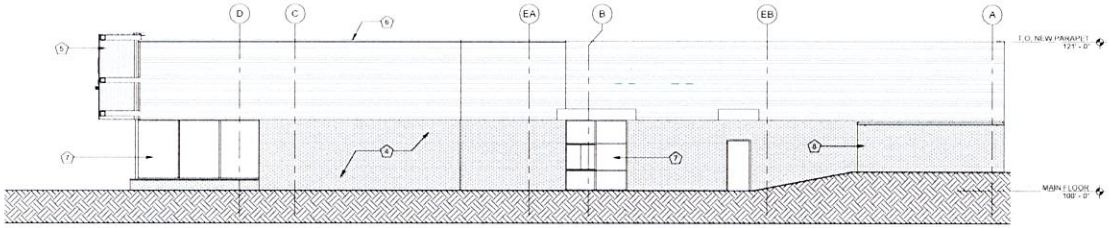
SCREEN: TOTAL SQ FT. 387 PERCENT OF METAL CLADDING: 100%



4 SOUTH ELEVATION

1/8" = 1'-0"

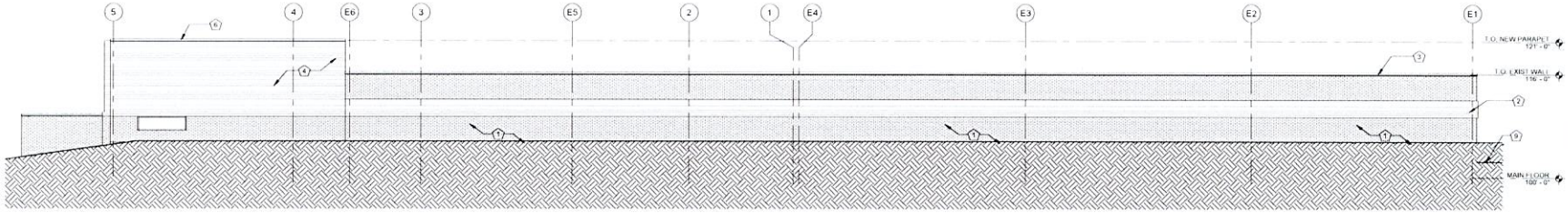
SOUTH FACADE: TOTAL SQ FT. 1,163 SQ FT. OF METAL CLADDING: 267 PERCENT OF METAL CLADDING: 23%



3 NORTH ELEVATION

1/8" = 1'-0"

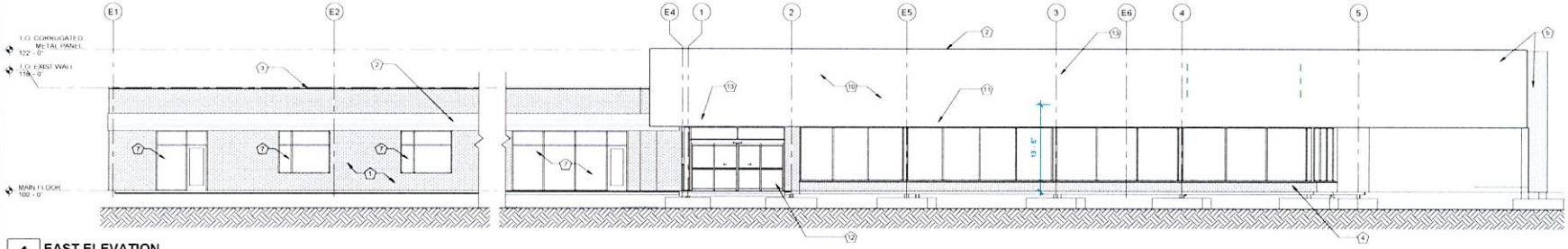
NORTH FACADE: TOTAL SQ FT. 2495 SQ FT. OF METAL CLADDING: 1358 PERCENT OF METAL CLADDING: 54%



2 WEST ELEVATION

1/8" = 1'-0"

WEST FACADE: TOTAL SQ FT. 2,381 SQ FT. OF METAL CLADDING: 898 PERCENT OF METAL CLADDING: 37%



1 EAST ELEVATION

1/8" = 1'-0"

EAST FACADE: TOTAL SQ FT. 4,418 SQ FT. OF METAL CLADDING: 1,953 PERCENT OF METAL CLADDING: 44%

KEYNOTES

1	EXISTING BRICK VENEER TO REMAIN
2	PREFINISHED VARIATED HORIZONTAL METAL PANELS OVER 7/8" VERTICAL HAT CHANNELS @ 24"OC OVER 2" HORIZONTAL ZEE FURRING @ 48"OC OVER EXISTING GLAZED BLOCKS
3	EXISTING PARAPET CAP TO REMAIN
4	BRICK VENEER
5	PERFORATED CORRUGATED METAL PANELS - SEE SECTIONS AND STRUCTURAL FOR MORE INFORMATION
6	PREFINISHED METAL PARAPET COPING - SEE WALL SECTIONS
7	ALUMINUM STOREFRONT SYSTEM. REFER TO WINDOW SCHEDULE
8	TRASH ENCLOSURE
9	EXISTING GRADE - SEE SITE PLAN
10	CORRUGATED METAL PANEL
11	ACM METAL CANOPY
12	AUTOMATIC SLIDING DOOR SYSTEM. REFER TO DOOR & WINDOW SCHEDULE. SEE SPECIFICATIONS FOR MORE INFORMATION
13	NEW ALUMINUM LIBRARY SIGNAGE LETTERS

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REVISED TO NOTE AREA OF MTL. CLADDING

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SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents and these changes are not approved in writing by the design professional, the design professional shall not be responsible, of the design professional shall be not the responsible, of the design professional shall be not the responsible, of the design professional shall be not the

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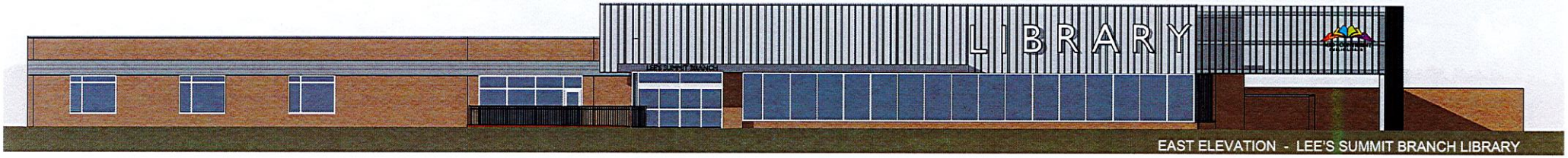

EAST ELEVATION - LEE'S SUMMIT BRANCH LIBRARY

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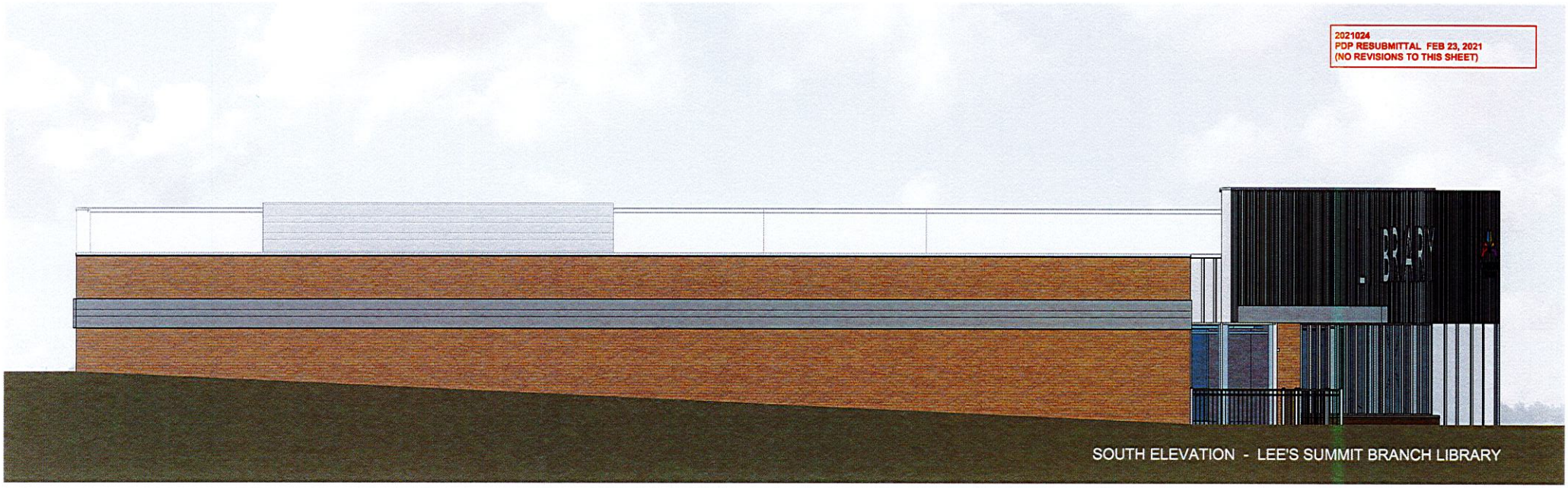

SOUTH ELEVATION - LEE'S SUMMIT BRANCH LIBRARY

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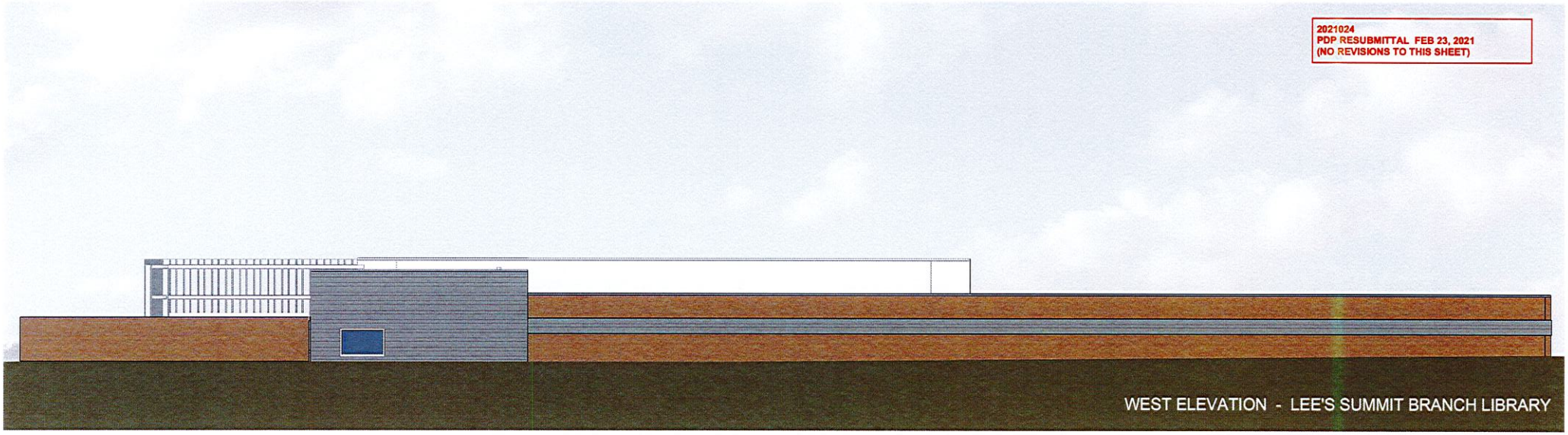
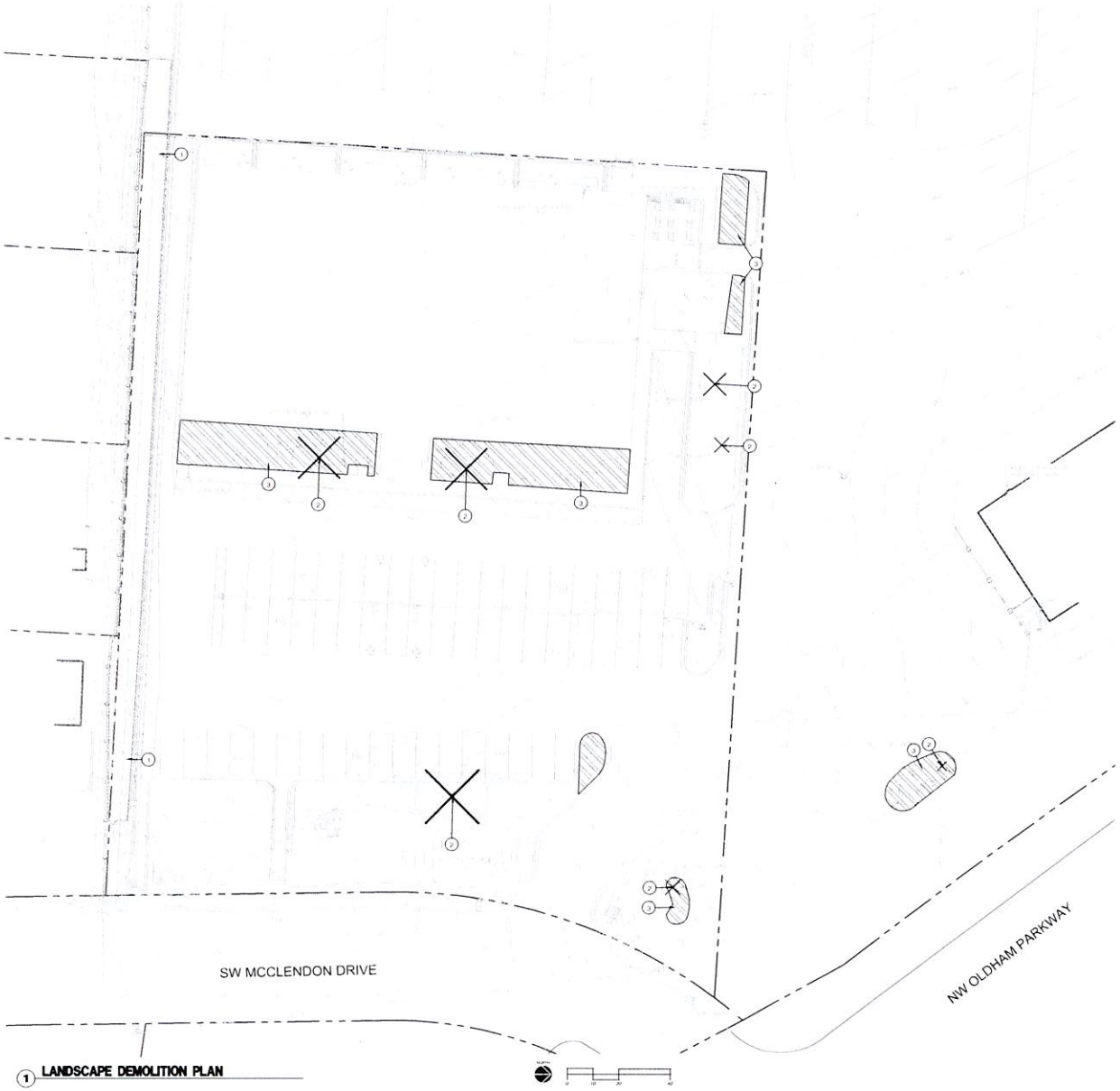


WEST ELEVATION - LEE'S SUMMIT BRANCH LIBRARY



1 LANDSCAPE DEMOLITION PLAN

LANDSCAPE DEMOLITION GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF EXISTING FEATURES WITHIN THE LIMITS OUTLINE, INCLUDING BUT NOT LIMITED TO TREES, UNDERSTORY BRUSH, TURF LAWN, TRASH, ETC., UNLESS OTHERWISE NOTED.
2. ALL MATERIAL NOTED FOR DEMOLITION AND REMOVAL SHALL BE REMOVED, LEGALLY OFF SITE BY THE CONTRACTOR AND DISPOSED OF AT LOCATIONS ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.
3. PRIOR TO COMMENCING DEMOLITION WORK, THE CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL PROTECT ALL UTILITIES TO REMAIN IN SERVICE DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY AND ALL UTILITIES AS REQUIRED BY THIS CONSTRUCTION.
4. CONTRACTOR SHALL PROTECT EXISTING STORM DRAINAGE STRUCTURES FROM SILTATION DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. THE CONTRACTOR SHALL PROVIDE BERMS, SILT FENCE, STRAW BALES OR OTHER MEANS TO PREVENT SEDIMENT FROM REACHING THE PUBLIC RIGHT-OF-WAY, OR ADJACENT PROPERTY. IN THE EVENT THE RETENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS AND SEDIMENT AND RESTORE THE RIGHT-OF-WAY AND ADJACENT PROPERTY TO ORIGINAL OR BETTER CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL REQUIRED PERMITS TO COMPLETE SCOPE OF WORK.
6. TREES TO BE REMOVED SHALL BE CUT DOWN, DEMOLISHED AND REMOVED FROM THE SITE. ALL BRUSH AND TREES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER APPROVED BY OWNER.
7. CONTRACTOR SHALL REMOVE STUMPS BY GRINDING STUMPS AND REMOVING ROOTS, OBSTRUCTIONS AND DEBRIS EXTENDING TO A DEPTH OF 18" BELOW EXPOSED SUBGRADE.
8. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.

LANDSCAPE DEMOLITION LEGEND:

RIGHT OF WAY / PROPERTY LINE

EXISTING TREE TO BE REMOVED

LIMITS OF GROUND VEGETATION REMOVAL

LANDSCAPE DEMOLITION PLAN NOTES:

1. EXISTING SHRUBS TO REMAIN.
2. EXISTING TREE TO BE CLEAR, GRUBBED, AND REMOVED.
3. CLEAR, GRUB AND REMOVE GROUND VEGETATION TO LIMITS INDICATED AS THUS ▨ ON PLAN.

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SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes in any plans, specifications or other construction documents or instruments, wording or material prepared by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of the signature whenever it appears upon, and the seal shall be affixed to all plans, specifications, documents or other instruments of service which are prepared by or under the direction of the undersigned for all time years. Specifications, documents or other instruments of service or instruments, wording or material not intended to be used for any part or parts of the architectural project.

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Lee's Summit, Missouri 64081
Jackson County

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15

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Ochsner Hare & Hare
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Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

Drawing No.
L100
LANDSCAPE DEMOLITION PLAN

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1 LANDSCAPE OVERALL PLAN

LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
   - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
   - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
   - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER ANN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DIACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DIACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION

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SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes in any plans, specifications or other construction documents and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes and agrees to defend, indemnify and hold the design professional harmless from any claim or liability and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The persons seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever it appears on any plan and the signature of the seal shall signify that he/she and the specifications pertaining to the seal, frequently shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

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150 NW OLDHAM PARKWAY
Lee's Summit, Missouri 64081
Jackson County

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ochsner hare + hare
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Ochsner Hare & Hare
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Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

Drawing No.
L500
LANDSCAPE OVERALL PLAN

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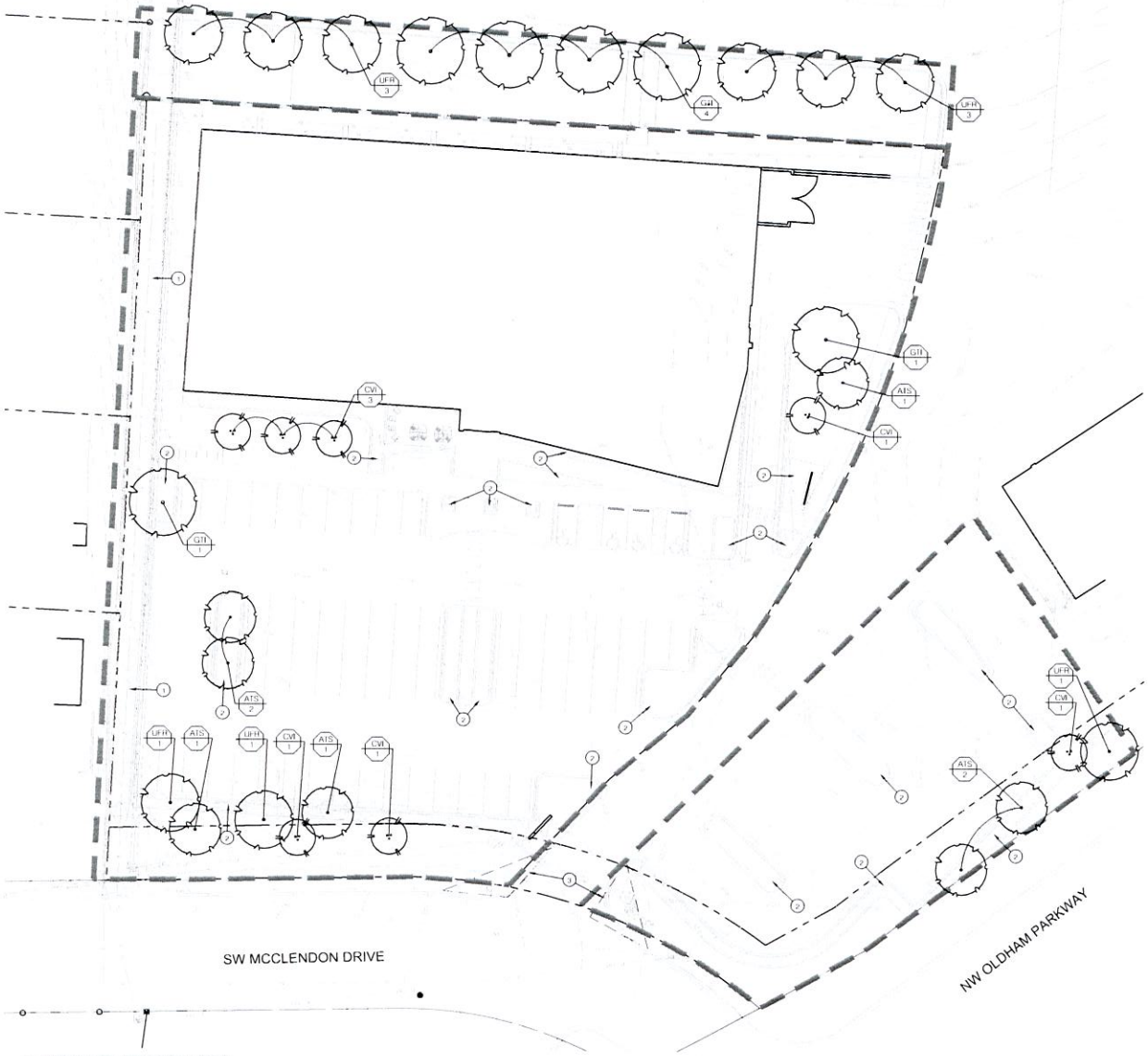

1 LANDSCAPE OVERSTORY PLAN

LANDSCAPE LEGEND:

RIGHT OF WAY / PROPERTY LINE

OVERSTORY TREES

ORNAMENTAL TREES

LANDSCAPE PLAN NOTES:

1. EXISTING BUFFER PLANTING BED TO REMAIN
2. PLANTING BED & HARDWOOD MULCH. REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
3. SIGHT DISTANCE TRIANGLES

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ATS	ACER TRUNCATUM	SHANTUNG MAPLE	2" CAL	B&B
GTI	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLT'	SKYLINE HONEY LOCUST	2" CAL	B&B
UFR	ULMUS 'FRONTIER'	FRONTIER ELM	2" CAL	B&B
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CVI	CHIONANTHUS VIRGINICUS	WHITE FRINGE TREE	3" CAL	B&B

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SPECIAL NOTICES

In the event the client intends to allow, authorize or approve of changes in any plans, specifications or other construction documents prepared by the design professional, or performed by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes and agrees to defend, indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The particular seal of the registered Architect or Engineer shall be the legal representation of the Architect's or Engineer's work and the extent and limit that signature and/or seal shall represent and bind the persons pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

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Jackson County

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Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

Drawing No.
L501
LANDSCAPE OVERSTORY PLAN

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MCPL PROPERTY OVERSTORY LANDSCAPE REQUIREMENTS

MCPL PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS			REQUIRED PLANTS	SHOWN PLANTS
		LEE'S SUMMIT, MISSOURI		
		CODE OF ORDINANCES DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
		SITE ZONED CP-2 & 2300 - PUBLIC USE-MISC.		
		BUILDING SF: 22,865 SQ FT		
		TOTAL # OF OLD PARKING SPACES: 54 SPACES TOTAL # OF NEW PARKING SPACES (MCPL): 6 SPACES		
		STREET FRONTAGE (SW MCCLENDON DR): 155 LF		
		TOTAL PROPERTY (MCPL): 1.72 ACRES (74,899 SQ FT)		
		STREET TREES MUST COMPLY WITH THE MINIMUM SIZE REQUIREMENTS		
PARKING LOT LANDSCAPE				
Sec. 8.810.		LANDSCAPE ISLANDS, STRIPS AND PLANTING AREA SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING TREE PLANTING AREAS SHALL BE NO LESS THAN TEN FEET IN WIDTH NO TREE SHALL BE LOCATED LESS THAN FOUR FEET FROM THE BACK OF CURB		
		TOTAL PARKING LOT AREA = 22,328.89 SQ FT		
		22,328.89 x .05 = 1,116.44 SQ FT	1,116.44 SQ FT	2,844.57 SQ FT
STREET FRONTAGE TREES				
Sec. 8.790. & Sec. 8.800.		1 TREE PER 30 FEET OF STREET FRONTAGE		
		TOTAL STREET FRONTAGE = 155 FT		
		155 / 30 = 5.16 TREES	6 TREES	6 TREES
OPEN YARD TREES				
Sec. 8.790.		1 TREE PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES)		
		TOTAL LOT AREA (74,899) MINUS SF OF BUILDING FOOTPRINT (22,865)= 52,034 SQ FT		
		52,034 / 5,000 = 10.41 TREES	11 TREES	11 TREES
SCREENING ON TRASH STORAGE CONTAINERS				
Sec. 8.790.		A DETAILED DRAWING OF ENCLOSURE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
		LANDSCAPE TOTALS	17 TREES	17 TREES
			1,116.44 SQ FT	2,844.57 SQ FT

SUMMIT SHOPPING CENTER PROPERTY OVERSTORY LANDSCAPE REQUIREMENTS

SUMMIT SHOPPING CENTER PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS			REQUIRED PLANTS	SHOWN PLANTS
		LEE'S SUMMIT, MISSOURI		
		CODE OF ORDINANCES DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
		SITE ZONED CP-2 & 2300 - PUBLIC USE-MISC.		
		TOTAL # OF NEW PARKING SPACES (SSCP): 28 SPACES		
		STREET FRONTAGE (NW OLDHAM PKWY) 237 LF		
		TOTAL PROPERTY (SSCP): .63 ACRES (27,652 SQ FT)		
		STREET TREES MUST COMPLY WITH THE MINIMUM SIZE REQUIREMENTS		
PARKING LOT LANDSCAPE				
Sec. 8.810.		LANDSCAPE ISLANDS, STRIPS AND PLANTING AREA SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING TREE PLANTING AREAS SHALL BE NO LESS THAN TEN FEET IN WIDTH NO TREE SHALL BE LOCATED LESS THAN FOUR FEET FROM THE BACK OF CURB		
		TOTAL PARKING LOT AREA = 14,102.76 SQ FT		
		14,102.76 x .05 = 705.138 SQ FT	705.138 SQ FT	2,009.15 SQ FT
STREET FRONTAGE TREES				
Sec. 8.790. & Sec. 8.800.		1 TREE PER 30 FEET OF STREET FRONTAGE		
		TOTAL STREET FRONTAGE = 237 FT		
		237 / 30 = 7.9 TREES	8 TREES	8 TREES
OPEN YARD TREES				
Sec. 8.790.		1 TREE PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES)		
		TOTAL LOT AREA (27,652) MINUS SF OF BUILDING FOOTPRINT (0)= 27,652 SQ FT		
		27,652 / 5,000 = 5.5 TREES	6 TREES	6 TREES
SCREENING ON TRASH STORAGE CONTAINERS				
Sec. 8.790.		A DETAILED DRAWING OF ENCLOSURE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
		LANDSCAPE TOTALS	14 TREES	14 TREES
			705.138 SQ FT	2,009.15 SQ FT

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SPECIAL NOTICES

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The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate the plans and the specification sections pertaining to this seal. Responsibility shall be disclaimed for all copies of plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
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Lee's Summit, Missouri 64081
Jackson County

FOR SUBMITTAL PACKAGE **15**

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Revision No.	Description	Date

Project No.	Date	Drawn
016-1003	07/27/2021	LSTG

Drawing No.
L502
OVERSTORY LANDSCAPE REQUIREMENTS

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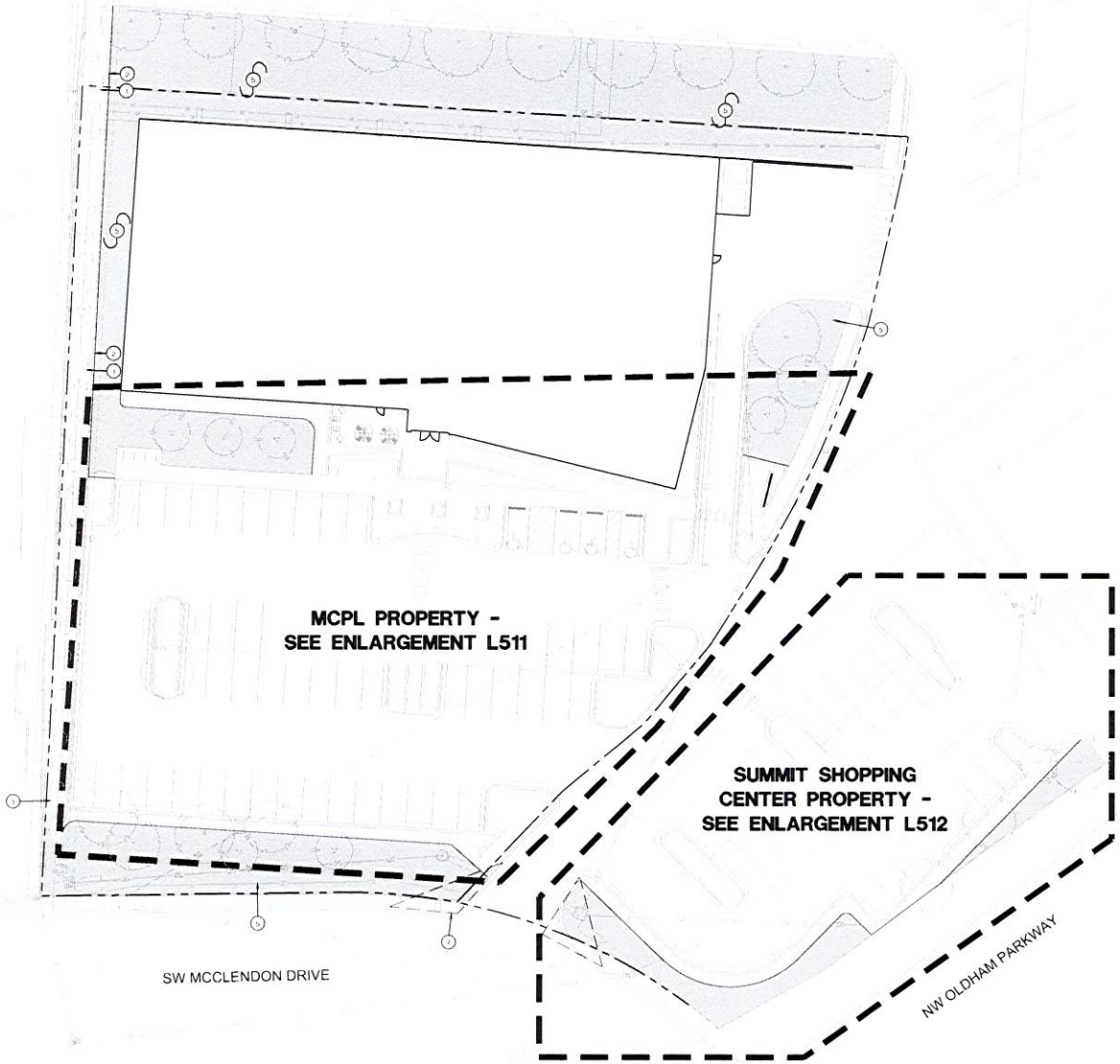

1 LANDSCAPE UNDERSTORY PLAN

LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEES SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
   - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
   - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
   - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3' DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF-TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNERS FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION:

WP — PLANT TYPE
3 — QUANTITY

LANDSCAPE UNDERSTORY LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCH LINE
- OVERSTORY TREES
- TURF-TYPE FESCUE SOD
- TURF-TYPE FESCUE SEED

LANDSCAPE PLAN NOTES:

1. EXISTING BUFFER PLANTING BED TO REMAIN
2. INSTALL STEEL BED EDGE. REF. 4/L590
3. INSTALL CURB BED EDGE. REF. 5/L590
4. AREA TO BE SEEDED WITH TURF-TYPE FESCUE SEED. REF. SPECIFICATIONS
5. AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD. REF. SPECIFICATIONS
6. PLANTING BED & HARDWOOD MULCH. REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
7. SIGHT DISTANCE TRIANGLES

2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THESE SHEETS)

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SPECIAL NOTICES

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Mid-Continent Public Library
RENOVATIONS TO
LEE'S SUMMIT BRANCH
150 NW OLDHAM PARKWAY
Lee's Summit, Missouri 64081
Jackson County

PDP SUBMITTAL PACKAGE 15

ochsner hare + hare
the olsson studio
Ochsner Hare & Hare
Missouri State Certificate of Authority #2006000280

Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

Drawing No.
L510
LANDSCAPE UNDERSTORY PLAN

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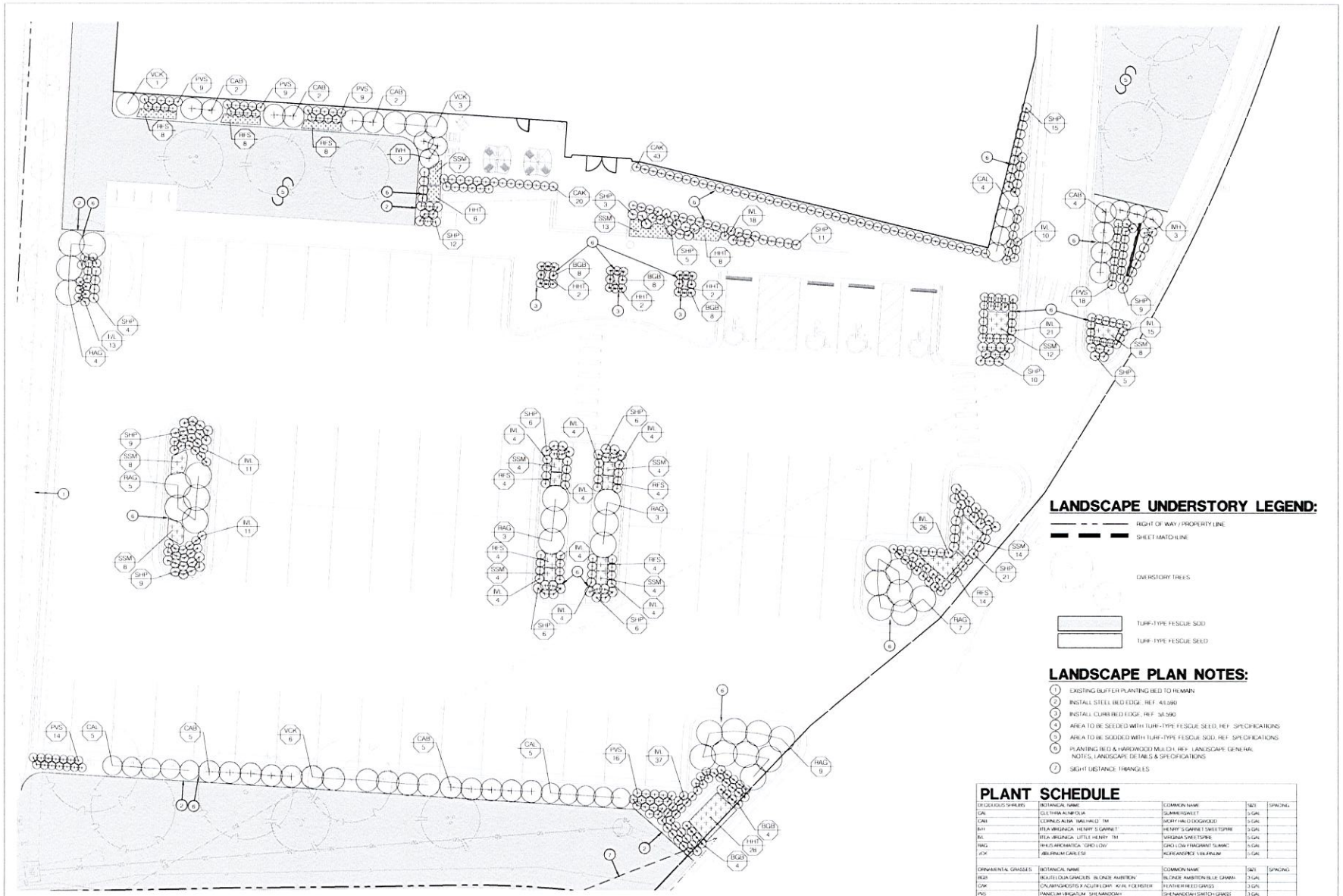

1 LANDSCAPE UNDERSTORY PLAN

LANDSCAPE UNDERSTORY LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCH LINE
- OVERSTORY TREES
- TURF-TYPE FESCUE SOD
- TURF-TYPE FESCUE SEED

LANDSCAPE PLAN NOTES:

1. EXISTING BUFFER PLANTING BED TO REMAIN
2. INSTALL STEEL BED EDGE. REF. 4/L590
3. INSTALL CURB BED EDGE. REF. 5/L590
4. AREA TO BE SEEDED WITH TURF-TYPE FESCUE SEED. REF. SPECIFICATIONS
5. AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD. REF. SPECIFICATIONS
6. PLANTING BED & HARDWOOD MULCH. REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
7. SIGHT DISTANCE TRIANGLES

PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
CAL	CLETHRA ALNIFOLIA	SUMMERSWEET	5 GAL	
CAR	CORNUS ALBA 'BAILHALO' TM	ARCTIC HALO DOGWOOD	5 GAL	
IVH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	
IVL	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	5 GAL	
RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	
VCK	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL	

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BGB	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	3 GAL	
CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	
SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	3 GAL	

PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HHT	HELIOPSIS HELIANTHOIDES 'TUSCAN SUN'	TUSCAN SUN FALSE SUNFLOWER	1 GAL	18" o.c.
RFS	RUDBECKIA FULGIDA SPECIOSA 'GOLDSTRUM'	GOLDSTRUM BLACK-EYED SUSAN	1 GAL	18" o.c.
SSM	SALVIA X SYLVESTRIS 'MAINACHT'	MAY NIGHT SAGE	1 GAL	18" o.c.

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Mid-Continent Public Library
RENOVATIONS TO
LEE'S SUMMIT BRANCH
150 NW OLDHAM PARKWAY
Lee's Summit, Missouri 64081
Jackson County

PDP SUBMITTAL PACKAGE 15

ochsner hare + hare
the olsson studio
Ochsner Hare & Hare
Missouri State Certificate of Authority #2006000280

Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

Drawing No.
L511
LANDSCAPE UNDERSTORY PLAN

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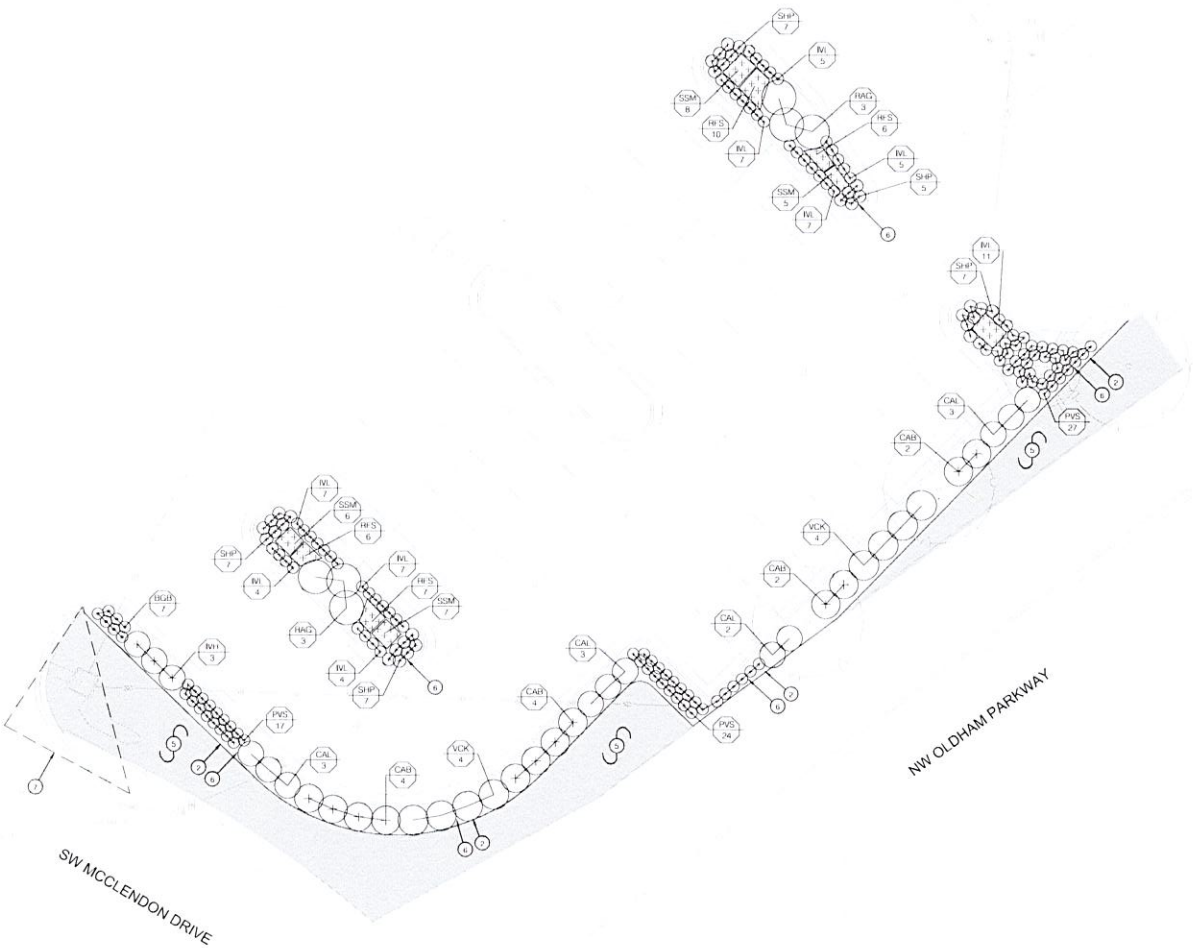

1 **LANDSCAPE UNDERSTORY PLAN**

LANDSCAPE UNDERSTORY LEGEND:

HIGHT OF WAY / PROPERTY LINE

SHEET MATCHLINE

OVERSTORY TREES

TURF-TYPE FESCUE SOD

TURF-TYPE FESCUE SEED

LANDSCAPE PLAN NOTES:

1. EXISTING BUFFER PLANTING BED TO REMAIN
2. INSTALL STEEL BED EDGE, REF: 4/L560
3. INSTALL CURB BED EDGE, REF: 5/L560
4. AREA TO BE SEEDED WITH TURF-TYPE FESCUE SEED, REF: SPECIFICATIONS
5. AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD, REF: SPECIFICATIONS
6. PLANTING BED & HARDWOOD MULCH, REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
7. SIGHT DISTANCE TRIANGLES

PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
CAL	CLETHRA ALNIFOLIA	SUMMERSWEET	5 GAL	
CAB	CORNUS ALBA 'BAILHALO' TM	IVORY HALO DOGWOOD	5 GAL	
ITH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	
IVL	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	5 GAL	
RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	
VCK	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL	

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BGB	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	3 GAL	
CAF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	
SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	3 GAL	

PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HHT	HELIOPSIS HELIANTHOIDES 'TUSCAN SUN'	TUSCAN SUN FALSE SUNFLOWER	1 GAL	18" o.c.
RFS	RUDBECKIA FULGIDA SPECIOSA 'GOLDSTRUM'	GOLDSTRUM BLACK EYED SUSAN	1 GAL	18" o.c.
SSM	SALVIA X SYLVESTRIS 'MAINACHT'	MAY NIGHT SAGE	1 GAL	18" o.c.

2021024
PDP RESUBMITTAL FEB 23, 2021
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Mid-Continent Public Library
RENOVATIONS TO
LEE'S SUMMIT BRANCH
150 NW OLDHAM PARKWAY
Lee's Summit, Missouri 64081
Jackson County

PDP SUBMITTAL PACKAGE **15**

ochsner hare + hare
the olsson studio
Ochsner Hare & Hare
Missouri State Certificate of Authority #2006000280

Revision No.	Description	Date

Project No.	Date	Drawn
016-1623	01/22/2021	LS/TG

Drawing No.
L512
LANDSCAPE UNDERSTORY PLAN

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MCPL PROPERTY UNDERSTORY LANDSCAPE REQUIREMENTS

MCPL PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS			REQUIRED PLANTS	SHOWN PLANTS
		LEE'S SUMMIT, MISSOURI		
		CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
		SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
		BUILDING SF: 22,865 SQ FT		
		TOTAL # OF OLD PARKING SPACES: 54 SPACES TOTAL # OF NEW PARKING SPACES (MCPL): 6 SPACES		
		STREET FRONTAGE (SW MCCLENDON DR): 155 LF		
		TOTAL PROPERTY (MCPL): 1.72 ACRES (74,899 SQ FT)		
PARKING LOT SCREENING				
Sec. 8.820.		A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40 LINEAR FEET THAT WILL SPREAD INTO A CONTINUOUS VISUAL SCREEN		
		TOTAL STREET FRONTAGE = 155 FT		
		155 / 40 = 3.9 FT		
		3.9 x 12 = 46.5 SHRUBS	47 SHRUBS	73 SHRUBS
STREET FRONTAGE SHRUB				
Sec. 8.790. & Sec. 8.800.		1 SHRUB PER 20 FEET OF STREET FRONTAGE		
		TOTAL STREET FRONTAGE = 155 FT		
		155 / 20 = 7.75 SHRUBS	8 SHRUBS	37 SHRUBS
		A MINIMUM 20-FOOT-WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
OPEN YARD SHRUB				
Sec. 8.790.		2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
		TOTAL LOT AREA (74,899) MINUS SF OF BUILDING FOOTPRINT (22,865) = 52,034 SQ FT		
		52,034 / 5,000 = 10.41 x 2 = 20.81 SHRUBS	21 SHRUBS	472 SHRUBS
		OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD.		
SCREENING ON TRASH STORAGE CONTAINERS				
Sec. 8.790.		A DETAILED DRAWING OF ENCLOSRE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
		LANDSCAPE TOTALS	76 SHRUBS	582 SHRUBS

SUMMIT SHOPPING CENTER PROPERTY UNDERSTORY LANDSCAPE REQUIREMENTS

SUMMIT SHOPPING CENTER PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS			REQUIRED PLANTS	SHOWN PLANTS
		LEE'S SUMMIT, MISSOURI		
		CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
		SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
		TOTAL # OF NEW PARKING SPACES (SSCP): 28 SPACES		
		STREET FRONTAGE (NW OLDHAM PKWY): 237 LF		
		TOTAL PROPERTY (SSCP): 63 ACRES (27,652 SQ FT)		
PARKING LOT SCREENING				
Sec. 8.820.		A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40 LINEAR FEET THAT WILL SPREAD INTO A CONTINUOUS VISUAL SCREEN		
		TOTAL STREET FRONTAGE = 237 FT		
		237 / 40 = 5.93 FT		
		5.93 x 12 = 71.1 SHRUBS	72 SHRUBS	102 SHRUBS
STREET FRONTAGE SHRUB				
Sec. 8.790. & Sec. 8.800.		1 SHRUB PER 20 FEET OF STREET FRONTAGE		
		TOTAL STREET FRONTAGE = 237 FT		
		237 / 20 = 11.85 SHRUBS	12 SHRUBS	25 SHRUBS
		A MINIMUM 20-FOOT-WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
SCREENING ON TRASH STORAGE CONTAINERS				
Sec. 8.790.		A DETAILED DRAWING OF ENCLOSRE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
		LANDSCAPE TOTALS	84 SHRUBS	127 SHRUBS

2021024
PDP RESUBMITTAL FEB 23, 2021
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Mid-Continent Public Library
RENOVATIONS TO
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Lee's Summit, Missouri 64081
Jackson County

PDP SUBMITTAL PACKAGE **15**

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Revision No.	Description	Date

Project No.	Date	Drawn
016-1623	01/22/2021	LS/TG

Drawing No.
L513
UNDERSTORY LANDSCAPE REQUIREMENTS

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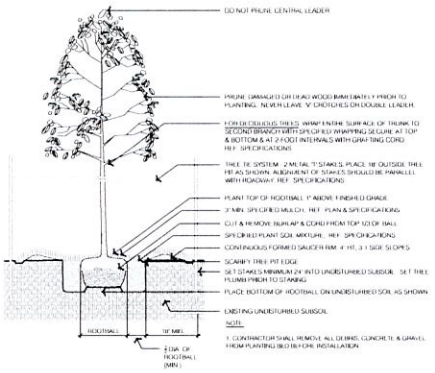
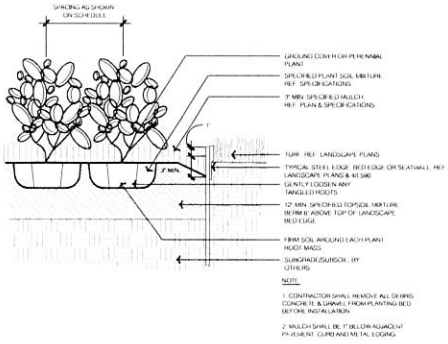
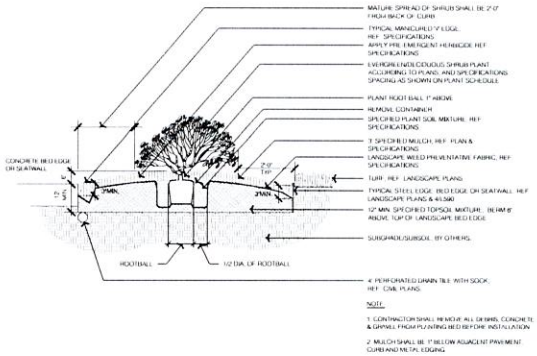


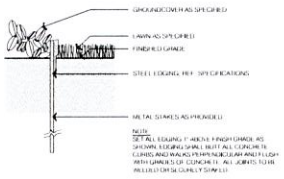
1 TYPICAL DECIDUOUS TREE PLANTING



2 TYPICAL GROUNDCOVER AND PERENNIAL PLANTING



3 TYPICAL SHURB PLANTING



4 TYPICAL STEEL BED EDE

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Jackson County

FOR SUBMITTAL PACKAGE **15**

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Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/FG

Drawing No.
L590
LANDSCAPE DETAILS

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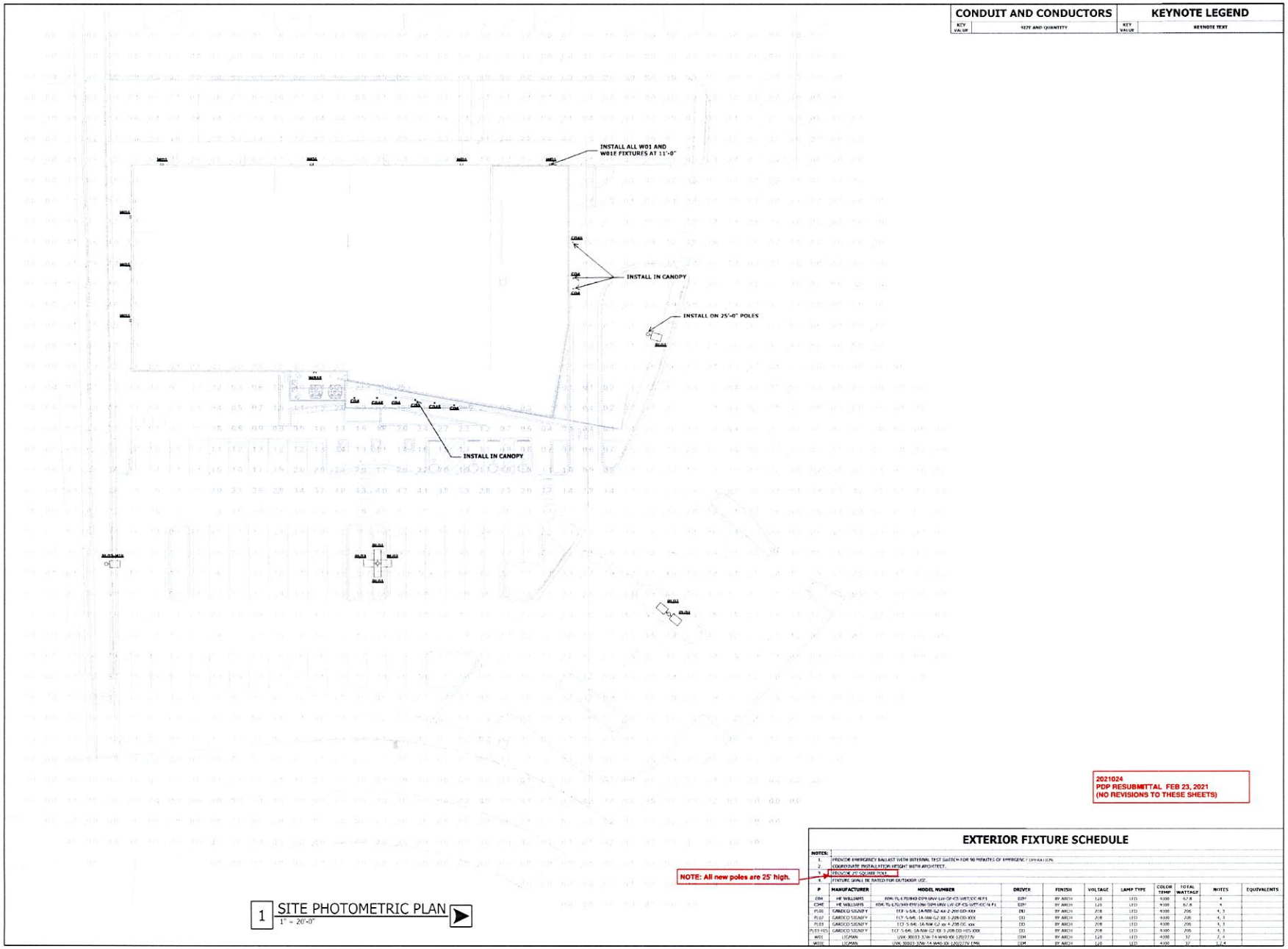

1 SITE PHOTOMETRIC PLAN
1" = 20'-0"

CONDUIT AND CONDUCTORS		KEYNOTE LEGEND	
KEY VALUE	SIZE AND QUANTITY	KEY VALUE	KEYNOTE TEXT

2021024
PDP RESUBMITTAL FEB 23, 2021
(NO REVISIONS TO THESE SHEETS)

NOTE: All new poles are 25' high.

EXTERIOR FIXTURE SCHEDULE

NOTES:
1. PROVIDE EMERGENCY BALLAST WITH INTERNAL TEST SWITCH FOR 90 MINUTES OF EMERGENCY OPERATION.
2. COORDINATE INSTALLATION HEIGHT WITH ARCHITECT.
3. PROVIDE 25' SQUARE POLE.
4. FIXTURE SHALL BE RATED FOR OUTDOOR USE.

P	MANUFACTURER	MODEL NUMBER	DRIVER	FINISH	VOLTAGE	LAMP TYPE	COLOR TEMP	TOTAL WATTAGE	NOTES	EQUIVALENTS
C04	HE WILLIAMS	6RK-TL-LT5/840 DTP GRAY LW-DF-CS-WET/CC-N F1	BIM	BY ARCH	120	LED	4000	67.8	4	
C04E	HE WILLIAMS	6SK-TL-LT5/840 DTP/10W SIM-WW LW-DF-CS-WET/CC-N F1	BIM	BY ARCH	120	LED	4000	67.8	4	
P1.01	GARDCO SIGNATY	ELF-1-SR-1A-W01-G2-X4-2-208-DD-XXX	DD	BY ARCH	208	LED	4000	206	4, 3	
P1.02	GARDCO SIGNATY	ECF-5-SR-1A-W01-G2-XX-3-208-DD-XXX	DD	BY ARCH	208	LED	4000	206	4, 3	
P1.03	GARDCO SIGNATY	ECF-5-SR-1A-W01-G2-xx-4-208-DD-xxx	DD	BY ARCH	208	LED	4000	206	4, 3	
P1.03 HS	GARDCO SIGNATY	ECF-5-SR-1A-W01-G2-XX-3-208-DD-HS-XXX	DD	BY ARCH	208	LED	4000	206	4, 3	
W01	LITHONIA	LWX-30B03-37W-T4-W40-XX-120/277V	DIM	BY ARCH	120	LED	4000	37	2, 4	
W01E	LITHONIA	LWX-30B03-37W-T4-W40-XX-120/277V-EMR	DIM	BY ARCH	120	LED	4000	37	1,2,4	

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SPECIAL NOTICES

[illegible]

Mid-Contient Public Library
RENNOVATIONS TO
LEE'S SUMMIT BRANCH
150 NW OLDHAM PKWY
LEE'S SUMMIT, MO 64081

Engineer of Record
NOT FOR CONSTRUCTION
01/15/2021
JACOB A. NELSON, PE MO PE-2009018758

Revision No.	Description	Date

Project No.	Date	Drawn
00-000	01/15/2021	RA

Drawing No.
E102
SITE PHOTOMETRIC PLAN

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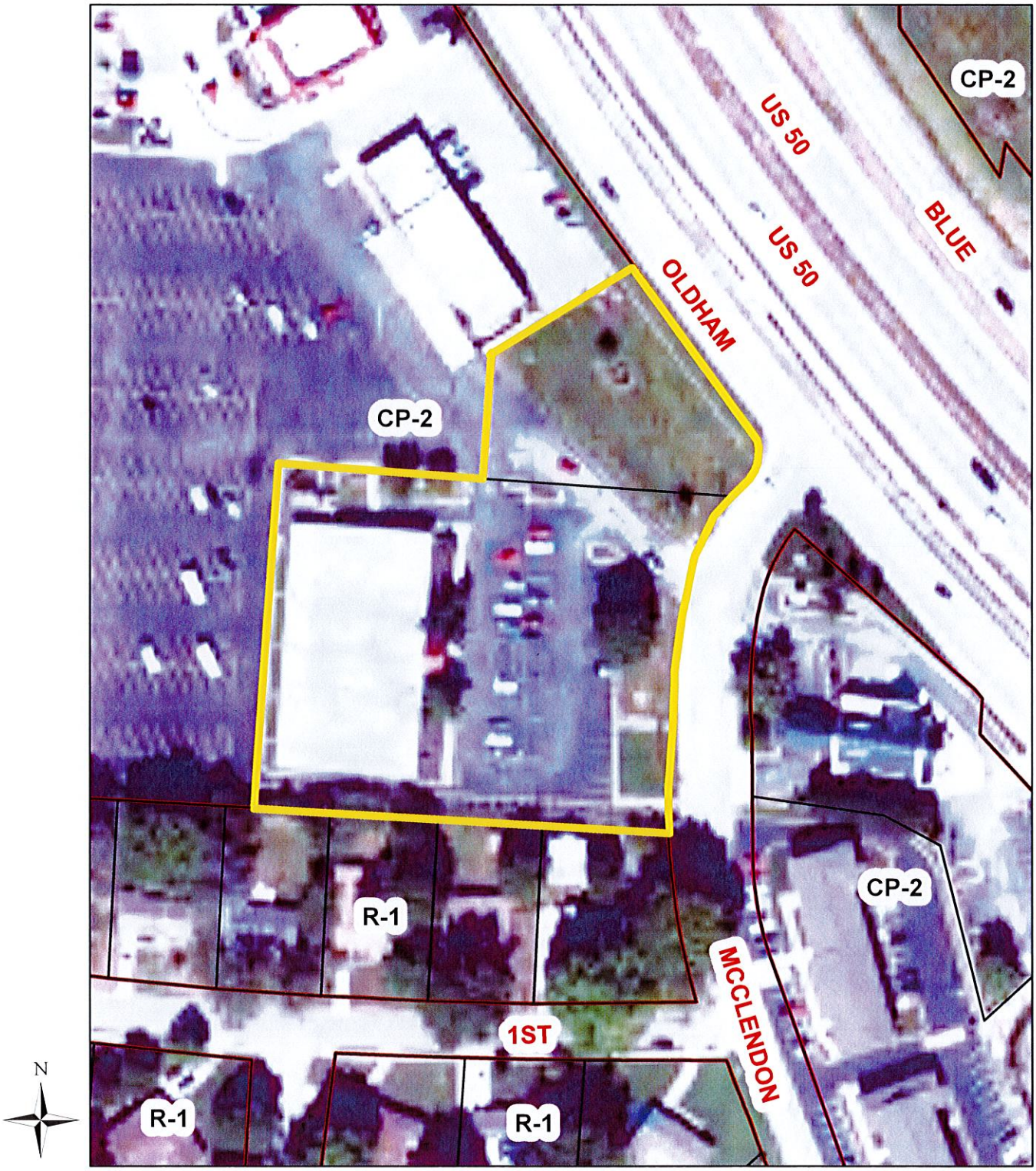
Appl. #PL2021-024 - PRELIMINARY DEVELOPMENT PLAN
Lee's Summit Branch Library, 150 NW Oldham Pkwy
Mid-Continent Public Library, applicant